

Community Services Department  
Planning and Development  
DETACHED ACCESSORY DWELLING  
ADMINISTRATIVE REVIEW  
APPLICATION



Community Services Department  
Planning and Development  
1001 E. Ninth St., Bldg A  
Reno, NV 89520

Telephone: 775.328.3600

## Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Development staff at 775.328.3600.

<b>Project Information</b>		Staff Assigned Case No.: _____	
Project Name: CHARBONNEAU RESIDENCE			
Project Description: SINGLE FAMILY RESIDENCE WITH DETACHED BARN INCLUDING LIVING QUARTERS			
Project Address: 32 MARANATHA ROAD, WASHOE VALLEY			
Project Area (acres or square feet): 2.2 ACRES			
Project Location (with point of reference to major cross streets AND area locator): MARANATHA ROAD OFF OF OLD 395			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
046-031-53	2.20		
Section(s)/Township/Range:			
Indicate any previous Washoe County approvals associated with this application: Case No.(s). NONE			
<b>Applicant Information</b> (attach additional sheets if necessary)			
<b>Property Owner:</b>		<b>Professional Consultant:</b>	
Name: JANIS LECCLAIRE-CHARBONNEAU		Name:	
Address: 700 SILVER OAK DR, #102		Address:	
CARSON CITY, NV Zip: 89706		Zip:	
Phone: 408-551-9677 Fax:		Phone: Fax:	
Email: jancharbonneau@comcast.net		Email:	
Cell: 408-313-7558 Other:		Cell: Other:	
Contact Person: JOHN ENLOW		Contact Person:	
<b>Applicant/Developer:</b>		<b>Other Persons to be Contacted:</b>	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone: Fax:		Phone: Fax:	
Email:		Email:	
Cell: Other:		Cell: Other:	
Contact Person:		Contact Person:	
<b>For Office Use Only</b>			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Property Owner Affidavit

Applicant Name: JANIS LECLAIRE-CHARBONNEAU

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA )  
                                  )  
COUNTY OF WASHOE )

I, JANIS LECLAIRE-CHARBONNEAU  
(please print name)

being duly sworn, depose and say that I am the owner\* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Development.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 046-031-53

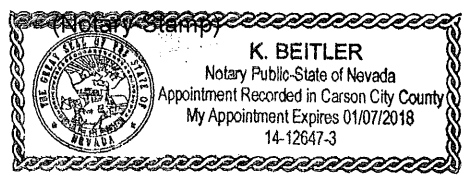
Printed Name: JANIS LECLAIRE-CHARBONNEAU

Signed: Janis Leclair-Charbonneau

Address: 700 SILVER OAK DR, #102  
CARSON CITY, NV 89706

Subscribed and sworn to before me this 13 day of June, 2016.

K. Beidler County: Carson State of Nevada  
Notary Public in and for said county and state



My commission expires: 01/07/2018

\*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of recorded document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

## Administrative Review Permit Application for a Detached Accessory Dwelling Supplemental Information

(All required information may be separately attached)

This application is for proposals to establish a Detached Accessory Dwelling unit in the Low Density Rural, Medium Density Rural, High Density Rural, and Low Density Suburban regulatory zones. Chapter 110 of the Washoe County Code is commonly known as the Development Code. Specific references to the administrative review permit process for Detached Accessory Dwellings may be found in Article 306, Accessory Uses and Structures, Section 25(i). A Detached Accessory Dwelling is also referred to as a "secondary dwelling" in this application. The "main dwelling" is the original or larger dwelling on the property.

1. What is the size (square footage) of the main dwelling unit or proposed main dwelling unit (exclude size of garage)?

3435 sq

2. What is the size of the detached accessory dwelling unit or proposed detached accessory dwelling unit (exclude size of garage)?

672 sq

3. How are you planning to integrate both the main dwelling and secondary dwelling to provide architectural compatibility and a sense of project integration of the two structures?

SAME SIDING AND ROOFING MATERIAL

4. How are you planning to provide water and wastewater disposal (sewer or septic) to the secondary dwelling unit?

SEPTIC AND WELL

5. What additional roadway, driveway, or access improvements are you planning?

DRIVEWAY

6. A parking space is required. How are you providing the additional parking?

CARPORT AND DRIVEWAY

7. When do you plan to complete construction of the secondary dwelling and obtain a certificate of occupancy?

APPROX. 1 YEAR

8. What will you do to minimize any potential negative impacts (e.g. increased lighting, obstruction of views, removal of existing vegetation, etc.) your project may have on adjacent properties?

NONE OF THE ABOVE

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9. Is the subject property part of an active Home Owners Association (HOA) or Architectural Control Committee? If yes, please include the name and contact information for the applicable board.

NO.

10. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit a detached accessory dwelling on your property?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please attach a copy.
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11. Only one accessory dwelling unit, whether attached or detached, is allowed per parcel. Please verify that an accessory dwelling (i.e. secondary dwelling) currently does not exist on the subject property.

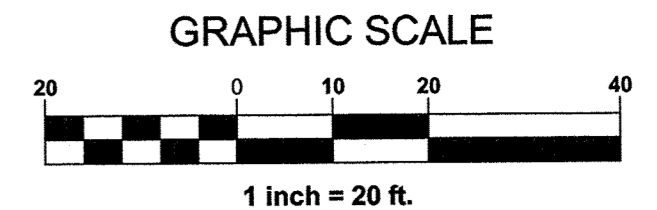
NO STRUCTURES ARE PRESENT ON EXISTING PROPERTY

12. List the age and size of the unit if you plan to utilize a manufactured or modular home as the secondary dwelling. (Note: manufactured or modular homes must be permanently affixed and converted to real property.)

N/A

13. List who the service provider will be for the following utilities:

a. Sewer Service	N/A
b. Electrical Service	NV ENERGY
c. Solid Waste Disposal Service	WASTE MANAGEMENT
d. Water Service	N/A



**DRAWING SCALE**  
 24" x 36": 1"=20"  
 11"x17" : NTS



MARK L & BONNIE  
 WHITTAKER REVOCABLE TRUST  
 PARCEL D-3 PM 1329  
 APN: 046-031-28

JAHN, RONALD H & DENISE A  
 PARCEL F-PM 607  
 APN: 046-031-10

JORDAN, VIC & DIANNE  
 APN: 046-031-18

WEHLING, RICHARD H  
 PORTION OF PARCEL D-2-PM 1329  
 APN: 046-031-33

HEFNER, PAUL D et al  
 PARCEL D1-S-PM 2086  
 APN: 046-031-37

WEBBER, ALLAN D.  
 PARCEL D1-N, PM 2086  
 APN: 046-031-36

**OWNER INFORMATION**

JAN LECLAIRE-CHARBONNEAU  
 32 MARANATHA RD  
 WASHOE COUNTY, NV 89704  
 JANCHARBONNEAU@COMCAST.NET  
 (408)551-9677

**GRADING NOTE**

SLOPE FINISH GRADE AWAY FROM BUILDINGS FOR 10'MIN AT THE FOLLOWING SLOPES:  
 2.0% MIN. FOR IMPERVIOUS SURFACES  
 5.0% MIN FOR EARTH & AND PERVIOUS SURFACES

**SEWER NOTE**

NO PUBLIC SEWER IS LOCATED WITHIN 400 FEET OF THE PROPERTY.



**CAUTION - NOTICE TO CONTRACTOR**

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND FEATURES AS SHOWN ON THESE PLANS IS BASED ON THE BEST INFORMATION AVAILABLE TO THE ENGINEER. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE LOCATIONS AND/OR ELEVATIONS AT THE PROPOSED POINTS OF CONNECTION AND IN AREAS OF POSSIBLE CONFLICT PRIOR TO BEGINNING CONSTRUCTION. SHOULD THE CONTRACTOR FIND ANY DISCREPANCIES BETWEEN THE CONDITIONS EXISTING IN THE FIELD AND THE INFORMATION SHOWN ON THESE DRAWINGS, HE SHALL NOTIFY THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE OR RELOCATE ALL EXISTING UTILITIES AND FEATURES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. CONTRACTOR SHALL OBTAIN APPROVALS FROM THE GOVERNING AGENCIES, THE ENGINEER, AND THE UTILITY COMPANIES PRIOR TO SUCH REMOVAL AND/OR RELOCATION.
4. THE CONTRACTOR ASSUMES ALL RISK FOR ANY CONSTRUCTION PERFORMED WITH PRELIMINARY OR NONAPPROVED PLANS.
5. CONTRACTOR TO PROVIDE TRAFFIC CONTROL IN CONFORMANCE WITH THE LATEST EDITION OF MUTCD WHENEVER CONSTRUCTION IS IN PROGRESS WITHIN THE PUBLIC TRAVEL WAY.

