

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Development staff at 775.328.3600.

Project Information		Staff Assigned Case No.: _____	
Project Name: Le Friant Proposed Residence			
Project Description: Construction of a new residence and driveway, along with associated grading and improvements. The driveway will pass through a Significant Hydrologic Resource (SHR) sensitive stream zone and grading is anticipated to exceed 1,000 cubic yards.			
Project Address: 55 Will Sauer Road, Washoe Valley, Nevada			
Project Area (acres or square feet): 5.003 Acres			
Project Location (with point of reference to major cross streets AND area locator): The address is: 55 Will Sauer Road, Washoe Valley. The closest cross street is Franktown Road.			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No(s):	Parcel Acreage:
172-010-06	5.003		
Section(s)/Township/Range: SE 14, SE 1/4, Sec. 4, T16N, R19E			
Indicate any previous Washoe County approvals associated with this application: Case No.(s) Special Use Permit Case No. SB13-017			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: Jacques & Beth Le Friant		Name: Resource Concepts, Inc.	
Address: 1151 Hornblend Street		Address: 340 N. Minnesota Street	
San Diego, California	Zip: 92109	Carson City, Nevada	Zip: 89703
Phone: (858) 270-7999	Fax: None	Phone: 775-883-1600	Fax: 775-883-1656
Email: beth.lefriant@yahoo.com		Email: joe@rci-nv.com	
Cell: (858) 270-7999	Other: None	Cell: 775-721-1920	Other: None
Contact Person: Jacques & Beth Le Friant		Contact Person: Joe Cacioppo, P.E.	
Applicant/Developer:		Other Persons to be Contacted:	
Name: Jacques & Beth Le Friant		Name:	
Address: 1151 Hornblend Street		Address:	
San Diego, California	Zip: 92109		Zip:
Phone: (858) 270-7999	Fax: None	Phone:	Fax:
Email: beth.lefriant@yahoo.com		Email:	
Cell: (858) 270-7999	Other: None	Cell:	Other:
Contact Person: Jacques & Beth Le Friant		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Special Use Permit Application for Grading Supplemental Information

(All required information may be separately attached)

Chapter 110 of the Washoe County Code is commonly known as the Development Code. Specific references to special use permits may be found in Article 810, Special Use Permits. Article 438, Grading, and Article 418, Significant Hydrologic Resources, are the ordinances specifically involved in this request.

1. What is the purpose of the grading?

The grading is needed to construct the driveway, the residence and the associated utilities (water, on-site sewage disposal system, power, etc.). Given that the residence is proposed to be positioned into the hillside, re-contouring of a portion of the hillside is a part of the work.

2. How many cubic yards of material are you proposing to excavate on site?

3,300 cubic yards. Refer to our response to Question 5 for justification related to the choice of building sites.

3. How many square feet of surface of the property are you disturbing?

33,270 square feet.

4. How many cubic yards of material are you exporting or importing? If none, how are you managing to balance the work on-site?

Approximately 230 cubic yards of base material will be imported (for driveway and garage). Approximately 400 cubic yards will remain on-site for use as construction related fill, with the remainder being hauled off-site.

5. Is it possible to develop your property without surpassing the grading thresholds requiring a Special Use Permit? (Explain fully your answer.)

No. The proposed location, as well as other on-site locations considered, will exceed the 1,000 cubic yard threshold. This is based on the existing sloped and wooded terrain.

We looked at relocating the residence closer to Will Sauer Road, but given the existing ground slopes, grading would exceed the threshold. More importantly, setback requirements for the on-site sewage disposal system (100' from any watercourse) prohibits construction adjacent to Will Sauer Road. This is based on the existing FEMA 100-year boundary, the existing drainage way running through this portion of the property, as well as the building setback requirements off Will Sauer Road. Mr. Jack Healy who oversees the diversion of Franktown Creek for water right holders warned that extensive flooding occurs between the Creek and Will Sauer Road. As such, the current proposed location is the only available area for the proposed residence.

6. Has any portion of the grading shown on the plan been done previously? (If yes, explain the circumstances and the year the work was done.)

Some earthwork has occurred on the parcel. The existing soil driveway was created for irrigation and farming use. This occurred prior to the current ownership. The current owners intend to use the existing driveway alignment to minimize further disturbance.

Based on the August 2013 County approved Special Use Permit, for construction of the driveway through the SHR area (which also on the application provided earthwork quantities totaling 3,500 cubic yards associated with driveway, construction of the residence and rear hillside grading), the owners received approval to extend power to serve the residence at its requested location. Trenching and associated grading were conducted as a part of that work.

7. Have you shown all areas on your site plan that are proposed to be disturbed by grading? (If no, explain fully your answer.)

Yes.

8. Can the disturbed area be seen from off-site? If yes, from which directions, and which properties or roadways?

Yes, to a very small degree. The major portion of grading is proposed to occur behind the residence, which is setback approximately 400 feet from Will Sauer Road to the east. Given the heavily wooded and sloped terrain, visibility from Will Sauer Road is very restricted and in keeping with the character of the neighborhood. Similar visibility restrictions, although less of a distance, occur from the north and south parcels.

9. Could neighboring properties also be served by the proposed access/grading requested (i.e. if you are creating a driveway, would it be used for access to additional neighboring properties)?

Yes, if an agreement were in place. Currently, the adjacent parcel is owned by the applicant. The current application is however for on-site use only.

10. What is the slope (Horizontal:Vertical) of the cut and fill areas proposed to be? What methods will be used to prevent erosion until the revegetation is established?

Proposed cut and fill slopes will not be steeper than three horizontal to one vertical (3:1). Retaining walls that do not exceed 10 feet in height will be constructed to minimize grading. Fiber rolls, erosion control blankets and wood fiber hydromulch/tackifiers will also be incorporated to help prevent erosion.

