

## Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

<b>Project Information</b>		Staff Assigned Case No.: _____	
Project Name: Detached garage with detached accessory dwelling on second floor.			
Project Description: 30' x 30' (900 SF) detached garage with 655 SF detached accessory dwelling on the second floor.			
Project Address: 15915 Secret Pass Rd., Reno, NV 89521			
Project Area (acres or square feet): 41,065 SF			
Project Location (with point of reference to major cross streets <b>AND</b> area locator): .3 miles west of Toll Rd. and approximately 1.6 miles SSE of Toll Rd. and Geiger Grade Rd.			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
017-200-53	.943		
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
<b>Applicant Information (attach additional sheets if necessary)</b>			
<b>Property Owner:</b>		<b>Professional Consultant:</b>	
Name: Rogelio Jimenez-Recendiz		Name: Robert Krone Architect P.C.	
Address: 2645 Star Pointe Dr.		Address: P.O. Box 100	
Reno, NV	Zip: 89521	Verdi, NV	Zip: 89439
Phone: 775-691-9744	Fax:	Phone: 917-359-9302	Fax:
Email: jjstucco@yahoo.com		Email: bob@kronearc.com	
Cell: 775-691-9744	Other:	Cell: 917-359-9302	Other:
Contact Person: Rogelio Jimenez-Recendiz		Contact Person: Robert Krone	
<b>Applicant/Developer:</b>		<b>Other Persons to be Contacted:</b>	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone:	Fax:	Phone:	Fax:
Email:		Email:	
Cell:	Other:	Cell:	Other:
Contact Person:		Contact Person:	
<b>For Office Use Only</b>			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	



## Administrative Review Permit Application for a Detached Accessory Dwelling Supplemental Information

(All required information may be separately attached)

1. What is the size (square footage) of the main dwelling or proposed main dwelling (exclude size of garage)?

2,963 SF

2. What is the size of the proposed detached accessory dwelling (exclude size of garage)? If a manufactured or modular home is the secondary dwelling, list the age and size of the unit.

655 SF

3. How are you planning to integrate the main dwelling and secondary dwelling to provide architectural compatibility of the two structures?

Roof slopes, roof materials, facade materials and windows of the detached accessory dwelling will match those of the main dwelling.

5. How many off-street parking spaces are available? Parking spaces must be shown on site plan. Are any new roadway, driveway, or access improvements be required?

Two (2) parking spaces will be provided in the new detached garage. The detached accessory dwelling will be the second floor of the new garage. A new gravel driveway will connect the detached building with Secret Pass Rd.

6. What will you do to minimize any potential negative impacts (e.g. increased lighting, removal of existing vegetation, etc.) your project may have on adjacent properties?

The four exterior light fixtures on the detached garage and accessory dwelling will be shielded to prevent glare and light pollution for adjacent properties. No existing vegetation will be removed.

7. Is the subject property part of an active Home Owners Association (HOA) or Architectural Control Committee?

Yes     No    If yes, please list the HOA name.

8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit a detached accessory dwelling on your property?

Yes     No    If yes, please attach a copy.

9. Only one accessory dwelling unit, whether attached or detached, is allowed per parcel. Is there a guest apartment, mother-in-law unit, next-gen addition with kitchen or any other type of secondary dwelling on the subject property?

Yes     No    If yes, please provide information on the secondary unit.

10. List who the service providers are for the main dwelling and accessory dwelling:

	Main Dwelling	Accessory Dwelling
Sewer Service	TMWA	TMWA
Electrical Service	NV Energy	NV Energy
Solid Waste Disposal Service	Waste Management	Waste Management
Water Service	TMWA	TMWA

**WASHOE COUNTY TREASURER**

PO BOX 30039  
 RENO, NV 89520-3039  
 775-328-2510

Received By: fgregory      Receipt Number: U20.6335  
 Location: Treasurer's Office      Receipt Year: 2020  
 Session: fgreg-0-08182020      Date Received: 08/18/2020

**PAYMENT RECEIPT**

Type	Description	Balance	Net Tax	Interest	Fees Penalties	Current Due	Current Paid	Balance Remaining
Real	Bill Number: 2020544234 Bill Year: 2020 PIN: 01720053 Primary Owner: ROJELIO JIMENEZ-RECENDIZ Property Addr: 15915 SECRET PASS RD Property Desc: Township 18 Section 34 Lot B-1 Block 1 Range 20 SubdivisionName	592.81	592.81	0.00	0.00	592.81	592.81	0.00
<b>Totals:</b>		592.81	592.81	0.00	0.00	592.81	592.81	0.00

Tender Information:		Charge Summary:	
Check #125/1455	592.81	Real	592.81
Total Tendered	592.81	Total Charges	592.81

**WASHOE COUNTY TREASURER** PO BOX 30039 RENO, NV 89520-3039

**W. C. T. O. 28**  
**AUG 17 2020**  
**PAID**

By Whom Paid:

ROJELIO JIMENEZ-RECENDIZ  
 2645 STAR POINTE DR  
 RENO NV 89521


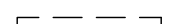


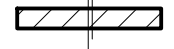



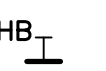
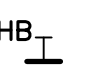
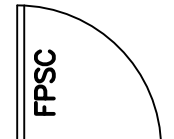
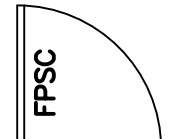
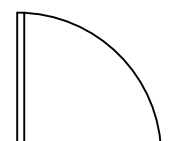
BALANCE REMAINING	0.00
CHARGES	592.81
PAID	592.81
CHANGE	0.00

**GENERAL NOTES**

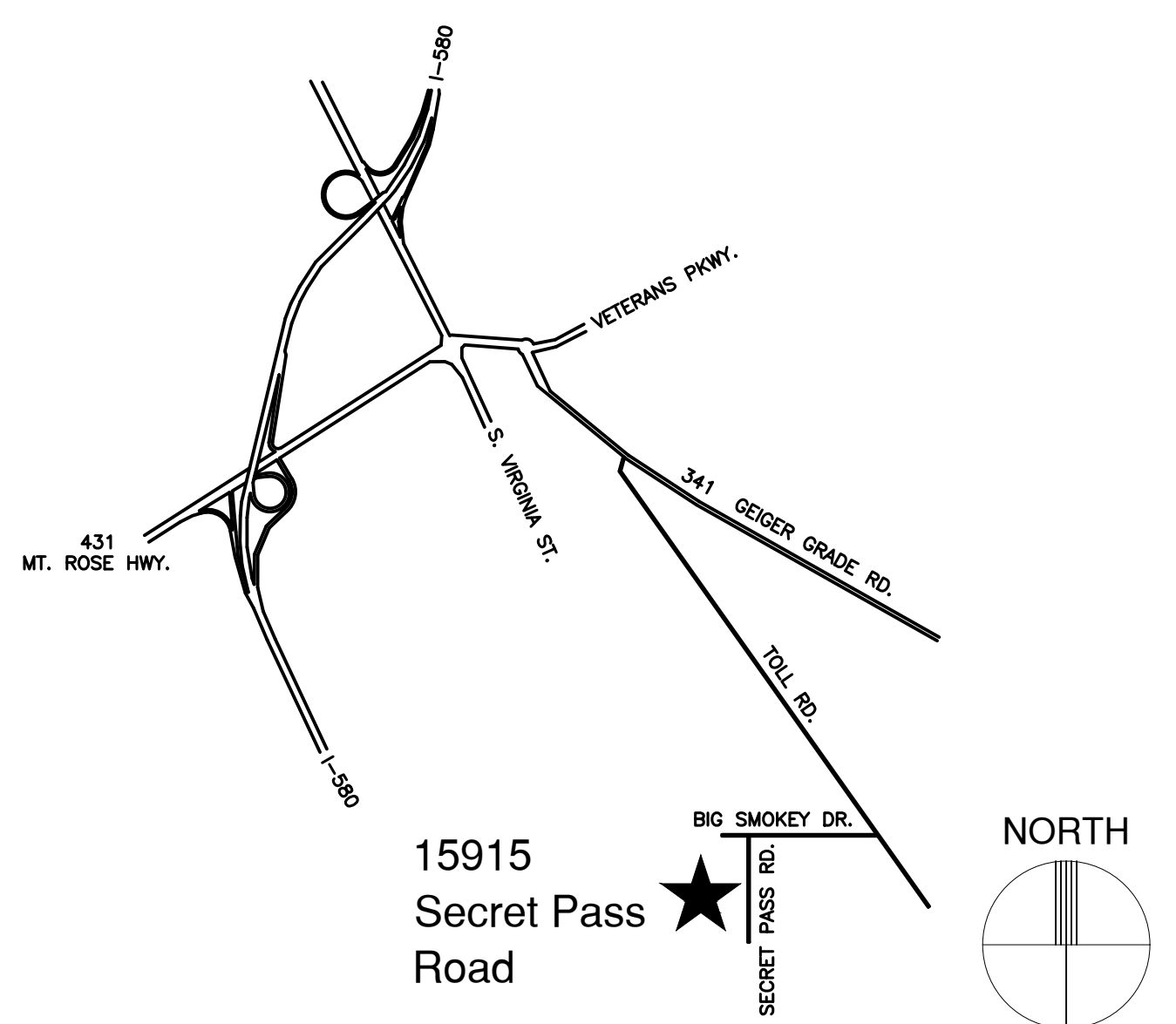
- SCOPE OF WORK: CONSTRUCTION OF A FREE-STANDING GARAGE WITH SECOND FLOOR DETACHED ACCESSORY DWELLING, INCLUDING THE INSTALLATION OF NEW PLUMBING.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE WASHOE COUNTY BUILDING CODE, FIRE DEPARTMENT RULES AND REGULATIONS, UTILITY COMPANY REQUIREMENTS AND BEST TRADE PRACTICES.
- BEFORE COMMENCING THE WORK, THE CONTRACTOR SHALL FILE ALL REQUIRED INSURANCE CERTIFICATES WITH THE WASHOE COUNTY PLANNING AND BUILDING DIVISION, OBTAIN ALL REQUIRED PERMITS AND PAY ALL FEES REQUIRED BY THE GOVERNING WASHOE COUNTY AGENCIES.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT REQUIRED FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
- THE CONTRACTOR SHALL COORDINATE ALL WORK PROCEDURES WITH THE STIPULATIONS OF LOCAL AUTHORITIES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL DESIGN AND INSTALL ADEQUATE SHORING AND BRACING FOR ALL STRUCTURAL OR REMOVAL TASKS. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK.
- THE CONTRACTOR SHALL LAYOUT HIS OWN WORK AND SHALL PROVIDE ALL DIMENSIONS REQUIRED FOR OTHER TRADES: PLUMBING, MECHANICAL, ELECTRICAL, ETC.
- PLUMBING WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN THROUGH THE PLANNING AND BUILDING DIVISION, ALL REQUIRED PERMITS, INSPECTIONS AND REQUIRED SIGN-OFFS.
- ELECTRICAL WORK SHALL BE PERFORMED BY PERSONS LICENSED IN THEIR TRADES, WHO SHALL ARRANGE FOR AND OBTAIN THROUGH THE PLANNING AND BUILDING DIVISION, ALL REQUIRED PERMITS, INSPECTIONS AND REQUIRED SIGN-OFFS.
- THE CONTRACTOR SHALL DO ALL CUTTING, PATCHING AND REPAIRING AS REQUIRED TO PERFORM ALL OF THE WORK INDICATED ON THE DRAWINGS AND ALL OTHER WORK THAT MAY BE REQUIRED TO COMPLETE THE JOB.
- ALL ABANDONED PIPING AND WIRING SHALL BE REMOVED TO A POINT OF CONCEALMENT AND SHALL BE PROPERLY CAPPED, PLUGGED OR SAFED-OFF.

- CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL BUILDING CODE AND ALL APPLICABLE STATE CODES, FEDERAL REGULATIONS, NFPA 101, THE NATIONAL BOARD OF FIRE UNDERWRITERS AND ALL APPLICABLE LOCAL LAWS AND REGULATIONS.
- ALL FINISHES AND MATERIALS USED, MUST COMPLY WITH THE FLAME SPREAD RATINGS, FIRE AND SMOKE REGULATIONS REQUIRED BY ALL FEDERAL, STATE, LOCAL CODES IN ADDITION TO THE N.F.P.A. REGULATIONS.
- ALL REQUIREMENTS OF LOCAL, STATE, AND FEDERAL CODES PERTAINING TO THE PHYSICALLY HANDICAPPED SHALL APPLY TO THE CONTRACT INCLUDING ALL REQUIREMENTS OF ANSI WITH RESPECT TO STAIRS, HANDRAILS, TOILETS, MOUNTING HEIGHTS, ETC...
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH OSHA REQUIREMENTS.
- OBTAIN ALL PERMITS AND PAY ALL FEES REQUIRED BY LOCAL LAWS, ORDINANCES AND REGULATIONS PERTAINING TO THIS WORK.
- ALL EQUIPMENT SUPPLIED BY THE CONTRACTOR SHALL HAVE APPROVAL FOR USE IN THE CITY, TOWN OR COUNTY HAVING JURISDICTION
- PROVIDE EXIT SIGNS AS REQUIRED IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL CODES.
- AFFIDAVITS FOR CONTROLLED AND SEMI-CONTROLLED INSPECTIONS SHALL BE FILED IN ACCORDANCE WITH LOCAL LAWS AND CODES AS REQUIRED FOR THIS PROJECT.
- EXISTING UTILITY LINES OTHER THAN THOSE INDICATED ON THESE DRAWINGS MAY BE IN THE BUILDING. THE CONTRACTOR IS WARNED TO PROCEED WITH CAUTION WITH ALL WORK, ESPECIALLY WITH EXCAVATION WORK. HE IS TO MAKE ALL POSSIBLE INVESTIGATIONS AS TO POSSIBLE UNMARKED UTILITY LINES.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS IN THE FIELD COVERING OR AFFECTING THE WORK. HE SHALL OBTAIN AND VERIFY ALL DIMENSIONS TO INSURE PROPER STRENGTH, FIT, AND LOCATION AND SHALL REPORT TO THE ARCHITECT ANY AND ALL CONDITIONS WHICH MAY INTERFERE WITH OR OTHERWISE AFFECT PROPER COMPLETION OF THE WORK. DRAWINGS SHALL NOT BE SCALED.
- LAYOUT OF WORK: THE CONTRACTOR SHALL LAYOUT HIS WORK FROM THE DIMENSIONS SHOWN ON THE DRAWINGS AND SHALL BE RESPONSIBLE FOR ALL MEASUREMENTS IN CONNECTION THEREWITH AND SHALL ADVISE THE ARCHITECT IN WRITING OF ANY AND ALL DISCREPANCIES OR CONFLICTS PRIOR TO COMMENCING THE ACTUAL WORK.
- ALL WORK SHALL BE CONSIDERED TO BE EXISTING EXCEPT WHERE INDICATED TO BE NEW WORK.
- FURNISH AND INSTALL ALL FIRE EXTINGUISHERS REQUIRED BY THE LOCAL FIRE DEPARTMENT AND BUILDING CODES AND LOCATE WHERE SHOWN ON THE ARCHITECTURAL DRAWINGS OR AS DIRECTED BY THE ARCHITECT IN THE FIELD.
- CONTRACTOR IS RESPONSIBLE FOR ALL INSPECTIONS, CONTROLLED INSPECTIONS & SIGN-OFFS PERTAINING TO THE WORK AS REQUIRED BY THE LOCAL BUILDING CODE AND ALL APPLICABLE COUNTY AND STATE CODES, FEDERAL REGULATIONS, NFPA 101, THE NATIONAL BOARD OF FIRE UNDERWRITERS AND ALL APPLICABLE LOCAL LAWS AND REGULATIONS.

**LEGEND**

-  EXISTING CONSTRUCTION TO REMAIN
-  EXISTING CONSTRUCTION TO BE DEMOLISHED
-  2x6 LOAD BEARING EXTERIOR WALL W/ 5.5" R-21 FIBERGLASS INSULATION, PLUS 1-1/2" R-7.5 XPS RIGID INSULATION. SEE STRUCTURAL ENGINEERING DRAWINGS FOR STRUCTURAL & FRAMING DETAILS & SPECIFICATIONS
-  1
-  2x4 INTERIOR PARTITION: 1/2" FIRE CODE TYPE "X" GYPSUM BOARD ON BOTH SIDES OF 2x4 WOOD STUDS @ 16" O.C. W/ 3 1/2" ROXUL SOUND INSULATION BATTS IN STUD CAVITIES
-  2
-  COMBINATION SMOKE/CO<sub>2</sub> DETECTOR, 110 VOLT W/ BATTERY BACK-UP, INTERCONNECTED W/ ALL OTHER SMOKE/CO<sub>2</sub> DETECTORS IN BUILDING
-  SD
-  FROST FREE HOSE BIBB WITH BACK FLOW PREVENTION DEVICE
-  HB-T
-  FIREPROOF, SELF-CLOSING DOOR
-  FPSC
-  DOOR

**LOCATION MAP**



**JIMENEZ-RECENDIZ GARAGE**

15915 Secret Pass Road  
 Reno, NV 89521  
 APN: 017-200-53

**Zoning: MDS**  
**Lot area: 41,065 SF**

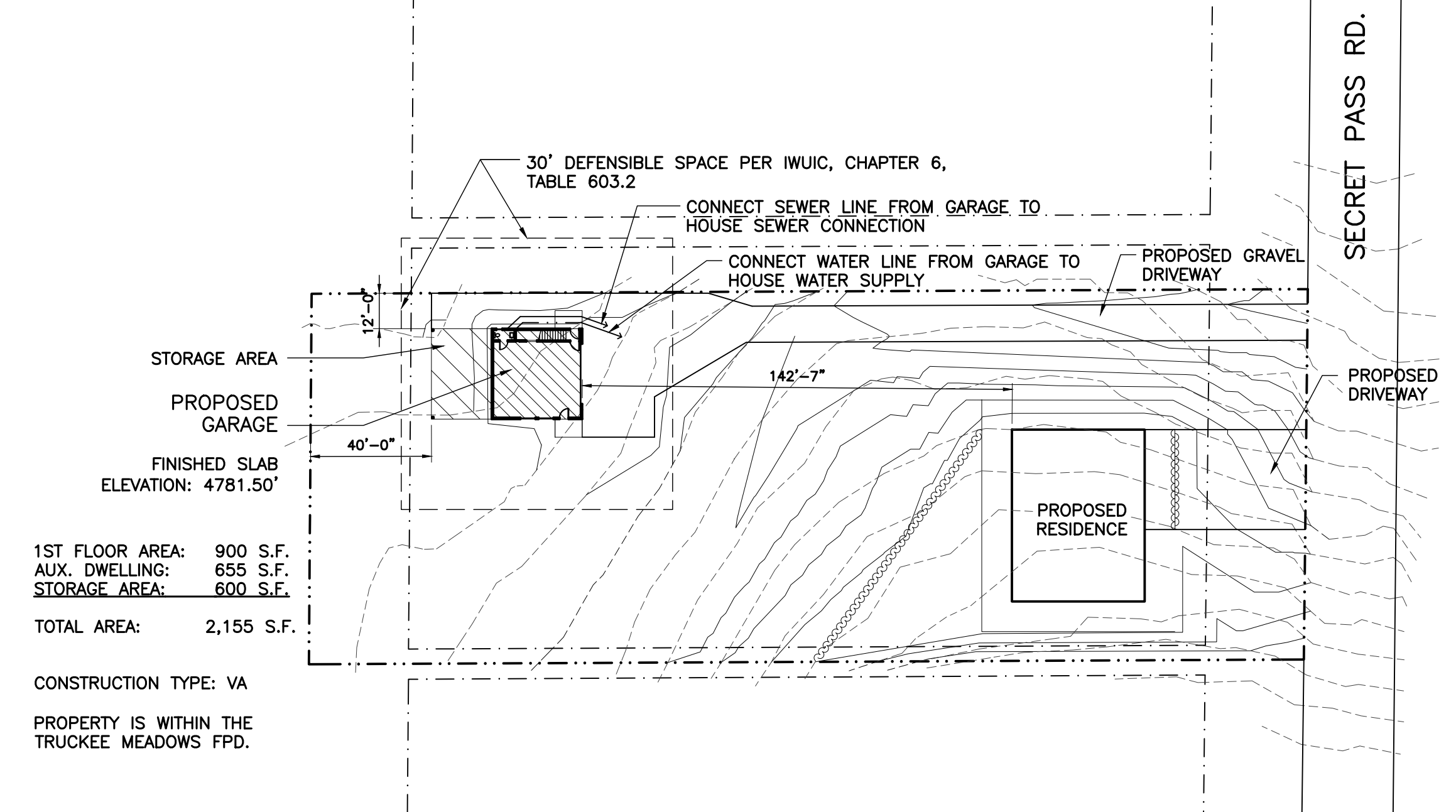
**Owner Contact Information:**  
**ROGELIO**  
**JIMENEZ-RECENDIZ**  
**775-691-9744**

**SHEET INDEX**

- A-001.00 SHEET INDEX, PLOT PLAN, LEGEND & NOTES
- A-201.00 FLOOR & ROOF PLANS
- A-301.00 REFLECTED CEILING & OUTLET PLANS
- A-501.00 EXTERIOR ELEVATIONS
- A-601.00 BUILDING SECTIONS & DETAILS
- A-701.00 SCHEDULES & SPECIFICATIONS
- A-702.00 NOTES & SPECIFICATIONS

ROBERT KRONE  
 ARCHITECT P. C.  
 P.O. Box 100  
 VERDI, NEVADA 89439  
 TEL: 917.359.9302  
 bob@kronearc.com  
 www.kronearc.com

NO.	ISSUE DESCRIPTION	DATE



1ST FLOOR AREA: 900 S.F.  
 AUX. DWELLING: 655 S.F.  
 STORAGE AREA: 600 S.F.  
 TOTAL AREA: 2,155 S.F.

