

**Midkiff**  
**& Associates, Inc.**  
CONSULTANTS

November 14, 2014

Bill Whitney  
Division Director  
901 East Ninth Street  
Reno, NV 89520-0027

**NEVADA PACIFIC DEVELOPMENT CORPORATION, ROAD STUB AND COUNTY STRIP  
ABANDONMENT APPLICATION, 44 AND 61 SOMERS DRIVE (KNOWN AS SOMERS LOOP),  
CRYSTAL BAY, NEVADA, ASSESSOR'S PARCEL NUMBERS (APNs) 123-201-02, 123-032-18 &  
123-032-19**

Dear Mr. Whitney:

The attached Washoe County Abandonment application and all corresponding attachments is hereby submitted by Midkiff and Associates, Inc ("Agent") on behalf of the Nevada Pacific Development Corporation ("Applicant"). The application is made pursuant to NRS 278.480 and Washoe County Code Chapter 110, Article 806.

**Project Description**

As outlined in the Application, the Applicant is proposing that Washoe County abandon an unusable eight (8) foot wide strip of land ("County Strip") that is currently closed to the public and the adjacent road stub ("Road Stub") that connects to Somers Drive (known as Somers Loop). The County Strip is proposed to be incorporated into two (2) abutting parcels (APN 123-032-18 and APN 123-201-02). The Road Stub is proposed to be incorporated into three (3) abutting parcels, (APNs 123-201-02, 123-032-18 & 123-032-19) and will be subject to a private access easement in favor of APN 123-201-04, which will be extended to the public road. The Applicant owns all of the parcels abutting the areas proposed to be abandoned.

There are three (3) additional strips of land dedicated to Washoe County within Nevada Vista Subdivision. One is improved with a stairway and provides access to Lake Tahoe. The other two (2) provide potential lake access. The improved stairway public access point is approximately 800 feet to the north of the County Strip proposed for abandonment.

In addition to the Abandonment Development Application Submittal Requirements established in the Abandonment Application and referenced in the enclosure section below, there are two (2) attachments that I would like to bring to your attention regarding the proposed abandonment.

(1) Photo Packet

The County Strip of land has large boulders and a very steep slope with an average 46.7 percent grade, a portion of which slopes 73.5 percent +/-, making it nearly inaccessible. Because of the steep slope, thick vegetation and rocky terrain of the County Strip, Washoe County erected a sign at the top of the strip of land that states, "Washoe County Right of Way, Not Safe for Public Use, Closed Beyond this Point." Last April the County Strip of land was vandalized and the old growth manzanita on the County Strip was illegally cut down to its roots by unknown culprits.

Attached is a Photo Description Table describing each of the 14 photos which are included in the Abandonment application. Photos 1 and 5 through 12 document the County Stub before and after the illegal stripping of old growth manzanita.

(2) Second Abandonment Area Exhibit

A second abandonment exhibit highlights the area for which the abandonment is being sought. This exhibit is the same as the required exhibit with the exception that a color emphasis has been added to the area of proposed abandonment.

If during your review you have any additional questions/comments please do not hesitate to contact me.

Sincerely,



Nicholas D. Exline  
Senior Planner, AICP

Cc. Nevada Pacific Development Corporation  
Karen Dennison  
Greg Salter  
Paul Lipparelli

Enc.

Amount	Document
1	Fee (\$1,732.00)
6	Secondary Abandonment Exhibit
1	Development Applicant (Original)
5	Development Applicant (Copies)
1	Application Materials (legal Descriptions)
1	Title Report
6	Application Map/Site Plan
1	CD Packet
1	Strip of Land/Road Stub Legal Description
1	Easement Legal Description/Exhibit