11. Are you planning any berms?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, how tall is the berm at its highest?
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12. If your property slopes and you are leveling a pad for a building, are retaining walls going to be required? If so, how high will the walls be and what is their construction (i.e. rockery, concrete, timber, manufactured block)?

Retaining walls not to exceed 10 feet in height are proposed and are necessary to meet the County requirements related to maximum slopes. The walls will be concrete and masonry, and designed by others so as to blend into the surroundings to the extent reasonably possible.

13. What are you proposing for visual mitigation of the work?

We are proposing an approximately 350 foot setback off Will Sauer Road. The site is heavily treed and has varied terrain, which provides natural mitigation. Additional mitigation will consist of materials for the residence that blend in color with the natural surroundings.

14. Will the grading proposed require removal of any trees? If so, what species, how many and of what size?

Yes. Trees proposed for removal include:

Three - 12" to 24" Diameter Pines
Eight - 6" to 12" Diameter Pines

While construction closer to Will Sauer Road is not feasible as discussed within our response to Question 5, the trees in that area are more mature (28" diameter and larger) and an equal amount of trees would need to be removed.

15. What type of revegetation seed mix are you planning to use and how many pounds per acre do you intend to broadcast? Will you use mulch and, if so, what type?

Native Plants Seedmix.
Pounds per ace will be determined by a revegetation expert during design. Seed will be broadcast seeded and a wood fiber hydromulch will be used.

16. How are you providing temporary irrigation to the disturbed area?

No temporary irrigation is proposed. All seedings will be completed in the fall for a spring germination. Should temporary irrigation be required, the new residence will have outdoor water spigots than can be used.

17. Have you reviewed the revegetation plan with the Washoe Storey Conservation District? If yes, have you incorporated their suggestions?

Not at this time. Once the Special Use Permit is approved, the Washoe Storey Conservation District will be contacted.

18. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit the requested grading?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please attach a copy.
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Submittal for Special Use Permit

Jacques & Beth Le Friant

55 Will Sauer Road

Washoe County, Nevada

APN 172-010-06

August 12, 2015



Typical 'Pole & Beam' Type House





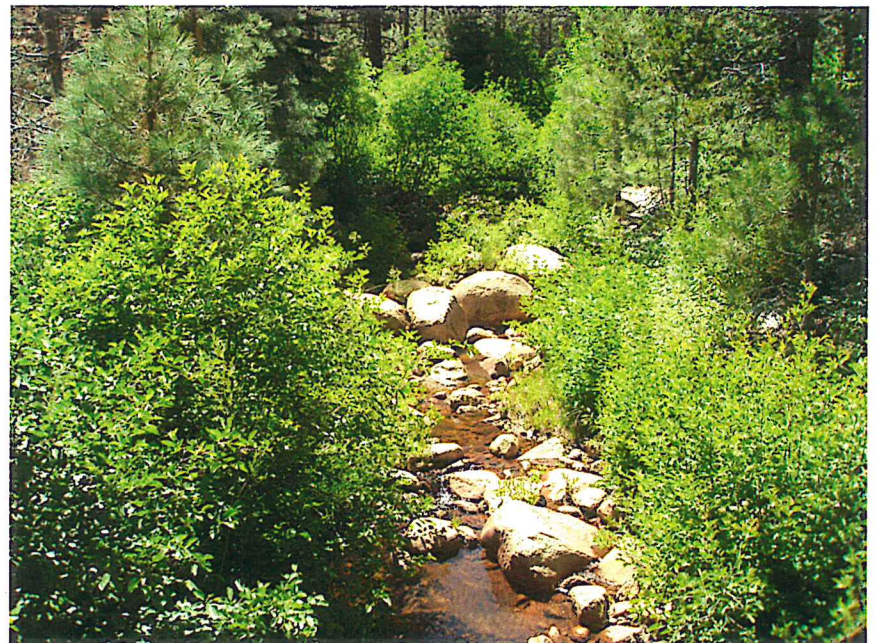
Will Sauer Rd. & bridge over creek (View looking north by driveway).



View of driveway location at Will Sauer Rd.



View of creek from Will Sauer Rd.



View of creek from Will Sauer Rd.

Proposed Driveway Entrance and Franktown Creek



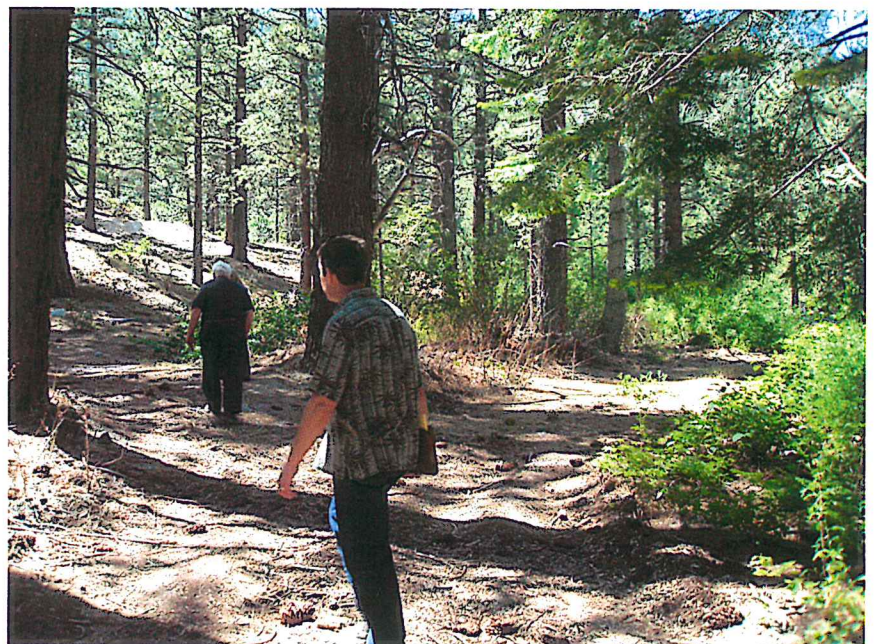
View of dirt road along south property line (proposed driveway location).