CONSTRUCTION TYPE: VA  
 PROPERTY IS WITHIN THE TRUCKEE MEADOWS FPD.

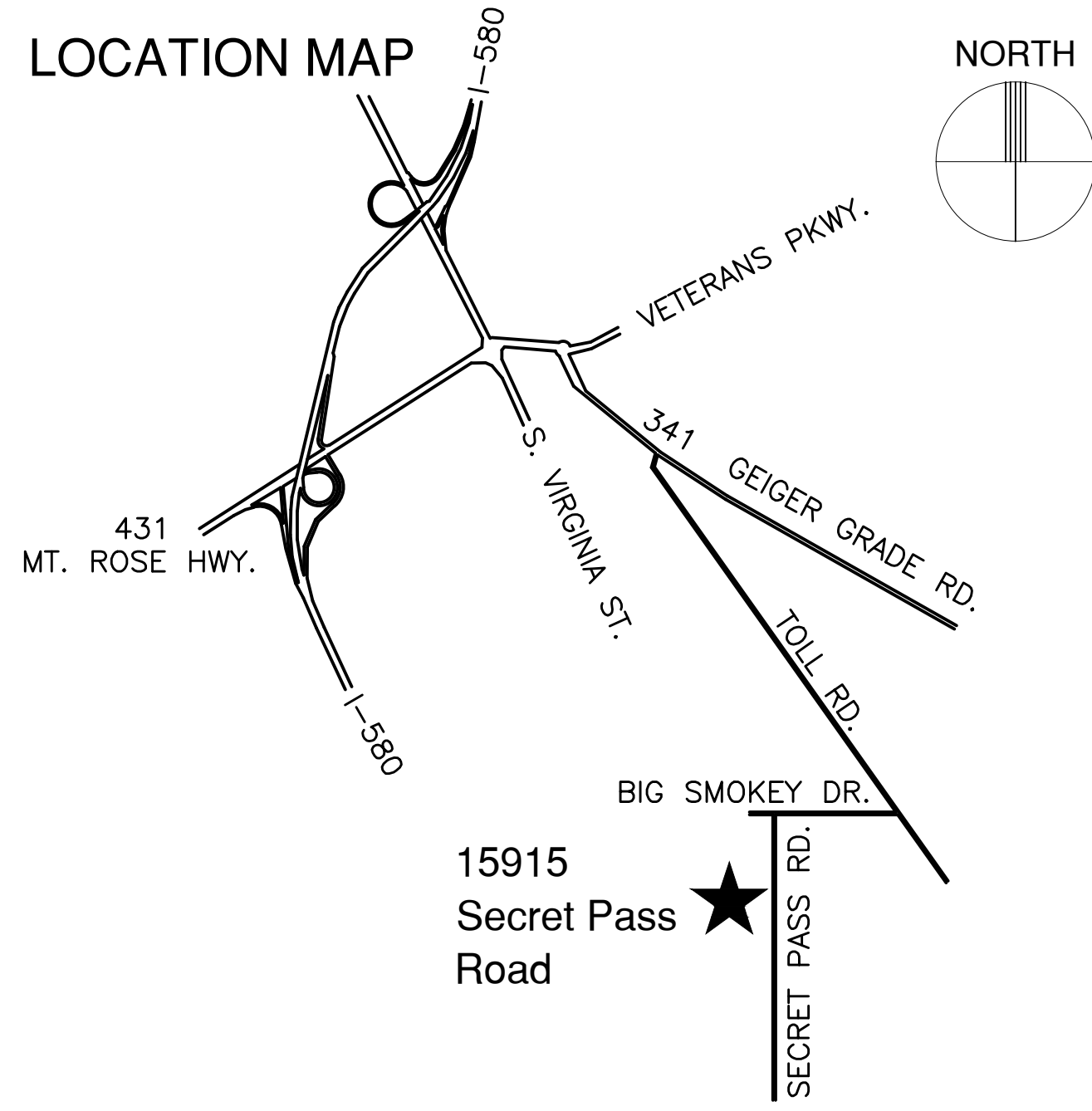
**1 SITE PLAN**  
 SCALE: 1" = 40'-0"

PROJECT:  
**JIMENEZ-RECENDIZ GARAGE**  
 15915 Secret Pass Road  
 Reno, NV 89521  
 APN: 017-200-53

**SHEET INDEX, PLOT PLAN, LEGENDS & NOTES**

DATE: 2.5.21  
 PROJECT No.: 1211  
 DRAWING BY: RCK  
 CHKD. BY: RCK  
 DWG NO.:  
**A-001.00**

THIS DOCUMENT IS THE PROPERTY OF ROBERT KRONE ARCHITECT, P.C. and is not to be used for any other purpose, location or event without written consent of ROBERT KRONE ARCHITECT P.C. © 2021 ROBERT KRONE ARCHITECT P.C.



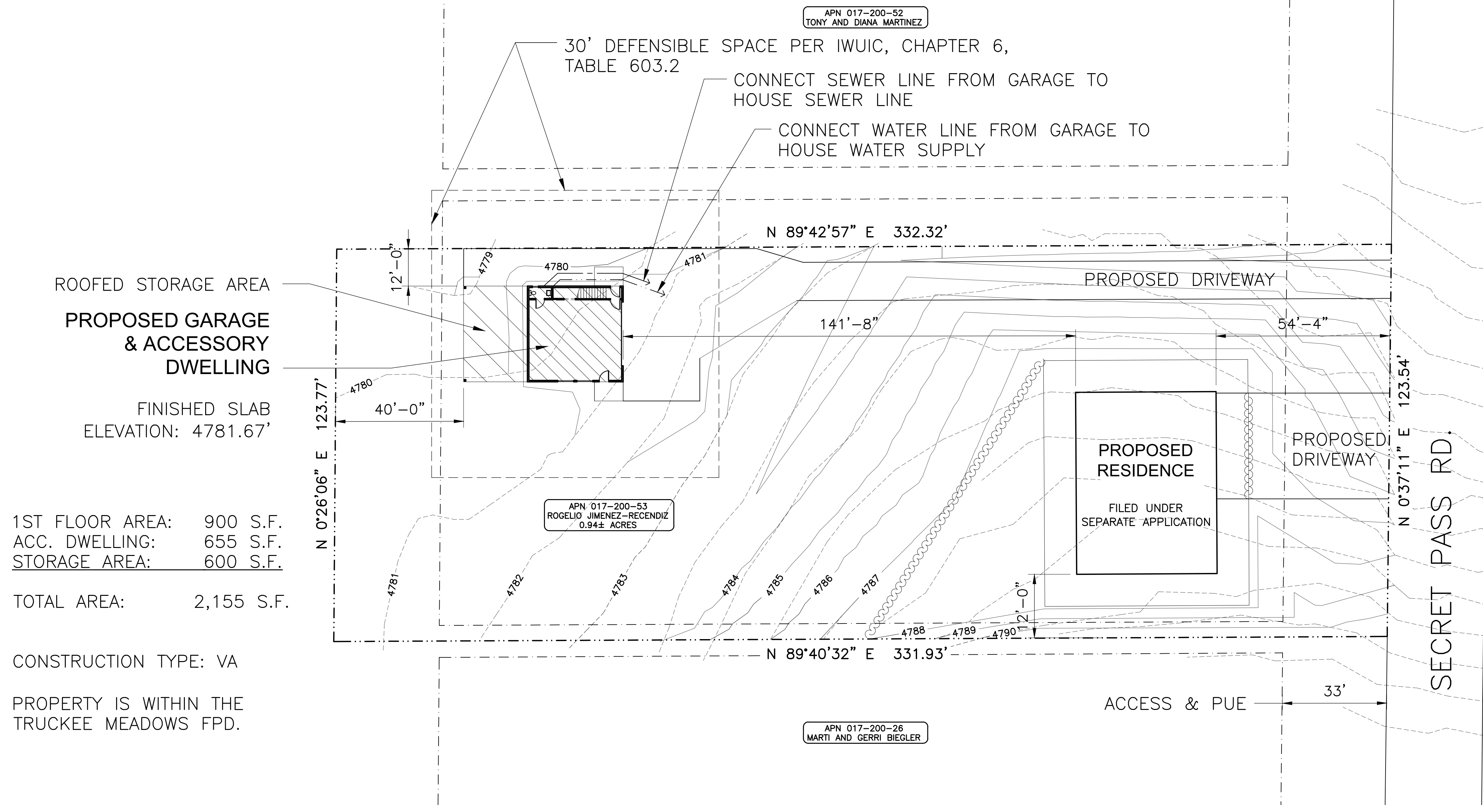
**JIMENEZ-RECENDIZ  
GARAGE &  
ACCESSORY  
DWELLING**

15915 Secret Pass Road  
Reno, NV 89521  
APN: 017-200-53

Zoning: MDS  
Lot area: 41,065 SF

Owner Contact Information:  
**ROGELIO  
JIMENEZ-RECENDIZ**  
775-691-9744

ROBERT KRONE  
ARCHITECT P. C.  
  
P.O. Box 100  
VERDI, NEVADA 89439  
  
TEL: 917.359.9302  
  
bob@kronearc.com  
  
www.kronearc.com



ROOFED STORAGE AREA  
**PROPOSED GARAGE  
& ACCESSORY  
DWELLING**  
  
FINISHED SLAB  
ELEVATION: 4781.67'

1ST FLOOR AREA: 900 S.F.  
ACC. DWELLING: 655 S.F.  
STORAGE AREA: 600 S.F.

TOTAL AREA: 2,155 S.F.

CONSTRUCTION TYPE: VA

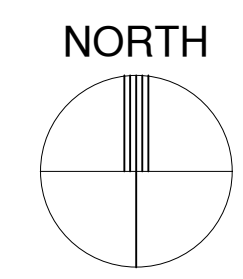
PROPERTY IS WITHIN THE  
TRUCKEE MEADOWS FPD.

APN 017-200-52  
TONY AND DIANA MARTINEZ

APN 017-200-53  
ROGELIO JIMENEZ-RECENDIZ  
0.94± ACRES

APN 017-200-26  
MARTI AND GERRI BIEGLER

**1** SITE PLAN  
SCALE: 1" = 20'-0"



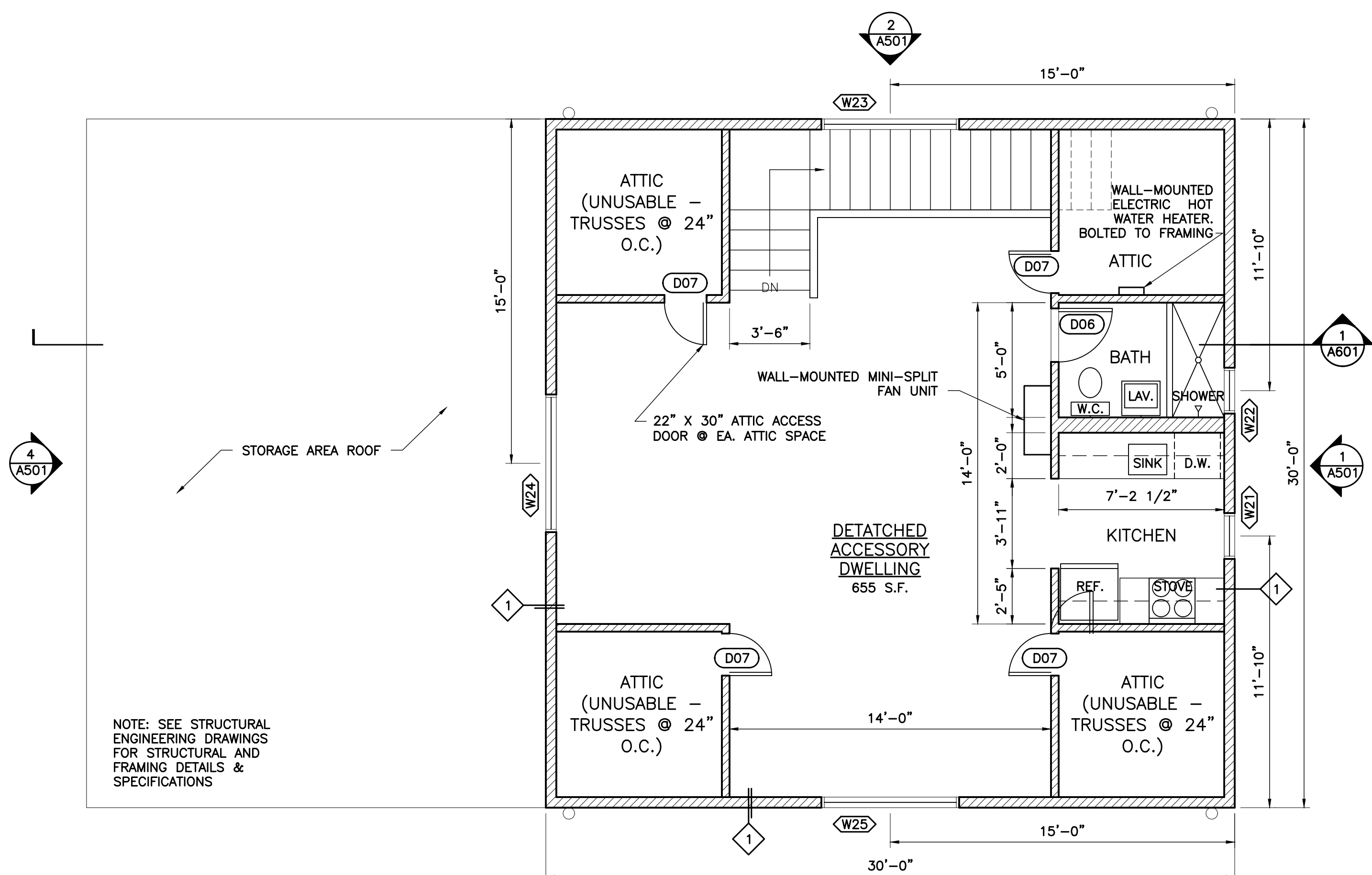
NO.	ISSUE DESCRIPTION	DATE

PROJECT:  
**JIMENEZ-RECENDIZ GARAGE &  
ACCESSORY DWELLING**  
15915 Secret Pass Road  
Reno, NV 89521  
  
**APN: 017-200-53**

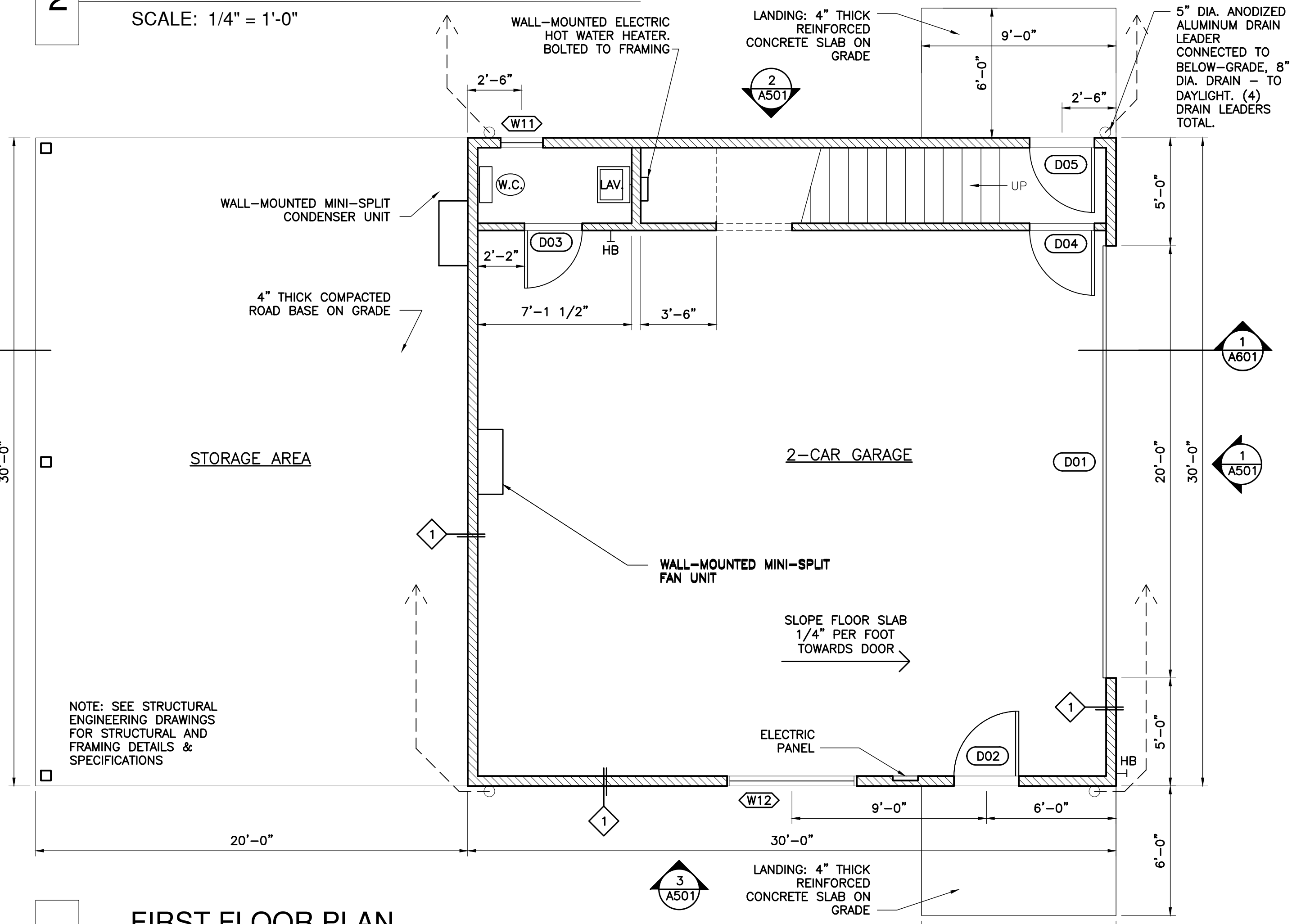
SITE PLAN &  
LOCATION MAP

DATE: 2.23.21  
PROJECT No.: 1211  
DRAWING BY: RCK  
CHKD. BY: RCK  
DWG NO.:  
**A-002.00**

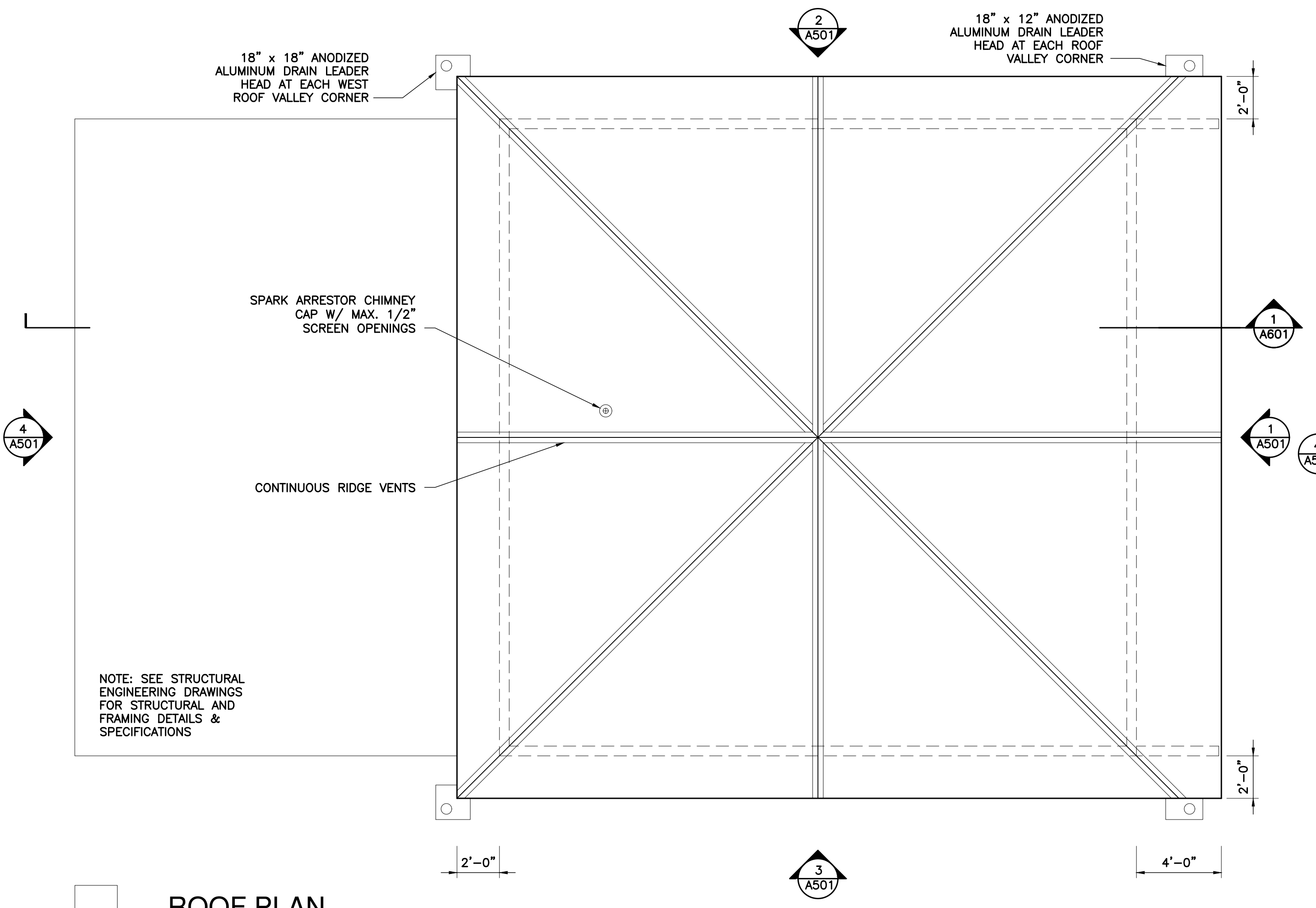
This document is the property of ROBERT KRONE ARCHITECT, P.C. and is not to be used for any other purpose. Location of sheet without written consent of ROBERT KRONE ARCHITECT P.C. © 2021 ROBERT KRONE ARCHITECT P.C.



