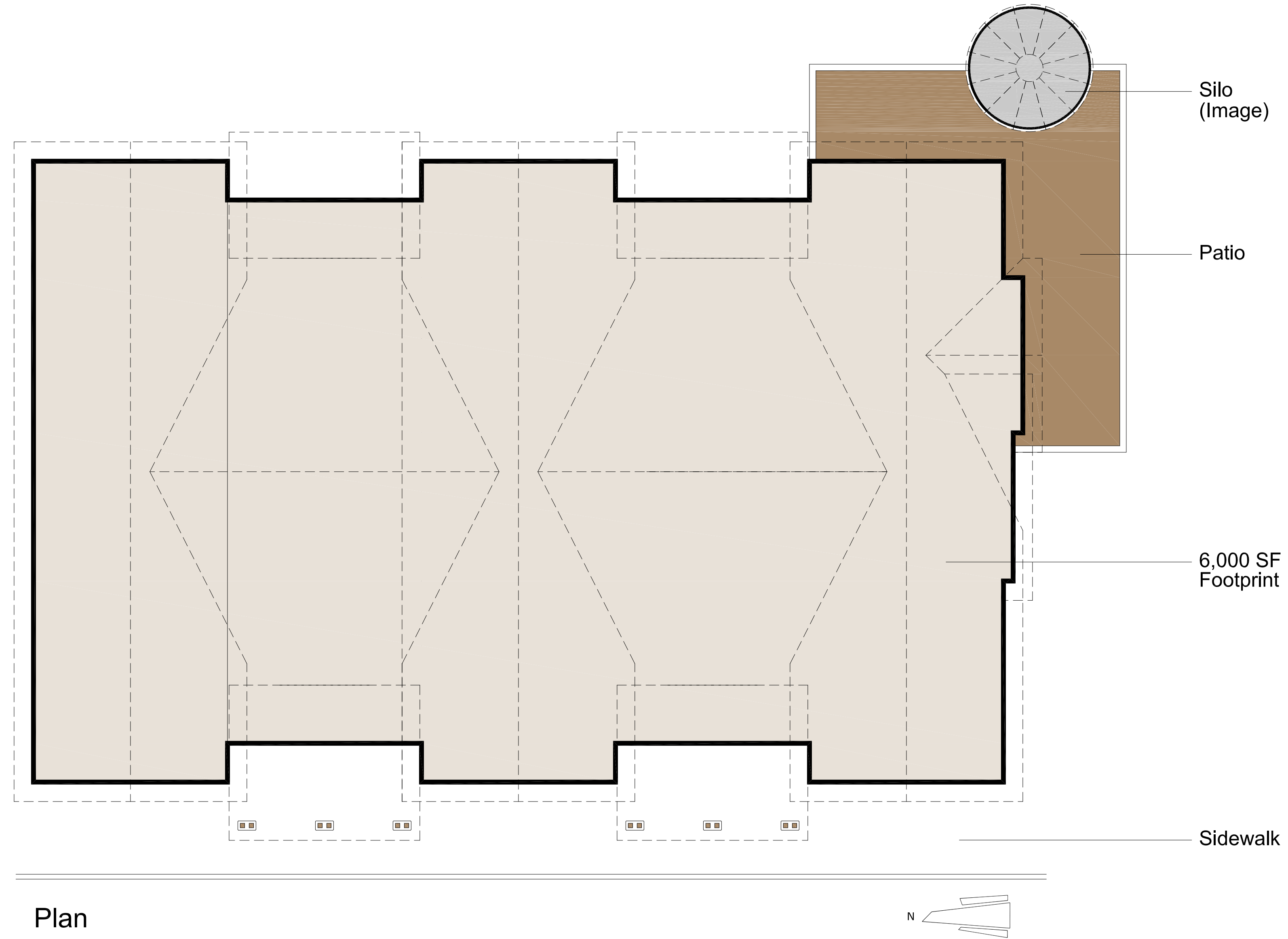


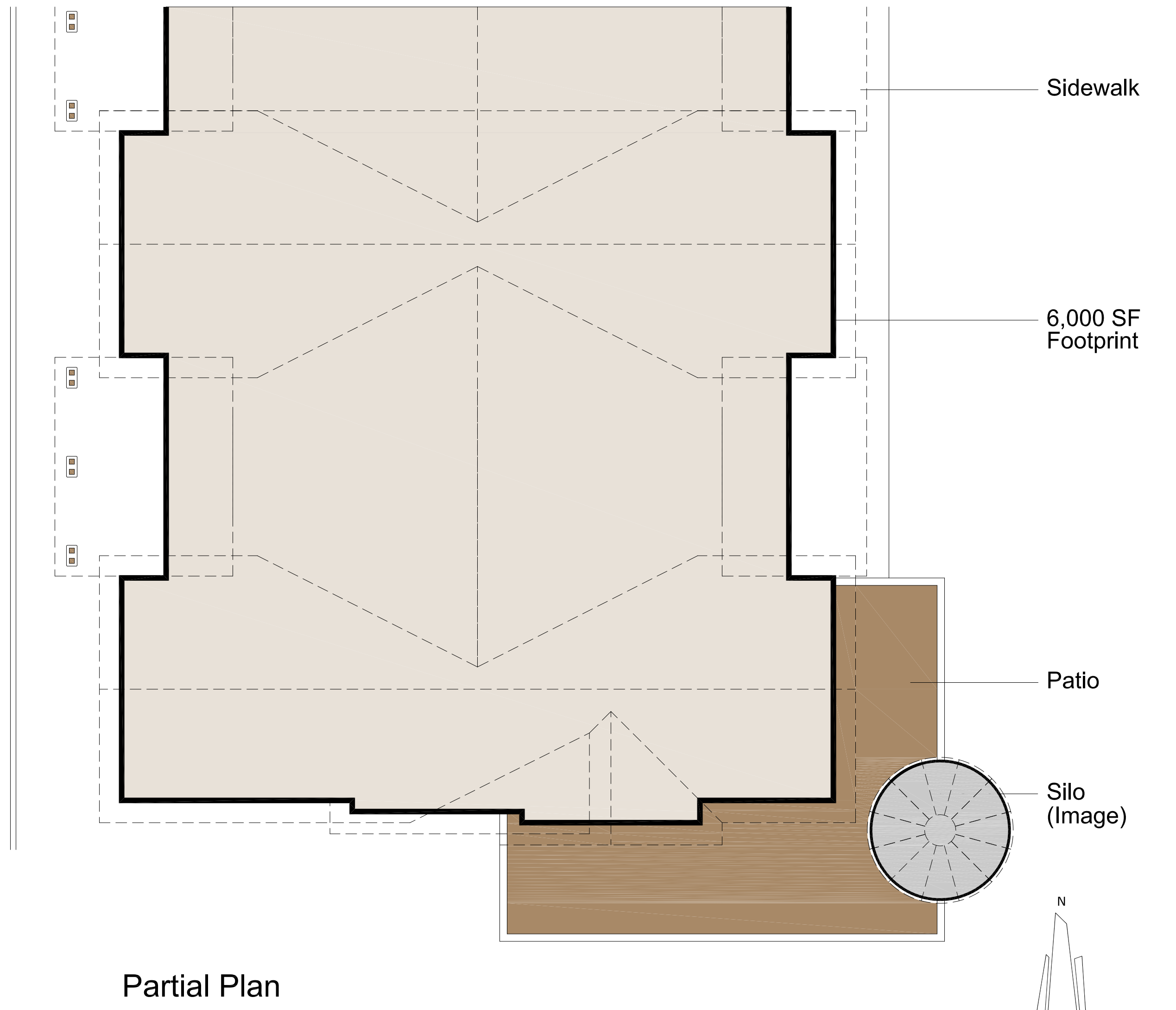
Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Development staff at 775.328.3600.

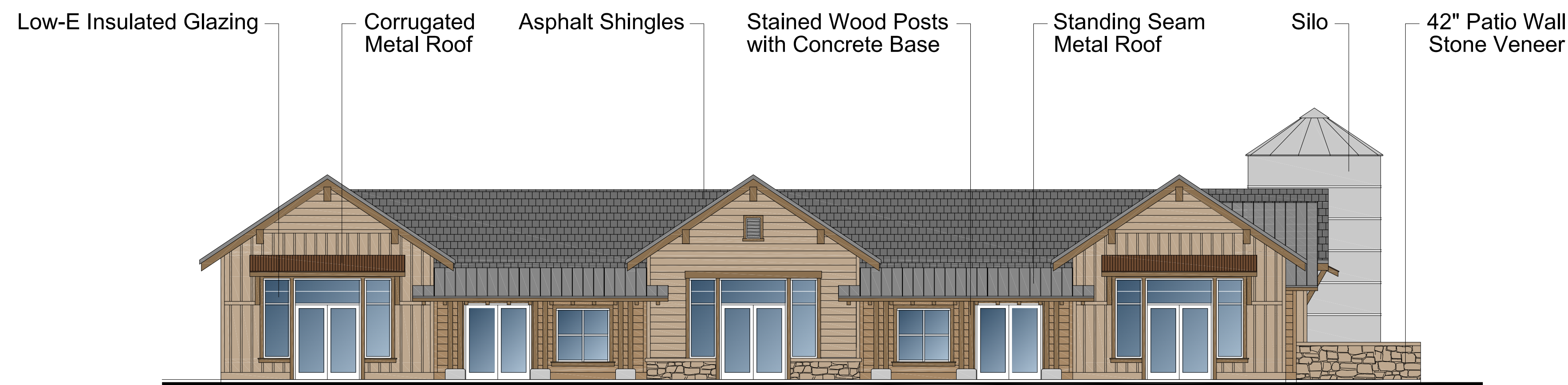
Project Information		Staff Assigned Case No.: _____	
Project Name: Crossbow Neighborhood Commercial			
Project Description: Requesting approval of exterior revisions (aesthetic) for previously approved SUP for Commercial Center at Arrowcreek and Crossbow.			
Project Address: 2500 and 2540 Crossbow Court, Reno			
Project Area (acres or square feet): 79,160 sq. ft. or 1.82 acres			
Project Location (with point of reference to major cross streets AND area locator): Northeast corner of Arrowcreek Parkway & Crossbow Court			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No(s):	Parcel Acreage:
152-921-01	0.74	152-921-02	1.07
Section(s)/Township/Range: PORTION OF SW 1/4 SECTION 24 T18N - R19E			
Indicate any previous Washoe County approvals associated with this application: Case No.(s). #SB14-013			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: Helvetica CTV Crossbow, LLC		Name: Barrett Donovan	
Address: 5927 Balfour Court, Suite 208		Address: 10451 Double R Blvd	
Carlsbad, CA	Zip: 92008-7377	Reno, Nevada	Zip: 89521
Phone: (310) 575-3301	Fax: 310-496-0498	Phone: 775-824-9988	Fax: 775-824-9986
Email: cmestler@helveticagroup.com		Email: barrett@tdg-inc.com	
Cell:	Other:	Cell:	Other:
Contact Person: Chad Mestler		Contact Person: Barrett Donovan	
Applicant/Developer:		Other Persons to be Contacted:	
Name: Helvetica CTV Crossbow, LLC		Name:	
Address: 5927 Balfour Court, Suite 208		Address:	
Carlsbad, CA	Zip: 92008-7377		Zip:
Phone: (858) 509-3496	Fax:	Phone:	Fax:
Email: dgash@capitalvantagerei.com		Email:	
Cell:	Other:	Cell:	Other:
Contact Person: Dave Gash		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	