### Photo Description Table

Photo Number	Photo Description
1	Looking lakeward from the entrance of the 8' wide strip of land. You will notice the Washoe County sign stating, "Washoe County Right of Way Not Safe for Public Use Closed Beyond this Point."
2	Google Earth photo documenting the proximity (800') from the unusable strip of land to the improved (stairway) strip of land.
3	Nevada Vista Subdivision Map documenting the proximity (800') from the unusable strip of land to the improved (stairway) strip of land.
4	Secondary abandonment exhibit highlighting the specific area proposed for abandonment.
5	Photo taken from a boat documenting the unusable strip of land from the lake. This photo was taken pre-illegal vegetative clearing. Note the Washoe County Sign in the top right hand corner.
6	Photo taken from a boat documenting the unusable strip of land from the lake. This photo was taken post-illegal vegetative clearing.
7	Surveyors Profile of the unusable Strip of Land with accompanying photos.
8	Photo documenting the steep slope and difficult terrain of the strip of land.
9	Photo documenting the steep slope and difficult terrain of the strip of land.
10	Photo documenting the steep slope and difficult terrain of the strip of land.
11	Photo documenting the steep slope and difficult terrain of the strip of land.
12	Photo documenting the steep slope and difficult terrain of the strip of land.
13	Existing photo of improved (stairs) strip located approximately 800' feet to the north of the unusable strip of land.
14	Existing photo of improved (stairs) strip located approximately 800' feet to the north of the unusable strip of land.

Community Services Department  
Planning & Development  
ABANDONMENT APPLICATION



Community Services Department  
Planning and Development  
1001 E Ninth St., Bldg A.  
Reno, NV 89520

Telephone: 775.328.3600

## Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning & Development staff at 775.328.6100.

<b>Project Information</b>		Staff Assigned Case No.: _____	
Project Name (commercial/industrial projects only):			
Project Description: The abandonment of an unsafe, unusable 8 foot wide public strip of land (attached Washoe County signage) and road stub. The square-footage of the unusable public strip of land and road stub will be abandoned to the three (3) abutting parcels.			
Project Address: Somers Drive (Known As Somers Loop)			
Project Area (acres or square feet): 6,506 sq. ft.			
Project Location (with point of reference to major cross streets AND area locator): Nevada Vista Subdivision at 44 & 61 Somers Drive.			
Assessor's Parcel No(s):	Parcel Acreage:	Assessor's Parcel No(s):	Parcel Acreage:
123-201-02	1.8 acres	123-032-19	.47 acres
123-032-18	1.13 acres		
Section(s)/Township/Range: Section 30/Township 16 N/ Range 19 E			
Indicate any previous Washoe County approvals associated with this application: Case Nos.			
<b>Applicant Information</b> (attach additional sheets if necessary)			
<b>Property Owner:</b>		<b>Professional Consultant:</b>	
Name: Washoe County		Name: Midkiff and Associates, Inc.	
Address: 1001 E. 9th St.		Address: P.O. Box 12427	
Reno, NV	Zip: 89512	Zephyr Cove, NV	Zip: 89448
Phone:	Fax:	Phone: 775-588-1090	Fax: 775-588-1091
Email:		Email: nick@midkiffandassoc.com	
Cell:	Other:	Cell:	Other:
Contact Person:		Contact Person: Gary Midkiff	
<b>Applicant/Developer:</b>		<b>Other Persons to be Contacted:</b>	
Name: Nevada Pacific Development Corporation		Name:	
Address: P.O. Box 4204		Address:	
Incline Village, NV	Zip: 89450		Zip:
Phone: 775-831-2070	Fax: 775-831-7711	Phone:	Fax:
Email: Elizabeth@nevadapacific.com		Email:	
Cell:	Other:	Cell:	Other:
Contact Person:		Contact Person:	
<b>For Office Use Only</b>			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

## Abandonment Application Supplemental Information

(All required information may be separately attached)

Chapter 110 of the Washoe County Code is commonly known as the Development Code. Specific references to vacations and abandonments may be found in Article 806, Vacations and Abandonments of Easements or Streets.