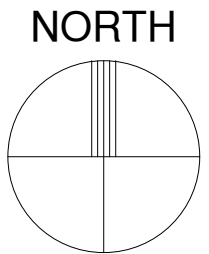
**2** ACCESSORY DWELLING UNIT PLAN  
SCALE: 1/4" = 1'-0"



**1** FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"



**3** ROOF PLAN  
SCALE: 1/4" = 1'-0"



NOTE: SEE STRUCTURAL ENGINEERING DRAWINGS FOR STRUCTURAL AND FRAMING DETAILS & SPECIFICATIONS

NOTE: SEE STRUCTURAL ENGINEERING DRAWINGS FOR STRUCTURAL AND FRAMING DETAILS & SPECIFICATIONS

THIS DOCUMENT IS THE PROPERTY OF ROBERT KRONE ARCHITECT, P. C. AND IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN CONSENT OF ROBERT KRONE ARCHITECT, P. C. © 2021 ROBERT KRONE ARCHITECT, P. C.

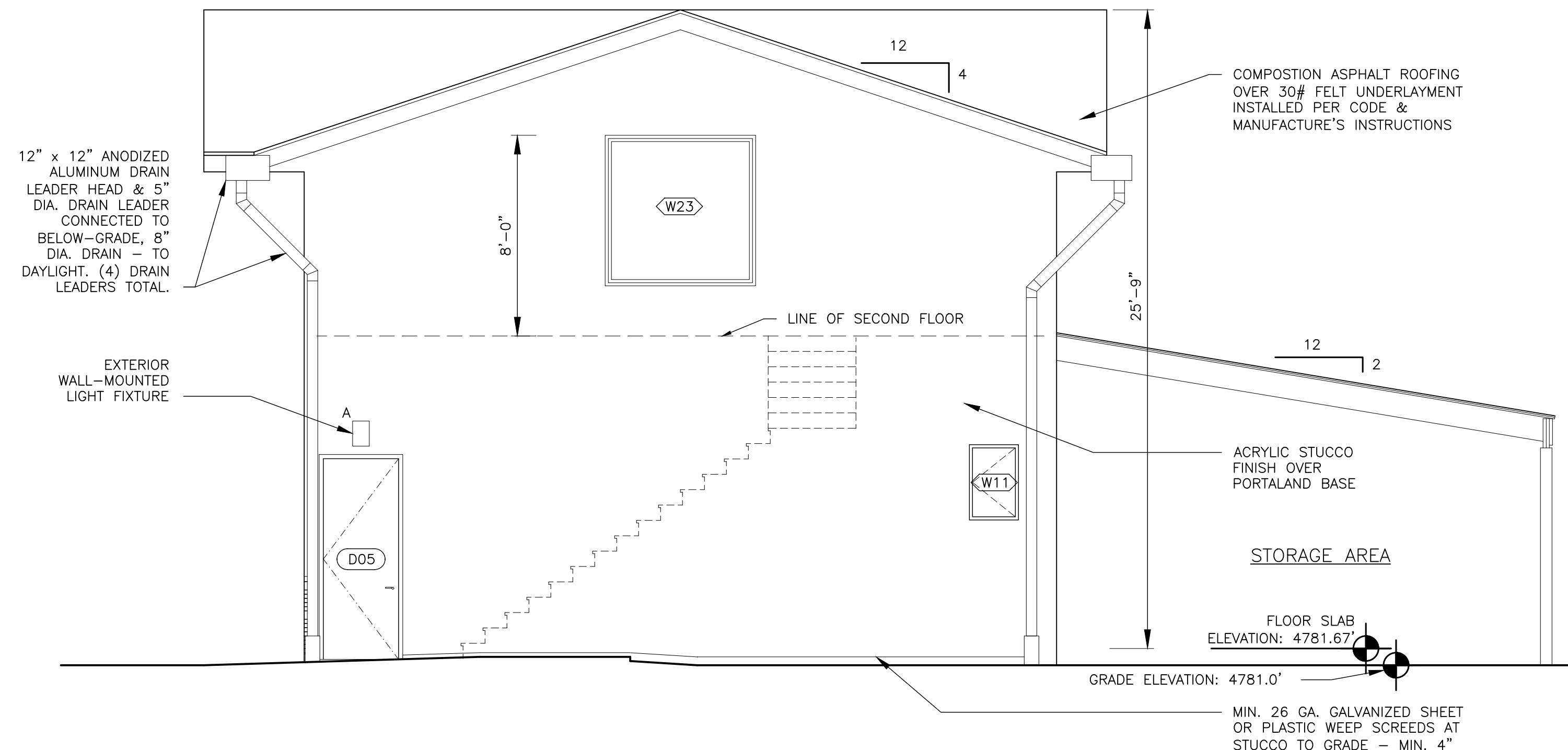
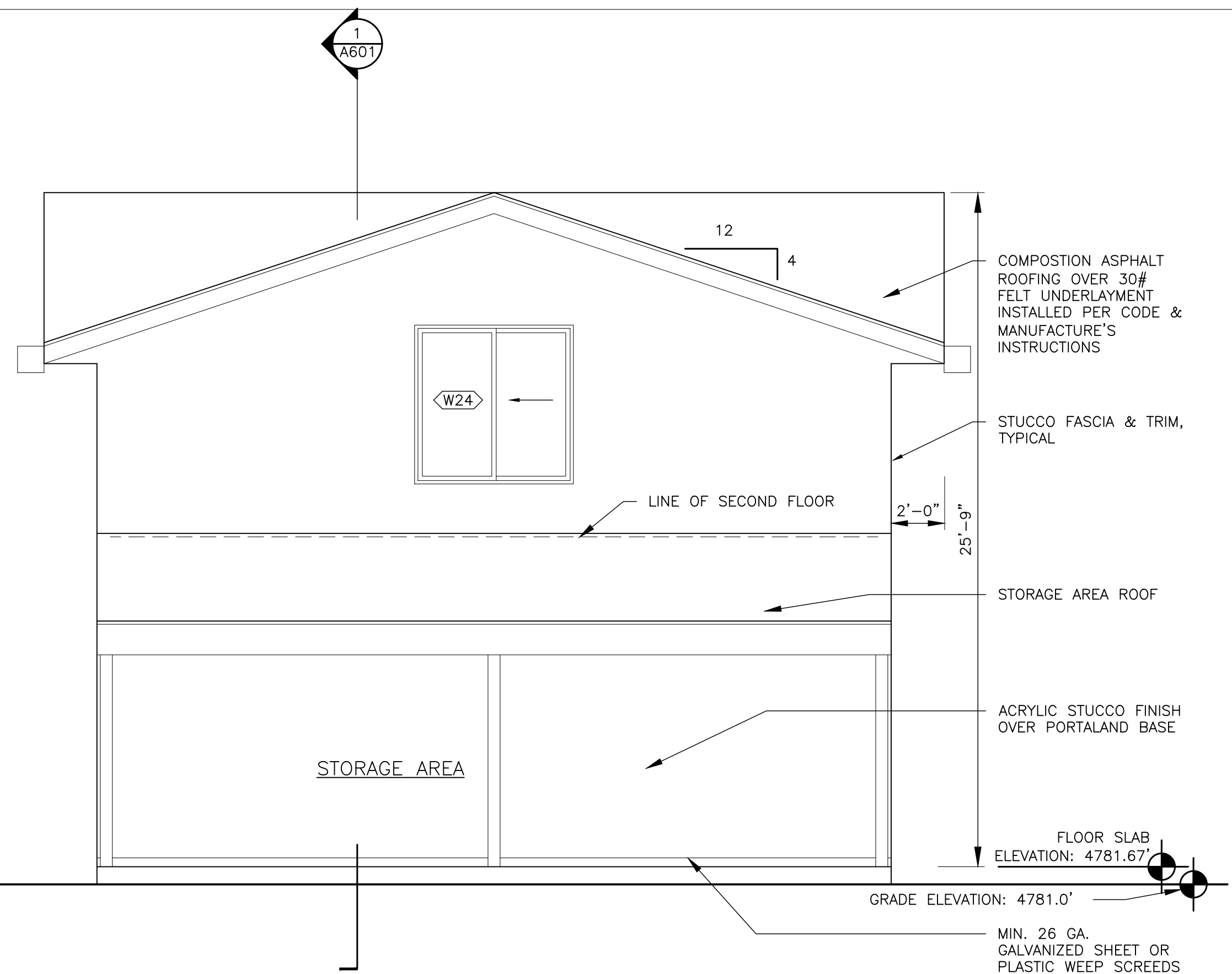
NO.	ISSUE DESCRIPTION	DATE

PROJECT:  
**JIMENEZ-RECENDIZ GARAGE**  
15915 Secret Pass Road  
Reno, NV 89521  
APN: 017-200-53

FLOOR & ROOF PLANS

DATE: 2.5.21  
PROJECT No.: 1211  
DRAWING BY: RCK  
CHKD. BY: RCK  
DWG NO.:  
**A-201.00**

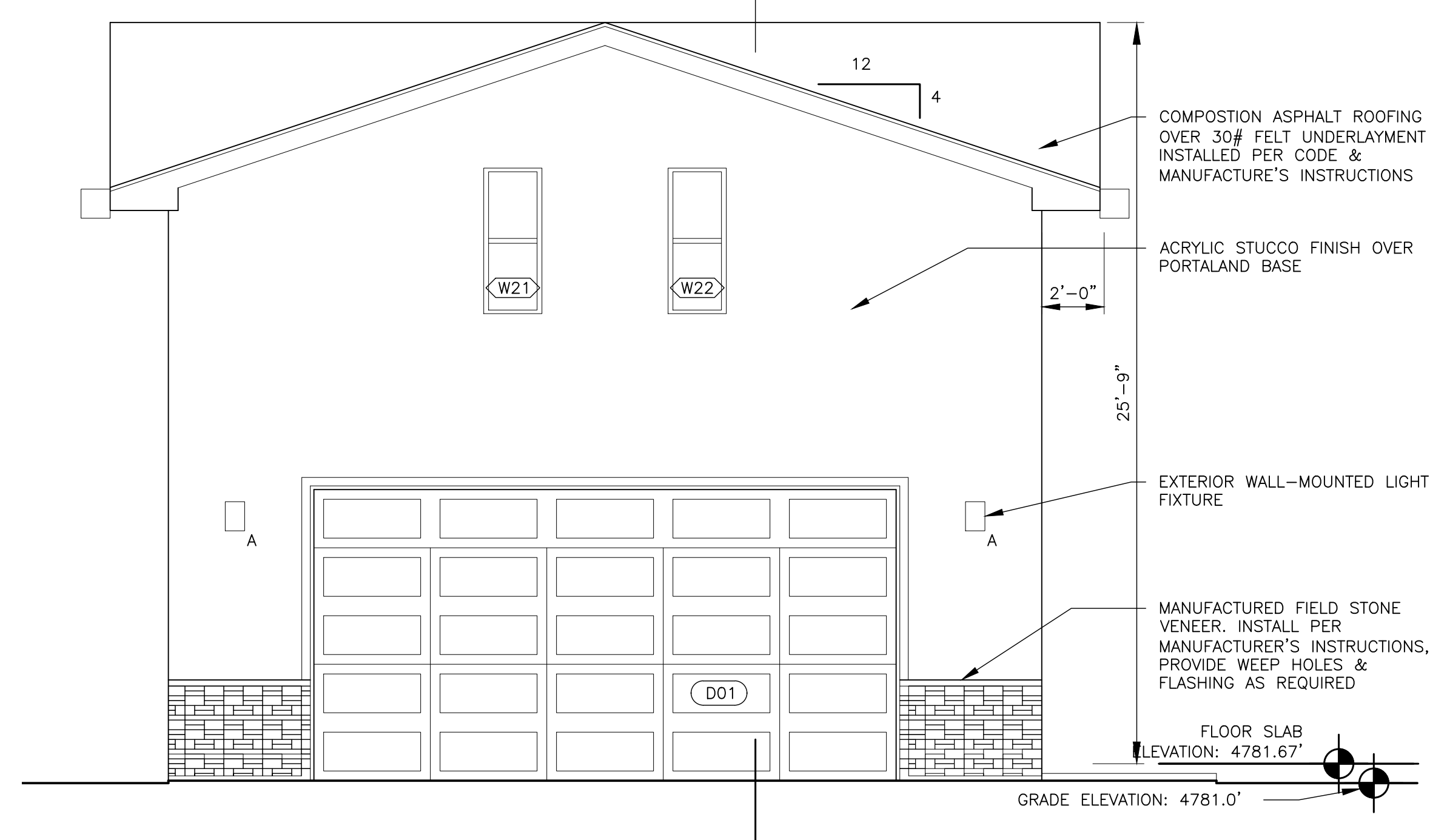
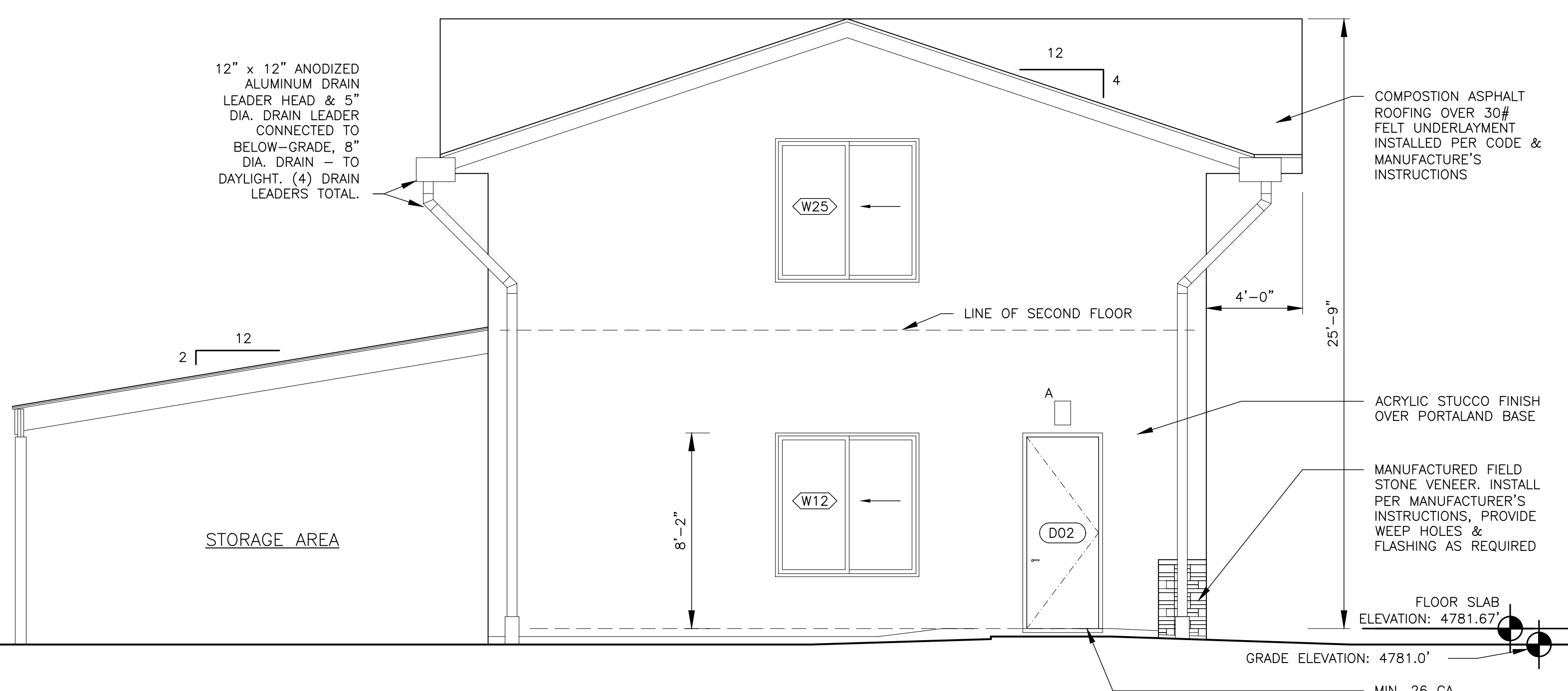




**4** WEST EXTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"

**2** NORTH EXTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"

- GENERAL NOTES:
1. INSTALL STUCCO AND VENEER PER MANUFACTURER'S INSTRUCTIONS, SPECIFICALLY FOR COLD WEATHER CONDITIONS.
  2. STUCCO CONTROL JOINTS ARE TO BE PLACED ABOVE AND BELOW WINDOWS AND ABOVE DOORS VERTICALLY. CONTROL JOINTS SHALL ALSO BE PLACED IN EXTERIOR WALLS SO AS TO PROVIDE A PLASTER PANEL NO MORE THAN 10' IN ANY DIRECTION OR PER MANUFACTURER'S INSTRUCTIONS.
  3. PROVIDE APPROVED CORROSION RESISTANT FLASHING ABOVE ALL EXTERIOR WINDOWS AND DOORS - FLASHING TO EXTEND OVER THE TOP OF THE WINDOW OR DOOR.
  4. PELLET STOVE GAS VENT TO EXTEND ABOVE ROOF SURFACE WITH A LISTED CAP OR LISTED ROOF ASSEMBLY - 12" MIN. ABOVE ROOF FOR 12" DIA. OR LESS VENTS.
  5. PROVIDE 28 GAUGE VALLEY FLASHING.
  6. GUTTERS AND DOWNSPOUTS TO BE FABRICATED FROM NON-COMBUSTIBLE MATERIAL.
  7. GUTTERS AND DOWNSPOUTS TO BE PROVIDED WITH SCREEN OR EQUAL TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS.