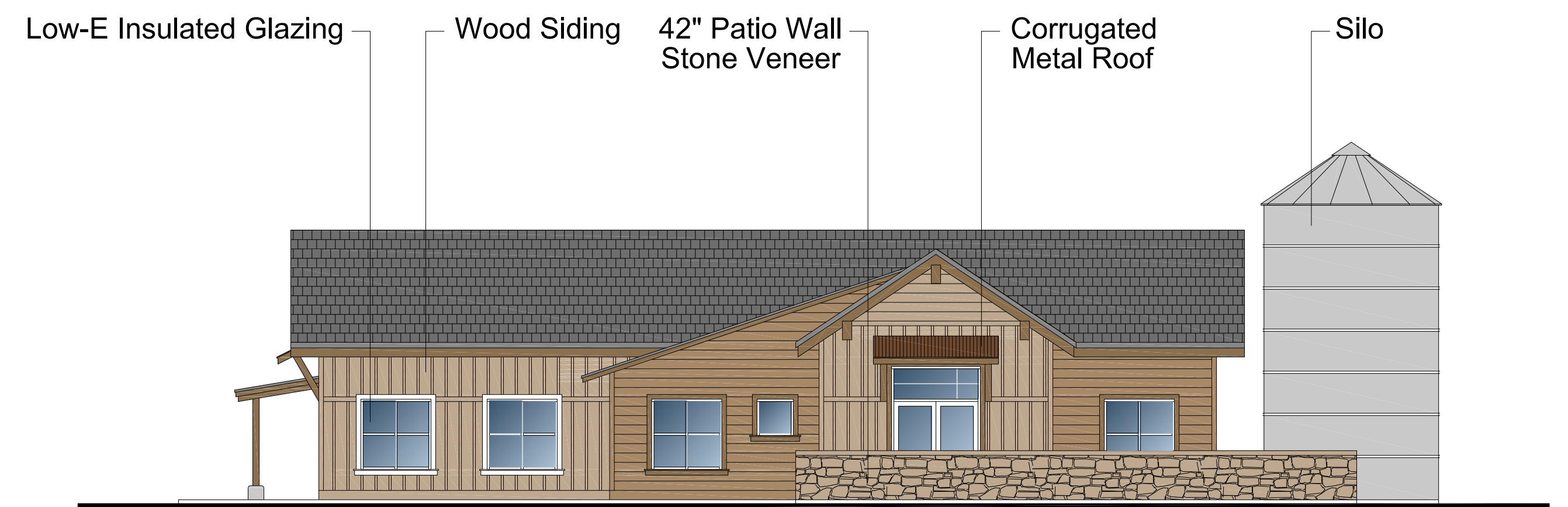
Plan



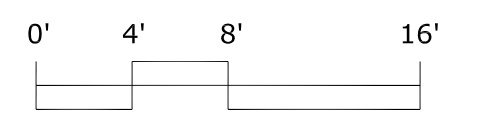
Partial Plan



West Elevation



South Elevation



CROSSBOW COURT

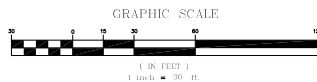
Conceptual Elevations

Washoe County Nevada

05.11.15



10451 Double R Boulevard
Reno, NV 89521
tel 775-824-9988
www.tectonicsdesigngroup.com
fax 775-824-9986



PROJECT INFORMATION

THE PROPERTY (APN: 152-921-01 & 02) CONTAINS 1.82± ACRES, AND IS SITUATE IN THE SOUTHWEST 1/4 OF SECTION 24, T18N, R19E, M.D.M.

