

## Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Development staff at 775.328.3600.

<b>Project Information</b>		Staff Assigned Case No.: _____	
Project Name: Denny Barn			
Project Description: 50' by 75' metal building			
Project Address: 500 Washoe Dr, Washoe Valley Nv 89704			
Project Area (acres or square feet): 3750 sq. feet			
Project Location (with point of reference to major cross streets <b>AND</b> area locator): Washoe Drive and Lake Drive			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No(s):	Parcel Acreage:
050-235-06	1.019		
Section(s)/Township/Range: PTN. SW1/4 SCE. 24 T17N-R19E			
<b>Indicate any previous Washoe County approvals associated with this application:</b>			
Case No.(s). None			
<b>Applicant Information</b> (attach additional sheets if necessary)			
<b>Property Owner:</b>		<b>Professional Consultant:</b>	
Name: Wayne Denny		Name: Applegate Design	
Address: 4350 Sleepy Hollow Dr		Address: 1718 Fieldcrest Drive	
Reno	Zip: 89502	Sparks, Nv	Zip: 89434
Phone: 775-525-6498	Fax:	Phone: 775-453-0063	Fax:
Email: wdenny34@gmail.com		Email: russ_apple@yahoo.com	
Cell: 775-232-5162	Other:	Cell: 775-453-0063	Other:
Contact Person: Wayne Denny		Contact Person: Russ Applegate	
<b>Applicant/Developer:</b>		<b>Other Persons to be Contacted:</b>	
Name: Owner Builder		Name:	
Address: 4350 Sleepy Hollow Dr		Address:	
Reno	Zip: 89502		Zip:
Phone: 775-525-6498	Fax:	Phone:	Fax:
Email: wdenny34@gmail.com		Email:	
Cell: 775-232-5162	Other:	Cell:	Other:
Contact Person: WAYne Denny		Contact Person:	
<b>For Office Use Only</b>			
Date Received:		Planning Area:	
Initial:		Master Plan Designation(s):	
County Commission District:		Regulatory Zoning(s):	
CAB(s):			

# Administrative Permit Application Supplemental Information

(All required information may be separately attached)

Chapter 110 of the Washoe County Code is commonly known as the Development Code. Specific references to administrative permits may be found in Article 808, Administrative Permits.

1. What is the type of project or use being requested?

Metal Building

2. What currently developed portions of the property or existing structures are going to be used with this permit?

There is an single family house 1771 sq feet 3-2-2

3. What improvements (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.) will have to be constructed or installed and what is the projected time frame for the completion of each?

Build the metal building 50' x 75'  
Driveway to front of building  
Parking in front of building about five parking spaces  
Parking area to extent out from the building 20 feet  
Power supply from back SE corner of lot  
Water from existing well  
Sanitation to use existing septic to house  
Sign? On north wall of a locomotive (see picture)  
  
Construction 9 months time wind permitting

4. What is the intended phasing schedule for the construction and completion of the project?

Start to finish 9 months

Dirt work within 3 months of building permit  
Concrete within 3 months of finish of dirt work  
Erection of building and finish next 3 months

But I would like to build this in 90 to 120 days

5. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

This is an one of acre land basically level with low density zoning, horses allowed. This fits in with the neighboring properties (see pictures) all having out buildings.

6. What are the anticipated beneficial aspects or effects your project will have on adjacent properties and the community?

The project will raise the value other properties or at least not be a deterrent to other property values.

7. What will you do to minimize the anticipated negative impacts or effects your project will have on adjacent properties?

If requested, will landscape property line to block or lessen the visual impacts. Same with road property line.



8. Please describe operational parameters and/or voluntary conditions of approval to be imposed on the administrative permit to address community impacts.

Operational Parameters

This building is for personal use, I will say that I'm an inventor of low tech products which leads to research and development projects.

1/3 storage area

1/3 shop equipment area

1/3 Project area

9. How many improved parking spaces, both on-site and off-site, are available or will be provided? (Please indicate on site plan.)

four on-site and none off-site

10. What types of landscaping (e.g. shrubs, trees, fencing, painting scheme, etc.) are proposed? (Please indicate location on site plan.)