**3** SOUTH EXTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"

**1** EAST EXTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"

NO.	ISSUE DESCRIPTION	DATE

PROJECT:  
**JIMENEZ-RECENDIZ GARAGE & ACCESSORY DWELLING**  
15915 Secret Pass Road  
Reno, NV 89521  
APN: 017-200-53

EXTERIOR ELEVATIONS

DATE: 2.23.21  
PROJECT No.: 2011  
DRAWING BY: RCK  
CHKD. BY: RCK  
DWG NO.:  
**A-501.00**

THIS DOCUMENT IS THE PROPERTY OF ROBERT KRONE ARCHITECT, P. C. AND IS NOT TO BE REPRODUCED, COPIED, OR DISTRIBUTED WITHOUT THE WRITTEN CONSENT OF ROBERT KRONE ARCHITECT, P. C. © 2021 ROBERT KRONE ARCHITECT, P. C.

**PROPOSED GARAGE & ACCESSORY DWELLING**

PROPERTY IS WITHIN THE TRUCKEE MEADOWS FPD.

APN 017-200-52  
TONY AND DIANA MARTINEZ

FINISHED SLAB ELEVATION: 4781.67'

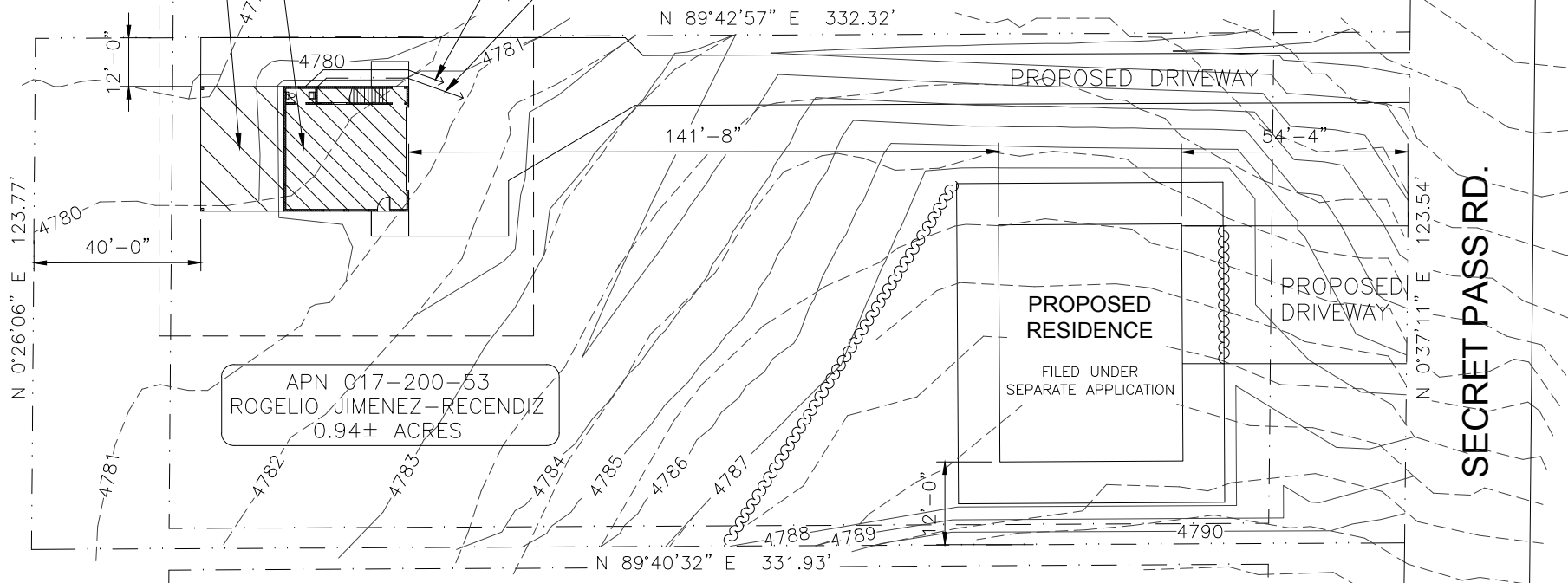
ROOFED STORAGE AREA

1ST FLOOR: 900 S.F.  
ACC. DWELLING: 655 S.F.  
STORAGE AREA: 600 S.F.  
TOTAL AREA: 2,155 S.F.

30' DEFENSIBLE SPACE PER IWUC, CHAPTER 6, TABLE 603.2

CONNECT SEWER LINE FROM GARAGE TO HOUSE SEWER LINE

CONNECT WATER LINE FROM GARAGE TO HOUSE WATER SUPPLY



APN 017-200-53  
ROGELIO JIMENEZ-RECENDIZ  
0.94± ACRES

APN 017-200-26  
MARTI AND GERRI BIEGLER

**1 SITE PLAN**  
SCALE: 1" = 40'-0"



**JIMENEZ-RECENDIZ**  
**GARAGE & ACCESSORY DWELLING**  
15915 SECRET PASS RD.  
RENO, NV 89521  
APN: 017-200-53

**SITE PLAN**  
**A002.00**

2.23.21

# Proposed Rogelio Residence



NO.	REVISIONS/ISSUE	DATE

## STANDARD ABBREVIATIONS

& L	AND	KIT.	KITCHEN
@	AT	LAB.	LABORATORY
#	POUND OR NUMBER	LAM.	LAMINATE
A.B.	ANCHOR BOLT	LAV.	LAVATORY
A.C.	AIR CONDITIONER	LCKR.	LOCKER
ADJ.	ADJUSTABLE	LT.	LIGHT
A.F.F.	ABOVE FINISH FLOOR	LVR.	LOUVER
AGGR.	AGGREGATE	MB.	MAXIMUM
AL.	ALUMINUM	M.C.	MACHINE BOLT
APPROX.	APPROXIMATE	MECH.	MEDICINE CABINET
ARCH.	ARCHITECTURAL	MEMB.	MECHANICAL
ASPH.	ASPHALT	MET.	MEMBRANE
BD.	BOARD	MFR.	METAL
BITUM.	BITUMINOUS	MHL.	MANUFACTURER
BLDG.	BUILDING	MIN.	MANHOLE
BLK.	BLOCK	MIR.	MINIMUM
BLKG.	BLOCKING	MISC.	MIRROR
BM.	BEAM	MO.	MISCELLANEOUS
BOT.	BOTTOM	MO.	MASONRY OPENING
CAB.	CABINET	MTD.	MOUNTED
C.B.	CATCH BASIN	MUL.	MULLION
C.D.	CARBON DIOXIDE DETECTOR	(N)	NEW
C.E.M.	CEMENT	N.	NORTH
CER.	CERAMIC	NO. or #	NUMBER
C.I.	CORNER GUARD	NOM.	NOMINAL
C.G.	CORNER GUARD	N.T.S.	NOT TO SCALE
CLG.	CEILING	O.A.	OVERALL
CL.	CENTRILINE	OBSC.	OBSCURE
CLKG.	CAULKING	O.C.	ON CENTER
C.L.O.	CLEAR	O.D.	OVERFLOW DRAIN
CLR.	CLEAR	OFF.	OFFICE
COL.	COLUMN	OPNG.	OPENING
COL.	COLUMN	OPRT.	OPPOSITE
CONC.	CONCRETE	OSCL.	OWNER SUPPLIED, CONTRACTOR INSTALLED
CONN.	CONNECTION	PL.	PLATE
CONSTR.	CONSTRUCTION	PLAM.	PLASTIC LAMINATE
CONT.	CONTENTS	PLAS.	PLASTER
CORR.	CORRIDOR	PLYWD.	PLYWOOD
COUNTER.	COUNTERSUNK	PK.	PAK
CTR.	CENTER	PRCST.	PRE-CAST
DBL.	DOUBLE	PT.	POINT
DEPT.	DEPARTMENT	P.T.D.	PAPER TOWEL DISPENSER
D.F.	DRINKING FOUNTAIN	PTN.	PARTITION
DET.	DETAIL	P.T.D.R.	COMBINATION PAPER TOWEL
DIA.	DIAMETER	P.T.R.	PAPER TOWEL RECEPTACLE
DIM.	DIMENSION	Q.T.	QUARRY TILE
DISP.	DISPENSER	R.	RISER
DN.	DOWN	RAD.	RADIUS
D.O.	DOOR OPENING	R.D.	ROOF DRAIN
DWR.	DRAWER	REF.	REFRIGERATOR
D.S.	DOOR SPOUT	REGTR.	REGISTER
D.S.P.	DRY STANDPIPE (DWP)	REINF.	REINFORCED
DWG.	DRAWING	REIN.	REINFORCED
(E)	EXISTING	RESIL.	RESILIENT
E.	EAST	R.O.	ROOM OPENING
E.A.	EXPANSION JOINT	R.W.D.	REDWOOD
EL.	ELEVATION	R.W.L.	RAIN WATER LEADER
ELC.	ELECTRICAL	S.	SOUTH
ELEV.	ELEVATOR	S.C.	SOLID CORE
EMER.	EMERGENCY	SCHED.	SCHEDULE
ENCL.	ENCLOSURE	S.D.	SMOKE DETECTOR
E.P.	ELECTRICAL PANELBOARD	SECT.	SECTION
EQPT.	EQUIPMENT	S.H.	SINGLE HUNG WINDOW
EW.	EACHWAY	S.G.D.	SLIDING GLASS DOOR
E.W.C.	ELECTRIC WATER COOLER	SHR.	SHOWER
EXST.	EXISTING	SHT.	SHEET
EXPO.	EXPOSED	SIM.	SIMILAR
EXP.	EXPANSION	S.M.D.	SEE MECHANICAL DRAWINGS
EXT.	EXTERIOR	S.P.D.	SEE PLUMBING DRAWINGS
F.A.	FIRE ALARM	SPEC.	SPECIFICATION
F.A.U.	FORCED AIR UNIT (FURNACE HEATER)	SQ.	SQUARE
F.D.	FLOOR DRAIN	S.S.D.	SEE STRUCTURAL DRAWINGS
FDN.	FOUNDATION	STB.	STAINLESS STEEL
F.F.	FINISH FLOOR	S.S.K.	SERVICE SINK
F.H.C.	FIRE HOSE CABINET	STD.	STANDARD
FIN.	FINISH	STR.	STEEL
FLOOR.	FLOOR	STOR.	STORAGE
FLASH.	FLASHING	STR.	STRUCTURAL
FLOUR.	FLOURSCENT	SUSP.	SUSPENDED
F.O.C.	FACE OF CONCRETE	SYM.	SYMMETRICAL
F.O.F.	FACE OF FINISH	TRANS.	TRANSFORMER
F.O.M.	FACE OF MASONRY	T.B.	TOWEL BAR
F.O.S.	FACE OF STUDS	T.C.	TOP OF CURB
FPF.	FIREPROOF	TEL.	TELEPHONE
F.S.	FLOOR SINK	TEMP.	TEMPERED GLASS
FT.	FOOT OR FEET	TER.	TERAZZO
FTG.	FOOTING	T.&G.	TONGUE AND GROOVE
FUR.	FURRING	THK.	THICK
FUT.	FUTURE	THRES.	THRESHOLD
GA.	GAUGE	T.P.	TOP OF PAVEMENT
GALV.	GALVANIZED	T.P.D.	TOILET
G.B.	GRAB BAR	T.V.	TELEVISION
G.D.O.	GARAGE DOOR OPENER	T.W.	TOP OF WALL
GEN.	GENERAL	TYP.	TYPICAL
GL.	GLASS	UNF.	UNFINISHED
GLU.	GLUE	UN.O.	UNLESS NOTED OTHERWISE
GND.	GROUND	UR.	URINAL
GR.	GRADE	VENT.	VENTILATOR
GYP.	GYPSUM	VERT.	VERTICAL
H.B.	HOSE BIBB	VEST.	VESTIBULE
H.C.	HOLLOW CORE	V.T.R.	VENT THROUGH ROOF
HDWD.	HARDWOOD	W.	WEST
H.M.	HOLLOW METAL	W.C.	WATER CLOSET
HORIZ.	HORIZONTAL	WD.	WOOD
HUR.	HOUR	W.H.	WATER HEATER
HGT.	HEIGHT	W.I.C.	WALK IN CLOSET
HVAC.	HEATING/VENTILATING/AIR CONDITIONING	WO.	WITHOUT
ID.	INSIDE DIAMETER (DIM.)	WP.	WATERPROOF
INSUL.	INSULATION	WSCT.	WAINSCOT
INT.	INTERIOR	WT.	WEIGHT
INV.	INVERT		

## PROJECT SPECIFICATIONS

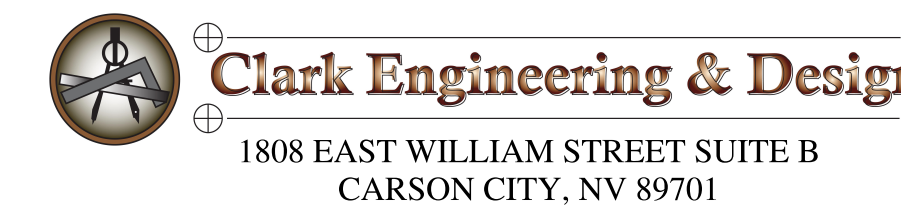
### DESIGN CRITERIA

SEISMIC DESIGN CATEGORY - "D"  
 WIND-100 MPH, EXPOSURE C  
 3 SECOND GUSTS  
 FROST DEPTH IS 24"  
 ROOF LIVE LOAD IS 30 PSF  
 FLOOR LIVE LOAD IS 40 PSF  
 OVERHANG MINIMUM IS 24"

### CODE ANALYSIS:

2018 NORTHERN NEVADA AMENDMENTS  
 2012 I.R.C. (BUILDING)  
 2012 I.B.C. (STRUCTURAL)  
 2012 I.E.C.C. (ENERGY)  
 2015 NEVADA INTERNATIONAL ENERGY  
 CONSERVATION CODE AMENDMENTS  
 2018 I.F.C. (FIRE)  
 2012 U.M.C. (MECHANICAL)  
 2012 U.P.C. (PLUMBING)  
 2011 N.E.C. (ELECTRICAL)

## ENGINEER OF RECORD:



## PROJECT LOCATION:

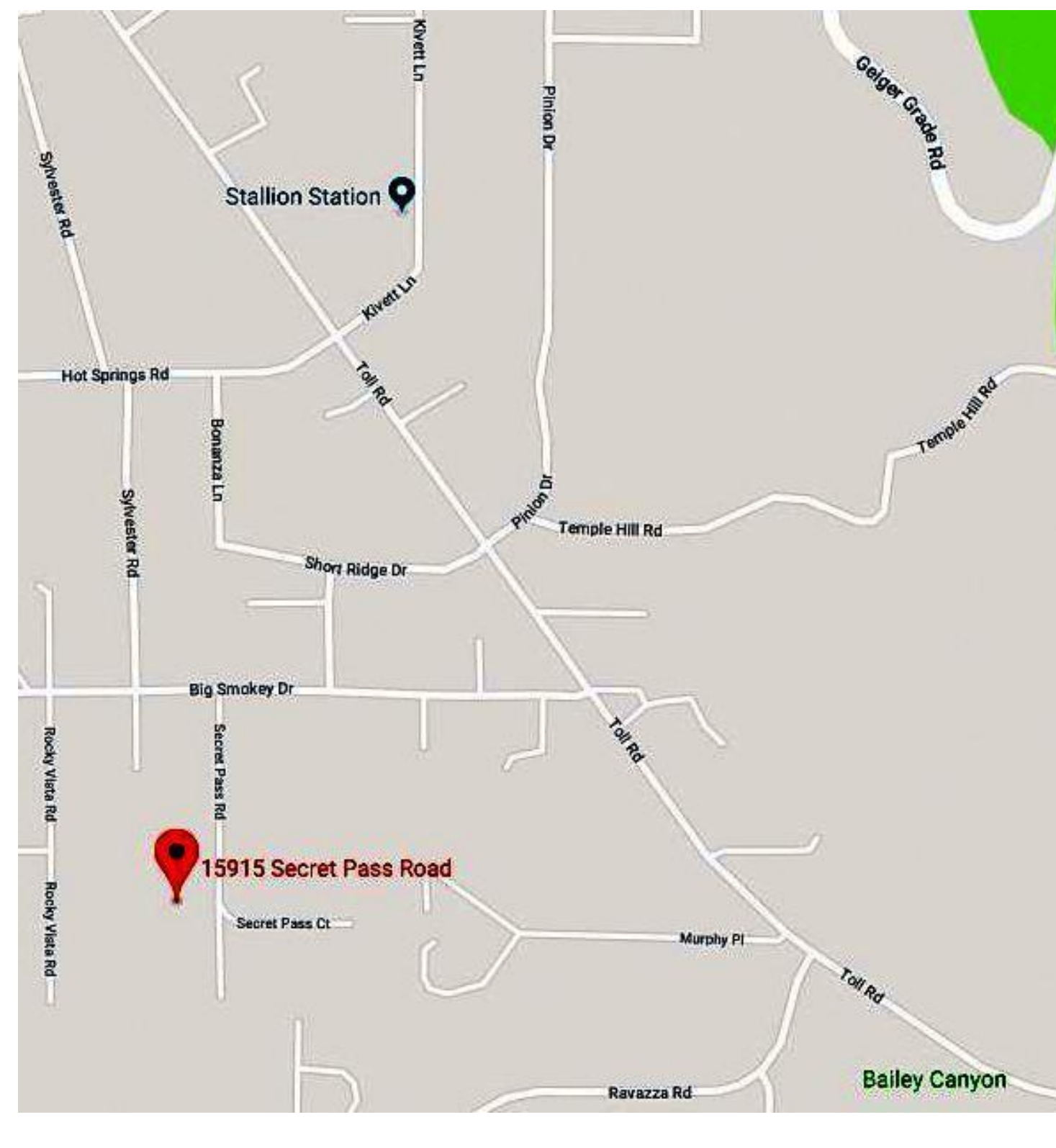
15915 Secret Pass Road  
 Washoe County, Nevada  
 APN: 017-200-53

## PROJECT INFORMATION:

RESIDENCE SQ. FT.	=	2963 SF
GARAGE SQ. FT.	=	771 SF
TOTAL ENCLOSED SQ. FOOTAGE	=	3734 SF
COVERED PATIO, DECKS & PORCHES	=	1040 SF

## SHEET INDEX:

SHEET A1	-	COVER SHEET
SHEET A2	-	LOWER FLOOR PLAN
SHEET A3	-	UPPER FLOOR PLAN
SHEET A4	-	FRONT & RIGHT ELEVATIONS
SHEET A5	-	REAR & LEFT ELEVATIONS
SHEET A6	-	FOUNDATION PLAN
SHEET A7	-	UPPER FLOOR FRAMING PLAN
SHEET A8	-	ROOF PLAN
SHEET A9	-	CROSS SECTION
SHEET E1	-	LOWER ELECTRICAL PLAN
SHEET E2	-	UPPER ELECTRICAL PLAN
SHEET M1	-	MECHANICAL PLAN
SHEET S0.1	-	LOWER LEVEL SHEAR PLAN
SHEET S0.2	-	UPPER LEVEL SHEAR PLAN