View of driveway entrance (Will Sauer Rd. in background).



View of dirt road along south property line.



View of dirt road to access irrigation ditch (right side of photo) & proposed driveway location.

Proposed Driveway



View of irrigation ditch looking south.



View of irrigation ditch looking north.



View of irrigation diversion structure.



View of irrigation diversion structure.

Franktown Irrigation Company's Ditch



View of proposed house site (looking south).



View of proposed house site (looking southwest)



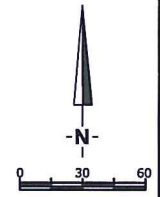
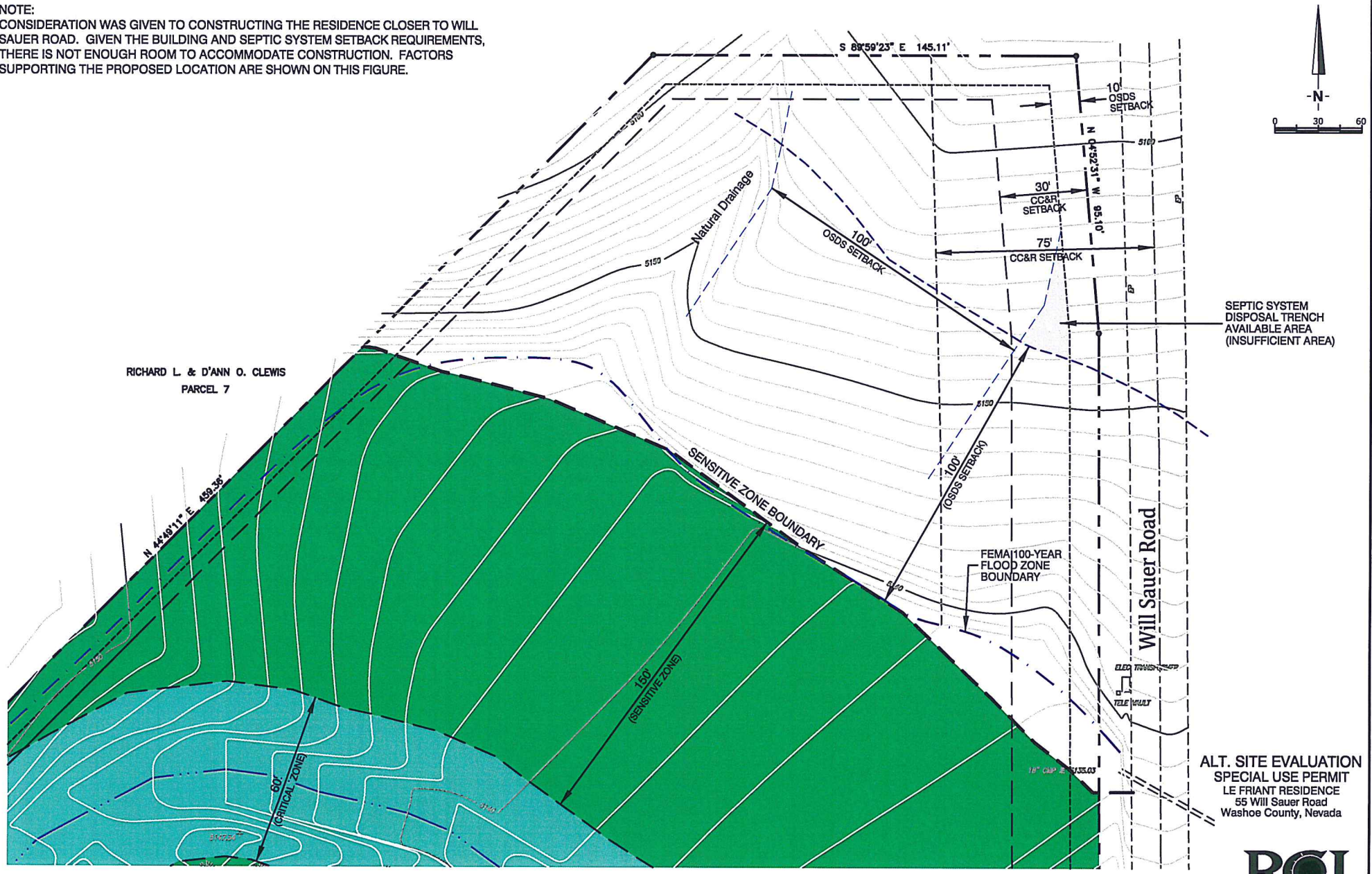
View of proposed house site (looking southeast).



View of proposed house site (looking southeast)

Proposed House Site

NOTE:
 CONSIDERATION WAS GIVEN TO CONSTRUCTING THE RESIDENCE CLOSER TO WILL SAUER ROAD. GIVEN THE BUILDING AND SEPTIC SYSTEM SETBACK REQUIREMENTS, THERE IS NOT ENOUGH ROOM TO ACCOMMODATE CONSTRUCTION. FACTORS SUPPORTING THE PROPOSED LOCATION ARE SHOWN ON THIS FIGURE.



ALT. SITE EVALUATION
 SPECIAL USE PERMIT
 LE FRIANT RESIDENCE
 55 Will Sauer Road
 Washoe County, Nevada



**LE FRIANT RESIDENCE WEST WASHOE VALLEY
PROPOSED MEASURES TO ADDRESS
SPECIAL REVIEW CONSIDERATIONS
AS LISTED IN SECTION 110.418.30
OF THE WASHOE COUNTY DEVELOPMENT CODE**

There are eight special considerations to be addressed with any new development that will be constructed within the Sensitive Stream Zone Buffer Area. Portions of the proposed new house, driveway, and other related improvements will be constructed within the Sensitive Stream Zone Buffer Area. The following lists the eight special considerations and following the special consideration are the proposed measures to address each consideration, if it is applicable.