Paint scheme >> Beige with dark green trim.

11. What type of signs and lighting will be provided? On a separate sheet, show a depiction (height, width, construction materials, colors, illumination methods, lighting intensity, base landscaping, etc.) of each sign and the typical lighting standards. (Please indicate location of signs and lights on site plan.)

No signs with words, see picture.

Lighting 2 each 150 watt fixtures by roll-up doors for outdoor lighting.



12. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the administrative permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input type="checkbox"/> No
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13. Utilities:

a. Sewer Service	Septic
b. Water Service	Well

For most uses, the Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required:

c. Permit #	N/A	acre-feet per year	
d. Certificate #		acre-feet per year	
e. Surface Claim #		acre-feet per year	
f. Other, #		acre-feet per year	

i. Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources):







# Property Tax Reminder Notice

WASHOE COUNTY  
 PO BOX 30039  
 RENO, NV 89520-3039  
 775-328-2510

PIN: 05023506  
 AIN:

<b>Balance Good Through:</b>	<b>06/13/2016</b>
<b>Current Year Balance:</b>	<b>\$0.00</b>
<b>Prior Year(s) Balance:</b> (see below for details)	<b>\$0.00</b>
<b>Total Due:</b>	<b>\$0.00</b>

AUTO  
 :897042:

WAYNE DENNY  
 500 WASHOE DR  
 WASHOE VALLEY NV 89704

Description:

Situs: 500 WASHOE DR  
 WCTY

This is a courtesy notice. If you have an impound account through your lender or are not sure if you have an impound account and need more information, please contact your lender directly. Please submit payment for the remaining amount(s) according to the due dates shown. Always include your PIN number with your payment. Please visit our website: [www.washoecounty.us/treas](http://www.washoecounty.us/treas)

Current Charges									
PIN	Year	Bill Number	Inst	Due Date	Charges	Interest	Pen/Fees	Paid	Balance
05023506	2015	248334	1	08/17/2015	491.86	0.00	0.00	491.86	0.00
05023506	2015		2	10/05/2015	491.86	0.00	0.00	491.86	0.00
05023506	2015		3	01/04/2016	491.85	0.00	0.00	491.85	0.00
05023506	2015		4	03/07/2016	491.85	0.00	0.00	491.85	0.00
Current Year Totals					1,967.42	0.00	0.00	1,967.42	0.00

Prior Years								
PIN	Year	Bill Number	Charges	Interest	Pen/Fees	Paid	Balance	
Prior Years Total								

**WASHOE COUNTY TREASURER**

PO BOX 30039  
 RENO, NV 89520-3039  
 775-328-2510

Received By:  
 Location:  
 Session:

jcronin  
 Treasurer's Office  
 jcron-0-06222016

Receipt Number: U15.30942  
 Receipt Year: 2015  
 Date Received: 06/22/2016

**PAYMENT RECEIPT**

Type	Description	Balance	Net Tax	Interest	Fees Penalties	Current Due	Current Paid	Balance Remaining
Other - Advance	Type: Regular PIN: 05023506	510.00	0.00	0.00	0.00	510.00	510.00	0.00
<b>Totals:</b>		510.00	0.00	0.00	0.00	510.00	510.00	0.00

**W. C. T. O. 32  
 JUN 21 2016  
 PAID**

Tender Information:		Charge Summary:	
Check #1C 772	510.00	Other - Advance	510.00
Total Tendered	510.00	Total Charges	510.00
Overpayment #649118	510.00		

**WASHOE COUNTY TREASURER** PO BOX 30039 RENO, NV 89520-3039

By Whom Paid:

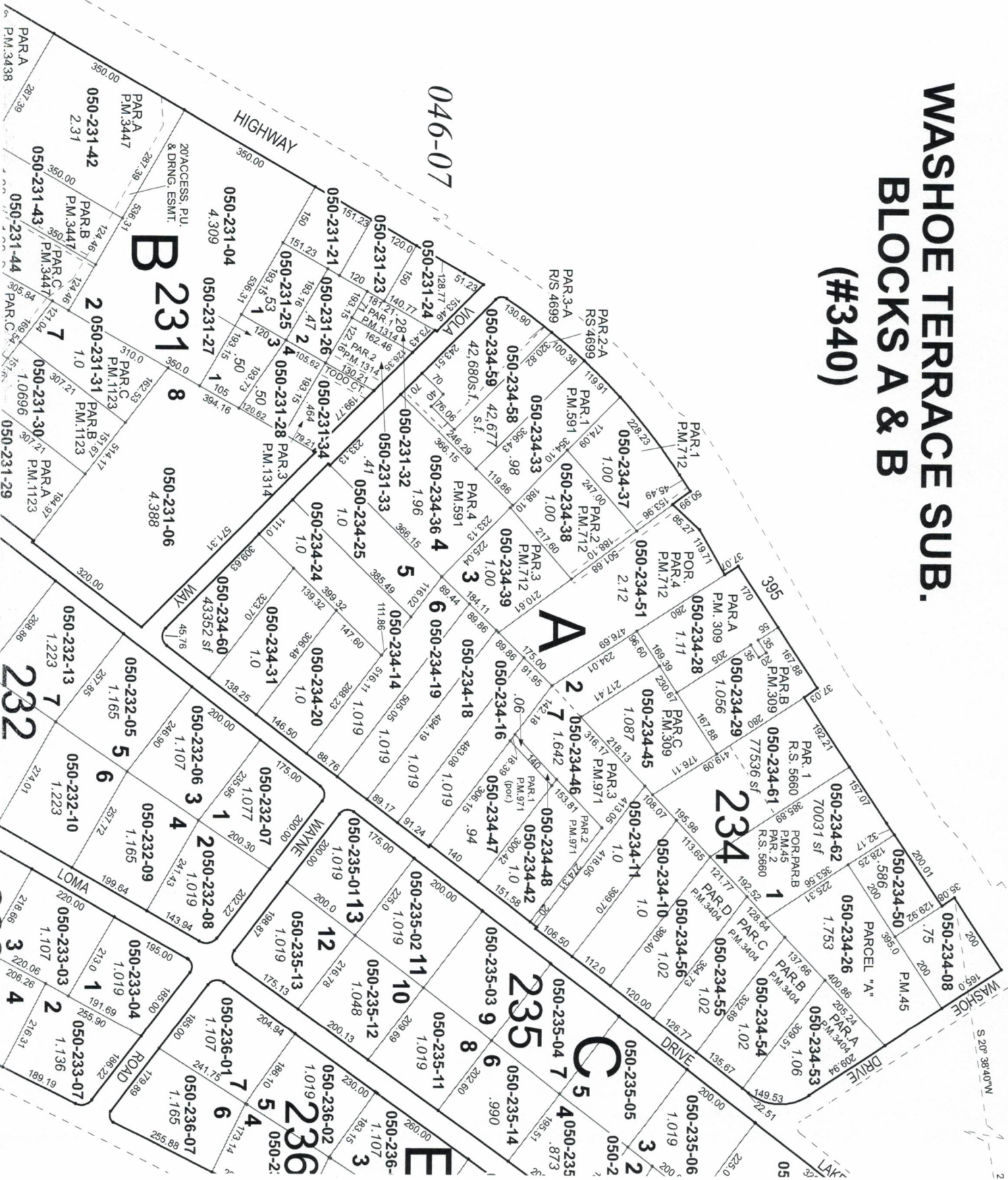
WAYNE DENNY  
 500 WASHOE DR  
 WASHOE VALLEY NV 89704