PROJECT INFORMATION

**Rogelio Residence**  
 15915 Secret Pass Road - Washoe County, Nevada  
 APN: 017-200-53

SHEET TITLE

**COVER SHEET**

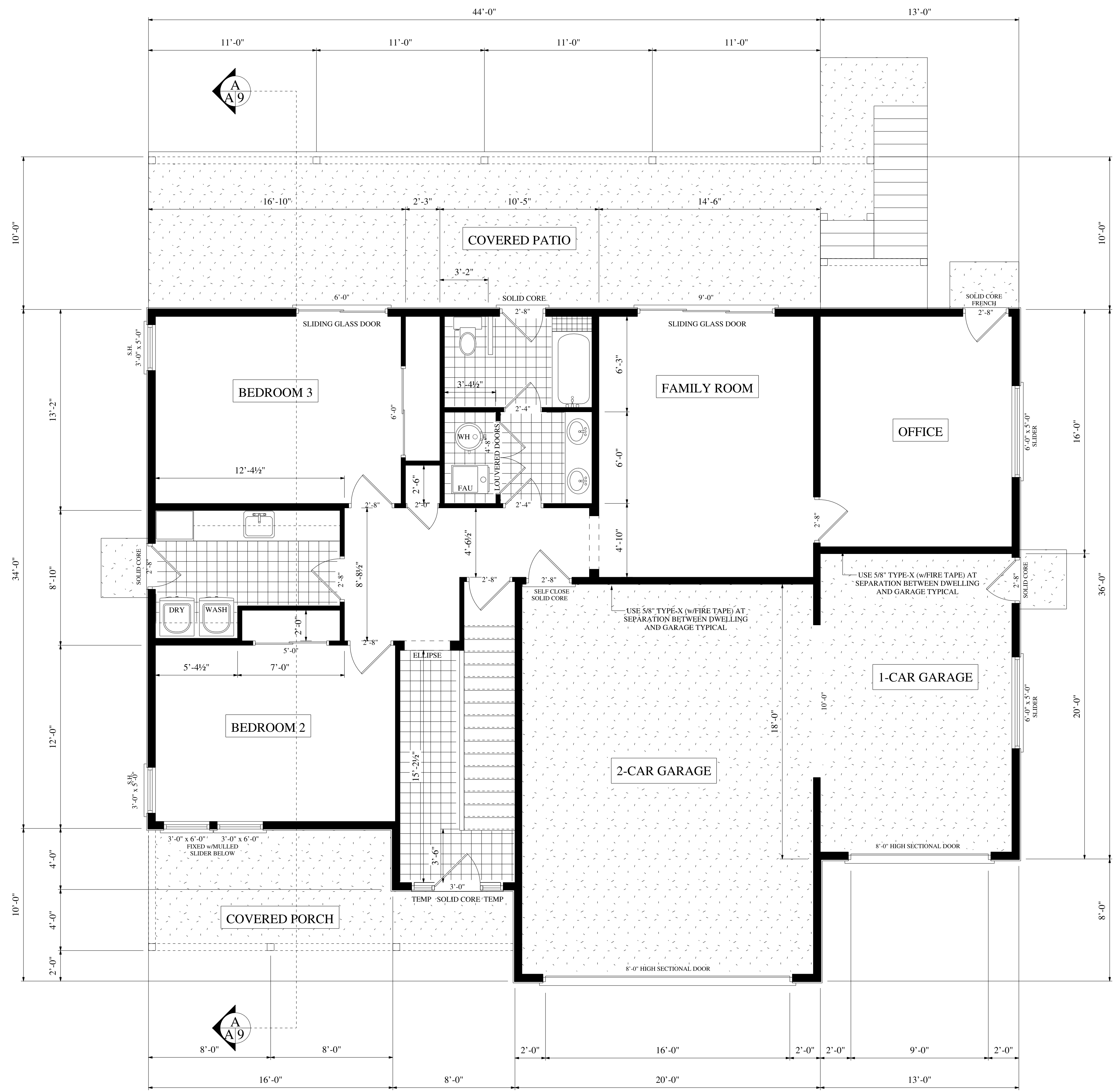
PROJECT NAME

DATE

April 26, 2019

SHEET

**A0**



# LOWER FLOOR PLAN

1425 SQ FT OF LIVING THIS LEVEL SCALE: 1/4"=1'-0"

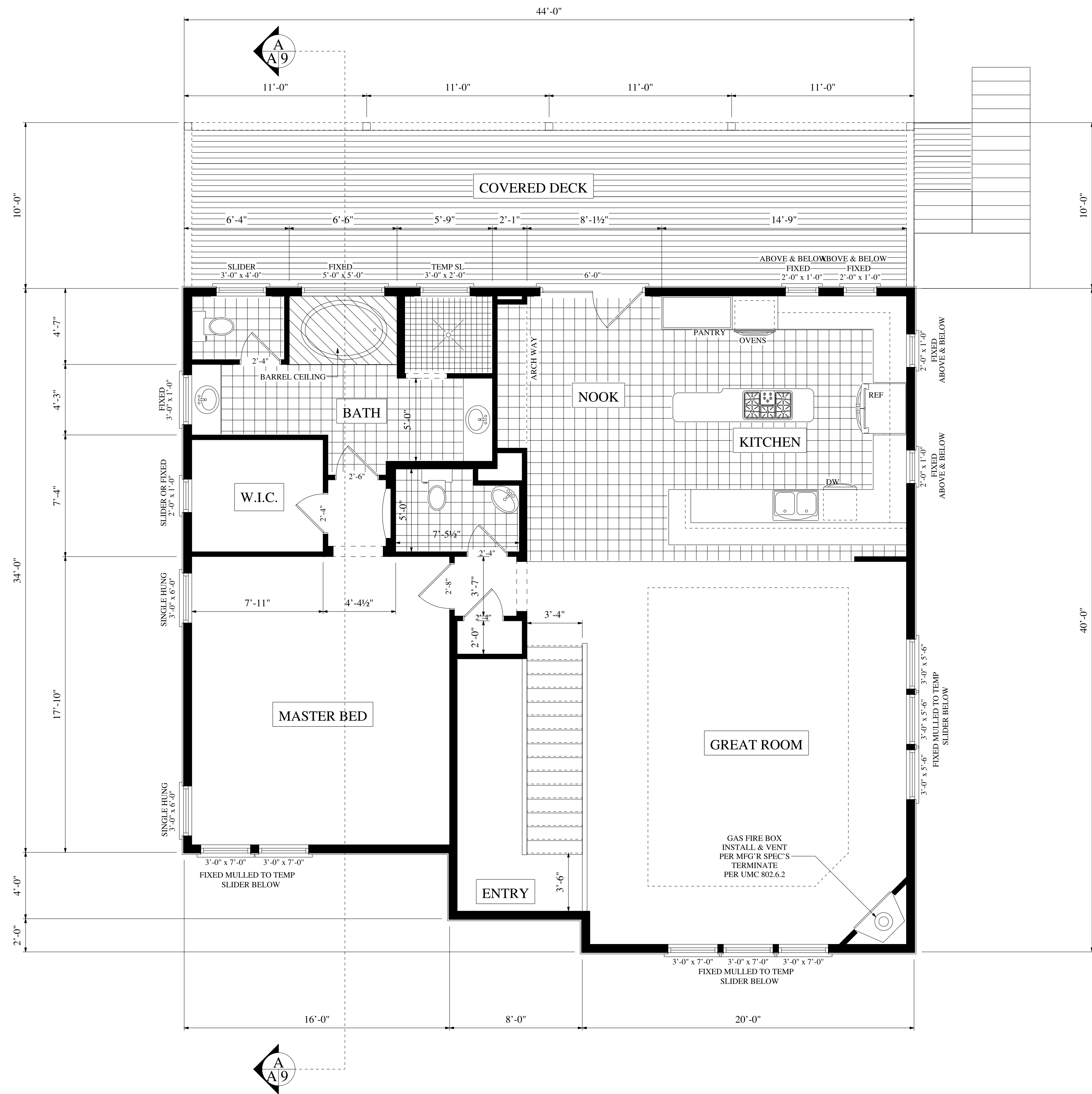
- FLOOR PLAN NOTES**
- PROVIDE EMERGENCY EGRESS FROM ALL SLEEPING ROOMS. MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. NET CLEAR HEIGHT 24". NET CLEAR WIDTH 20". MAX FINISHED CLEAR OPENING HEIGHT OF 44" ABOVE THE FLOOR. ALSO, EMERGENCY EGRESS FROM SLEEPING ROOMS TO BE DIRECTLY TO THE EXTERIOR CANNOT EXIT THROUGH ENCLOSED SCREENED PORCH OR PATIO.
  - HABITABLE ROOMS SHALL BE PROVIDED w/NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS w/AN AREA NOT LESS THAN 8% OF THE FLOOR AREA OF SUCH ROOMS
  - ALL HABITABLE ROOMS SHALL BE PROVIDED w/ NATURAL VENTILATION THROUGH OPERABLE WINDOWS, DOORS, OR OTHER APPROVED OPENINGS TO OUTSIDE AIR. BATHROOMS, WATER CLOSET COMPARTMENTS & LAUNDRY ROOMS SHALL BE PROVIDED w/ MECHANICAL VENTILATION IF NOT PROVIDED w/ OPERABLE WINDOWS
  - SAFETY GLAZING REQ'D IN TUB OR SHOWER ENCLOSURE & WINDOWS IN EXTERIOR WALLS w/ BOTTOM EDGE OF GLAZING IS WITHIN 60" OF FIXTURE FLOOR PER SAFETY GLAZING ALSO REQ'D IN WINDOWS WITHIN 24" OF EDGE OF DOOR. SAFETY GLAZING REQ'D IN WINDOWS WHEN SILL IS LESS THAN 18" ABOVE FLOOR (IF MORE THAN 9 SQUARE FEET)
  - EVERY DWELLING UNIT & GUEST ROOM SHALL BE PROVIDED w/ HEATING FACILITIES CAPABLE OF MAINTAINING A ROOM TEMPERATURE OF 68 DEGREES F AT A POINT 3' ABOVE THE FLR & 24" FROM EXT WALL IN ALL HABITABLE ROOMS THE VERT. DISTANCE BETWEEN THE COOKING TOP OF A DOMESTIC RANGE & THE HOOD SHALL NOT BE LESS 24"
  - HOOD OVER STOVE/COOKTOP TO BE VENTED TO EXT IN ACCORDANCE w/U.M.C. OR VENTLESS HOOD INSTALLED AS PER MFG'R. AIR GAP TO BE INSTALLED BETWEEN DISHWASHER AND KITCHEN SINK
  - ALL APPLIANCES SHALL COMPLY WITH THE IECC - ENERGY EFFICIENCY.
  - A 3' WORKING CLEARANCE IS REQ'D AT SIDES & REAR OF FAU PER MFG'R LISTING. COMB. AIR (DIRECT FROM OUTSIDE OR UPPER & LOWER -12") PLACE FAU & WH ON 18" HIGH PLATFORM MIN. WATER HEATER PRESSURE VALVE TO DRAIN TO THE OUTSIDE.
  - IF PROVIDING ATTIC ACCESS IN THE GARAGE, PROVIDE A SELF CLOSING MODIFIED 1-HOUR DOOR. IF USING A PULL DOWN STAIR, FRAME AN ACCESS HATCH ASSEMBLY AROUND & ABOVE THE PULL DOWN TO SEPARATE THE GARAGE FROM THE ATTIC STORAGE AREA AND MUST BE A RATED & LISTED ASSEMBLY.
  - PROVIDE 3" CONCRETE FILLED METAL POST BOLLARD WITH A 24" EMBEDMENT & w/30" EXTENSION ABOVE FLOOR TO PROTECT EQUIP. IN GARAGE FROM PHYSICAL DAMAGE (WHERE APPLICABLE)
  - PROVIDE INDIVIDUAL CONTROL VALVES OF PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE IN ALL SHOWERS AND TUB/SHOWER COMBOS
  - PROVIDE ULTRA LOW WATER USE FIXTURES (1.6 GAL FLUSH TOILETS / 2.5 GPM FAUCETS).
  - PROVIDE SEISMIC STRAPS AROUND WATER HEATER AT TOP 1/3 & BOTTOM 1/3
  - WATER HEATER RELIEF VALVE DRAINS SHALL EXTEND TO THE EXTERIOR IF EXPANSION TANK IS NEEDED INSTALL PER ICBO PLUMBING CODE
  - USE HARDIBACKER OR 1/4" WONDERBOARD AS THE TILE BACKER MATERIAL. ATTACHED TO WALL STUDS w/GALVANIZED OR CORROSIVE (RUST RESISTANT) FASTENERS @ 6" O.C TYPICAL.
  - TIGHT-FITTING SOLID-WOOD DOOR NOT LESS THAN 1-3/8" THICK, SOLID OR HONEYCOMB CORE STEEL DOOR NOT LESS THAN 1-3/8" THICK, OR A SELF-CLOSING, TIGHT-FITTING DOOR HAVING A FIRE PROTECTION RATING OF NOT LESS THAN 20 MINUTES. OPENINGS FROM A PRIVATE GARAGE DIRECTLY INTO A ROOM USED FOR SLEEPING PURPOSES SHALL NOT BE PERMITTED.
  - THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE & ITS ATTIC AREA BY NOT LESS THAN 5/8" TYPE-X GYPSUM BOARD APPLIED TO THE GARAGE SIDE. WHERE THE SEPARATION IS A FLOOR-CEILING ASSEMBLY, THE STRUCTURE SUPPORTING THE SEPARATION SHALL ALSO BE PROTECTED BY NOT LESS THAN 1/2" GYPSUM BOARD OR EQUIVALENT
  - THERE SHALL BE A FLOOR OR LANDING ON EACH SIDE OR EACH EXTERIOR DOOR. THE FLOOR OR LANDING AT EXTERIOR DOORS OTHER THAN THE EXIT DOORS REQ'D BY APPLICABLE CODES. THE LANDING ELEVATION SHALL NOT BE MORE THAN 1 1/2" LOWER THAN THE TOP OF THE THRESHOLD. EXCEPTION: THE LANDING OR FLOOR ON THE EXTERIOR SIDE SHALL NOT BE MORE THAN 3/4" BELOW THE TOP OF THE THRESHOLD PROVIDED THE DOOR DOES NOT SWING OVER THE LANDING OR FLOOR.
  - THE WIDTH OF EACH LANDING SHALL NOT BE LESS THAN THE DOOR SERVED. EVERY LANDING SHALL HAVE A MIN. DIMENSION OF 36" MEASURED IN THE DIRECTION OF TRAVEL TYPICAL.
  - ALL WEATHER-EXPOSED SURFACES SHALL HAVE A WEATHER-RESISTIVE BARRIER TO PROTECT THE INTERIOR WALL COVERING. THE FELT or PAPER SHALL BE APPLIED HORIZONTALLY w/ THE UPPER LAYER LAPPED OVER THE LOWER LAYER NOT LESS THAN 2". WHERE VERTICAL JOINTS OCCUR, FELT or PAPER SHALL BE LAPPED NOT LESS THAN 6"
  - SMOKE DETECTORS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: IN EACH SLEEPING ROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, ONE EACH ADDITIONAL STORY OF THE DWELLING INCLUDING BASEMENTS AND HABITABLE ATTICS. A DWELLING WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN A SMOKE ALARM SHALL BE INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL IF LESS THAN A FULL STORY BELOW.
  - SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING. WHEN THE PRIMARY POWER IS INTERRUPTED THEY SHALL RECEIVE POWER FROM A BATTERY. WIRING SHALL BE PERMANENT AND WITHOUT DISCONNECT OTHER THAN THOSE REQUIRED FOR OVER CURRENT PROTECTION.
  - WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED AS NOTED, THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS (EXCEPTION ONLY PER IRC R314.5).
  - CARBON MONOXIDE ALARM SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS PER IRC R315.1
  - OPENINGS AND PENETRATIONS THROUGH THE WALLS AND CEILING SEPARATING THE DWELLING FROM THE GARAGE SHALL BE IN ACCORDANCE WITH IRC R302.5.1-R302.5.3
  - DUCTS PENETRATING A REQUIRED FIRE SEPARATION SHALL BE A MIN 0.019-INC SHEET STEEL AND SHALL HAVE NO OPENING INTO THE GARAGE
  - HOT WATER HEATER TO HAVE EXPANSION TANKS INSTALLED.

NO.	REVISIONS/ISSUE	DATE

**Rogelio Residence**  
 15915 Secret Pass Road - Washoe County, Nevada  
 APN: 017-200-53

SHEET TITLE:  
**LOWER LEVEL**

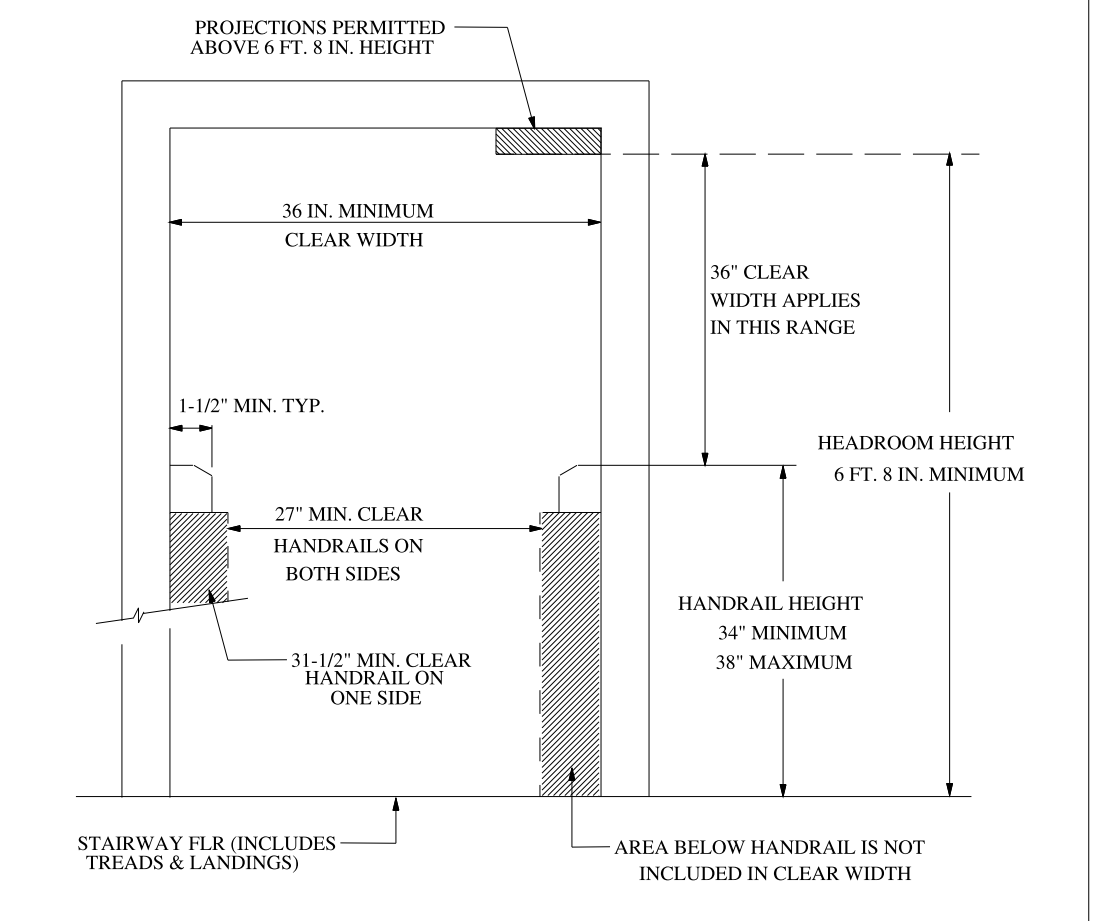
PROJECT NAME: \_\_\_\_\_ SHEET: \_\_\_\_\_  
 DATE: April 26, 2019 **A2**



# UPPER FLOOR PLAN

1538 SQ FT OF LIVING THIS LEVEL SCALE: 1/4"=1'-0"

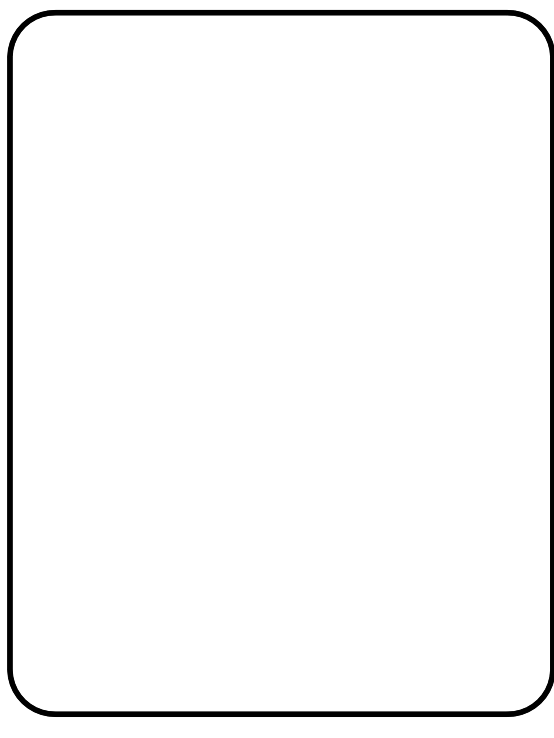
- STAIR NOTES:**
- ① WIDTH - 36" IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT (34"-38") AND BELOW THE REQUIRED HEADROOM HEIGHT (6'-8" MIN.)
  - ② HANDRAILS - SHALL NOT PROJECT MORE THAN 4.5" ON EITHER SIDE OF THE STAIRWAY & THE MIN. CLEAR WIDTH OF THE STAIRWAY AT & BELOW THE HANDRAIL HEIGHT INCLUDING TREADS & LANDINGS, SHALL NOT BE LESS THAN 31.5" WHERE A HANDRAIL IS INSTALLED ON ONE SIDE & 27" WHERE HANDRAILS ARE PROVIDED ON BOTH SIDES PER THE IRC
  - ③ HANDRAILS - REQUIRED AT LEAST ONE SIDE OF EACH CONT. RUN OF TREADS or FLIGHT w/4 OR MORE RISERS
  - ④ HANDRAIL HEIGHT - 34"-38"
  - ⑤ HANDRAIL CONTINUITY CONTINUOUS THE FULL LENGTH OF THE FLIGHT PERMITTED TO BE INTERRUPTED BY A NEWEL POST AT THE TURN
  - ⑥ HANDRAIL RETURNS - ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS or SAFETY TERMINALS
  - ⑦ SPACE (CLEARANCE)- MIN. 1-1/2" BETWEEN WALL & THE HANDRAILS
  - ⑧ HEADROOM - 6'-8" PER THE IRC
  - ⑨ RISER - 7-3/4" MAXIMUM, MAXIMUM DIFFERENCE 3/8" PER THE IRC DEPTH RUNS- 11" MINIMUM, MAXIMUM DIFFERENCE 3/8" PER THE IRC WINDER - 6" MINIMUM TREAD DEPTH AT ANY POINT PER THE IRC
  - ⑩ LANDING - SHALL BE ONE AT THE TOP & BOTTOM OF THE STAIRWAY VERTICAL HEIGHT - MAXIMUM 12' BETWEEN FLOOR LEVELS OR LANDINGS WIDTH - OF STAIRWAY SERVING. MINIMUM DIMENSION OF 36" IN THE DIRECTION OF TRAVEL
  - ⑪ OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30" SHALL HAVE GUARDS NOT LESS THAN 34" IN HEIGHT MEASURED VERTICAL FROM THE NOSING OF THE TREADS.
  - ⑫ HANDRAILS w/ a CIRCULAR CROSS SECTION SHALL HAVE AN OUTSIDE DIA. OF AT LEAST 1-1/4" AND NOT GREATER THAN 2" PER THE IRC HANDRAILS THAT ARE NOT CIRCULAR SHALL HAVE A PERIMETER DIA. OF AT LEAST 4" & NOT GREATER THAN 6-1/4" w/a MAXIMUM CROSS SECTION DIMENSION OF 2-1/4"
  - ⑬ HANDRAIL ASSEMBLIES & GUARDS SHALL BE ABLE TO RESIST A SINGLE CONCENTRATED LOAD OF 200 lbs. APPLIED IN ANY DIRECTION AT ANY POINT ALONG THE TOP, & HAVE ATTACHMENT DEVICES & SUPPORTING STRUCTURE TO TRANSFER LOAD TO APPROPRIATE STRUCTURAL ELEMENTS OF THE BUILDING.