**PLOT PLAN**

SCALE: 1" = 20'

BY	
REVISIONS	
DATE	
MARK	
DATE	
PROFESSIONAL SEAL:	
PLANNERS • ENGINEERS • LANDSCAPE ARCHITECTS SURVEYORS • CONSTRUCTION INSPECTION	
WWW.CFA.COM	
1150 CORPORATE BLVD. RENO, NV 89502 (775) 856-1150 FAX: (775) 856-1180 WWW.CFA.COM	
NEVADA	
LECLAIRE-CHARBONNEAU RESIDENCE	
<b>PLOT PLAN</b>	
32 MARANATHA RD	
WASHOE CO.	
JOB NO.	16022.00
BY	RA/AE
DATE	05-26-2016
SHEET	1
OF	1



# GENERAL NOTES AND DESIGN SPECIFICATIONS

- GENERAL NOTES:**
- EVERY EFFORT HAS BEEN MADE TO ELIMINATE ERRORS DURING THE PREPARATION OF THESE DRAWINGS, BUT BECAUSE SAND CREEK POST & BEAM CANNOT GUARANTEE AGAINST THE POSSIBILITY OF HUMAN ERROR, IT BECOMES THE OBLIGATION OF THE USER TO VERIFY THE ACCURACY OF ALL DETAILS AND DIMENSIONS AND PERSONALLY BE RESPONSIBLE FOR THEM.
  - NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE, LARGER SCALE OVER SMALLER SCALE.
  - ALL MECHANICAL AND ELECTRICAL PLANS AND SPECIFICATIONS ARE DESIGN/BUILD FURNISHED BY THE MECHANICAL/ELECTRICAL CONTRACTOR FOR THEIR USE.
  - ALL TIMBERS ARE FULL DIMENSION ROUGH SAWN DOUG FIR-LARCH #1 OR BETTER UNLESS NOTED. SILL PLATE IS 2x6 EASTERN RED CEDAR. WE RECOMMEND SILL SEALER BE INSTALLED BENEATH THE SILL PLATE. ALL SAWN LUMBER SHALL BE DOUG FIR-LARCH #2 OR BETTER.
  - WHERE FEASIBLE INSTALL THE BOLTS IN THE PLATE JOINERY SO THAT THE NUTS CAN BE ACCESSED FROM THE INTERIOR OF THE BARN. THE SIDING OR FRAMING MAY NEED TO BE NOTICED SLIGHTLY FOR PLATE AND BOLT CLEARANCE.
  - VERIFY WINDOW AND DOOR ROUGH OPENINGS BEFORE FRAMING.

- FOUNDATION NOTES:**
- LOCAL BUILDING CODE SPECIFICATIONS REGARDING WATERPROOFING, DAMPROOFING AND VENTILATION OF FOUNDATION WALLS AND SLABS TAKE PRECEDENCE OVER THE STANDARD INFORMATION SHOWN IN THESE DRAWINGS. IT IS THE RESPONSIBILITY OF THE BUYER, OR ON SITE FOUNDATION CONTRACTOR TO SATISFY THE LOCAL BUILDING CODE REQUIREMENTS.
  - SOIL FOOTINGS ARE DESIGNED TO A MIN. SOIL CAPACITY OF 600 PSF AND TO BEAR ON UNDISTURBED NATIVE SOIL.
  - #1 FOOTINGS TO BEAR A MIN. 24" BELOW GRADE.
  - PROVIDE MIN. 6" CRUSHED BASED BELOW SLAB.

SLABS: ALL CONCRETE SHALL CONFORM TO A 28 DAY STRENGTH OF 3500 PSI.  
 CODES: 2012 INTERNATIONAL BUILDING CODE & LOCAL CODES

**BUILDING ERECTION SAFETY NOTES:**  
 THE CONTRACTOR IS RESPONSIBLE FOR IMPLEMENTING JOB SITE SAFETY AND CONSTRUCTION PROCEDURES IN ACCORDANCE WITH NATIONAL, STATE, AND LOCAL SAFETY REQUIREMENTS. THE ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, AND TEMPORARY SUPPORTS IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.

**LOADS:**  
 ROOF GROUND SNOW LOAD: 30 PSF  
 LOFT LIVE LOAD: 40 PSF  
 WIND LOAD = 150 MPH 1" EXPOSURE  
 SEISMIC DESIGN CATEGORY: E  
 IMPORTANCE CATEGORY: II

**PROJECT LOCATION:**  
 ADDRESS: 30 MARANATHA WASHOE CITY, NEVADA 89104

**WOOD TYPE:**  
 STRUCTURAL FRAMING:  
 6X AND 4X BENT FRAMING DOUG FIR #1  
 3x6 ROOF PURLINS DOUG FIR #1  
 2x6 JOISTS DOUG FIR #1  
 DIMENSIONAL FRAMING: 1F #2 OR BETTER  
 1X BOARDS: PONDEROSA PINE #2 OR BETTER

REV#	DATE	DESCRIPTION
0	12/04/2016	INITIAL DRAWINGS
1	01/10/2016	DOOR/WINDOW CHANGES, FLIP LEAN TO, STEM WALL 16" TALL
2	01/22/2016	DOOR/ WINDOW CHANGES
3	01/24/2016	FINAL PLAN CREATED
4	02/02/2016	MODIFIED FRAMING DETAILS
5	04/10/2016	FRAMING REVIZIONS
6	06/06/2016	--
7	09/09/2016	--
8	09/09/2016	--
9	09/09/2016	--

## SHEET INDEX

- COVER SHEET
- EXTERIOR ELEVATIONS
- EXTERIOR ELEVATIONS
- MAIN FLOOR LAYOUT
- LOFT FLOOR LAYOUT
- FOUNDATION PLAN
- BENT DETAILS
- BENT LAYOUT / FRAME 60
- LOFT FRAMING PLAN
- ROOF FRAMING PLAN
- BUILDING SECTION A
- BUILDING SECTION B
- BLOW UP DETAILS
- ADDITIONAL FRAMING DETAILS
- PLATE JOINERY DETAILS
- FLASHING SCHEDULE

LIST BELOW ARE ITEMS SHOWN IN DRAWINGS BUT ARE NOT PROVIDED BY SAND CREEK POST AND BEAM

- EXTERIOR WALL VERTICAL FRAMING MATERIAL (STUDS, INSULATION, FINISH)
- R50 ROOF INSULATION PANEL
- 5/8" CDX ROOF SHEATHING ON LEAN TOS
- U BRACKETS FOR POST CONNECTIONS
- J-BOLTS FOR SILL PLATE ATTACHMENT
- ALL EXTERIOR WINDOWS
- GRIPOLA FRAMING MATERIAL