BALANCE REMAINING	0.00
CHARGES	510.00
PAID	510.00
OVERPAYMENT	510.00
CHANGE	0.00



# WASHOE TERRACE SUB. BLOCKS A & B

## (#340)





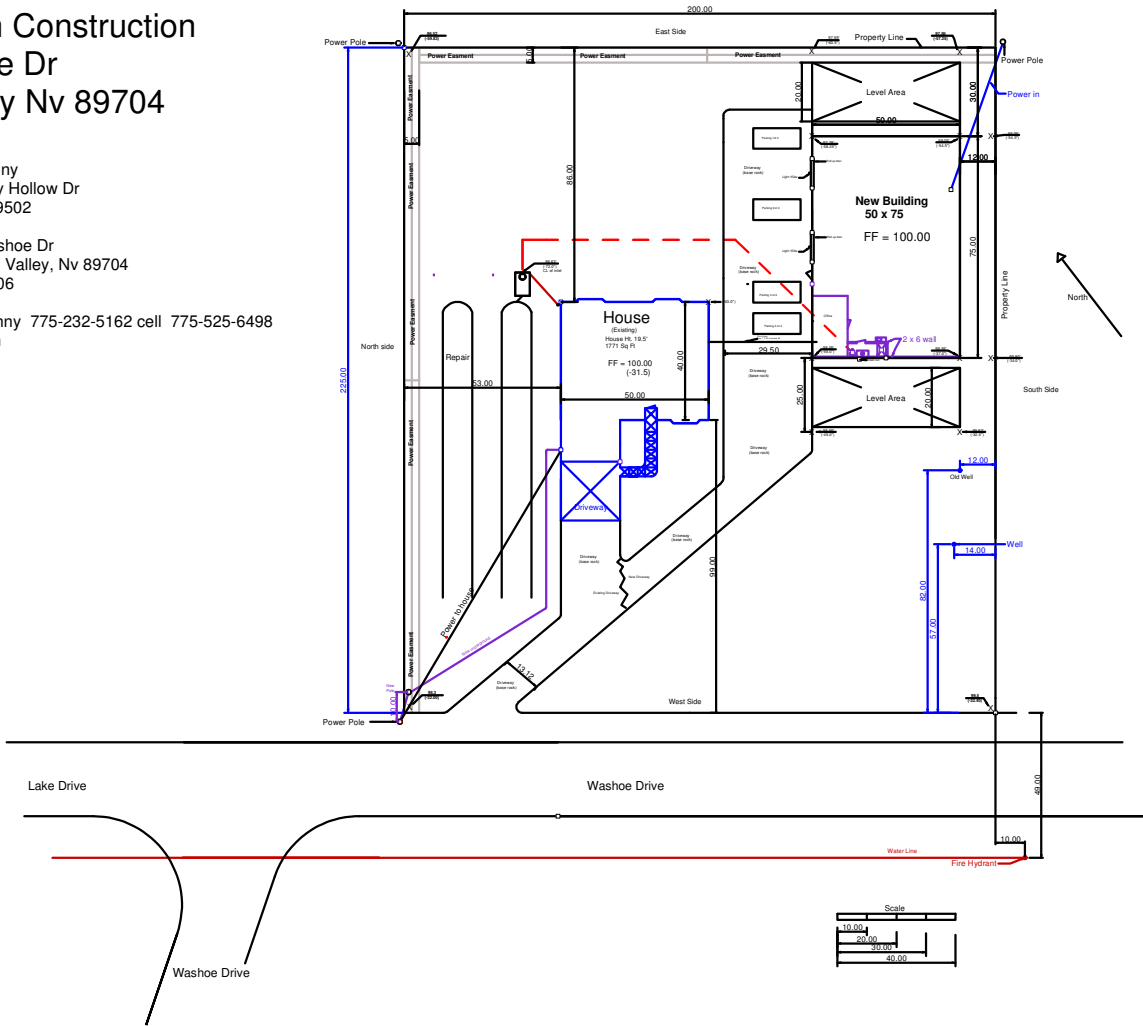
**Denny Barn Construction**  
**500 Washoe Dr**  
**Washoe City Nv 89704**