1. What is the abandonment being requested?

The proposed abandonment is seeking to have an existing Washoe County unsafe 8 foot wide strip of land that is currently closed to the public, and the adjacent road stub that connects to Somers Drive, incorporated into three (3) abutting parcels and subject to private access easement in favor of APN 123-201-04, which will be extended to the public road. The square-footage of the public strip of land and road stub will be abandoned to the three (3) abutting parcels, subject to a private access easement. .

2. On which map or document (please include with application) is the easement or right-of-way first referenced?

August 13, 1926 Subdivision Map (attached).

3. What is the proposed use for the vacated area?

The vacated area will be incorporated into three (3) abutting parcels, subject to a private access easement serving APN 123-201-04. The abutting parcels are currently zoned by Washoe County as High Density Rural.

4. What replacement easements are proposed for any to be abandoned?

NONE

5. What factors exist or will be employed to prevent the proposed abandonment from resulting in significant damage or discrimination to other property in the vicinity?

There are currently three (3) additional strips of land within the Nevada Vista Subdivision. One is improved with a stairway and provides access to Lake Tahoe. The other two (2) provide potential Lake access. The improved stairway public access point is approximately 800 feet to the north of the strip of land proposed for abandonment. Please see the attached vicinity map documenting the location of the improved, safe public access point.

6. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the abandonment request? (If so, please attach a copy.)