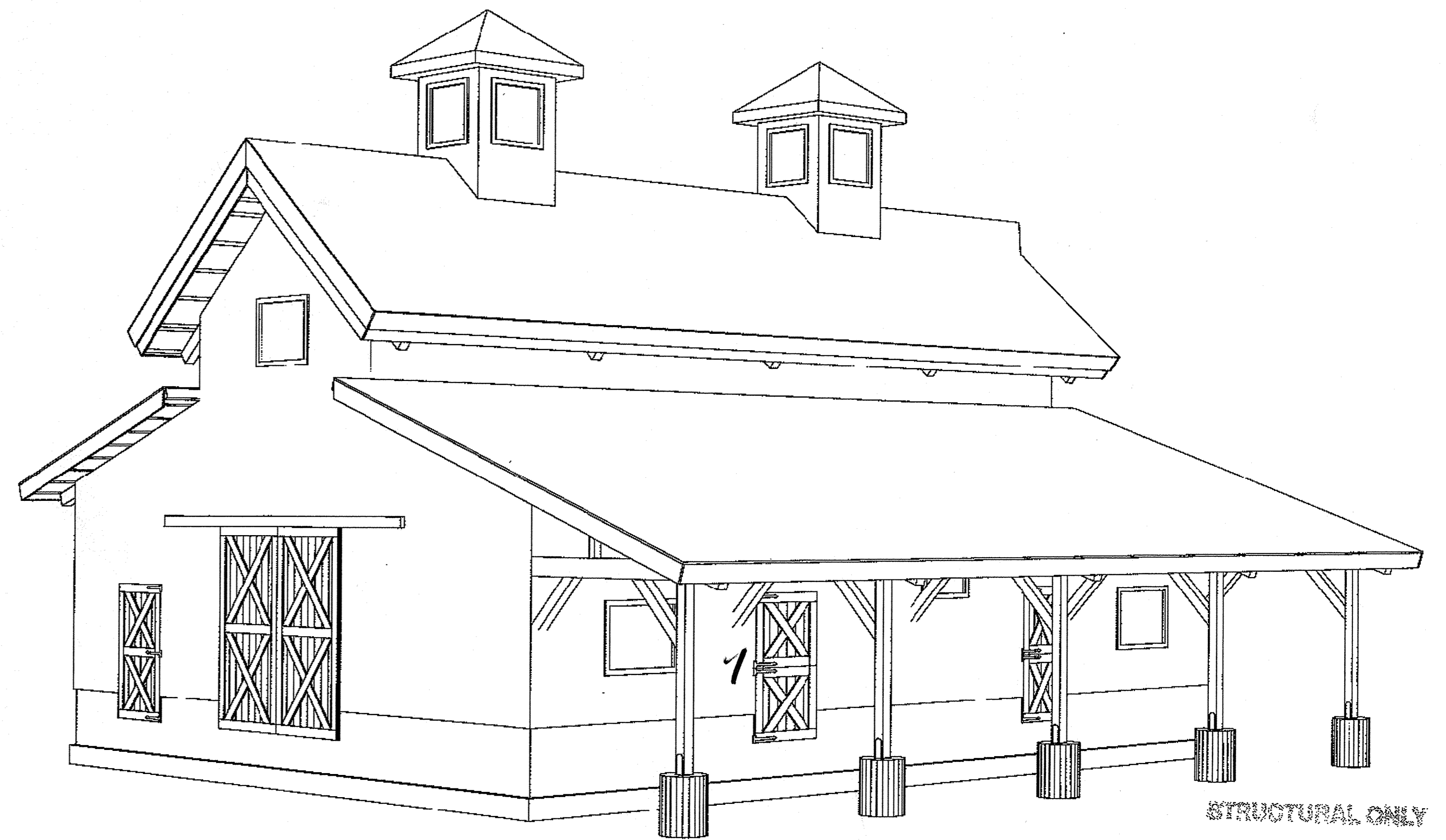
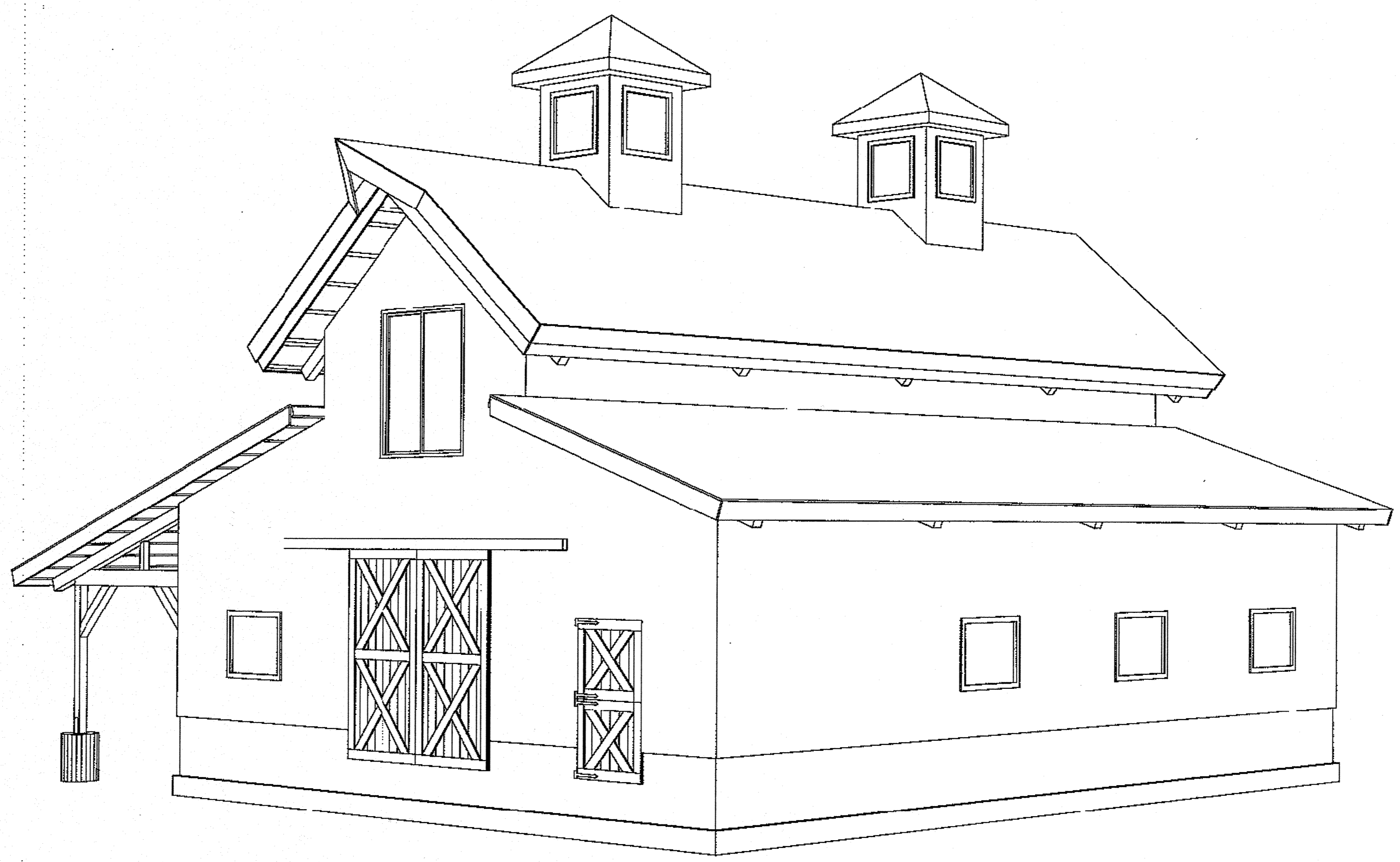
**SYMBOLS**

- WOOD IN SECTION
- CONCRETE IN SECTION
- SAND OR GRAVEL IN SECTION
- STEEL IN SECTION
- PAINT INSULATION IN SECTION
- INSULATION WALLBASE IN SECTION
- APICI ROOF
- BOARD AND BATTEN SIDING

**STANDARD ABBREVIATIONS**

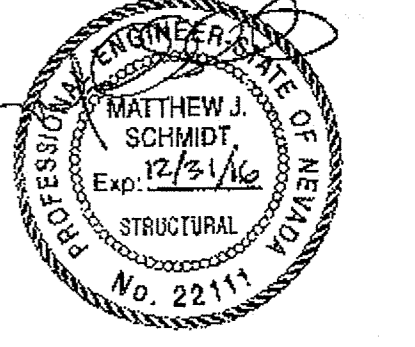
CONC	CONCRETE	MAX	MAXIMUM
CONT	CONTINUOUS	MIN	MINIMUM
DEL	DOUBLE	NIS	NOT TO SCALE
DF	DOUGLAS FIR	OC	ON CENTER
EA	EACH	OH	OVERHEAD
EXT	EXTERIOR	SCPB	SAND CREEK POST & BEAM
FF	FINISHED FLOOR	STD	STANDARD
FTG	FOOTING	T&G	TONGUE & GROOVE
INSL	INSULATION	TYP	TYPICAL
INT	INTERIOR		

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 BEAUDETTE  
 CONSULTING  
 ENGINEERS, INC.  
 Missoula Kalispell  
 Bozeman Billings  
 www.BCEweb.com  
 (406) 721-7315



**COVER SHEET**  
 NOTE: LINE RENDERINGS ON COVER SHEET (SHEET #1) ARE REPRESENTATIONAL ONLY AND ARE NOT INTENDED FOR USE AS CONSTRUCTION DRAWINGS