- (a) **Conservation of Topsoil.** *The top two to six inches of topsoil will be salvaged from all areas to be cleared to construct new improvements. Upon completion of the new house and related elements the topsoil will be placed over all areas disturbed during construction and vegetated with a native plant material seed mix. Any excess topsoil will be utilized behind stacked boulder walls and vegetated.*
- (b) **Protection of Surface Water Quality.** *Temporary erosion control measures shall be installed prior to the start of construction to assure no sediment reaches the creek. All measures will be in compliance with all county requirements and may include straw wattles, filter fencing, or runoff interceptors upstream of the work. Runoff intercepted upstream of the work will be rerouted in rock lined ditches to a safe point of discharge. Upon completion of all work all disturbed areas will be vegetated using a native seed mix. On slopes around the house a geotextile may be placed as a part of the vegetation treatment.*
- (c) **Conservation of Natural Vegetation, Wildlife Habitat, and Fisheries.** *No work or land disturbance of any kind will occur within the sixty-foot wide Critical Stream Zone Buffer area. The majority of riparian vegetation on the site is located within this area. This setback will assure minimal disturbance to wildlife that tend to use the riparian areas and will provide protection to fisheries. Every effort will be made to minimize disturbance to natural vegetation. The house will be constructed using 'pole and beam' construction methods. That is, vertical poles set into the ground with horizontal crossbeams attached to the poles to support the house above will support the house. This methodology allows for portions of the natural ground topography under the house to remain as is with minimal disturbance.*
- (d) **Control of Erosion.** *Temporary erosion control measures will be installed prior to start of construction in accordance with all county requirements and guidelines to protect all downstream areas including the creek and irrigation ditch. Permanent erosion control measures will*

include placement of boulders over cut slopes to prevent erosion. Boulder placement will include some stepped slope treatments. All areas will be vegetated using a native plant material seed mix.

- (e) **Control of Drainage and Sedimentation.** *Runoff from the proposed house location drains away from Franktown Creek except for a very small area at the northwest corner of the house. This end of the house will be elevated above the existing natural ground allowing the existing drainage pattern to remain unchanged. The remaining natural runoff above the house site currently drains easterly. Runoff interceptor channels will be installed behind the house to intercept the natural runoff and route flows around the house. These channels will be rock-lined so as to prevent erosion. All areas below the house or along the sides will be vegetated using a native plant material seed mix. These measures will assure drainage is handled properly and will prevent sediment from discharging from the site. The driveway will be paved to prevent erosion and the sides of the driveway vegetated.*
- (f) **Provision for restoration of the project site to predevelopment conditions.** *Vegetative treatments of all disturbed areas remaining after all work has been completed will be with a native plant material seed mix prepared specific to this site. The seed mix will include plant materials typical of the natural vegetation found on the site. This will include a seed mix for upland areas and a seed mix for riparian areas.*
- (g) **Provision of a bonding program to secure performance of requirements imposed.** *A Building Permit will be required to construct the house. The county will be inspecting the work as it progresses as a standard part of the permit and an issuance of a final release by the county is required prior to occupancy of the house. This process assures all improvements are completed in accordance with the county approved plans.*
- (h) **Preservation of the hydrologic resources, character of the area and other conditions as necessary.** *All of the above measures are intended to preserve the hydrologic resources within the Sensitive Stream Zone buffer area as well as the character of the area. The house will be constructed to blend with the surrounding natural area and will be a 'pole and beam' construction with a natural wood appearance when done, not painted. The intent of this construction approach is blend the house into the natural topography of the site. Photos of this type of house construction are included with the submittal for review by the county.*

SPECIAL USE PERMIT FOR GRADING

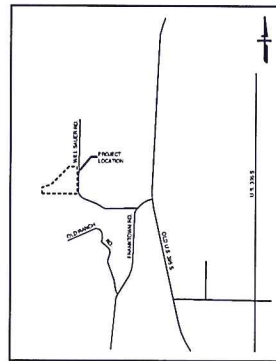
for
JACQUE & BETH LE FRIANT RESIDENCE

**55 Will Sauer Road
Washoe Valley, Nevada 89704
APN 172-010-06**

ABBREVIATIONS:

(SOME ABBREVIATIONS LISTED BELOW MAY NOT BE INCLUDED IN THIS PLAN SET)

AC	ASPHALTIC CONCRETE
ADA	AMERICANS WITH DISABILITIES ACT
APPROX.	APPROXIMATE
AP	ANGLE POINT
BC	BEGINNING OF CURVE
BP	BACKFLOW PREVENTOR
BLDG	BUILDING
BOS	BOTTOM OF STEP
BOW	BACK OF SIDEWALK
C&G	CURB AND GUTTER
C	CENTELINE
COMP	COMPACTION
CONC	CONCRETE
CU YD	CUBIC YARD
DO	DECOMPOSED GRANITE
DA	DIAMETER
DRG	DRAWING
ED	END OF CURVE
EL	ELECTRIC
ELEV	ELEVATION
EP	EDGE OF PAVEMENT
EX	EXISTING
FDC	FIRE DEPARTMENT CONNECTION
FF	FINISHED FLOOR
F.G.	FINISHED GRADE
FI	FIRE HYDRANT
FT	FEET
G	GAS LINE
GS	GROUND SHOT
HDPE	HIGH DENSITY POLYETHYLENE
HP	HIGH POINT
I	INVERT ELEVATION
IRR	IRRIGATION
MAX	MAXIMUM
M.D.D.	MAXIMUM DRY DENSITY
MIN	MINIMUM
N	NORTH
N	NECESSARY
OSP	OVERHEAD POWER
PCC	PORTLAND CEMENT CONCRETE
PCC	POST TENSIONED CONCRETE
POL	POLYMER VALVE
POL	POINT ON LINE
POL	POINT ON CURVE
PP	POWER POLE
PRC	POINT OF REVERSE CURVE
PVC	POLYVINYL CHLORIDE
R	RADIUS
RPP	REDUCED PRESSURE BACKFLOW ASSEMBLY
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
SHT	SHEET
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
TBC	TOP BACK OF CURB
TC	TOP OF CONCRETE
TCC	TOP OF CURB
TOW	TOP OF WALL
TS	TOP OF SLOPE
TYP.	TYPICAL
W	WATER
WV	WATER VALVE
W	WITH
UOP	UNDERGROUND POWER
VG	VALLEY GUTTER
'	FEET
%	PERCENT