79,156 square foot site will contain:
±12,000 (15%) square foot building areas (two buildings)
±24,718 (31%) square feet landscaping/undisturbed
±42,438 (54%) square feet access/parking/pedestrian facilities

PARKING: PER WC CODE, GC: 1 each per 1,000 square feet

Required parking: 60 spaces

PARKING PROVIDED: 60 SPACES, 3 OF WHICH ARE VAN ACCESSIBLE

EXISTING ZONING: LOW DENSITY SUBURBAN (LDS)

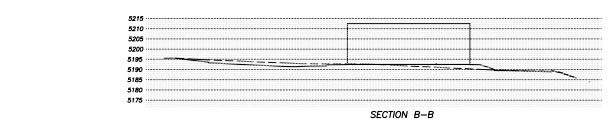
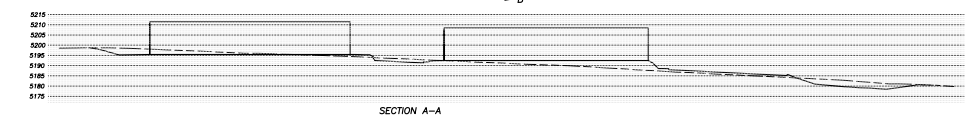
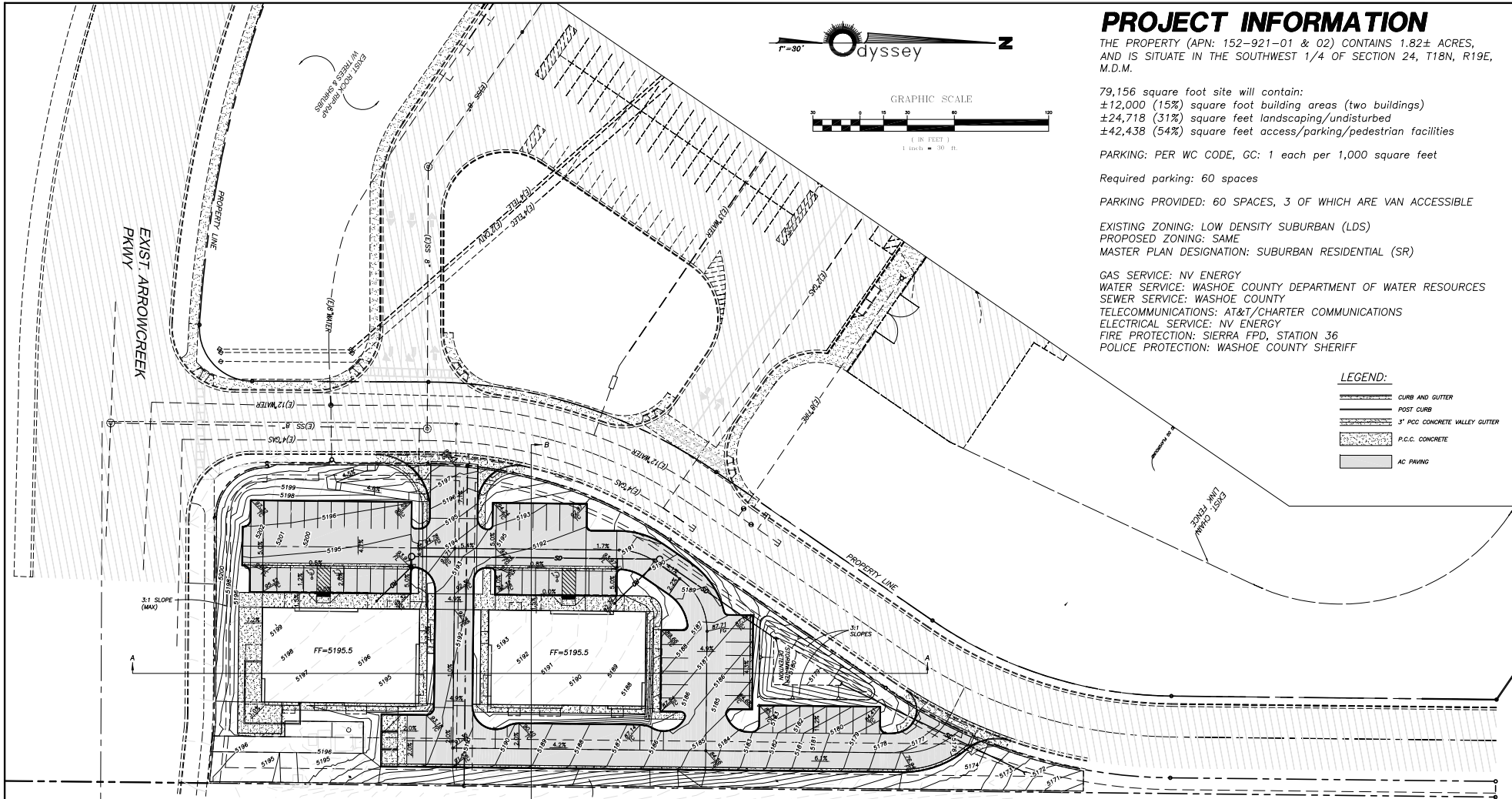
PROPOSED ZONING: SAME