STRUCTURAL ONLY



**SAND CREEK Post & Beam**

CUSTOMER: JAMES CHARBONNEAU

STYLE: WESTERN HORSE BARN

DRAWN BY: ERIK HALSEY

**SAND CREEK POST & BEAM**  
 116 W. 1st St  
 WAYNE, NE 68787

PH: (402) 833-5600  
 FAX: (402) 833-5602  
 Toll-Free: 1-800-489-1580

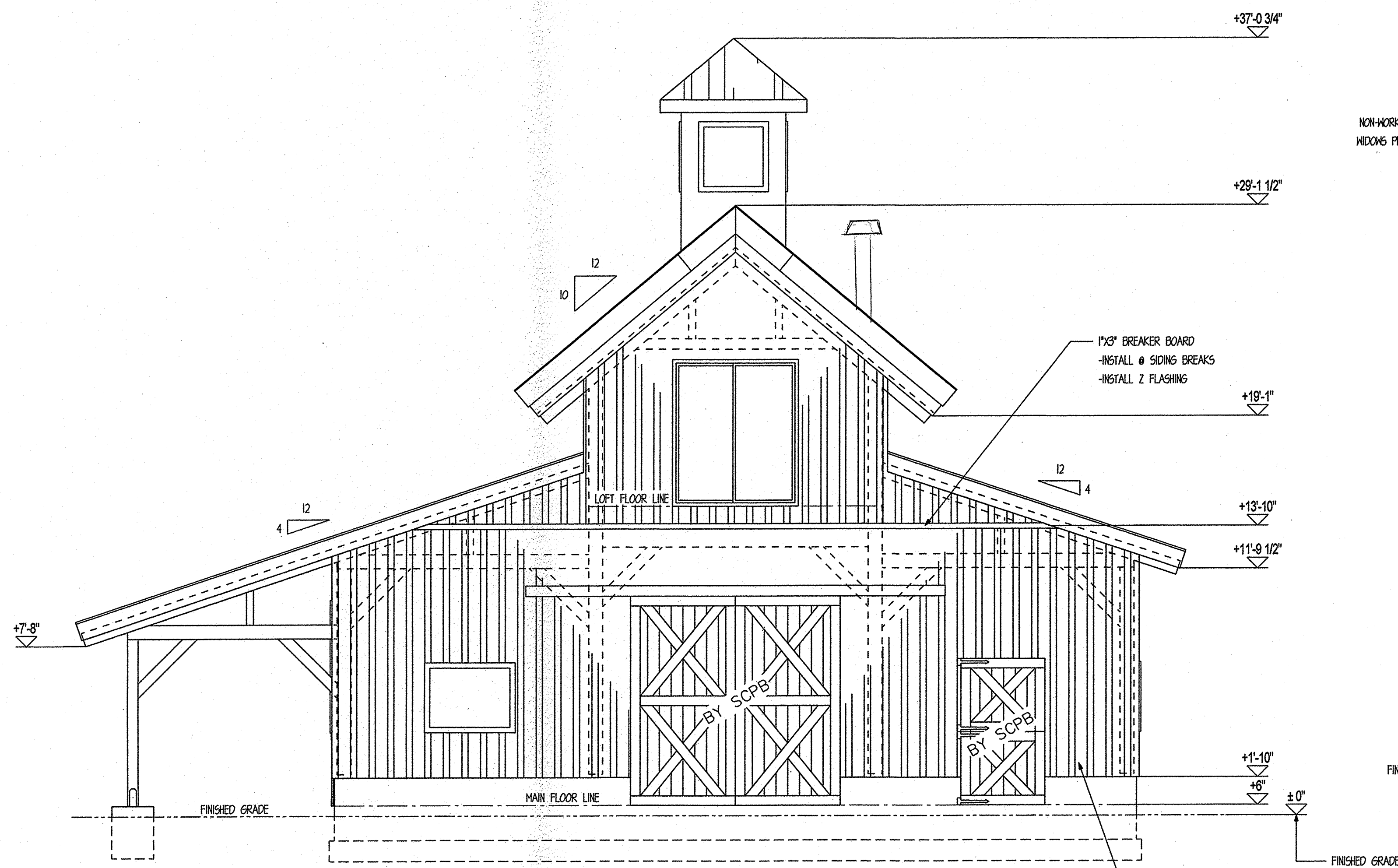
SHEET #: 1

JOB CODE: JCH115-1

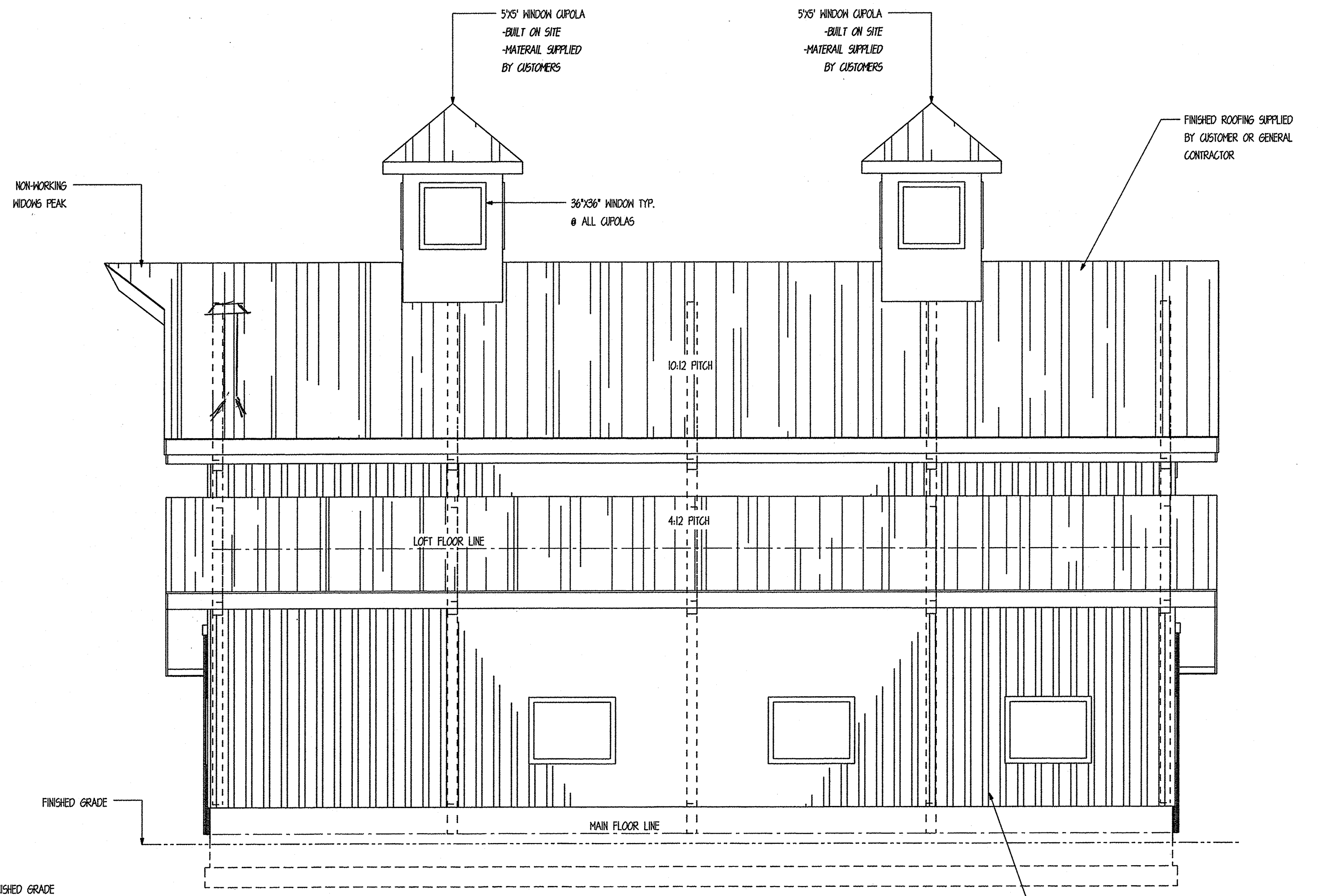
REVISION: 5

DRAWING STATUS: FINAL PLAN SET





**E1 FRONT ELEVATION**  
SCALE: 1/4" = 1'



**E2 RIGHT ELEVATION**  
SCALE: 1/4" = 1'

**SHEET NOTES:**  
 1. BREAKER BOARD LOCATION IS APPROX. ONLY AND SHOULD BE INSTALLED ON SITE TO MATCH SIDING LENGTH PROVIDED.  
 2. DOOR AND WINDOW LOCATIONS ARE APPROX. ONLY. EXACT LOCATIONS TO BE VERIFIED BY CUSTOMER AND GENERAL CONTRACTOR.  
 3. FINISHED ROOFING MATERIAL TO BE PROVIDED BY CUSTOMER OR GENERAL CONTRACTOR. ROOFING UNDERLAYMENT PROVIDED BY SAND CREEK POST & BEAM.