VICINITY MAP
NOT TO SCALE

BASIS OF BEARING:

THE BASIS OF BEARING IS THE SOUTH LINE OF THE SE 1/4 OF SECTION 4, T.10N., R.10E., M.4N. AS SHOWN ON THE RECORD OF SURVEY FOR ORLAND HESSER, DOCUMENT NO. 2367842 OF THE WASHOE COUNTY RECORDER'S OFFICE (S 80°50'04"E, 1,340.78').

BASIS OF ELEVATION:

THE BASIS OF ELEVATION IS USGS BENCH MARK L387, ELEVATION 5,068.50'.

SHEET INDEX:

SHEET C1	=	TITLE SHEET
SHEET C2	=	NOTES & SPECIFICATIONS
SHEET C3	=	EXISTING SITE & EROSION CONTROL PLAN
SHEET C4	=	GRADING & DRAINAGE PLAN
SHEET C5	=	DETAILS

OWNER:

JACQUE & BETH LEFRIANT
CONTACT: BETH LEFRIANT
55 WILL SAUER ROAD
WASHOE COUNTY, NEVADA 89704

APPLICANT/CONTRACTOR:

STEVE BROWN CONSTRUCTION
CONTACT: STEVE BROWN
4170 LATIGO DRIVE
RENO, NEVADA 89519
(775) 544-9133

ENGINEER:

RESOURCE CONCEPTS, INC.
CONTACT: JOE CACIOPPO, P.E.
340 NORTH MINNESOTA STREET
CARSON CITY, NEVADA 89703
(775) 883-1600

Engineering • Surveying • Water Rights
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REVISION	DATE

SPECIAL USE PERMIT FOR GRADING
JACQUES & BETH LE FRIANT RESIDENCE
55 WILL SAUER ROAD, WASHOE VALLEY, NEVADA
APN 172-010-06

TITLE SHEET



Avoid cutting underground
utility lines. It's costly.
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YOU
DIG.**
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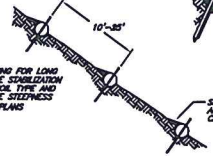
JOB NO.:	12-162-01
DATE:	AUG. 12, 2015
DESIGNED:	JEC
DRAWN:	MLM
CHECKED:	JEC

STRIP ROLLS MUST BE PLACED ALONG SLOPE CONTOURS

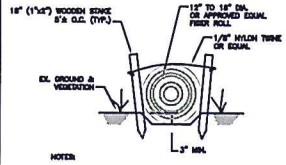


ADJACENT ROLLS SHALL OVERLAP (ONE END UPHILL, ONE END DOWNHILL) AND BE SECURED WITH STAPLES.

SPACING FOR LONG SLOPE SLOPE STABILIZATION ON SOIL TYPE AND SLOPE STEEPNESS PER PLAN



SEDIMENT ORGANIC MATTER, AND NUTRIENT SEEDS ARE CAPTURED BEHIND THE ROLLS.