NO.	REVISIONS/ISSUE	DATE

**Rogelio Residence**  
 15915 Secret Pass Road - Washoe County, Nevada  
 APN: 017-200-53

SHEET TITLE:  
**UPPER LEVEL**



PROJECT NAME: \_\_\_\_\_ SHEET: **A3**  
 DATE: April 26, 2019



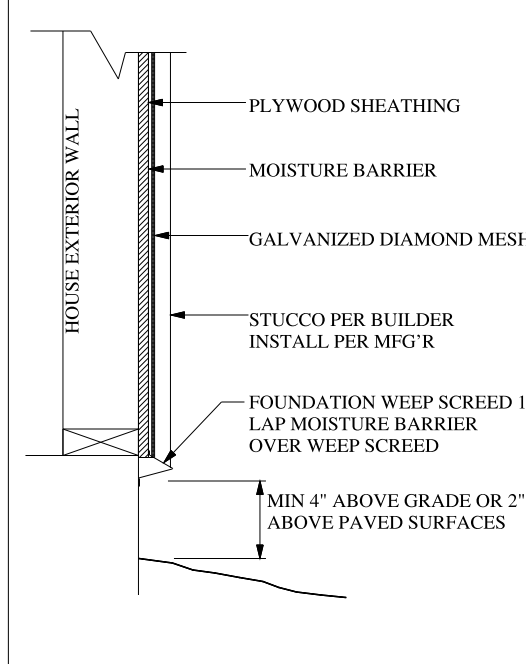
### FRONT ELEVATION

SCALE: 1/4"=1'-0"

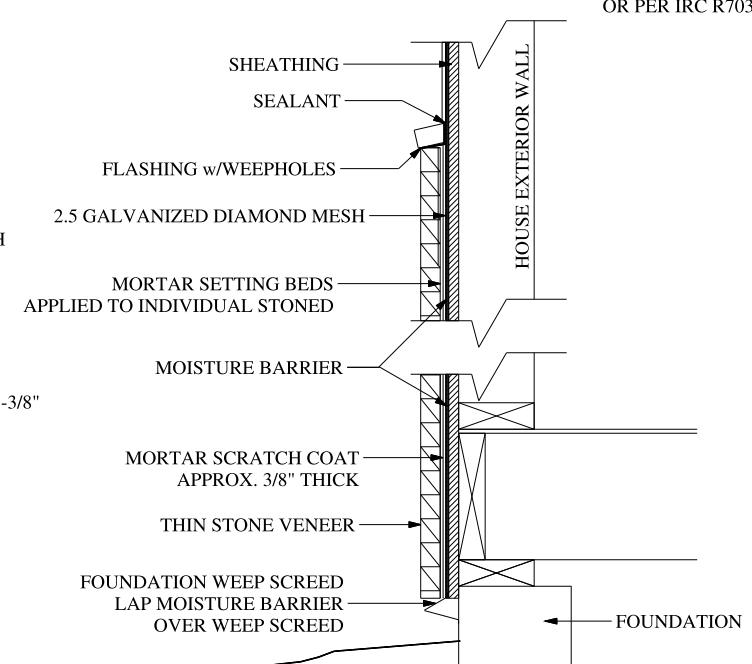
#### TYPICAL ELEVATION NOTES

- 1) STUCCO EXTERIOR. CONTROL JOINTS ARE TO BE PLACED ABOVE AND BELOW WINDOWS AND ABOVE ALL DOORS. VERT. CONTROL JOINTS SHALL ALSO BE PLACED IN EXT. WALLS SO AS TO PROVIDE A PLASTER PANEL NO MORE THAN 10'-0" IN ANY DIRECTION. USE 1" WEEP HOLES TYP. 4" ABOVE GRADE AND 2" ABOVE PAVING.
- 2) MASONRY PER BUILDER INSTALL PER IRC R703
- 3) 30 YEAR MIN. CLASS A COMP ROOF PER BUILDER
- 4) TRIM & FASCIA AS PER BUILDER
- 5) ALL WINDOWS & DOORS SHALL HAVE A MINIMUM U-FACTOR OF 0.35 AND SBCG FACTOR OF 0.65
- 6) GARAGE & EXTERIOR DOOR STYLE PER BUILDER
- 7) THE ADDRESS MUST BE A MINIMUM OF 6" IN HEIGHT WITH A 1/2" STROKE (IFC 505.1 AS AMENDED) AND VISIBLE FROM BOTH DIRECTIONS OF TRAVEL.

#### WEEP SCREED INSTALLATION



#### MASONRY VENEER INSTALLATION



### RIGHT ELEVATION

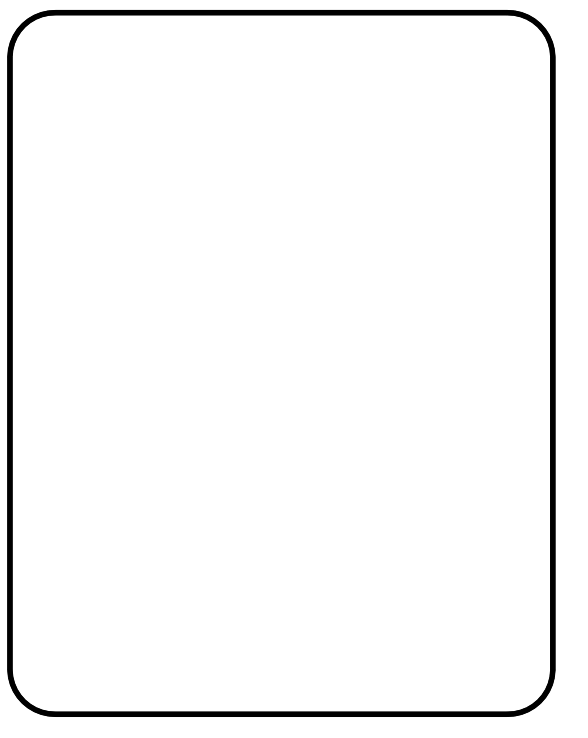
SCALE: 1/4"=1'-0"

NO.	REVISIONS/ISSUE	DATE

**Rogelio Residence**  
 15915 Secret Pass Road - Washoe County, Nevada  
 APN: 017-200-53

PROJECT INFORMATION

SHEET TITLE:  
**ELEVATIONS**



PROJECT NAME	SHEET
DATE April 26, 2019	<b>A4</b>



**REAR ELEVATION**  
SCALE: 1/4"=1'-0"



**LEFT ELEVATION**  
SCALE: 1/4"=1'-0"

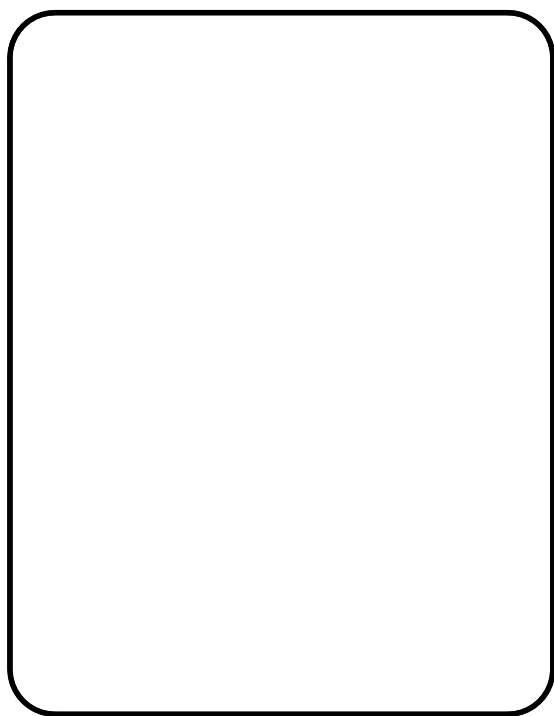
NO.	REVISIONS/ISSUE	DATE

PROJECT INFORMATION

**Rogelio Residence**  
15915 Secret Pass Road - Washoe County, Nevada  
APN: 017-200-53

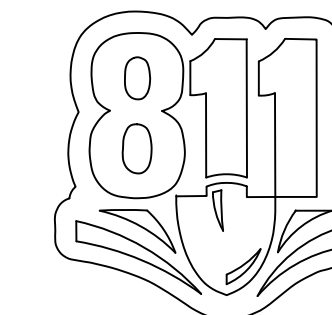
SHEET TITLE:

**ELEVATIONS**



PROJECT NAME	SHEET
DATE April 26, 2019	<b>A5</b>

# WATER SERVICE CONNECTION FOR 15915 SECRET PASS ROAD



Know what's below.  
Call before you dig.

WORK ORDER NO.	BASFSHT
DESIGNED	BASFSHT
DRAWN	BASFSHT
DATE	BASFSHT
CHECKED	BASFSHT
SUBMITTED	BASFSHT
RECOMMENDED	BASFSHT
APPROVED	BASFSHT

**TRUCKEE MEADOWS WATER**  
 AUTHORITY  
 1385 CAPITAL BLVD., PO BOX 50013  
 RENO, NEVADA 89502  
 PH: 775-884-8000 / FX: 775-884-8003

15915 SECRET PASS ROAD  
 RENO, NV 89502  
 TITLE SHEET

SHEET NUMBER

# W1

1 OF 3

**TMWA TO FURNISH AND/OR INSTALL:**

FIELD INSPECTOR TO INSPECT MANS AND SERVICES

- 3/4" DISC TYPE -- BADGER WATER METER(S) FOR DOMESTIC.

**GENERAL COMMENTS:**

CONTRACTOR TO CALL PROJECT COORDINATOR AT (775) 834-\_\_\_\_\_ 48-HOURS PRIOR TO START OF CONSTRUCTION TO SCHEDULE ON-SITE INSPECTION. (INCLUDE WORK ORDER NUMBER \_\_\_\_\_ )

APPLICANT TO NOTIFY TMWA OF ANY DESIGN AND/OR ADDRESS CHANGES.

ALL MATERIALS, INCLUDING BACKFILL, SHALL BE AT THE JOB SITE PRIOR TO START OF CONSTRUCTION AND SHALL COMPLY WITH TMWA ENGINEERING & CONSTRUCTION STANDARDS.

MAINTAIN POTABLE WATER AND SS/SO/NON-POTABLE HORIZONTAL AND VERTICAL CLEARANCES AS SPECIFIED IN NEVADA ADMINISTRATIVE CODE (NAC) SECTION 445A AND TMWA ENGINEERING & CONSTRUCTION STANDARDS SECTION 8.

AT ALL CROSSINGS, UNDERGROUND ELECTRIC FACILITIES SHALL BE LOCATED BELOW WATER MANS AND/OR WATER SERVICES WITH A MINIMUM OF 2- FEET VERTICAL CLEARANCE.

ALL WORK SHALL BE ACCOMPLISHED IN STRICT ACCORDANCE WITH THE SPECIFICATIONS SET FORTH IN THE TMWA ENGINEERING & CONSTRUCTION STANDARDS. THE CONTRACTOR SHALL SECURE COPIES OF THE AFOREMENTIONED CONSTRUCTION SPECIFICATIONS ON HIS/HER OWN BEHALF. THE ENGINEERING & CONSTRUCTION STANDARDS MAY BE DOWNLOADED FROM: [www.tmwa.com/standards](http://www.tmwa.com/standards)

SYMBOLS ARE NOT TO SCALE AND DO NOT NECESSARILY REPRESENT ACTUAL LOCATIONS OF FACILITIES.

THESE DRAWINGS ARE BASED ON CIVIL PLANS DATED:    JUNE 26, 2019   

THIS MAP ILLUSTRATES DATA COLLECTED FROM VARIOUS SOURCES AND MAY NOT REPRESENT A SURVEY OF THE PREMISES. NO RESPONSIBILITY IS ASSUMED AS TO THE SUFFICIENCY OR ACCURACY OF THE DATA DISPLAYED HEREON.

CAUTION: CONTRACTOR IS RESPONSIBLE FOR LOCATING AND COORDINATING WORK AROUND ALL EXISTING UTILITIES. PRIOR TO EXCAVATION, CHECK TO ENSURE ADDITIONAL DEPTH IS NOT REQUIRED TO ACCOMMODATE INSTALLATION OF GAS FACILITIES.

SOILS RETENTION MAY BE REQUIRED AROUND WATER METER BOXES, FIRE HYDRANTS, AND OTHER FACILITIES IF SLOPES EXCEED 15%.

WATER METERS SHALL BE LOCATED WITHIN A PUBLIC UTILITY EASEMENT (PUE).

TOP OF WATER METER ENCLOSURE SHALL BE SET 0.2 FEET ABOVE HIGHEST FINISHED GRADE SURROUNDING ENCLOSURE WITHIN LANDSCAPED AREAS. FOR INSTALLATIONS IN CONCRETE OR OTHER PAVED AREAS, SET TOP OF LID FLUSH WITH SURROUNDING SURFACE.

APPLICANT TO ADVISE PLUMBING CONTRACTOR OF HIS/HER RESPONSIBILITY TO VERIFY WATER PRESSURE DURING STATIC CONDITIONS AT ALL SERVICE LOCATIONS. THE PLUMBING CONTRACTOR IS REQUIRED TO CONFORM TO THE MOST CURRENT EDITION OF THE UNIFORM PLUMBING CODE WHICH HAS BEEN ADOPTED BY THE GOVERNMENTAL ENTITY HAVING JURISDICTION OVER THE PROJECT. SPECIAL ATTENTION SHOULD BE GIVEN TO THE SECTION OF THE CODE CONCERNING STATIC WATER PRESSURE IN EXCESS OF 80 PSI.

UNUSED SERVICE LATERALS SHALL BE RETIRED BACK TO TMWA'S WATER MAIN.

WATER MAINS TO EXTEND A MINIMUM OF 10- FEET BEYOND END OF PAVING. MAINS ARE NOT TO BE INSTALLED UNDER SIDEWALK AND/OR CURB & GUTTER.

DURING CONSTRUCTION ALL OPEN ENDS OF PIPES OR FITTINGS SHALL BE SEALED AT THE END OF EACH WORKING DAY TO PREVENT THE ENTRY OF FOREIGN OBJECTS.

ALL PIPE AND APPURTENANCES SHALL BE NSF 61 CERTIFIED.

**BACKFLOW PREVENTION:**

BACKFLOW PREVENTION IS REQUIRED BY NEVADA ADMINISTRATIVE CODE (NAC) SECTION 445A.67185.

1. DOMESTIC AND IRRIGATION BACKFLOW PREVENTION ASSEMBLIES SHALL BE INSTALLED IMMEDIATELY DOWNSTREAM OF THE METER.
2. FOR FIRE SERVICE BACKFLOW ASSEMBLY(IES): CONTACT BACKFLOW PREVENTION GROUP FOR TYPE AND REQUIRED LOCATION.

BACKFLOW PREVENTION GROUP WILL APPROVE WATER METER SET AND PERMANENT WATER SERVICE AFTER:

1. THE ASSEMBLY IS INSTALLED PER TMWA INSTALLATION STANDARDS AND INSPECTED BY THE BACKFLOW PREVENTION GROUP.
2. OPEN TRENCH, DITCH, AND/OR SLURRY INSPECTIONS COMPLETED BY THE BACKFLOW PREVENTION GROUP.
3. FINAL INSTALLATION AND FREEZE PROTECTION INSPECTED BY THE BACKFLOW PREVENTION GROUP.
4. CALL (775) 834-8288 FOR INSPECTIONS OR QUESTIONS.

THE OWNER/DEVELOPER IS RESPONSIBLE TO CONTACT TMWA BACKFLOW PREVENTION GROUP FOR CURRENT BACKFLOW INSTALLATION STANDARDS.

**FIRE SERVICES**

DCDA USC APPROVED DCDA (DOUBLE CHECK DETECTOR ASSEMBLY)

RPDA USC APPROVED RPDA (REDUCED PRESSURE DETECTOR ASSEMBLY)

TESTING OF BACKFLOW PREVENTION ASSEMBLY IS REQUIRED WITHIN 7-10 DAYS AFTER METER IS SET OR SERVICE ACTIVATION. A COPY OF TEST RESULTS ARE TO BE FORWARDED TO TMWA WATER QUALITY/BACKFLOW PREVENTION PERSONNEL BY A CERTIFIED ASSEMBLY TESTER.