NOTE: UNLESS NOTED OTHERWISE WINDOWS AND DOORS NOT SUPPLIED BY SAND CREEK POST & BEAM

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**SAND CREEK Post & Beam**

CUSTOMER: JANIS CHARBONNEAU

STYLE: WESTERN HORSE BARN

DRAWN BY: ERIK HALSEY

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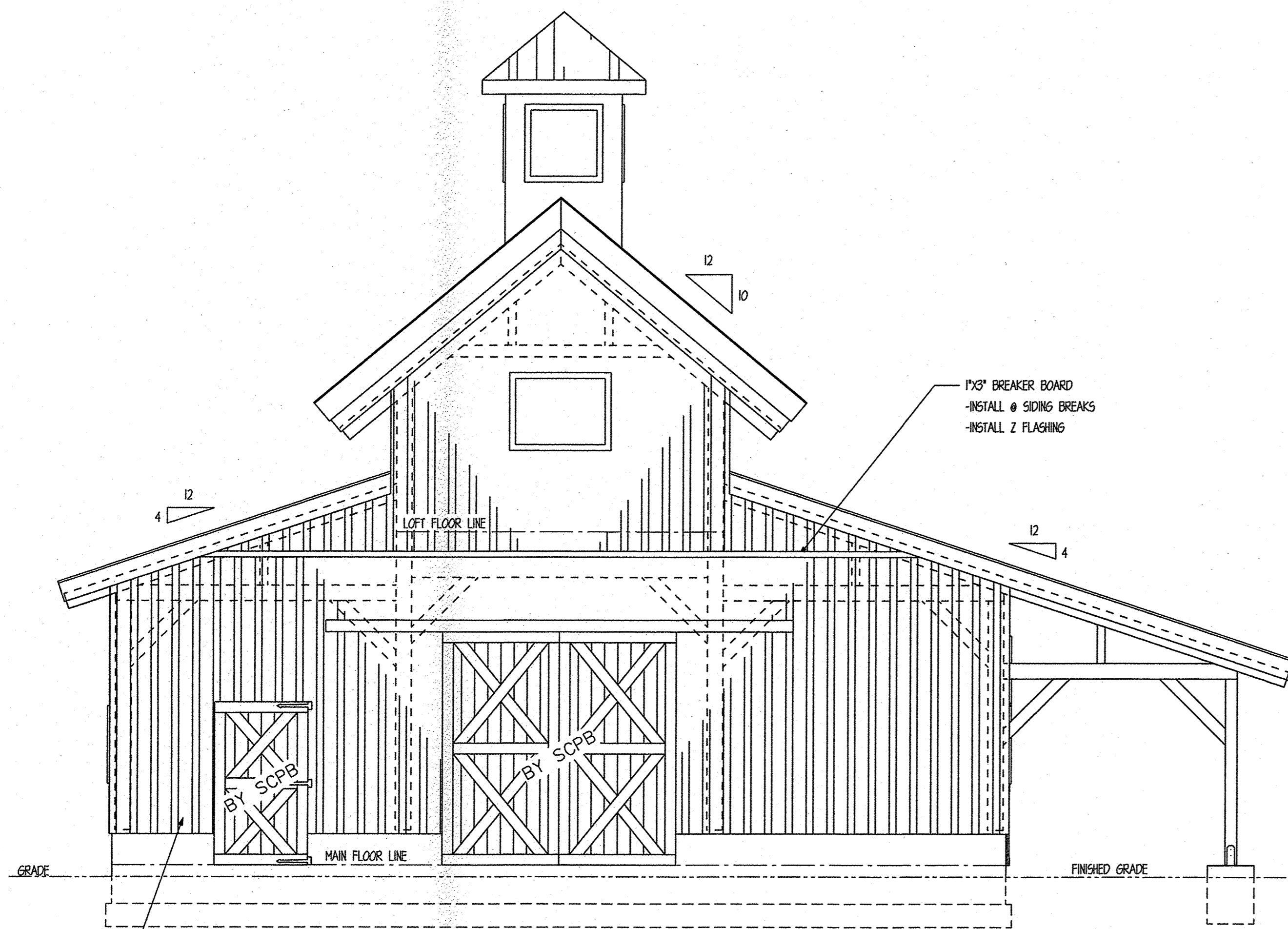
PH: (402) 833-5600  
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 Toll-free: 1 888-489-1680

**SHEET #: 2**

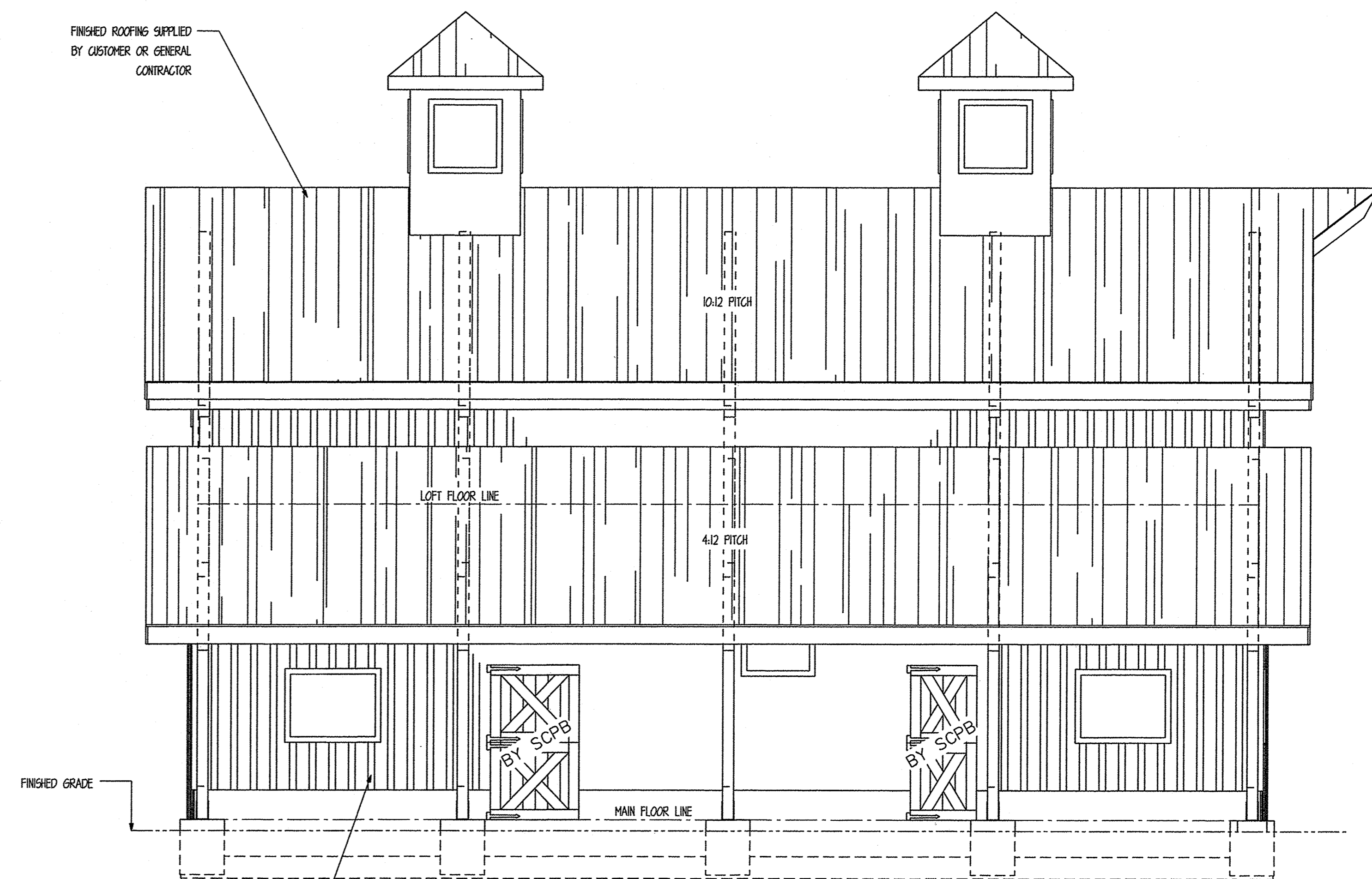
JOB CODE: JCH115-1

REVISION: 5

DRAWING STATUS: FINAL PLAN SET



**E3 REAR ELEVATION**  
SCALE: 1/4" = 1'



**E4 LEFT ELEVATION**  
SCALE: 1/4" = 1'

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 Post & Beam**

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STYLE: WESTERN HORSE BARN

DRAWN BY: ERIK HALSEY

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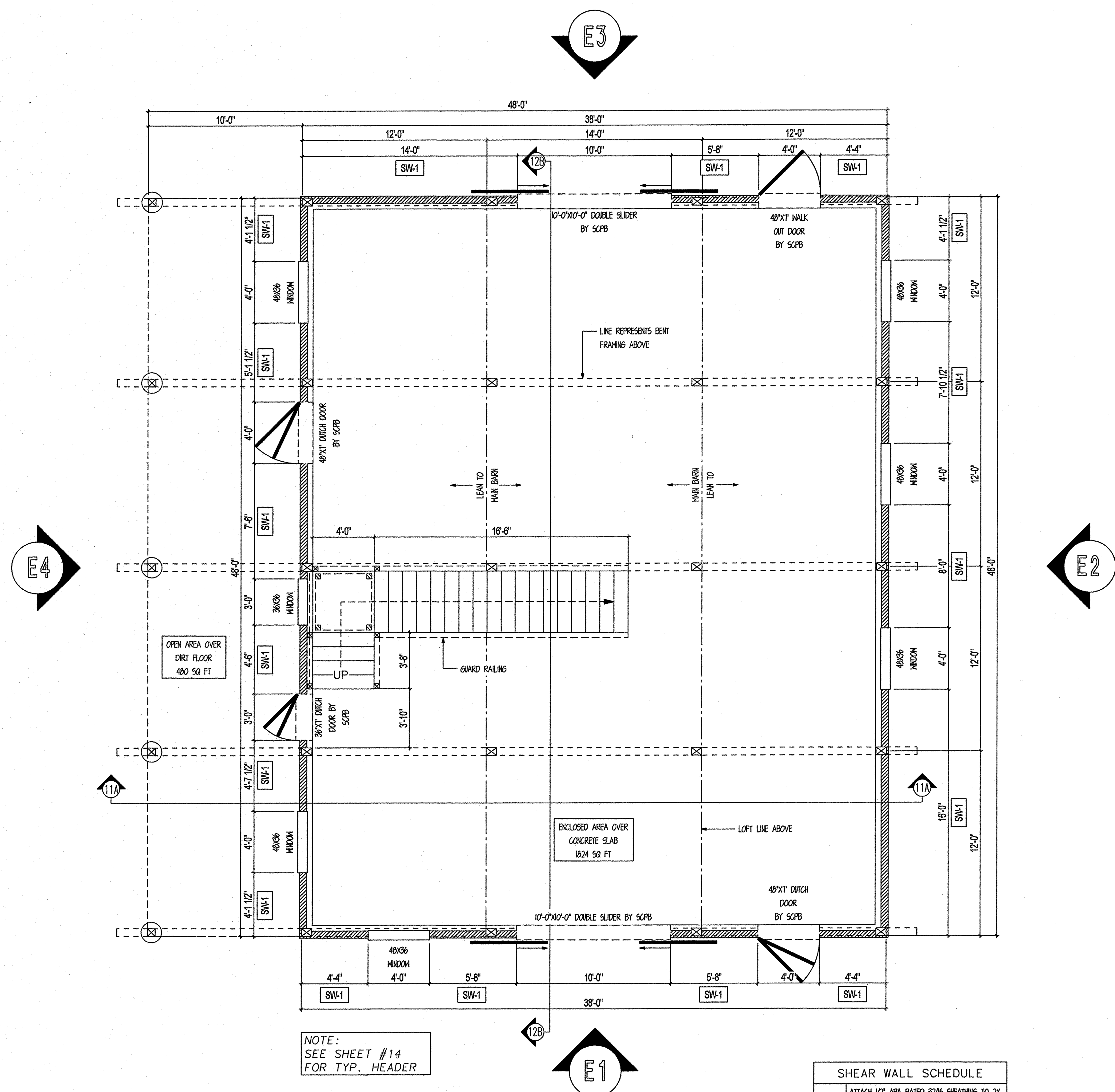
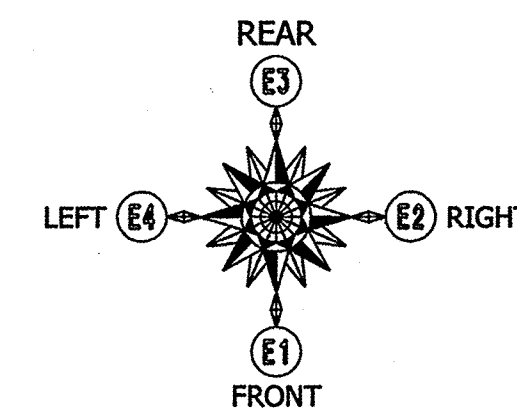
**SHEET #: 3**