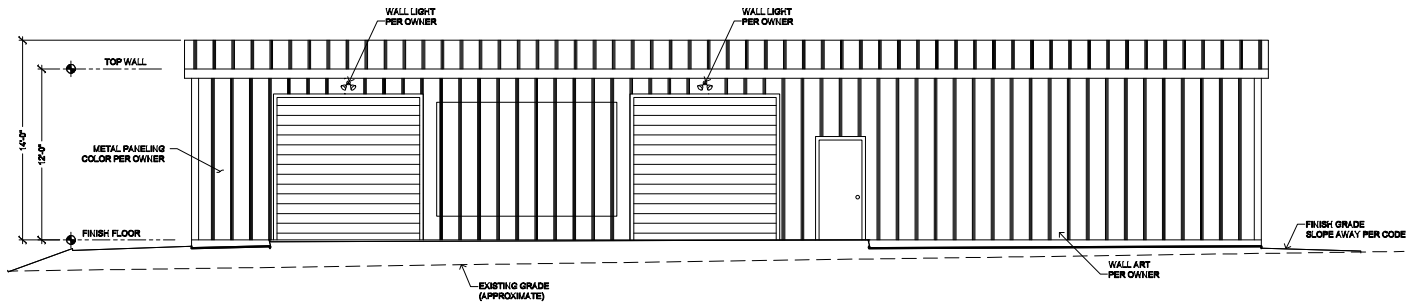
Owner Wayne Denny  
 Mailing >> Wayne Denny  
 4350 Sleepy Hollow Dr  
 Reno, Nv 89502

Project address  
 500 Washoe Dr  
 Washoe Valley, Nv 89704  
 Assessor # 050-235-06

Questions Wayne Denny 775-232-5162 cell 775-525-6498  
 wdenny34@gmail.com

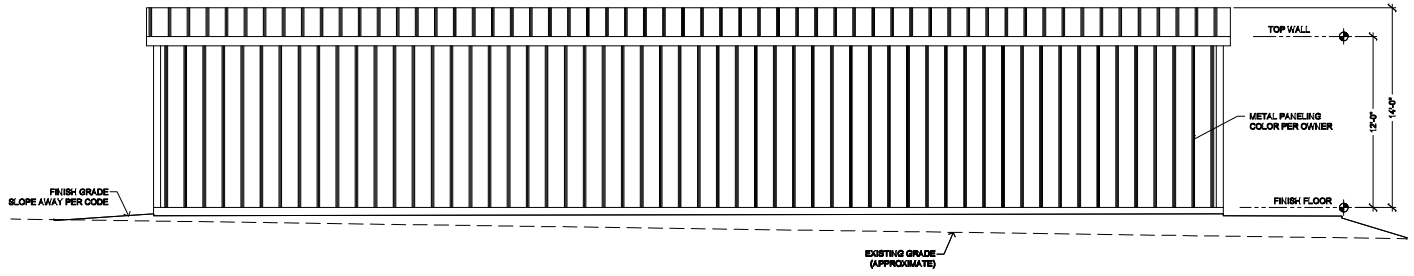
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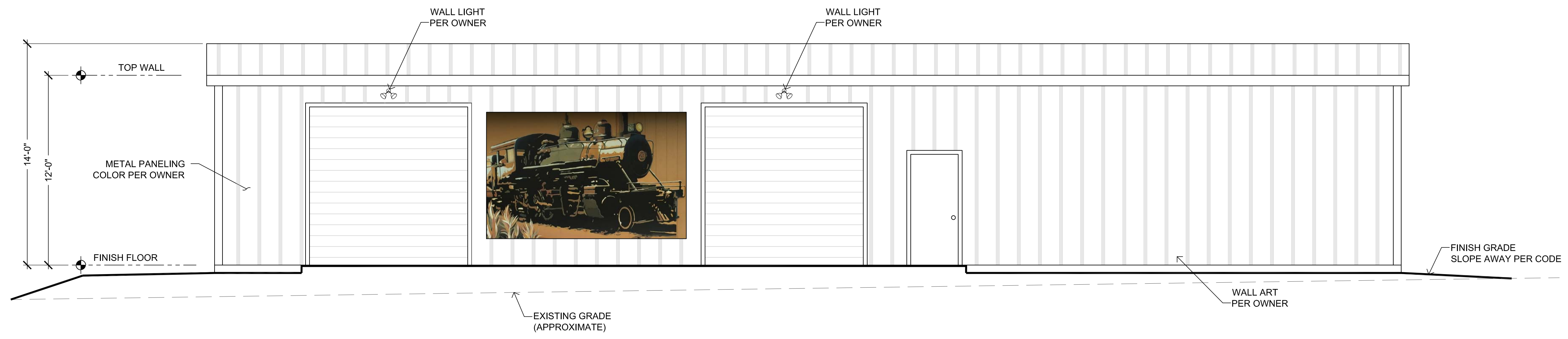
FRONT ELEVATION