**DOMESTIC SERVICES**

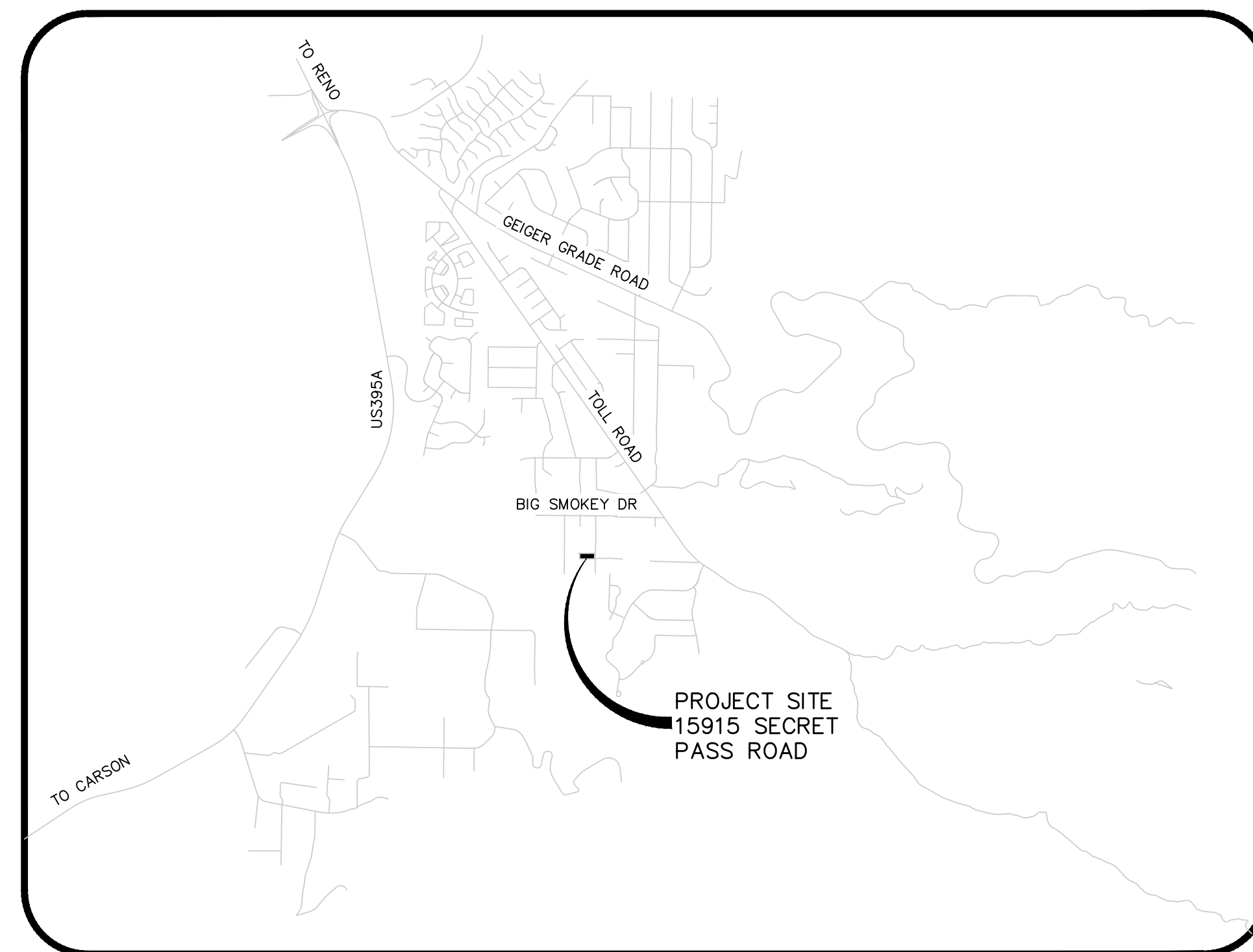
RP USC APPROVED RP (REDUCED PRESSURE PRINCIPLE ASSEMBLY)

IF INITIAL TEST DONE BY TMWA FIELD PERSONNEL FAILS, RE-TESTING OF BACKFLOW PREVENTION ASSEMBLY IS REQUIRED WITHIN 7-10 DAYS AFTER METER IS SET OR SERVICE ACTIVATION. A COPY OF TEST RESULTS ARE TO BE FORWARDED TO TMWA WATER QUALITY/BACKFLOW PREVENTION PERSONNEL BY A CERTIFIED ASSEMBLY TESTER.

**IRRIGATION SERVICES**

RP USC APPROVED RP (REDUCED PRESSURE PRINCIPLE ASSEMBLY)

IF INITIAL TEST DONE BY TMWA FIELD PERSONNEL FAILS, RE-TESTING OF BACKFLOW PREVENTION ASSEMBLY IS REQUIRED WITHIN 7-10 DAYS AFTER METER IS SET OR SERVICE ACTIVATION. A COPY OF TEST RESULTS ARE TO BE FORWARDED TO TMWA WATER QUALITY/BACKFLOW PREVENTION PERSONNEL BY A CERTIFIED ASSEMBLY TESTER.



**VICINITY MAP**  
N.T.S.



**ABBREVIATIONS**

ARV	AIR RELEASE VALVE
ASSY	ASSEMBLY
BOT	BOTTOM (OF PIPE)
BOV	BLOW-OFF VALVE
CL	CENTERLINE
CONST	CONSTRUCT
CTS	COPPER TUBE SIZE
DI OR DIP	DUCTILE IRON PIPE
DIA	DIAMETER
DCDA	DOUBLE CHECK DETECTOR ASSEMBLY
EX	EXISTING
FCA	FLANGE COUPLING ADAPTER
FH	FIRE HYDRANT
FLG OR FL	FLANGE
FVA	FLUSH VALVE ASSEMBLY
GV	GATE VALVE
HDPE	HIGH DENSITY POLYETHYLENE
HP	HIGH POINT
IE	INVERT ELEVATION
MJ	MECHANICAL JOINT
MRJ	MECHANICALLY RESTRAINED JOINT
OD	OUTSIDE DIAMETER
PL OR P/L	PROPERTY LINE
PO	PUSH ON
PUE	PUBLIC UTILITY EASEMENT
PVC	POLYVINYL CHLORIDE PIPE
R	RADIUS
RFC	RESTRAINED FLANGE COUPLING ADAPTER
ROW OR R/W	RIGHT OF WAY
RPBA	REDUCED PRESSURE BACKFLOW ASSEMBLY
STL	STEEL
TB	THRUST BLOCK
TS	TEST STATION
TYP	TYPICAL
W	WATER
W/	WITH
XING	CROSSING

**BASIS OF BEARING:**

THE BASIS OF BEARINGS FOR THIS SURVEY IS NEVADA STATE PLANE COORDINATE SYSTEM, WEST ZONE NAD83(94) BASED UPON REAL TIME KINEMATIC GPS OBSERVATIONS, OBSERVED 4-30-2019 USING A SURVEY GRADE DUAL FREQUENCY GPS RECEIVER FROM THE NORTHERN NEVADA COOPERATIVE REAL TIME NETWORK MODIFIED BY A COMBINED FACTOR OF 1.000197939, SCALED FROM 0.00N, 0.00E AND CONVERTED TO U.S. SURVEY FEET. ALL DIMENSIONS ON THIS MAP ARE GROUND DISTANCES.

**BASIS OF ELEVATION:**

DATUM: NAVD 88  
PROJECT BENCHMARK = SOUTHWEST PROPERTY CORNER HAVING AN ELEVATION OF 4780.64'

**TRUCKEE MEADOWS WATER AUTHORITY:**

**APPLICANT TO FURNISH AND/OR INSTALL:**

ALL TRENCHING AND EXCAVATION PER TMWA ENGINEERING & CONSTRUCTION STANDARDS SECTIONS 4 AND 5.

ALL SURVEY STAKING NECESSARY TO CLARIFY RIGHT-OF-WAY, EASEMENTS, PROPERTY LINES, ELEVATIONS, ETC.

ALL NECESSARY PERMITS, PAVEMENT CUTTING, PAVEMENT REMOVAL, AND PAVEMENT REPLACEMENT.

APPLICANT TO INSTALL WATER METER SETTER AND ENCLOSURE. WATER METER INSTALLED BY TMWA.

ALL REQUIRED LINE PRESSURE TESTS AND WELDING/FUSION QUALITY TESTS SHALL BE PERFORMED IN ACCORDANCE WITH AWWA C600, C605 AND TMWA ENGINEERING & CONSTRUCTION STANDARDS. MOST STRINGENT STANDARD SHALL APPLY. ALL PRESSURE TESTS SHALL BE PERFORMED BEFORE THE PIPING IS FLUSHED, DISINFECTED OR SAMPLED FOR AN ANALYSIS OF WATER QUALITY.

ADDRESSES OR BUILDING DESIGNATION.

LETTER TO VERIFY THAT ELEVATIONS ARE AT ENGINEERED SUB-GRADES PRIOR TO UTILITY CONSTRUCTION.

ALL PRIVATE DOMESTIC AND IRRIGATION LINES BEYOND THE POINT OF CONNECTION AT TMWA'S METER PROVISION AND ALL NECESSARY WATER PRESSURE REGULATION EQUIPMENT (REFER TO THE MOST CURRENT EDITION OF THE UNIFORM PLUMBING CODE WHICH HAS BEEN ADOPTED BY THE GOVERNMENTAL ENTITY HAVING JURISDICTION OVER THE PROJECT).

WATER MAINS SHALL NOT BE PLACED IN SERVICE UNTIL DISINFECTED PER AWWA STANDARD C651 AND AN ANALYSIS WHICH INDICATES IT MEETS PRIMARY STANDARDS FOR COLIFORM BACTERIA HAS BEEN OBTAINED. FINAL WATER QUALITY TESTS WILL BE FORWARDED TO THE REVIEWING AGENCY UPON COMPLETION OF ANALYSIS.

CONTRACTOR TO COORDINATE WITH TMWA INSPECTOR REGARDING DISCHARGE OF SPENT CHLORINATED WATER.

ALL CONCRETE FOR THRUST BLOCKS PER TMWA ENGINEERING & CONSTRUCTION STANDARDS AND DRAWING NUMBER 10L-2.

APPROX.    .255    OF 1" AWWA C901 CTS HDPE TUBING WITH ALL FITTINGS AND APPURTENANCES. (INCLUDING ALL HOT TAPS 2" AND UNDER). DOMESTIC

**SEPARATION BETWEEN WATER SERVICES:**

C900 PVC PIPE, TRANSITE (AC) PIPE -- SERVICE TAPS ON THE SAME SIDE OF PIPE SHALL HAVE A MINIMUM 36" SEPARATION. SERVICES STAGGERED SIDE TO SIDE OF PIPE SHALL HAVE A MINIMUM 18" SEPARATION. NO SERVICES ALLOWED WITHIN 24" OF CUT END OR PIPE TO BELL TRANSITION.

DUCTILE IRON PIPE, CAST IRON PIPE, STEEL PIPE -- SERVICE TAPS ON THE SAME SIDE OF PIPE SHALL HAVE A MINIMUM 18" SEPARATION. SERVICES STAGGERED SIDE TO SIDE OF PIPE SHALL HAVE A MINIMUM 9" SEPARATION. NO SERVICES ALLOWED WITHIN 24" OF CUT END OR PIPE TO BELL TRANSITION.

- TR ■    1    - 13" x 24" SINGLE WATER METER PROVISION ASSEMBLY(IES).
- TR\* (TRAFFIC RATED/DRIVEWAY APPROACH BOX WHERE APPLICABLE).

FOR TMWA USE ONLY NEW BUSINESS WATER				
WO#	Map #		New Main	
Date Installed:	Depth:			
Pressure Test Date:	PSI		Hours Tested:	
Inspector:				
Contractor:				
Foot Laid	Size	Type	Main/Svc	
Retired/ Abandoned/Removed				
Foot Ret.	Size	Type	Main/Svc	
# of Meter boxes Inst./Size:				
# of Setters Inst./Size:				



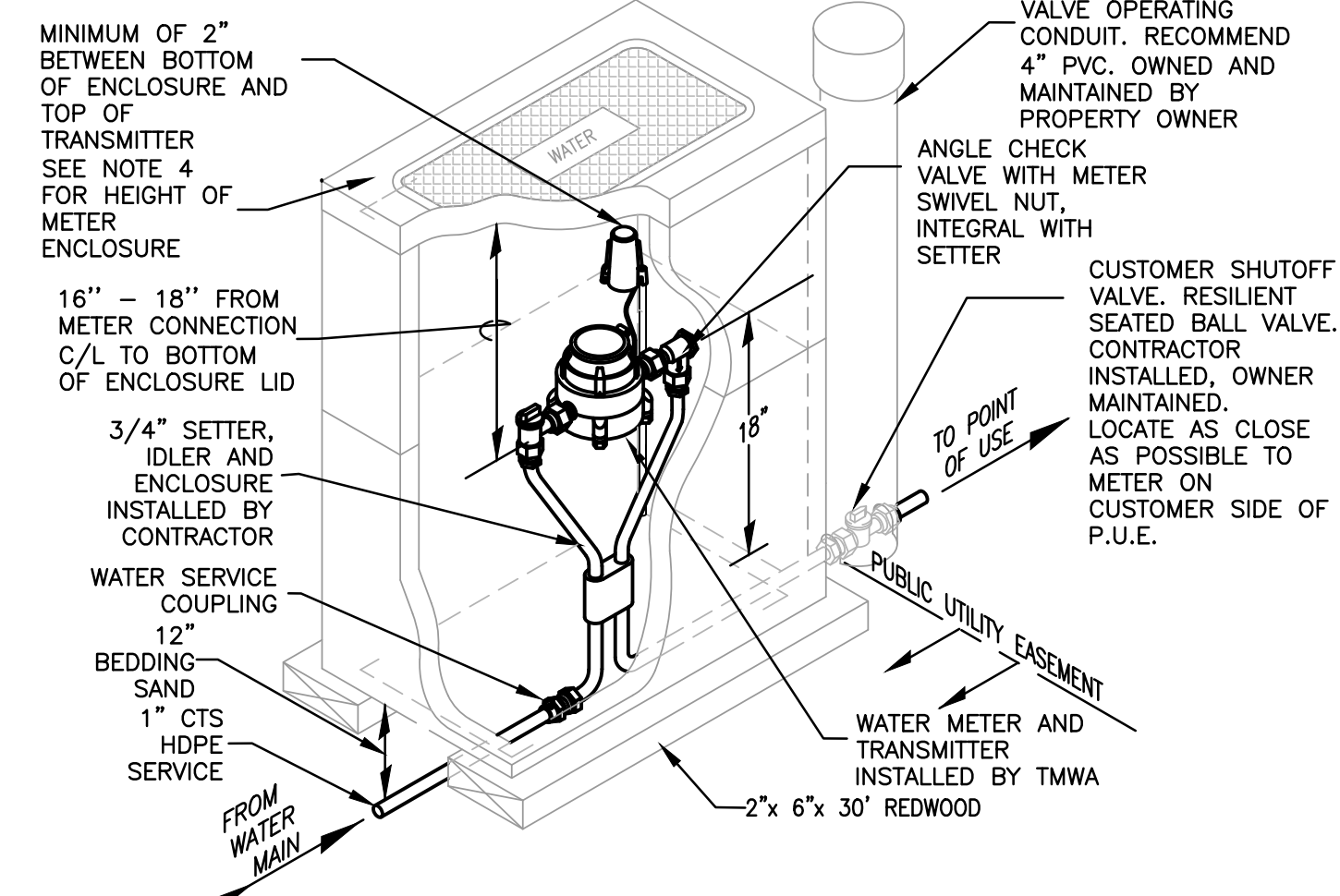
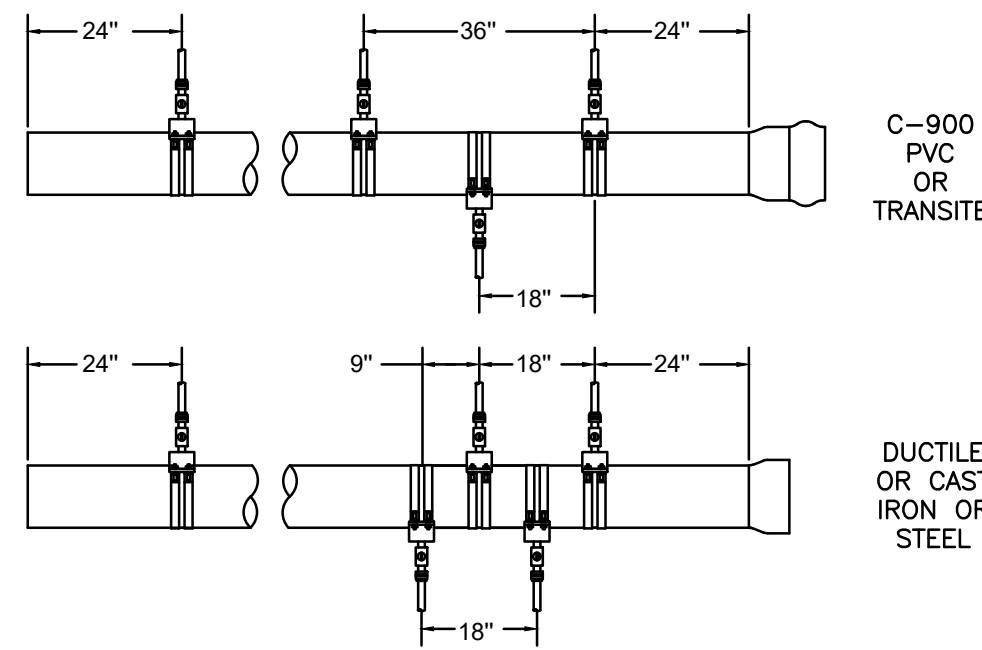
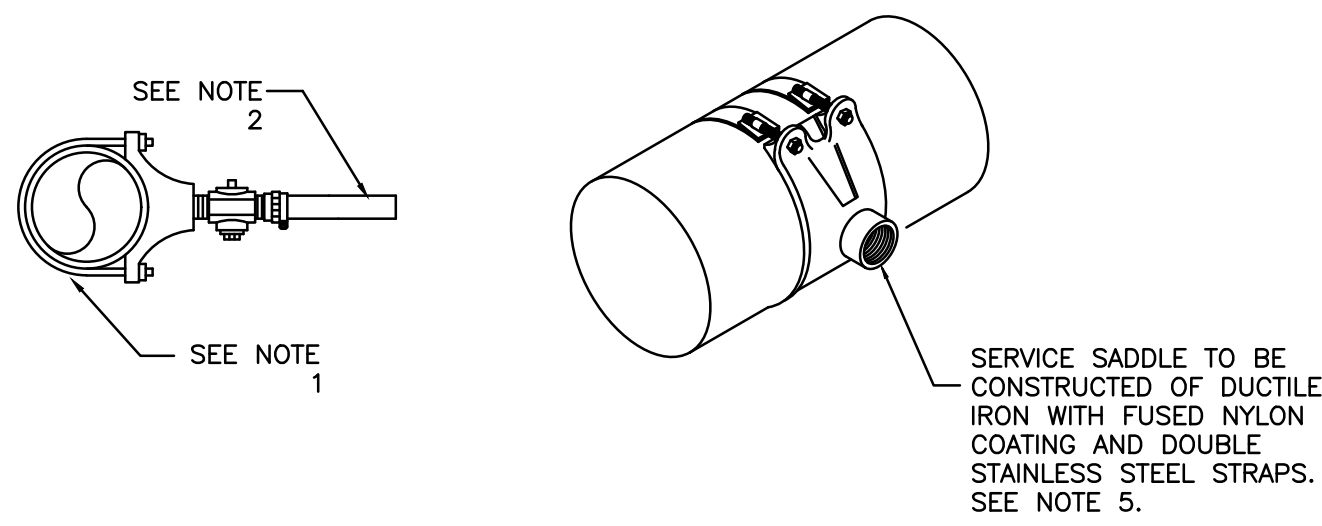
ENGINEER