JOB CODE: JCH115-1

REVISION: 5

DRAWING STATUS: FINAL PLAN SET





NOTE:  
SEE SHEET #14  
FOR TYP. HEADER

SHEAR WALL SCHEDULE	
SW-1	ATTACH 1/2" APA RATED 3216 SHEATHING TO 2X VERT FRAMED STUDS @ 16" O.C. W/ BD NAILS @ O.C. PANEL EDGE AND 12" O.C. IN THE FIELD. BLOCK ALL WALL PANEL EDGES

**MAIN FLOOR LAYOUT**  
SCALE: 1/4" = 1'

NOTE: UNLESS NOTED OTHERWISE  
WINDOWS AND DOORS NOT  
SUPPLIED BY SAND CREEK  
POST & BEAM

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SHEET NOTES:  
1. FLOOR LAYOUT DRAWINGS ARE NOT DESIGNED BY AN ARCHITECT. ADDITIONAL PROFESSIONAL SERVICES MAY BE REQUIRED TO COMPLY WITH LOCAL CODES AND REGULATIONS.  
2. SAND CREEK POST & BEAM IS NOT RESPONSIBLE FOR DESIGNING ELECTRICAL, PLUMBING, AND HVAC PLANS.  
3. INTERIOR PARTITION WALLS, WINDOWS, DOORS, AND FIXTURES ARE PROVIDED BY CUSTOMER OR GENERAL CONTRACTOR.  
4. DAYLIGHT OPENING, VENT OPENING, AND EGRESS REQUIREMENTS ARE THE RESPONSIBILITY OF THE CUSTOMER/GENERAL CONTRACTOR.  
5. DOOR AND WINDOW LOCATIONS ARE APPROX ONLY. EXACT LOCATION TO BE DETERMINED BY THE CUSTOMER AND GENERAL CONTRACTOR.

**SAND CREEK**  
Post & Beam

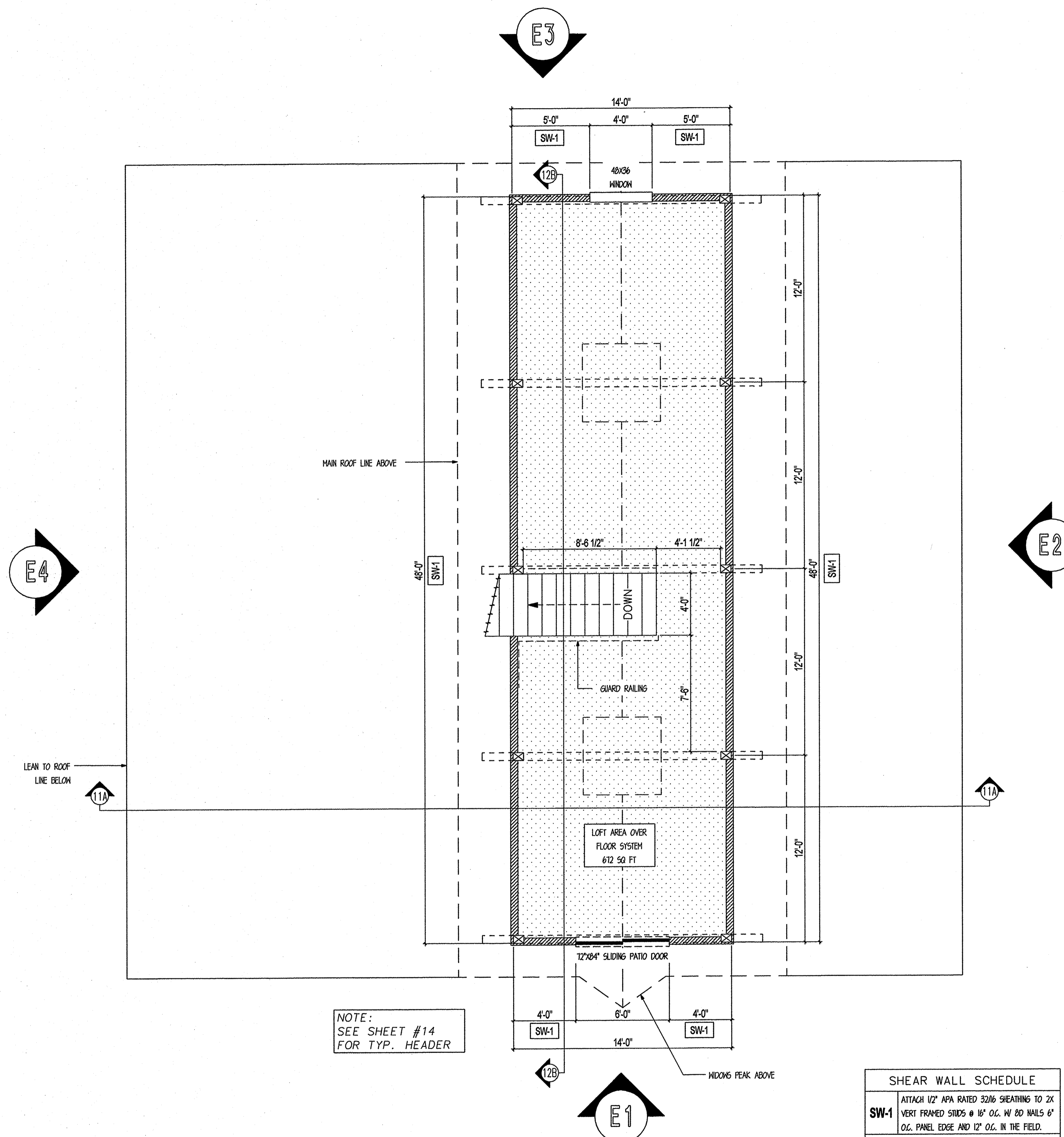
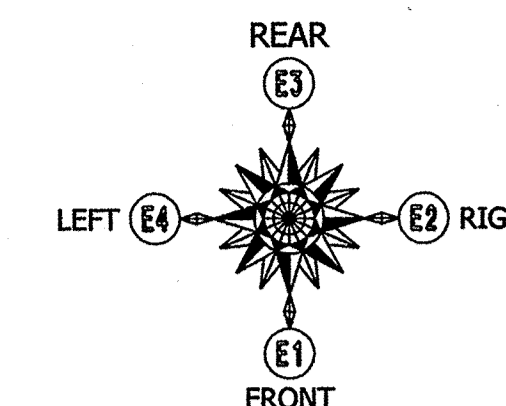
CUSTOMER: JANIS CHARBONNEAU  
JOB CODE: JCH115-1

STYLE: WESTERN HORSE BARN  
REVISION: 5

DRAWN BY: ERIK HALSEY  
DRAWING STATUS: FINAL PLAN SET

**SAND CREEK POST & BEAM**  
116 W. 1st St  
WAYNE, NE 68787  
PH: (402) 833-5600  
FAX: (402) 833-5602  
Toll-free: 1 888-489-1680

SHEET #: 4



NOTE:  
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NOTE: UNLESS NOTED OTHERWISE  
WINDOWS AND DOORS NOT  
SUPPLIED BY SAND CREEK  
POST & BEAM