1/4" = 1'



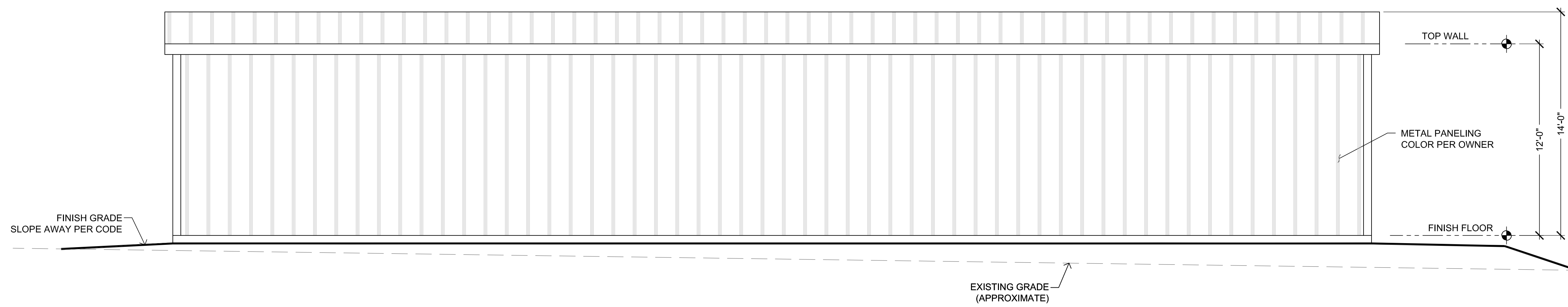
REAR ELEVATION

1/4" = 1'



FRONT ELEVATION

1/4" = 1'



REAR ELEVATION

1/4" = 1'

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**APPLGATE DESIGN**

- CUSTOM HOME & CABIN DESIGN
- ENGINEERING

1718 FIELDCREST DRIVE, SPARKS NEVADA 89434  
 TEL: 775.453.0063  
 EMAIL: russ.apple@yahoo.com

DATE	NO.	REVISION

PRELIMINARY  
NOT FOR  
CONSTRUCTION

**PROJECT: WAYNE DENNY SHOP BUILDING**

**LOCATION: 500 WASHOE DRIVE  
CARSON CITY NV 89704**

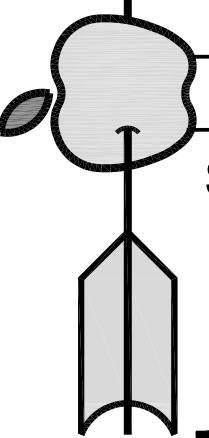
**VERIFY SCALE**  
 THE PUBLISHED SCALE IS INTENDED FOR 24"x36" DRAWINGS

SCALE: SEE PLAN  
 COMPUTER FILE: A3\_4-EL.DWG  
 DRAWN BY: RA  
 ISSUE DATE: JUNE 27, 2016  
 JOB NUMBER: 16-043  
 SHEET TITLE:

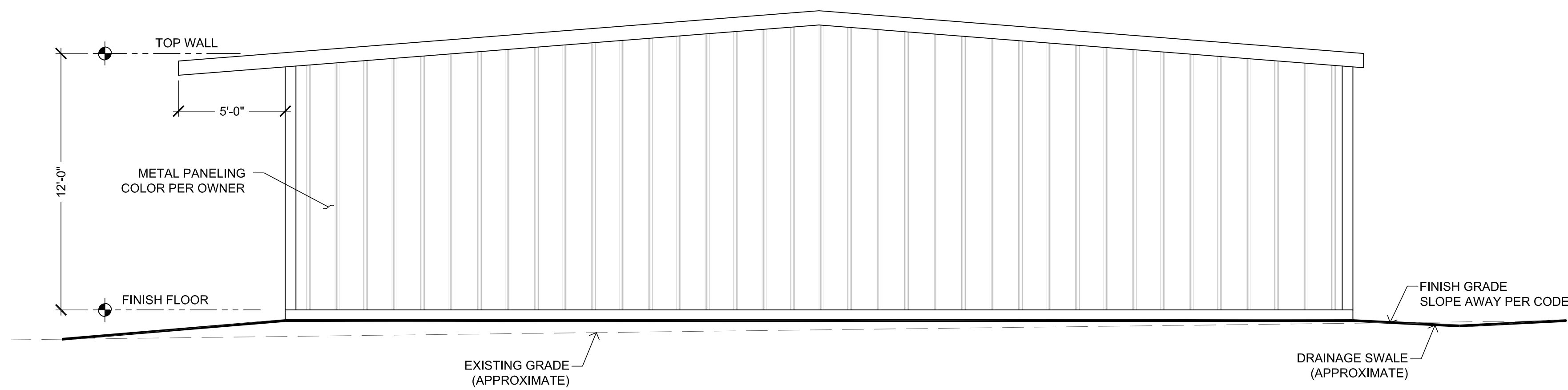
**ELEVATIONS**  
 FOR CONSTRUCTION  
 SHEET NUMBER

**EL-1**

APPLGATE DESIGN

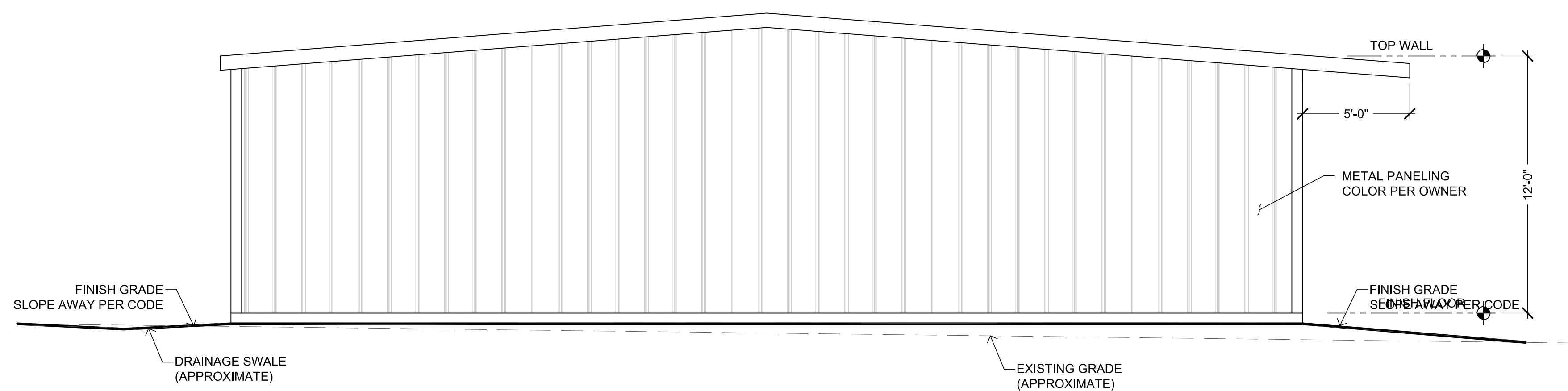






RIGHT ELEVATION

1/4" = 1'



LEFT ELEVATION

1/4" = 1'