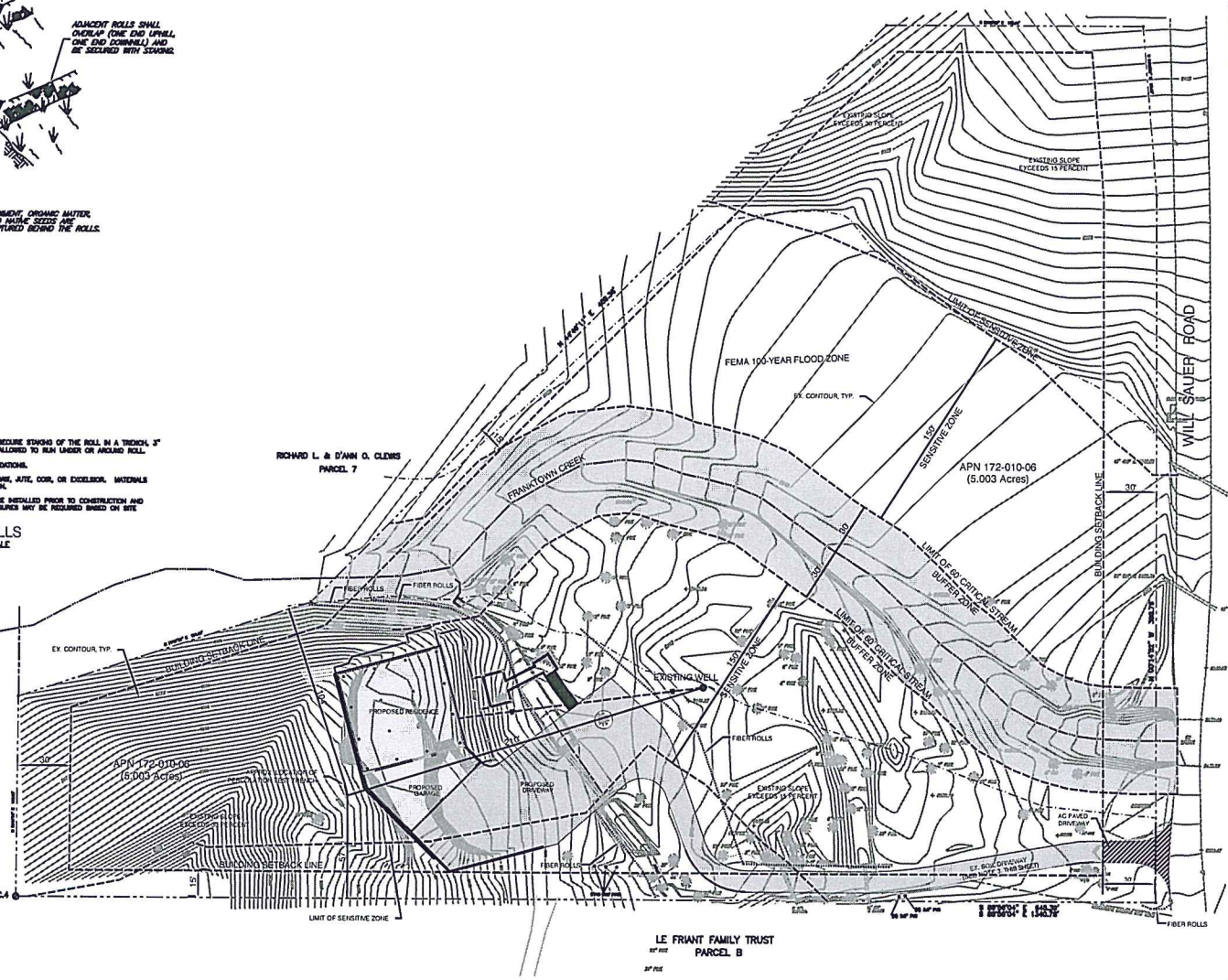


NOTES:

1. FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAPLING OF THE ROLL IN A TRENCH, 3" TO 4" DEEP, DOWN ON CONTOUR. STAPLING MUST NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL.
2. INSTALL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
3. FIBER MATERIAL SHALL BE BIODEGRADABLE NEED-FREE STRIPS, JUTE, COIR, OR EXCELORON. MATERIALS REQUIRE WASHOE COUNTY APPROVAL PRIOR TO INSTALLATION.
4. FIBER ROLLS SHOWN ARE THE MINIMUM REQUIRED, MUST BE INSTALLED PRIOR TO CONSTRUCTION AND MAINTAINED THROUGHOUT CONSTRUCTION. ADDITIONAL ROLLS MAY BE REQUIRED BASED ON SITE NEEDS.

FIBER ROLLS
NOT TO SCALE

U.S.A.
PARCEL 7



THONOR C & CATHERINE C FARM
PARCEL 2

DAVIS FAMILY TRUST
PARCEL 1

RICHARD L. & D'ANN O. OLDS
PARCEL 7

LE FRANT FAMILY TRUST
PARCEL B

SAMUEL JR. & KEALYN CHACON
PARCEL A

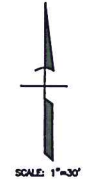
APN 172-010-06
(5.003 Acres)

APN 172-010-06
(5.003 Acres)

810-250-2555 CAP
4.3
9 470

NOTE:

1. TREES IMPACTED BY THE PROPOSED CONSTRUCTION ARE PROPOSED FOR REMOVAL, AS PART OF THIS PROJECT (3 81/2" TO 24" DBH AND EXIST 8" TO 12" DBH).
2. UNDERLINE SHOWN FROM WELL TO RESIDENCE IS APPROXIMATE.
3. THE EXISTING DRIVEWAY WAS CONSTRUCTED PRIOR TO OWNERSHIP BY THE CURRENT OWNERS. FOR ACCESS TO THE EXISTING DRIVEWAY WHICH FEEDS DOWNSTREAM WATER RIGHTS CHANNEL. THE EXISTING DRIVEWAY WILL BE GRADDED AND PAVED TO ADDITIONAL DISTANCE(S).
4. THE EXISTING DRIVEWAY BEYOND THE PROPOSED AC PAVING SHOWN, WILL EITHER BE PAVED OR BLENKAFED BY PARCEL.
5. THERE ARE NO EXISTING STRUCTURES WITHIN 10 FEET OF THE SUBJECT PARCEL.
6. NO CONSTRUCTION IS PROPOSED WITHIN THE CRITICAL STREAM ZONE OR FEMA 100-YEAR FLOOD ZONE.
7. SIGNIFICANT HAZARDOUS RESOURCES (GASOLINE AND SEWERAGE BUFFER ZONES) ARE DIMENSIONED ON THIS SHEET, AND SHOWN ON THE ATTACHED COLOR FIGURE #1.



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Zephyr Cove, NV 89418 • 775-588-7500



REVISION	DATE

SPECIAL USE PERMIT FOR GRADING, JACKING & BEARING ERECTION, NEVADA
55 WILL SAUER ROAD, WASHOE VALLEY, NEVADA
APN 172-010-06