**LOFT FLOOR LAYOUT**  
SCALE: 1/4" = 1'

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**SAND CREEK**  
**Post & Beam**

CUSTOMER: JANIS CHARBONNEAU  
JOB CODE: JCH115-1

STYLE: WESTERN HORSE BARN  
REVISION: 5

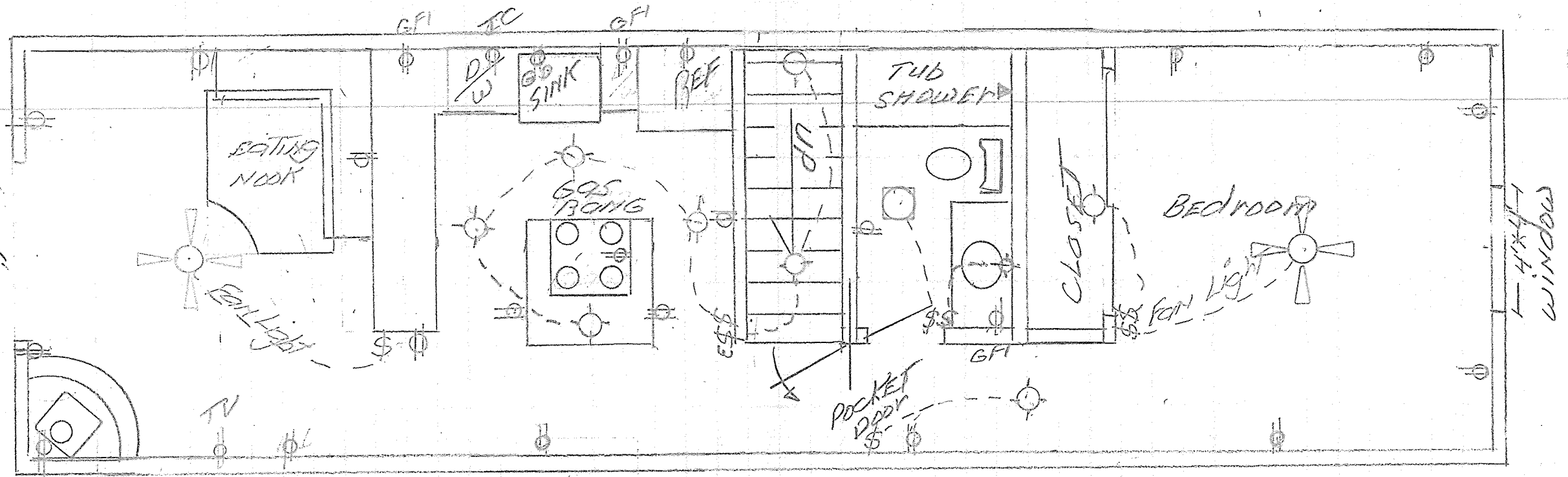
DRAWN BY: ERIK HALSEY  
DRAWING STATUS: FINAL PLAN SET

**SAND CREEK POST & BEAM**  
116 W. 1st St  
WAYNE, NE 68787  
PH: (402) 833-5600  
FAX: (402) 833-5602  
Toll-free: 1 888-489-1680

**SHEET #: 5**

FRONT

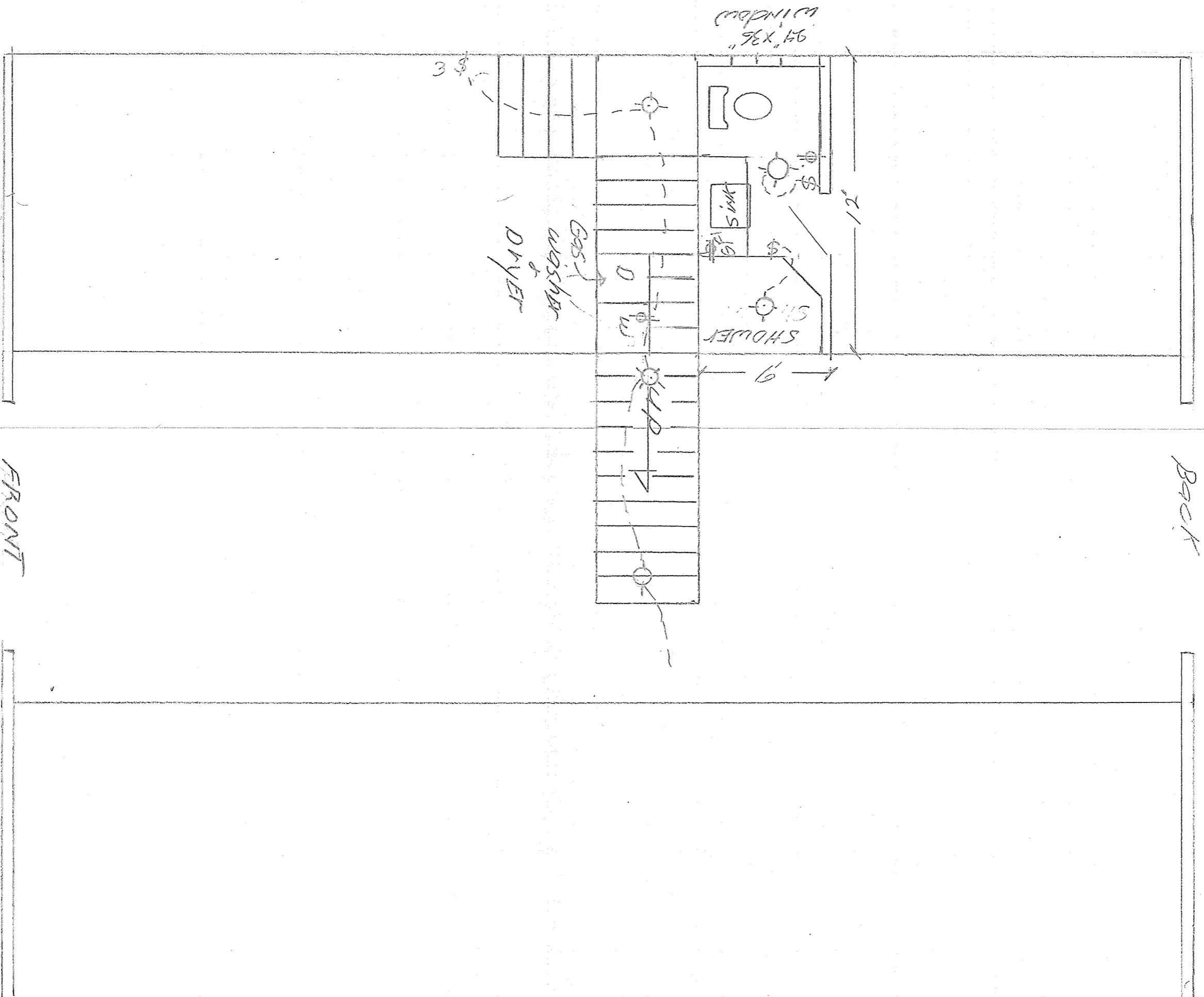
SLIDING DOOR



FINISHED  
LOFT FLOOR LAYOUT

SCALE 1/4" = 1'





BACK

FRONT

94" X 36"  
WINDOW

12"

9"