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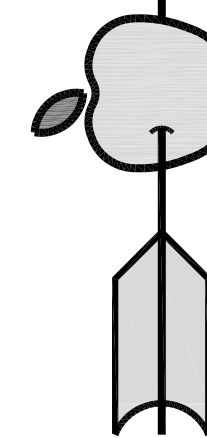
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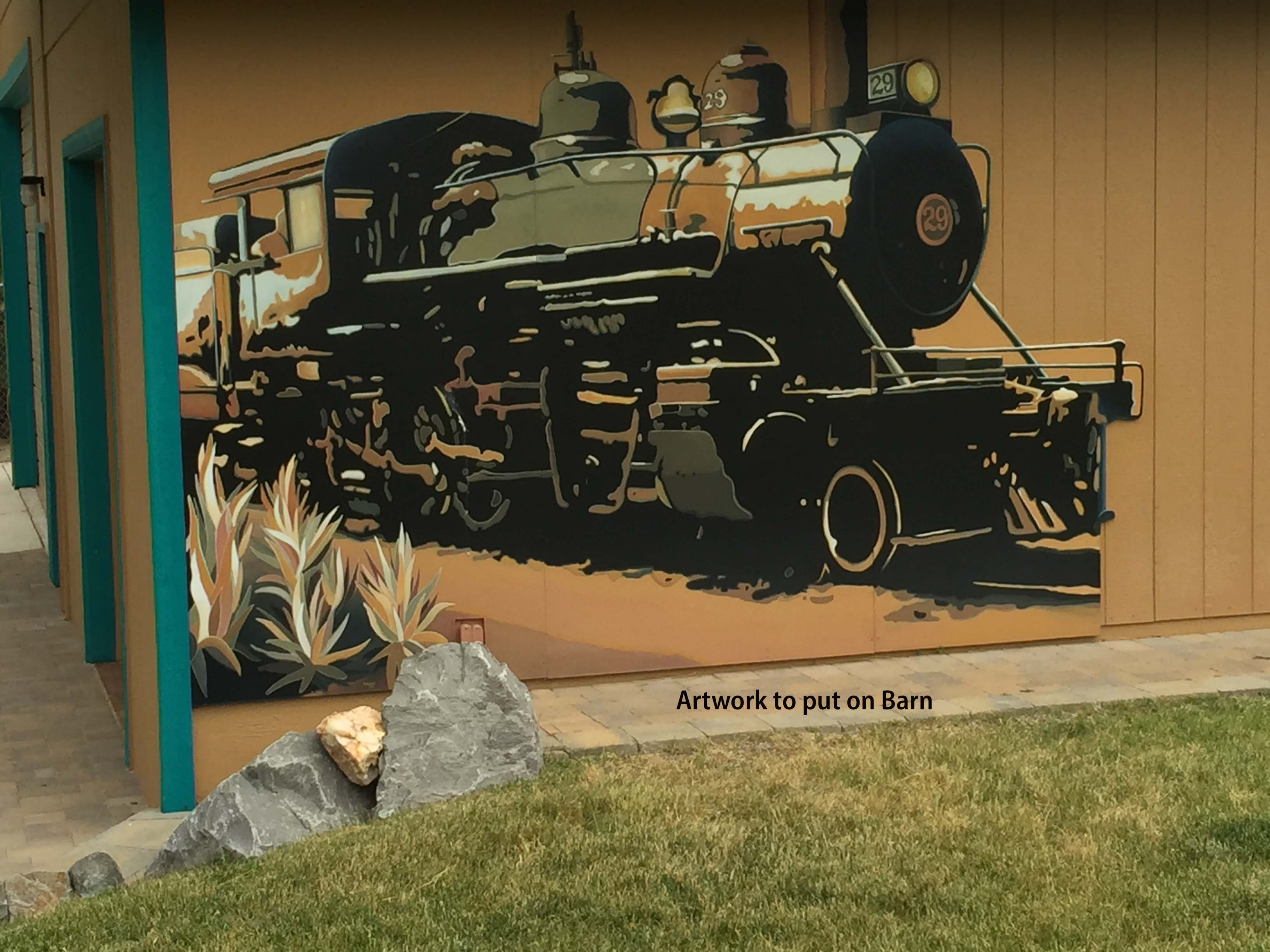
FOR CONSTRUCTION

SHEET NUMBER

**EL-2**







Artwork to put on Barn





Looking South





Lookig East





Looking East





Looking East





Looking East





Looking North



Looking Northeast







Looking Northwest





Looking Southeast





Looking Southwest





Looking West