Yes

No

# CLOSED COUNTY STRIP OF LAND

WASHOE COUNTY  
RIGHT OF WAY  
NOT SAFE FOR  
PUBLIC USE  
CLOSED BEYOND  
THIS POINT



# NEIGHBORHOOD VICINITY MAP

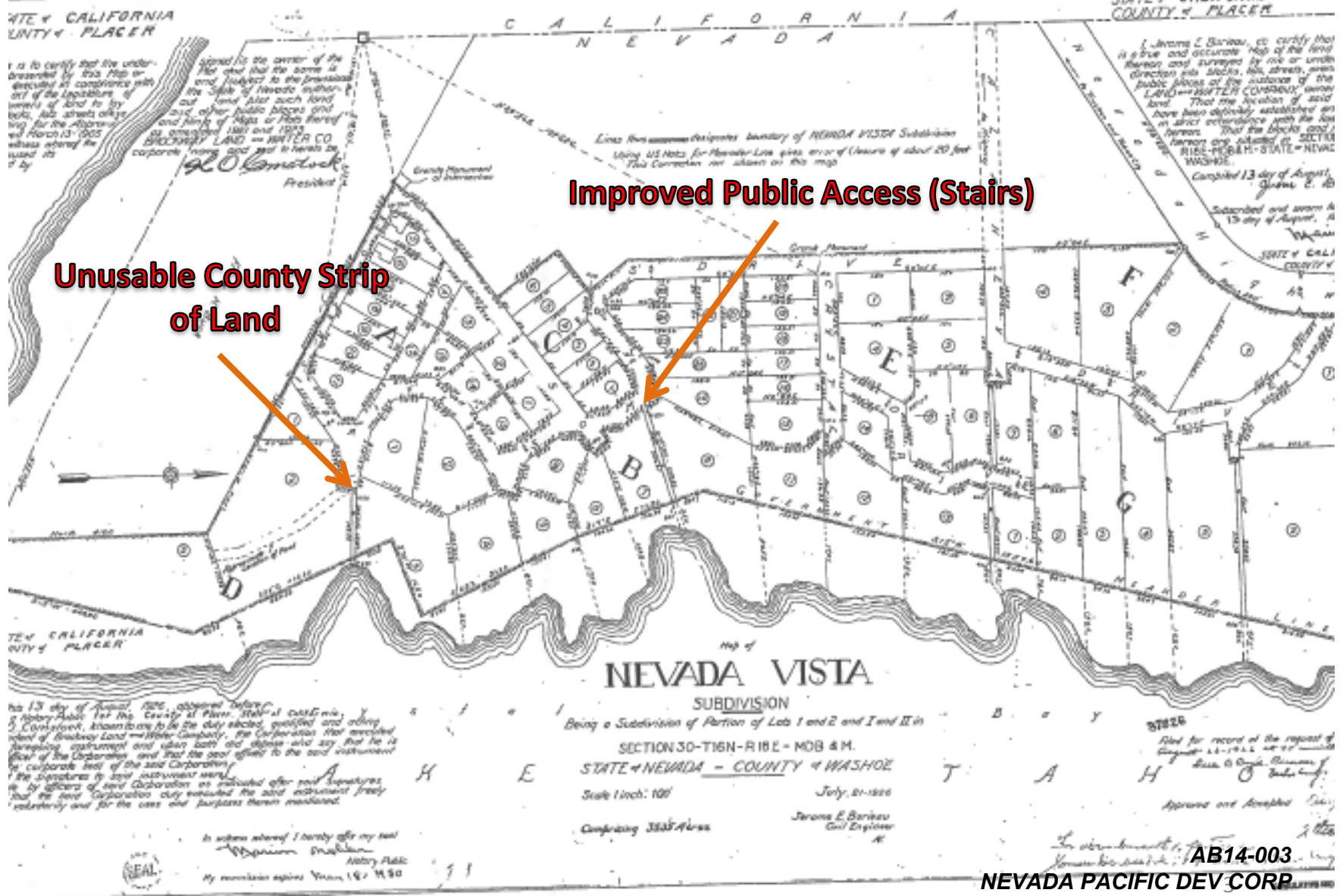


Closed County Strip of Land

Improved  
Public Access to Lake  
(Photos 12 & 13)

# NEVADA VISTA SUBDIVISION NEIGHBORHOOD MAP

198



**Unusable County Strip  
of Land**

**Improved Public Access (Stairs)**

STATE OF CALIFORNIA  
COUNTY OF PLACER

C A L I F O R N I A  
N E V A D A

STATE OF CALIFORNIA  
COUNTY OF PLACER

I do hereby certify that the under-  
described plat was prepared in accordance with  
the provisions of the Statute of the Legislature of  
this State relating to the subdivision of land for  
lotting, and that the same is a true and correct  
copy of the original as filed for record in the  
office of the County Clerk of Placer County, California,  
on the 13th day of August, 1926.

I signed to the owner of the  
lot above that the same is  
and subject to the provisions  
of the Statute of Nevada author-  
ized to be made after such filing  
and other public places and  
and plans of Maps or Plans filed  
as provided in 1921 and 1923  
BROOKLYN LAND - WATER CO.  
Corporate name and as it reads by  
H. O. Bunker  
President

This line represents boundary of NEVADA VISTA Subdivision  