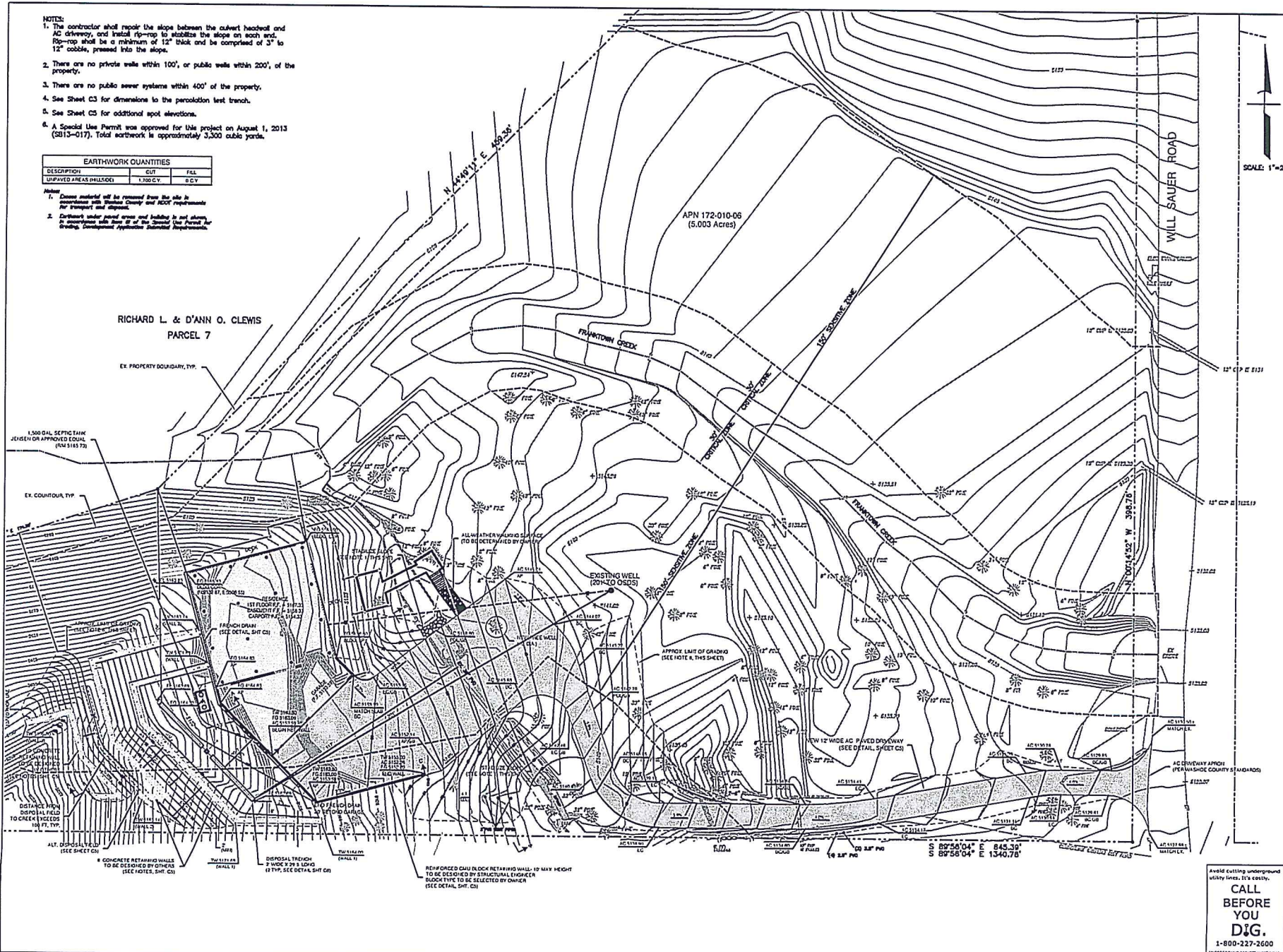


JOB NO.: 12-102-01
DATE: AUG. 12, 2015
DESIGNED: JEC
DRAWN: MLM
CHECKED: JEC
SHEET C3 OF 5

- NOTES:**
- The contractor shall repair the slope between the culvert headwall and AC driveway, and install rip-rap to stabilize the slope on each end. Rip-rap shall be a minimum of 12" thick and be comprised of 3" to 12" cobble, pressed into the slope.
 - There are no private wells within 100', or public wells within 200', of the property.
 - There are no public sewer systems within 400' of the property.
 - See Sheet C3 for dimensions to the percolation test trench.
 - See Sheet C3 for additional spot elevations.
 - A Special Use Permit was approved for this project on August 1, 2013 (SB13-017). Total earthwork is approximately 3,300 cubic yards.

EARTHWORK QUANTITIES		
DESCRIPTION	CUT	FILL
UNPAVED AREAS (HILLSLOPE)	1,300 C.Y.	0 C.Y.

- Notes:**
- Excavated material will be removed from the site in accordance with Placer County and RCDF requirements for transport and disposal.
 - Earthwork under paved areas and building is not shown. It corresponds with that of the Special Use Permit for Grading, Development, Agriculture, and/or Recreational.



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www.rri-rv.com
Carson City
1015 J. Howard St., Ste. 413
Carson City, NV 89401
775.683.1800



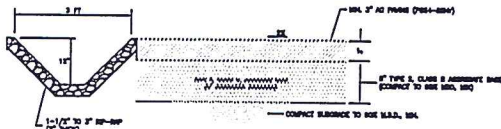
DATE	REVISION

SPECIAL USE PERMIT FOR GRADING
RESIDENCE
55 WILL SAUER ROAD, WASHOE VALLEY, NEVADA
APN 172-010-06
GRADING & DRAINAGE PLAN

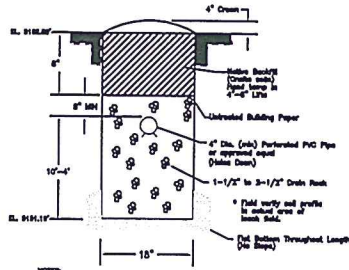


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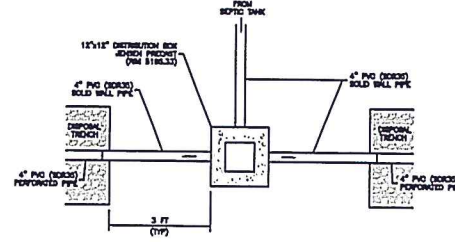
JOB NO.: 12-162-01
DATE: AUG. 12, 2013
DESIGNED: JEC
DRAWN: ULM
CHECKED: JEC
SHEET C4 OF 5