MASTER PLAN DESIGNATION: SUBURBAN RESIDENTIAL (SR)

GAS SERVICE: NV ENERGY
WATER SERVICE: WASHOE COUNTY DEPARTMENT OF WATER RESOURCES
SEWER SERVICE: WASHOE COUNTY
TELECOMMUNICATIONS: AT&T/CHARTER COMMUNICATIONS
ELECTRICAL SERVICE: NV ENERGY
FIRE PROTECTION: SIERRA FPD, STATION 36
POLICE PROTECTION: WASHOE COUNTY SHERIFF

LEGEND:

- CURB AND GUTTER
- POST CURB
- 3" PCC CONCRETE VALLEY GUTTER
- P.C.C. CONCRETE
- AC PAVING

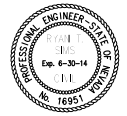


DATE	DESCRIPTION	BY	APP'D
JUNE 16, 2014			

CROSSBOW COURT NEIGHBORHOOD COMMERCIAL CENTER
SPECIAL USE PERMIT
PRELIMINARY GRADING
 WASHOE COUNTY NEVADA

800 ROBERTA LANE, SUITE 104, SPARKS, NV 89430
 (775) 358-3300 FAX (775) 358-3320

odyssey
 ENGINEERING
 INCORPORATED



SCALE
 HORIZ. 1"=30'
 VERT. N.T.S.
 JOB NO.
 X

SHEET
G-1
 OF
 2



PLANT LIST

<p>SYM.</p>     	<p>BOTANICAL NAME/COMMON NAME</p> <p>DECIDUOUS TREES <i>Acer platanoides</i>/Norway Maple <i>Fraxinus pennsylvanica</i> /Patmore Ash <i>Quercus coccinea</i>/Scarlet Oak</p> <p>NARROWER/COLUMNAR TREES <i>Acer platanoides</i> /Columnar/Columnar Norway Maple <i>Acer rubrum</i> /Bonhall/Bonhall Maple <i>Corylus betulus</i> /Fastigiata/Columnar Hornbeam <i>Pyrus calleryana</i> /Glen's Form/Chanticleer Pear</p> <p>ACCENT TREES <i>Malus</i> /Spring Snow/Spring Snow (Fruitless) Crabapple <i>Pyrus calleryana</i> /Redspire/Redspire Pear</p> <p>EVERGREEN TREES <i>Picea pungens</i>/Blue Colorado Spruce <i>Pinus nigra</i>/Austrian Pine</p> <p>NATIVE/ADAPTED PLANT PALETTE <i>Artemisia tridentata</i>/Big Sagebrush <i>Cercocarpus ledifolius</i>/Gulf Leaf Mountain Mahogany <i>Chrysothamnus nauseosus</i>/Rabbit Brush <i>Elaeagnus commutata</i>/Silverberry <i>Forestiera neomexicana</i>/New Mexico Privet <i>Panicum virgatum</i>/Switchgrass <i>Pinus edulis</i>/Mexican Blue Pine <i>Pinus strobus</i>/Norway Spruce <i>Quercus laevis</i>/Live Oak <i>Sida acuta</i>/Silver Cholla <i>Yucca filamentosa</i>/Adams Needle</p> <p>ORNAMENTAL PLANT PALETTE <i>Forsythia x intermedia</i>/Forsythia <i>Lonicera japonica</i> /Nellie's Honeyuckle <i>Juniperus chinensis</i> /Sea Green/S.S. Juniper <i>Juniperus sabina</i> /Tamarisifolia/Tamarix Juniper <i>Panicum virgatum</i>/Switch Grass <i>Pinus mugo</i> /Mugo Pine <i>Pinus distans</i> /Dwarf Purple-leaf Plum <i>Rhus aromatica</i> /Bro-Low/Bro-Low Fragrant Sumac <i>Rosa x Noire</i> /Red Groundcover Rose</p>
---	--