Using US Notes for Meridian Line gives error of closure of about 20 feet  
This correction not shown on this map

I, Jerome E. Barbeau, do hereby certify that  
this is a true and accurate Map of the land  
described and surveyed by me or under  
direction and under the authority of the  
public places of the instance of the  
LAND - WATER COMPANY, owner  
land. That the location of said  
have been definitely established on  
in strict accordance with the law  
in force. That the blocks and  
lot numbers are indicated on SECTION  
30-116N-R19E-MOB 4M.  
WASHOE  
Completed 13 day of August,  
1926  
Subscribed and sworn to  
13 day of August, 1926  
Jerome E. Barbeau  
STATE OF CALI  
COUNTY OF

STATE OF CALIFORNIA  
COUNTY OF PLACER

On this 13 day of August, 1926, appeared before  
me, Notary Public for the County of Placer, State of California,  
J. C. Conover, known to me to be the duly elected, qualified and acting  
agent of Brooklyn Land - Water Company, the Corporation that executed  
the foregoing instrument and upon oath and deposition and that he is  
a corporate agent of the said Corporation,  
I the Notary Public to said instrument hereby  
do by officers of said Corporation as indicated after said signatures  
that the said Corporation duly executed the said instrument freely  
voluntarily and for the uses and purposes therein mentioned.