SHOWER

SINK

WASHER  
DRYER

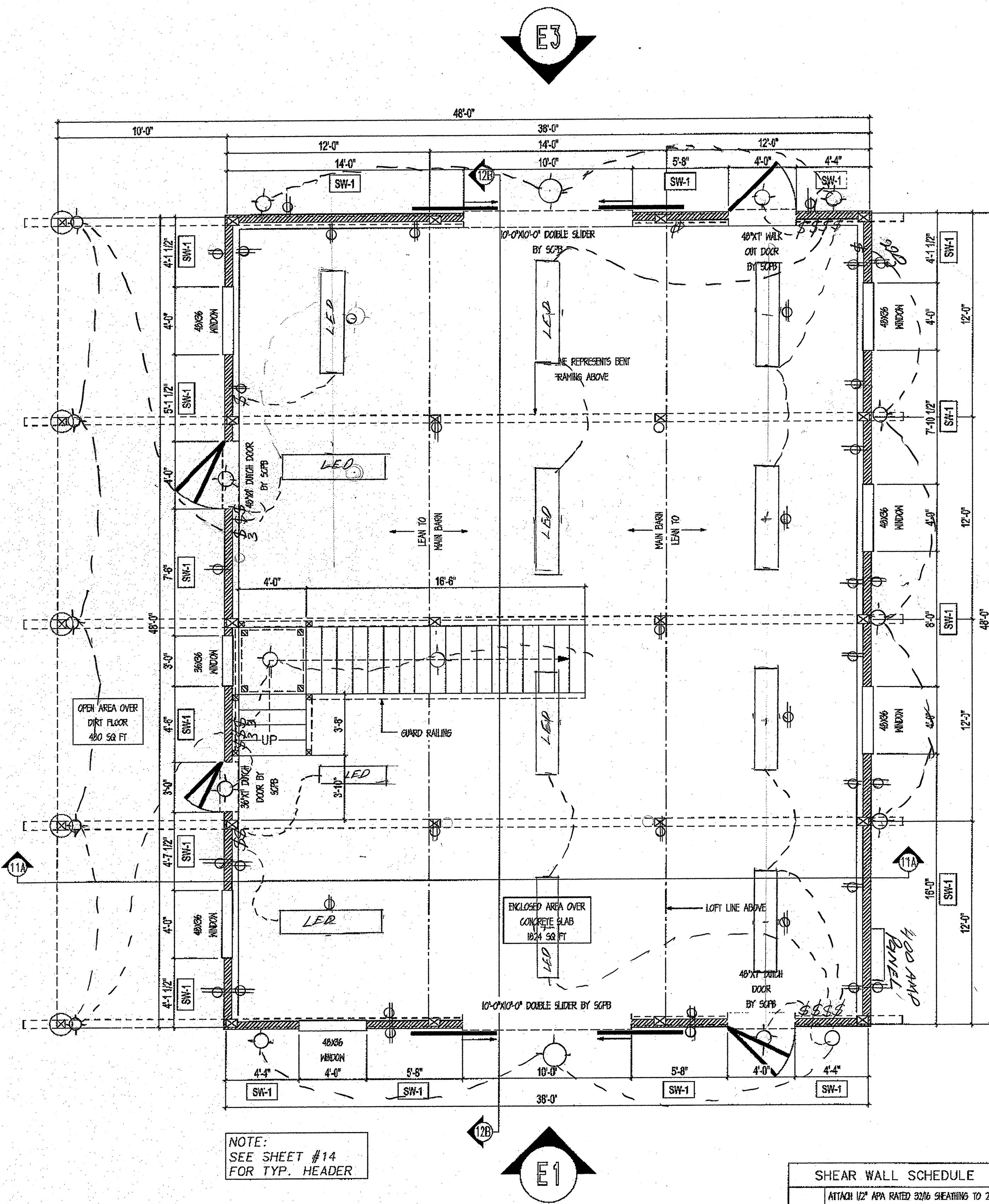
3"

BATH DOWN STAIRS  
BATH ROOM  
WASHER and DRYER  
SCALE 1/4" = 1'

**ELECTRICAL NOTES:**

- BATHROOM, GARAGE, LAUNDRY ROOM, CLOSETS GREATER THAN 70 SF, AND UTILITY ROOM LIGHTING SHALL EITHER BE HIGH EFFICACY OR SHALL BE CONTROLLED BY AN VACANCY SENSOR.
- LIGHTING IN OTHER ROOMS SHALL EITHER BE HIGH EFFICACY OR SHALL BE CONTROLLED BY AN VACANCY SENSOR OR DIMMER. CLOSETS LESS THAN 15F ARE EXEMPT.
- ARC-FAULT BREAKERS REQUIRED IN EVERY ROOM EXCEPT WHERE GFCI'S ARE REQUIRED. ALL 120V, SINGLE PHASE, 15 & 20 AMP BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DEWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION - TYPE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. (NEC 210.12)
- SMOKE ALARMS SHALL BE INTERCONNECTED AND INSTALLED IN ALL SLEEPING ROOMS, AND OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. SMOKE ALARMS SHALL BE LOCATED ON EACH STORY, INCLUDING BASEMENTS. CRC R314.3 SEE PLANS FOR LOCATIONS. SMOKE ALARMS SHALL RECEIVE THEIR POWER FROM THE BUILDING WIRING AND SHALL HAVE A BATTERY BACK-UP THAT EMITS A SIGNAL WHEN BATTERY IS LOW. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN AS REQUIRED FOR OVER CURRENT PROTECTION. CRC R314.
- CONTRACTOR TO VERIFY WITH OWNER ALL ELECTRICAL RECEPTACLE SWITCH AND LIGHTING FIXTURE LOCATIONS BEFORE ROUGH-IN, AND AGAIN DURING A WALK-THRU PRIOR TO INSTALLATION OF DRYWALL.
- TAMPER-RESISTANT RECEPTACLES SHALL BE INSTALLED IN ALL AREAS SPECIFIED IN CRC 210.52. ALL 125 VOLT 15 & 20 AMPERE RECEPTACLES. SHALL BE LISTED TAMPER RESISTANT (CEC 406.11)
- CARBON MONOXIDE ALARMS SHALL BE INSTALLED OUTSIDE EACH SLEEPING AREA, IN THE IMMEDIATE VICINITY OF THE BEDROOMS, AND ON EVERY LEVEL INCLUDING BASEMENTS (CRC R315.3)
- ALL WORK SHALL CONFORM TO THE CURRENT CALIFORNIA RESIDENTIAL CODE (CRC), NATIONAL ELECTRICAL CODE AND ALL APPLICABLE LOCAL ORDINANCES AND REGULATIONS.

E4



F2

**ELECTRICAL LEGEND**

- |   |  |   |  |
|---|--|---|--|
| ⊖ | SINGLE POLE SWITCH                                 | ⊕ | DUPLEX RECEPTACLE                            |
| ⊖ | 3 WAY SWITCH                                       | ⊕ | HALF-HOT (SWITCHED) RECEPTACLE               |
| ⊖ | 4 WAY SWITCH                                       | ⊕ | QUADRUPLUX RECEPTACLE                        |
| ⊖ | DIMMER SWITCH                                      | ⊕ | FLOOR-MOUNTED RECEPTACLE                     |
| ⊖ | OCCUPANT SENSOR SWITCH                             | ⊕ | CEILING-MOUNTED RECEPTACLE                   |
| ⊖ | EXTERIOR MOTION SENSOR SWITCH                      | ⊕ | DUPLEX RECEPTACLE ABOVE COUNTER HEIGHT       |
| ⊖ | WEATHERPROOF SWITCH                                | ⊕ | 220V RECEPTACLE                              |
| ⊖ | SURFACE-MOUNTED CEILING LIGHT FIXTURE              | ⊕ | GROUND FAULT CIRCUIT INTERRUPT RECEPTACLE    |
| ⊖ | SURFACE-MOUNTED CEILING LIGHT FIXTURE: PENDANT     | ⊕ | WEATHERPROOF RECEPTACLE                      |
| ⊖ | SURFACE-MOUNTED CEILING LIGHT FIXTURE: DIRECTIONAL | ⊕ | DEDICATED RECEPTACLE (EXAMPLE: REFRIGERATOR) |
| ⊖ | CEILING FAN  | ⊕ | TELEPHONE - DSL - CABLE SERVICE              |
| ⊖ | RECESSED CEILING LIGHT FIXTURE                     | ⊕ | SMOKE / CARBON MONOXIDE DETECTOR             |
| ⊖ | SURFACE-MOUNTED CEILING LIGHT FIXTURE: DIRECTIONAL | ⊕ | FREEZE-PROOF HOSE BIB                        |
| ⊖ | WALL-MOUNTED LIGHT FIXTURE (SCONCE)                | ⊕ | NATURAL GAS SUPPLY                           |
| ⊖ | CONCEALED-SOURCE LED STRIP LIGHTS                  | ⊕ | FLOOR DRAIN                                  |
| ⊖ | EXHAUST FAN  | ⊕ | OVERHEAD "RAIN" SHOWER HEAD                  |
| ⊖ | EXHAUST FAN - LIGHT COMBINATION                    | ⊕ | WALL-MOUNTED SHOWER HEAD                     |
| ⊖ | LED PUCK LIGHTS                                    | ⊕ | HAND-HOLD SHOWER HEAD                        |
| ⊖ | FLORESCENT STRIP LIGHTS                            | ⊕ | SINK FAUCET                                  |
| ⊖ | TRACK LIGHTING SYSTEM                              | ⊕ | RECESSED HOT - COLD WATER SUPPLY FOR W/D     |

NOTE:  
SEE SHEET #14  
FOR TYP. HEADER

SHEAR WALL SCHEDULE	
SW-1	ATTACH 1/2" APA RATED 32KG SHEARINGS TO 2X VERT FRAMED STUDS @ 16" O.C. W/ 2D WALLS 6" O.C. PANEL EDGE AND 12" O.C. IN THE FIELD. BLOCK ALL WALL PANEL EDGES

**MAIN FLOOR LAYOUT**

SCALE: 1/4" = 1'

**GENERAL NOTES:**

- SEE EFFICIENCY STANDARDS NOTES FOR REQUIRED OCCUPANT SENSORS, DIMMERS, AND HIGH-EFFICACY FIXTURES.
- ALL EQUIPMENT COMBUSTION AIR AND EXHAUST VENTS SHALL BE LOCATED AND INSTALLED PER CODE.
- VENT ALL EXHAUST FANS PER CODE.
- EXTERIOR LIGHTS SHALL HAVE MOTION DETECTORS AND PHOTCELLS.
- EXTERIOR WEATHERPROOF RECEPTACLES SHALL BE ACCESSIBLE AT GRADE LEVEL.

DRAWN BY: ERK 11/13/17