GENERAL NOTES

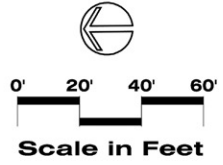
- 1) ALL PLANTING AND IRRIGATION SHALL BE INSTALLED PER LOCAL GOVERNING CODES.
 - 2) FINAL PLANT SELECTION AND LAYOUT WILL BE BASED ON SOUND HORTICULTURAL PRACTICES RELATING TO MICRO-CLIMATE, SOIL, AND WATER REGIMES. ALL TREES WILL BE STAKED SO AS TO REMAIN UPRIGHT AND PLUMB FOLLOWING INSTALLATION. PLANT SIZE AND QUALITY AT TIME OF PLANTING WILL BE PER CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1-1990).
 - 3) ALL SHRUB BEDS WILL RECEIVE 4" DEPTH MULCH WITH WEED CONTROL.
 - 4) ALL LANDSCAPING WILL BE AUTOMATICALLY IRRIGATED. CONTAINER PLANTINGS WILL BE DRIP IRRIGATED BASED ON THE SPECIFIC HORTICULTURAL REQUIREMENTS OF EACH SPECIES. A REDUCED-PRESSURE-TYPE BACKFLOW PREVENTOR WILL BE PROVIDED ON THE IRRIGATION SYSTEM AS REQUIRED PER CODE.
- NOTE: PLAN IS CONCEPTUAL. PLANT QUANTITIES INDICATED ARE PER WASHOE COUNTY CODE REQUIREMENTS. PLANT LOCATIONS AND SPECIES SELECTION SHALL BE DETERMINED UPON DEVELOPMENT OF THE FINAL CONSTRUCTION DOCUMENTS. EXISTING TREES ON SITE THAT ARE OUTSIDE OF CONSTRUCTION LIMITS AND CAN BE PROTECTED DURING CONSTRUCTION SHALL REMAIN.

LANDSCAPE DATA

PROJECT AREA: 76,156.4 SF (1.74 ACRES)
 ZONING: COMMERCIAL (SOUTHWEST TRUCKEE MEADOWS AREA PLAN)
 REQUIRED LANDSCAPE AREA: 15,231 SF (20% OF PROJECT AREA)
 PROVIDED LANDSCAPE AREA: 15,231 SF MINIMUM

TREES REQUIRED: 44
 12 STREET TREES (1 STREET TREE 50' O.C.)
 8 TREES ARE TO BE ALONGSIDE CROSSBOW COURT AND
 4 TREES ARE TO BE ALONGSIDE ARROWCREEK PARKWAY
 6 PARKING AREA TREES
 (1 TREE PER 10 PARKING SPACES, 60 SPACES PROVIDED)
 26 BUFFER TREES (1 TREE/20 LF)

TREES PROVIDED: 44



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 Rev. 06/14 11/13 West Normal Lane
 Reno, NV 89509 (775) 323-2223 NV RLA 8400
 www.laastudio.com

LA Studio

the landscape architecture studio

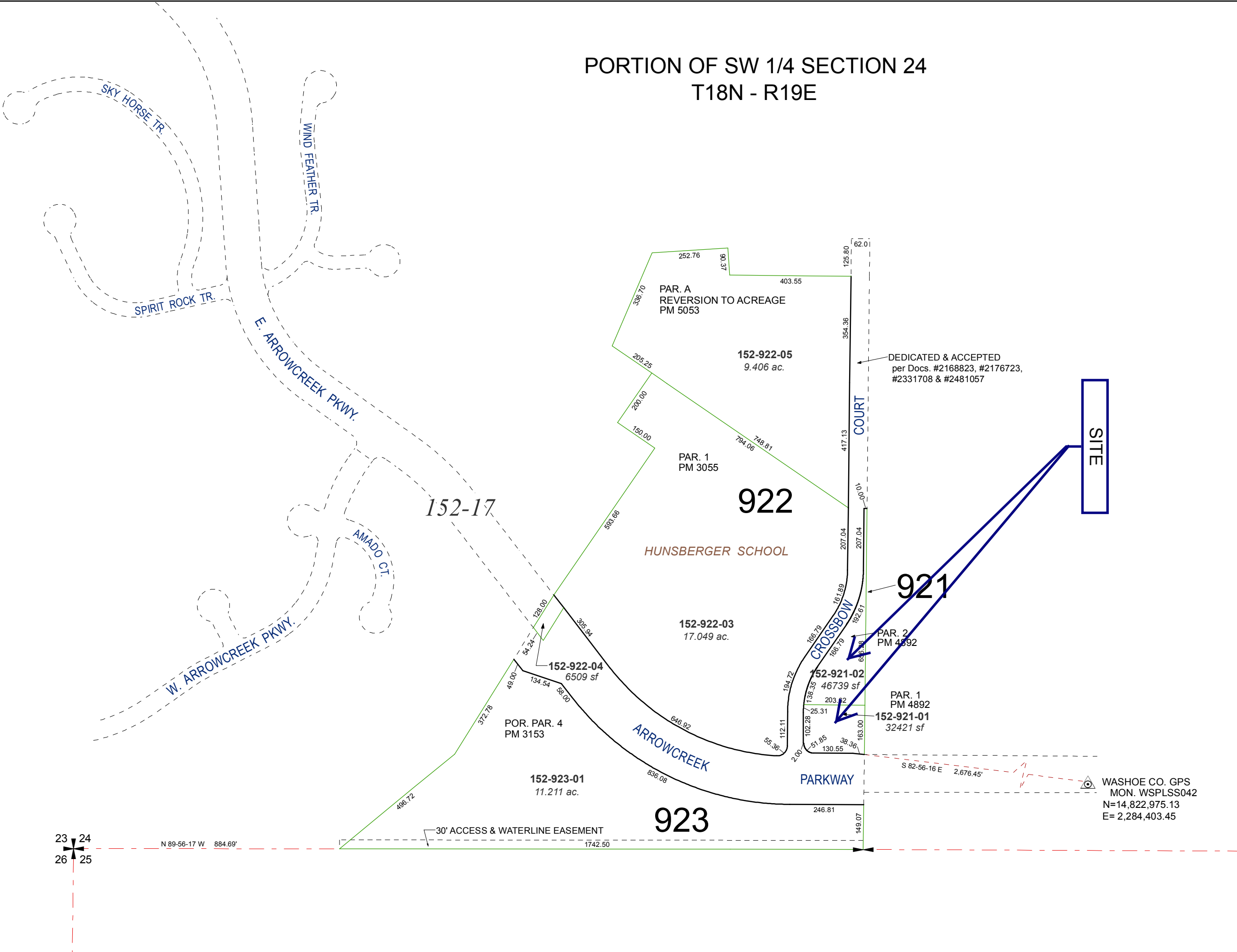
Preliminary Landscape Plan
NEIGHBORHOOD CENTER
 at Crossbow Corner