In witness whereof I hereby give my seal  
Notary Public  
My commission expires March 14, 1930

Map of  
**NEVADA VISTA**  
SUBDIVISION  
Being a Subdivision of Portions of Lots 1 and 2 and 1 and 2 in  
SECTION 30-116N-R19E-MOB 4M.  
STATE OF NEVADA - COUNTY OF WASHOE  
Scale 1 inch = 100'  
July, 21-1926  
Comprising 358 Acres  
Jerome E. Barbeau  
Civil Engineer

Filed for record of the request of  
August 13-1926  
Jerome E. Barbeau  
Approved and Accepted  
Notary Public



AB14-003

NEVADA PACIFIC DEV CORP



# CLOSED COUNTY STRIP OF LAND



\*Pre illegal clearing of old growth Manzanita  
Clearing not conducted by the applicant.

AB14-003

NEVADA PACIFIC DEV CORP

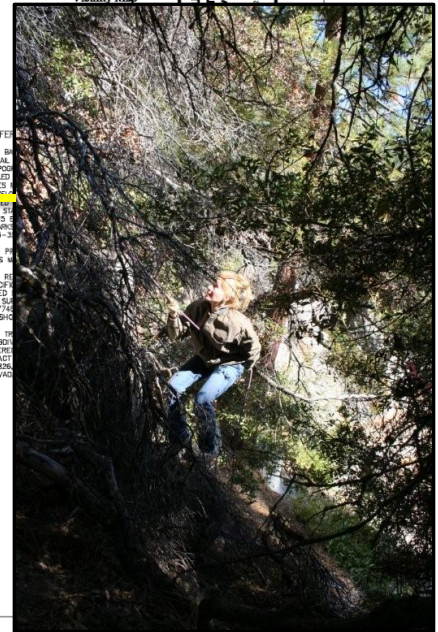
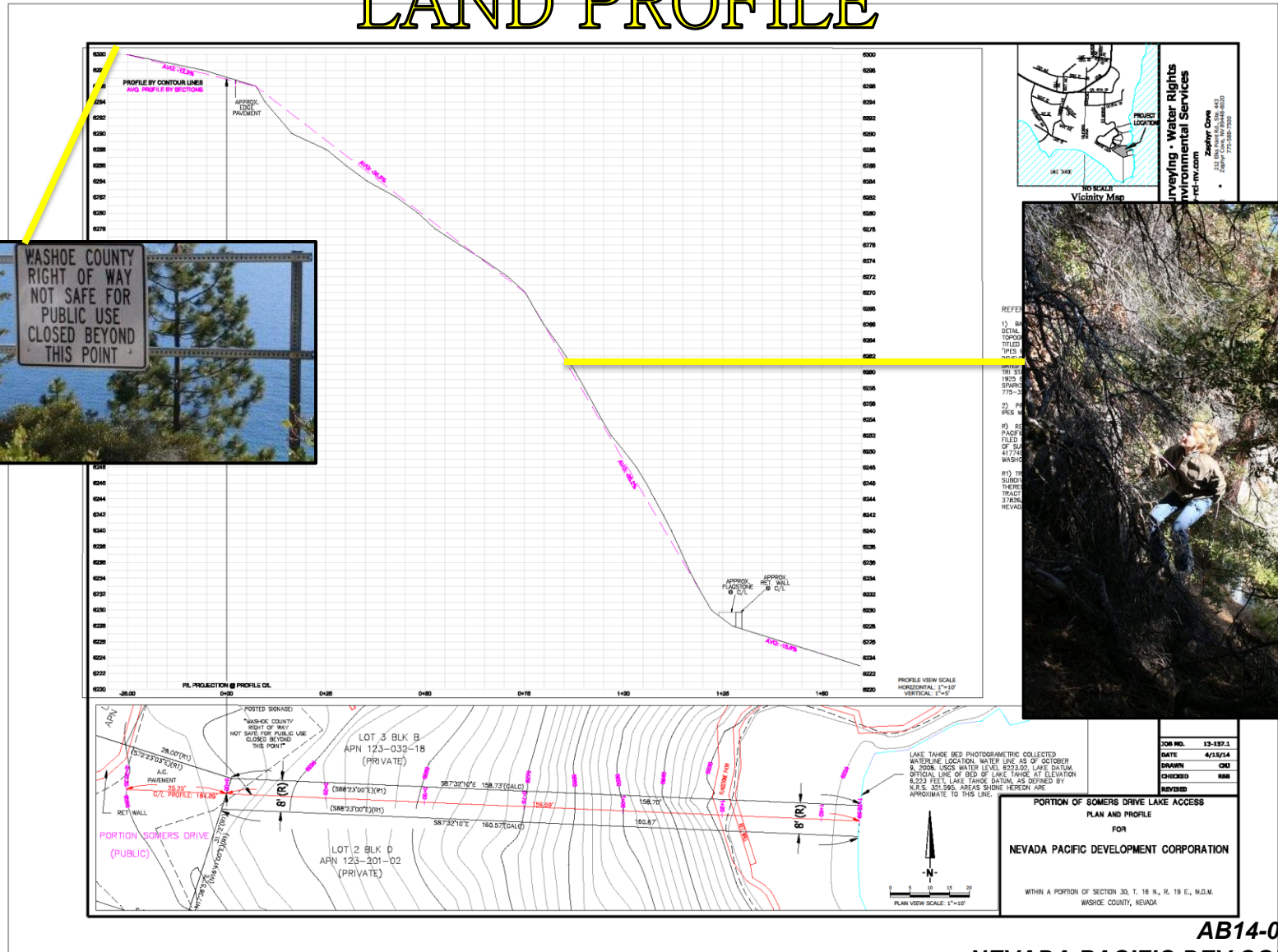
# CLOSED COUNTY STRIP OF LAND