308 N. CURRY ST., STE. 200  
CARSON CITY, NEVADA 89706  
TEL: 775.883.7077

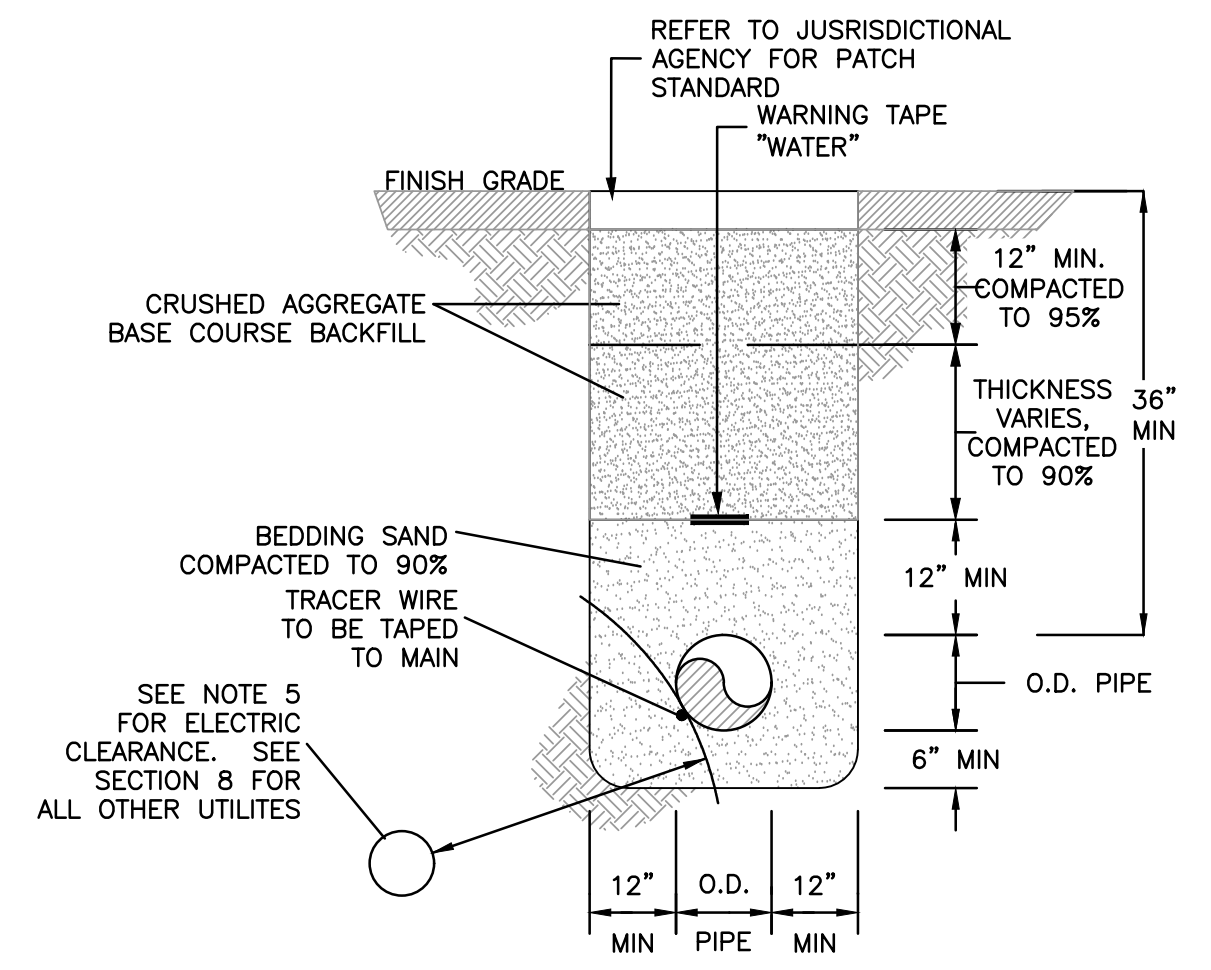




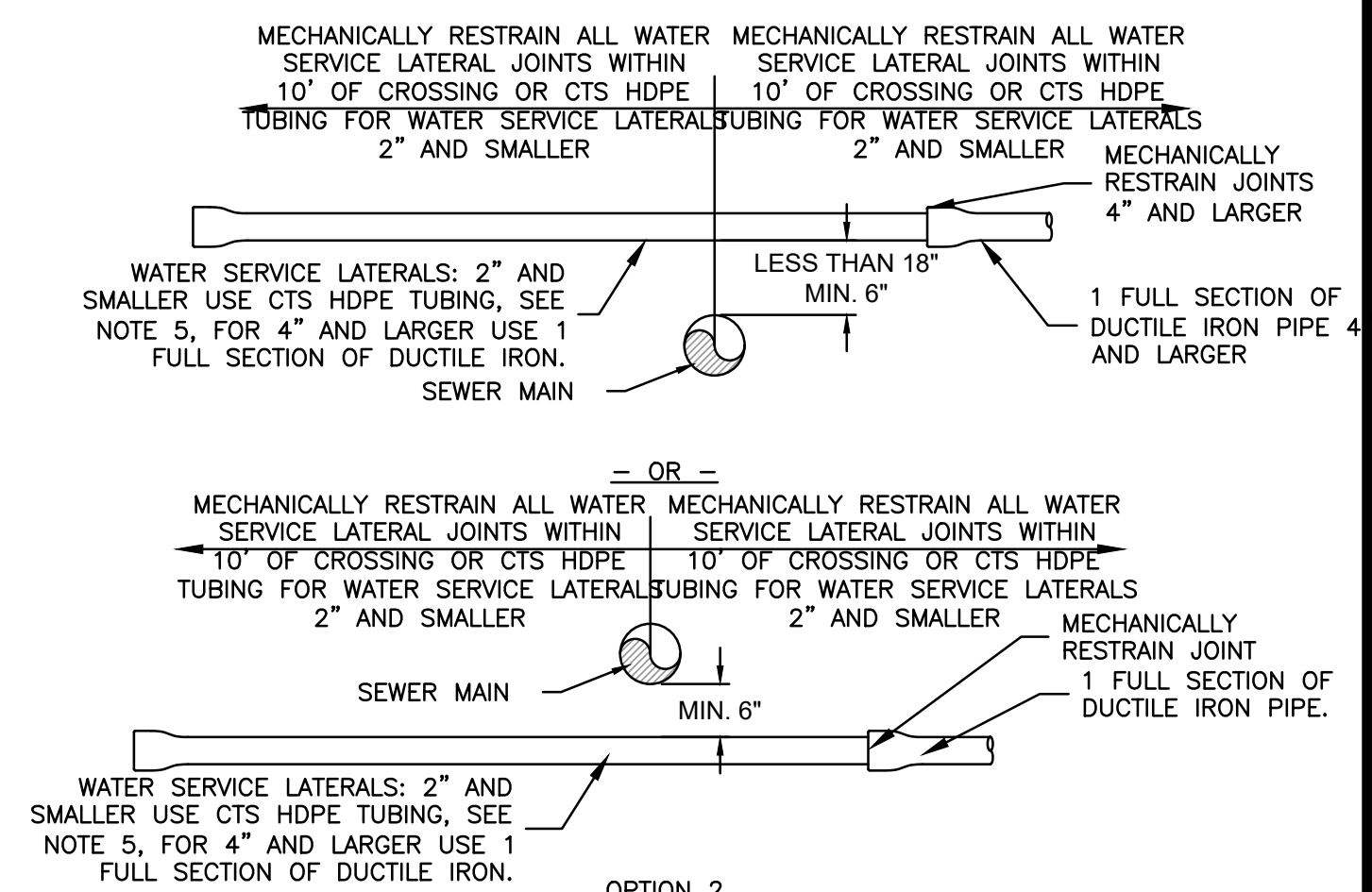
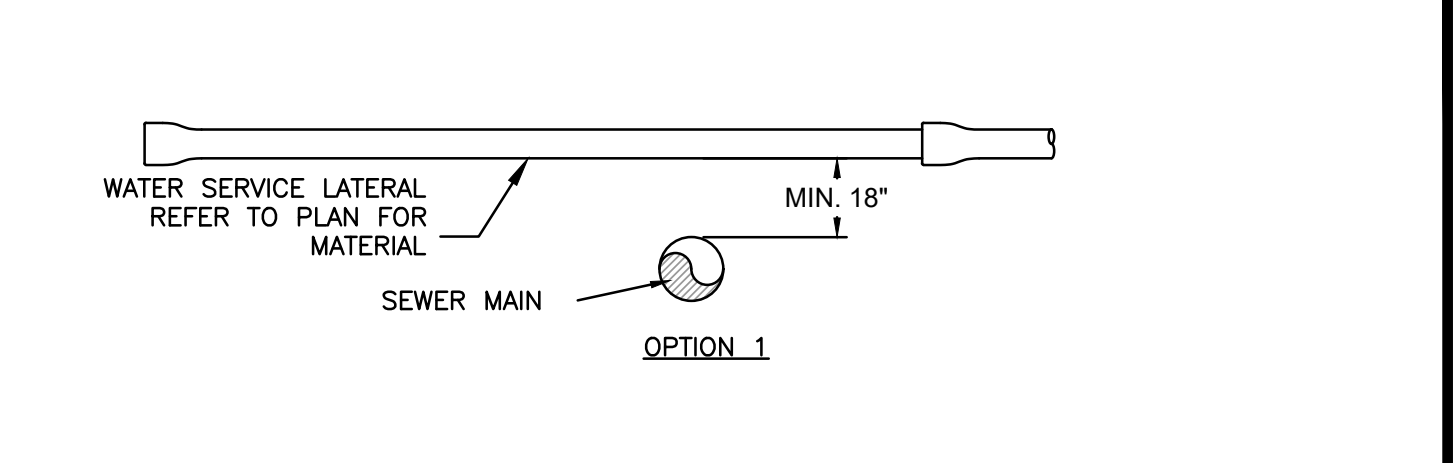
- NOTES:  
 1. SERVICE CLAMP SIZE IS DEPENDENT UPON THE SIZE AND TYPE OF MAIN.  
 2. SDR-9 CTS HDPE TUBING, LENGTH AND DIAMETER TO BE DETERMINED BY ENGINEER. REFER TO APPROVED PLAN.  
 3. STOP CORP IP THREAD INLET, COMPRESSION OUTLET, DIAMETER TO MATCH TAP SIZE AS SHOWN ON PLAN.  
 4. INSERT RIGID STAINLESS STEEL LINER TO SDR-9 CTS HDPE TUBING.  
 5. SERVICE TAPS OFF OF EXISTING PVC MAINS SHALL USE TAPPED FULL CIRCLE REPAIR CLAMP, MINIMUM LENGTH: 15". MANUFACTURER SHALL BE APPROVED BY TMWA.



- NOTES:  
 1. THERMAL EXPANSION PROTECTION IS REQUIRED IN ANY DOMESTIC WATER SUPPLY SYSTEM THAT IS DOWNSTREAM FROM A BACKFLOW PREVENTION DEVICE. REFERENCE: UNIFORM PLUMBING CODE.  
 2. METER AND TRANSMITTER SUPPLIED AND INSTALLED BY TMWA.  
 3. FOR DRIVEWAY OR TRAFFIC AREAS USE 13X24 ENCLOSURE APPROVED FOR TRAFFIC RATED H/20 LOADING. SEE DETAIL 10K-17.  
 4. TOP OF METER ENCLOSURE SHALL BE SET 0.2 FEET ABOVE HIGHEST FINISHED GRADE SURROUNDING ENCLOSURE WITHIN LANDSCAPED AREAS, AND SHALL BE SET FLUSH WITH SURROUNDING FINISH GRADE IN TRAFFIC AREAS.  
 5. ENCLOSURE TO BE BACKFILLED WITH WATER PIPE BEDDING SAND ONLY, SEE SECTION 5, TRENCH BEDDING & BACKFILL.  
 6. BLANKET TO BE INSTALLED ABOVE METER AND TRANSMITTER.
- | ITEM ID               | QTY. | DESCRIPTION   |
|-----------------------|------|---|
| MS-CHK-0.75           | 1.0  | SETTER WATER METER, WITH ANGLE CHECK VALVE, NEW 3/4" MIP ENDS |
| WSC-1.00x0.75-CTSxFIP | 1.0  | COUPLING SERVICE 1" CTS COMPRESSION X 3/4" FIP                |
| SSL-1.00              | 1.0  | LINER RIGID STAINLESS STEEL FOR 1" CTS HDPE TUBING            |
| GSKT-0.75             | 2.0  | GASKET-3/4" FOR WATER METER                                   |
| WM-DISC-0.75          | 1.0  | 3/4" WATER METER - SUPPLIED AND INSTALLED BY TMWA             |
| ENCL-12x22-NT         | 1.0  | ENCLOSURE NON-TRAFFIC 12 X 22 WATER METERS, SEE NOTE 3        |
| ENCL-12x22-LID-NT     | 1.0  | COVER NON-TRAFFIC 12 X 22, SEE NOTE 3                         |
| ENCL-12x22-EXT-NT     | 1.0  | EXTENSION BOX NON-TRAFFIC 12 X 22, SEE NOTE 3                 |
| INSL-BLKT-4x4         | 1.0  | BLANKET INSULATION 4' X 4' FOR WATER METERS                   |
| RDWD-BRD-2x6x30       | 2.0  | BOARD - REDWOOD 2" X 6" X 30"                                 |
| IDLR-0.75             | 1.0  | IDLER WATER METER 3/4" SETTER                                 |
| ERT                   | 1.0  | REMOTE TRANSMITTER - SUPPLIED AND INSTALLED BY TMWA           |



- NOTES:  
 1. ALL TRENCHES MUST CONFORM TO APPLICABLE TMWA, CITY, STATE, COUNTY, AND OSHA SPECIFICATIONS AND REQUIREMENTS. IN THE CASE OF CONFLICT, THE MORE RIGID SPECIFICATION OR STANDARD SHALL APPLY.  
 2. BEDDING SAND SHALL BE COMPACTED TO 90% MAXIMUM DENSITY PER SECTION 5.05.03 AND SHALL BE A MINIMUM OF 12" ABOVE AND 6" BELOW THE MAIN. PER SECTION 5 OF TMWA STANDARDS.  
 3. CRUSHED AGGREGATE BASE COURSE BACKFILL SHALL BE PLACED IN 12" MAXIMUM LOOSE LIFTS. THE TOP 12" SHALL BE COMPACTED TO 95% MAXIMUM DENSITY. THE AREA ABOVE THE BEDDING SAND & BELOW 12" FROM FINISH GRADE SHALL BE COMPACTED TO 90% MAXIMUM DENSITY. PER SECTION 5 OF TMWA STANDARDS.  
 4. NON-METALLIC BLUE WARNING TAPE SHALL BE PLACED IN ALL TRENCHES AT LEAST 12" ABOVE THE WATER MAIN.  
 5. ELECTRIC UTILITIES MUST BE LOCATED BELOW WATER & MAINTAIN 2' MINIMUM RADIAL CLEARANCE FROM TMWA WATER FACILITIES. IF 2' RADIAL CLEARANCE CAN NOT BE MET ELECTRIC CONDUIT MUST BE CONCRETE ENCASED AT LEAST 18" EACH SIDE OF WATER CROSSING. FIBER OPTIC AND/OR COMMUNICATION CONDUITS SHALL NOT BE PLACED IN THE SAME TRENCH AS WATER.  
 6. ALL CHANGES MUST BE APPROVED BY THE TMWA INSPECTOR AND/OR THE TMWA ENGINEER.  
 7. SEPARATION FOR PIPES IN A JOINT TRENCH SHALL BE A MINIMUM OF 12".  
 8. TRACER WIRE SHALL BE #14 COPPER CLAD STAINLESS STEEL CORE WITH 30 MILS BLUE HDPE INSULATION. ALL WIRE SPLICES SHALL BE MADE USING A SPLIT BOLT CONNECTOR WRAPPED WITH AQUASEAL AND ELECTRIC TAPE. THE CONTRACTOR SHALL INSTALL A 3 POUND ANODE AT EVERY TEST STATION. TEST STATIONS SHALL BE LOCATED ALONG THE MAIN NO MORE THAN 500 FEET APART. REFER TO 10L-9



- NOTES:  
 1. OPTION 1 SHOULD BE UTILIZED WHEN POSSIBLE.  
 2. NON-PRESSURIZED SEWER MAINS SHALL BE SDR 35 PVC. IF SEWER MAINS ARE NON SDR 35 PVC, SEWER MAINS SHALL BE ENCASED IN 4" OF EXCAVATABLE SLURRY, USE EXTERNAL JOINT SEALANT OR OTHER MITIGATION TO ENSURE JOINTS ARE WATERTIGHT. WHERE THE SEWER MAINS ARE PRESSURIZED, THE SEWER MAINS SHALL HAVE MECHANICALLY RESTRAINED JOINTS OR SHALL USE WELDED OR FUSED PIPE.  
 3. ALL MECHANICALLY RESTRAINED WATER PIPES SHALL BE DUCTILE IRON WITH POLYETHYLENE WRAP PER AWWA C105.  
 4. FOR WATER SERVICE LATERALS 2" AND SMALLER THERE SHALL BE NO JOINTS OR FITTINGS BETWEEN THE WATER MAIN AND THE WATER METER.

DATE	APPENDIX 10H SERVICE TAP INSTALLATIONS FOR 1", 1.25", 1.5" AND 2" SERVICE TAPS	DRAWING NUMBER
7/2001		10H-2
REV 9/2016		

DATE	APPENDIX 10K WATER METERS - SMALL NEW RESIDENTIAL INSTALLATION 1" SINGLE SERVICE FOR 3/4" SETTER WITH ANGLE CHECK METER AND TRANSMITTER	DRAWING NUMBER
6/2004		10K-2
REV 7/2011		

DATE	APPENDIX 10L MISCELLANEOUS WATER DETAILS TRENCH DETAIL WATER ONLY	DRAWING NUMBER
7/2011		10L-6
REV 02/2014		

DATE	APPENDIX 10L MISCELLANEOUS WATER DETAILS WATER SERVICE LATERAL CROSSING SEWER MAIN	DRAWING NUMBER
02/2014		10L-13
REV		



Know what's below.  
Call before you dig.

FOR TMWA USE ONLY NEW BUSINESS WATER			
WO#	Map #	New Main	
Date Installed:	Depth:		
Pressure Test Date:	PSI	Hours Tested:	
Inspector:	Contractor:		
Foot Laid	Size	Type	Main/Svc
Retired/ Abandoned/Removed			
Foot Ret.	Size	Type	Main/Svc
# of Meter boxes Inst./Size:			
# of Setters Inst./Size:			

WORK ORDER NO. \_\_\_\_\_  
 DESIGNED BY \_\_\_\_\_  
 DRAWN BY \_\_\_\_\_  
 DATE \_\_\_\_\_  
 CHECKED BY \_\_\_\_\_  
 SUBMITTED BY \_\_\_\_\_  
 RECOMMENDED BY \_\_\_\_\_  
 APPROVED BY \_\_\_\_\_

**TRUCKEE MEADOWS WATER**

R U T H O R I T Y

1365 CAPITAL BLVD., 3RD FLOOR  
 RENO, NEVADA 89502  
 PH: 775-834-8000 / FX: 775-834-8003

**15915 SECRET PASS ROAD**  
**RENO, NV 89502**

**DETAILS**

SHEET NUMBER  
**W3**  
1 OF 3

**LUMOS & ASSOCIATES**

**ENGINEER**  
 308 N. CURRY ST., STE. 200  
 CARSON CITY, NEVADA 89706  
 TEL: 775.883.7077

**ROBERT KRONE ARCHITECT P.C.**  
P.O. Box 100  
Verdi, Nevada 89439-0100  
(917) 359-9302  
www.kronearc.com

**TRANSMITTAL**

Date: April 8, 2021

To: **Community Services Department**  
**Washoe County Planning and Building**  
1001 E. Ninth St., Bldg. A  
Reno, NV 89512-2845  
Telephone: 775-328-6100

Attention: **Community Services Department**

From: Robert C. Krone, AIA

Via: By hand

Regarding: **Jimenez-Recendiz Garage & Detached Accessory Dwelling,**  
**Administrative Review Application**  
15915 Secret Pass Rd., Reno, NV 89521  
APN: 007-200-53

Distribution: file: 2011.03

<u>No. of Copies</u>	<u>Drawing No.</u>	<u>Drawing Size</u>	<u>Latest Date</u>	<u>Description</u>
Packet No. 1 (original) contains:				
1	-	-	2.23.21	Washoe County Development Application, signed & notarized Owner's Affidavit (original) & Administrative Review Permit Application
1	-	-	8.20.20	Real estate tax payment receipt
1	-	-	2.24.21	Check 372, to Washoe County, for \$2,302.20
1	A-001.00	36" x 24"	2.05.21	Cover Sheet, signed & sealed
1	A-002.00	8.5" x 11"	2.23.21	Site Plan, signed & sealed
1	A-002.00	36" x 24"	2.23.21	Site Plan & Location Map, signed & sealed
1	A-201.00	36" x 24"	2.05.21	Floor & Roof Plans, signed & sealed
1	A-501.00	36" x 24"	2.23.21	Garage & Accessory Dwelling Elevations, signed & sealed
1	A0, A2, A3, A4 & A5	36" x 24"	4.26.19	Proposed main residence plans & elevations - filed under separate application
1	W1, W2 & W3	36" x 24"	-	TMWA water & sewer service connection for primary residence
1	-	-	-	Flash drive with digital copies of application materials
Packet Nos. 2 and 3 (copies) contain:				
1	-	-	2.23.21	Washoe County Development Application, signed & notarized Owner's Affidavit (original) & Administrative Review Permit Application
1	-	-	8.20.20	Real estate tax payment receipt
1	-	-	2.24.21	Check 372, to Washoe County, for \$2,302.20
1	A-002.00	8.5" x 11"	2.23.21	Site Plan, signed & sealed
1	A-002.00	36" x 24"	2.23.21	Site Plan & Location Map, signed & sealed
1	A-201.00	36" x 24"	2.23.21	Floor & Roof Plans, signed & sealed
1	A-501.00	36" x 24"	2.23.21	Garage & Accessory Dwelling Elevations, signed & sealed
1	A0, A2, A3, A4 & A5	36" x 24"	4.26.19	Proposed main residence plans & elevations

**ROBERT KRONE ARCHITECT P.C.**

*P.O. Box 100*

*Verdi, Nevada 89439-0100*

*(917) 359-9302*

*www.kronearc.com*

1	W1, W2 & W3	36" x 24"	-	- filed under separate application TMWA water & sewer service connection for Main residence
---	-------------	-----------	---	---

Remarks:

Please contact Robert Krone with any comments or questions regarding this submission at 917-359-9302.

Thank you.