TYPICAL AC PAVEMENT SECTION
NO SCALE



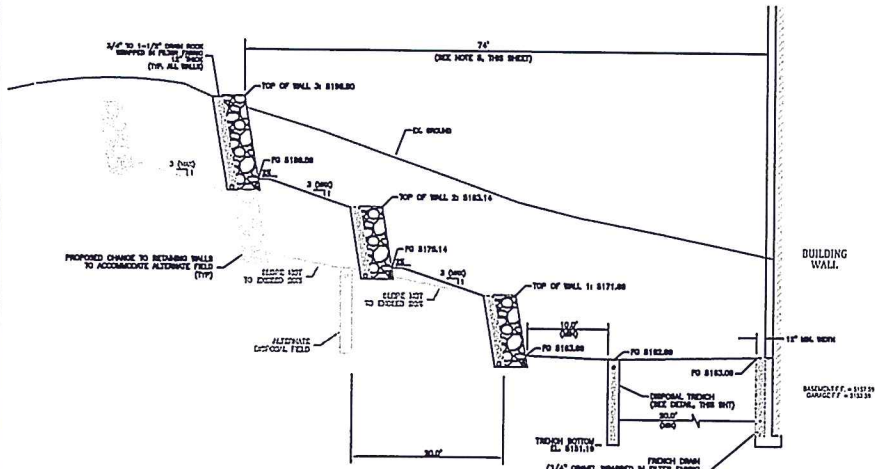
DISPOSAL TRENCH
NO SCALE



DISTRIBUTION BOX & PIPING
NO SCALE

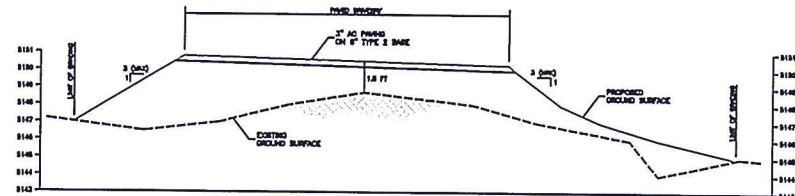
- NOTES:
1. All ODSB work shall be in accordance with Washoe County regulations.
 2. Use 4\"/>

TYPICAL ODSB DETAIL
NO SCALE

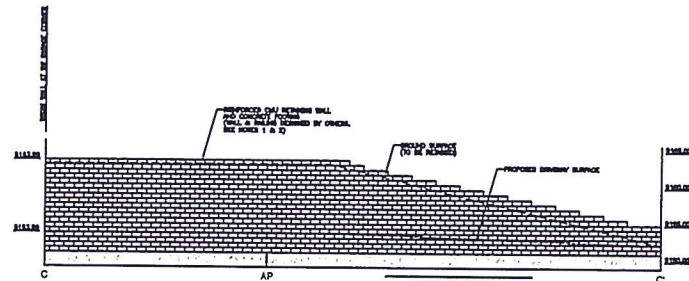


SECTION A-A
TYPICAL GRAVITY WALL SECTION
NO SCALE

- NOTES:
1. ALL WALLS SHOWN ARE FOR LAYOUT PURPOSES ONLY. ALL WALLS SHALL BE CONSTRUCTED BY A LICENSED CONTRACTOR. ACTUAL LAYOUT AND SIZE OF WALLS MAY VARY SLIGHTLY ON SITE.
 2. ALL WALLS BEHIND DRIVEWAYS SHALL BE CONSTRUCTED BY A LICENSED CONTRACTOR. DRIVEWAY SHALL BE CONSTRUCTED TO THE UNIMPAVED SURFACE. ON THESE PLANS WALLS MAY BE LARGER FOR ANY WALLS ASSOCIATED WITH THIS PROJECT.
 3. THE ALTERNATE DISPOSAL FIELD IS SHOWN FROM ABOVE WITH THE CONNECTIONS SHOWN TO THE RETAINING WALLS.
 4. AN ODSB, A PLAN WILL BE REQUIRED TO REMOVE THE ALTERNATE DISPOSAL FIELD IN THE EVENT THE OWNER elects to REMOVE THE ALTERNATE DISPOSAL FIELD TO ACCOMMODATE AN ALTERNATE DISPOSAL FIELD.
 5. LAYOUT DIMENSIONS OF OLD AND NEW WALLS ARE LIMITED TO THE PROPOSED WORK ON SHEET ON AND THE RELEASE UNDER THE RELEASE AND APPROXIMATELY 7\"/>



SECTION B-B
DRIVEWAY SECTION
NO SCALE



- NOTES:
1. RETAINING WALL IS SHOWN FOR INFORMATION ONLY. WALL SHOULD BE CONSTRUCTED BY A LICENSED CONTRACTOR. NOT ALL THE LICENSED AND REGISTERED ENGINEERS ON THESE PLANS WILL NOT BE LIABLE FOR ANY WALLS ASSOCIATED WITH THIS PROJECT.
 2. RETAINING WALL SHALL BE CONSTRUCTED WITH REINFORCING BARS TO BE CONSTRUCTED BY STRUCTURAL ENGINEER WITH DETAILED RECONSTRUCTION PROVIDED BY A LICENSED STRUCTURAL ENGINEER.

SECTION C-C
REINFORCED CMU BLOCK RETAINING WALL
NO SCALE

Avoid cutting underground utility lines. It's costly.

CALL BEFORE YOU DIG.

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REVISION	DATE

SPECIAL USE PERMIT FOR GRADING
JACQUES & BETH LE FRANK REBORN
55 WILL SAUER ROAD, WASHOE VALLEY, NEVADA
APN 122-010-05



JOB NO.: 12-152-01
DATE: AUG. 12, 2015
DESIGNED: JEC
DRAWN: MLL
CHECKED: JEC

SHEET C5 OF 5