New York
 Washoe County

No.	Revision Date

LA No. 100-908-09-14
Designed: JPH
Drawn: JPH
Checked: RPH
CAD File: L1-100-908
Date: 6/8/14
Sheet L1 of 1

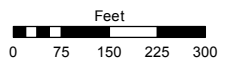
PORTION OF SW 1/4 SECTION 24
T18N - R19E



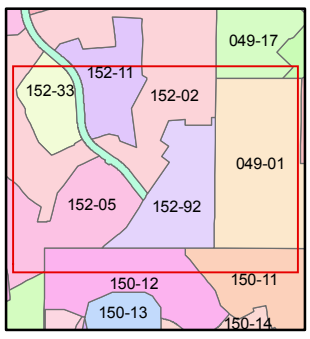
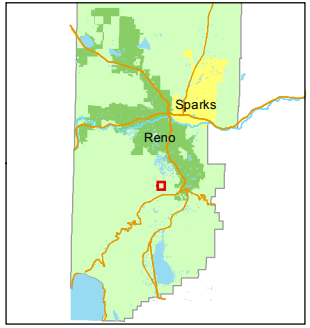
Assessor's Map Number
152-92

STATE OF NEVADA
WASHOE COUNTY
ASSESSOR'S OFFICE
Joshua G. Wilson, Assessor

1001 East Ninth Street
Building D
Reno, Nevada 89512
(775) 328-2231



1 inch = 300 feet

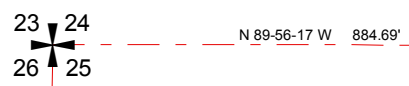


created by: KSB 10/20/11

last updated: _____

area previously shown on map(s)
152-02

NOTE: This map was prepared for the use of the Washoe County Assessor for assessment and illustrative purposes only. It does not represent a survey of the premises. No liability is assumed as to the sufficiency or accuracy of the data delineated hereon.



WASHOE CO. GPS
MON. WSPLSS042
N=14,822,975.13
E= 2,284,403.45

Site Photo looking from
Arrowcreek/Crossbow Intersection



SITE

© 2014 Google
© 2014 Google

Google earth

Google earth

feet
meters



Site Photo looking from Crossbow North of
Hunsberger North Driveway



SITE

© 2014 Google
© 2014 Google

Google earth

Google earth

feet
meters

10

5



PROJECT INFORMATION

THE PROPERTY (APN: 152-921-01 & 02) CONTAINS 1.82± ACRES, AND IS SITUATE IN THE SOUTHWEST 1/4 OF SECTION 24, T18N, R19E, M.D.M.

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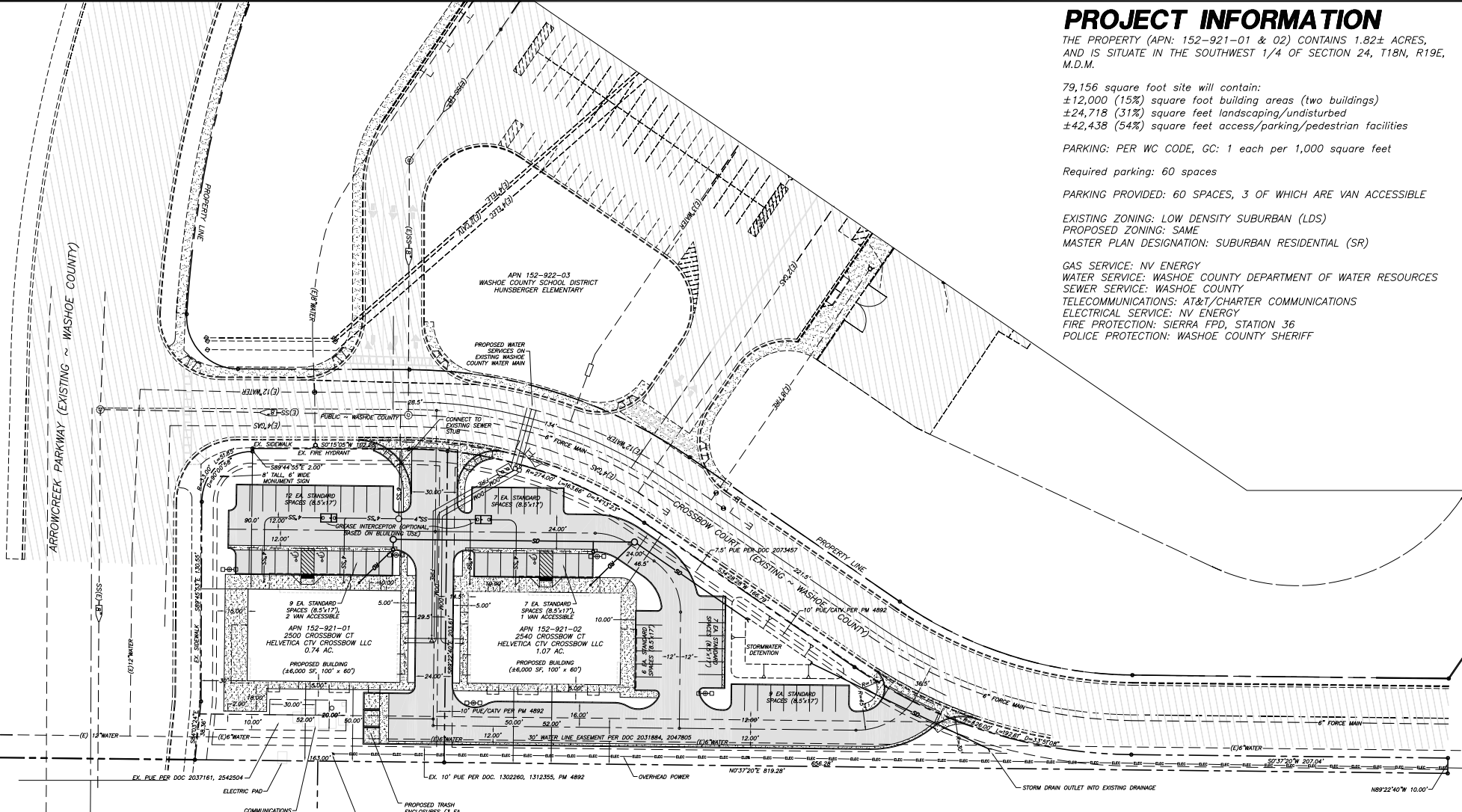
PARKING: PER WC CODE, GC: 1 each per 1,000 square feet

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EXISTING ZONING: LOW DENSITY SUBURBAN (LDS)
 PROPOSED ZONING: SAME
 MASTER PLAN DESIGNATION: SUBURBAN RESIDENTIAL (SR)

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 SEWER SERVICE: WASHOE COUNTY
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 POLICE PROTECTION: WASHOE COUNTY SHERIFF

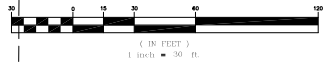


LEGEND:

- CURB AND GUTTER
- POST CURB
- 3" PCC CONCRETE VALLEY GUTTER
- P.C.C. CONCRETE
- AC PAVING
- SITE LIGHT - 25' POLE, DARK SKY RATED, FULLY SHIELDED

APN 049-010-28
 UNITED STATES OF AMERICA

GRAPHIC SCALE



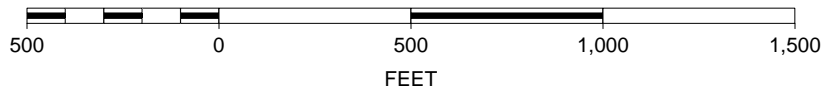
DATE:	JUNE 16, 2014	BY:	JAPPD
DRAWN BY:	EFTS	DISCRESSION:	
DESIGNED BY:	EFTS	DATE:	
CHECKED BY:	EFTS	REV:	
CROSSBOW COURT NEIGHBORHOOD COMMERCIAL CENTER SPECIAL USE PERMIT SITE PLAN			
WASHOE COUNTY NEVADA			
895 HARRIS LANE, SUITE 311, SPARKS, NV 89439 (775) 358-5003 FAX (775) 359-4329 WWW.ODYSSEYENGINEERING.COM			
SCALE	HORIZ. 1" = 30'		
	VERT. N.T.S.		
JOB NO.	X		
SHEET	S-1		
OF	2		

SPECIAL USE PERMIT 6/16/2014
 H:\KRATER ARROWCREEK\CROSSBOW SUP SITE.dwg

Crossbow Neighborhood Center - Aerial Photo



SCALE 1 : 6,000



Vicinity Map