\*Post illegal clearing of old growth Manzanita.  
Clearing not conducted by the applicant.

AB14-003  
NEVADA PACIFIC DEV CORP

# UNSUABLE 8'-WIDE COUNTY STRIP OF LAND PROFILE



# CLOSED COUNTY STRIP OF LAND SLOPE DEPICTION



# CLOSED COUNTY STRIP OF LAND SLOPE DEPICTION





# CLOSED COUNTY STRIP OF LAND SLOPE DEPICTION



# CLOSED COUNTY STRIP OF LAND SLOPE DEPICTION



# CLOSED COUNTY STRIP OF LAND SLOPE DEPICTION



# IMPROVED PUBLIC ACCESS TO LAKE



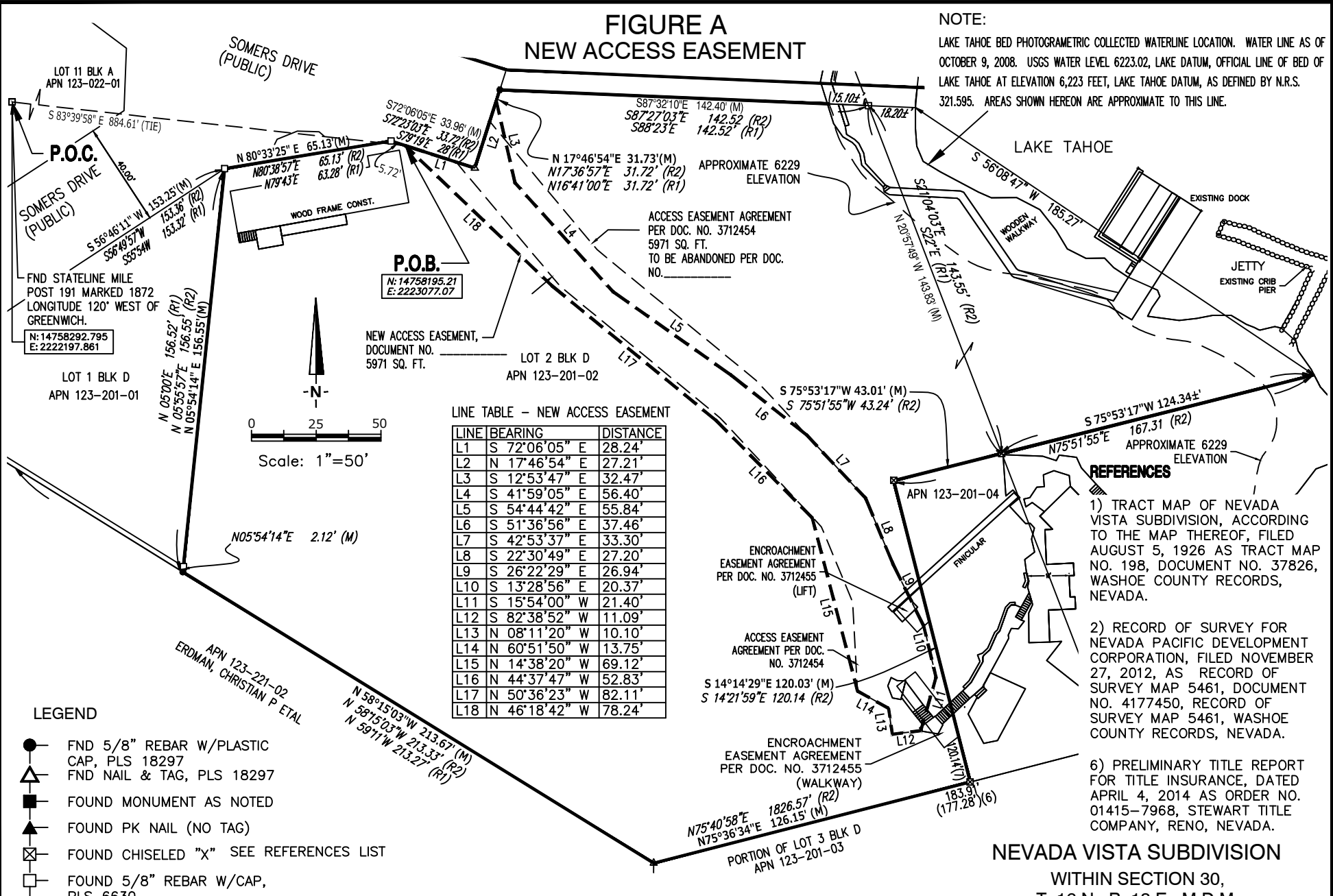
# IMPROVED PUBLIC ACCESS TO LAKE



# FIGURE A NEW ACCESS EASEMENT

**NOTE:**

LAKE TAHOE BED PHOTOGRAMETRIC COLLECTED WATERLINE LOCATION. WATER LINE AS OF OCTOBER 9, 2008. USGS WATER LEVEL 6223.02, LAKE DATUM, OFFICIAL LINE OF BED OF LAKE TAHOE AT ELEVATION 6,223 FEET, LAKE TAHOE DATUM, AS DEFINED BY N.R.S. 321.595. AREAS SHOWN HEREON ARE APPROXIMATE TO THIS LINE.



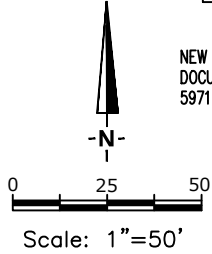
**P.O.B.**  
N: 14758195.21  
E: 2223077.07

NEW ACCESS EASEMENT,  
DOCUMENT NO.  
5971 SQ. FT.

ACCESS EASEMENT AGREEMENT  
PER DOC. NO. 3712454  
5971 SQ. FT.  
TO BE ABANDONED PER DOC.  
NO. \_\_\_\_\_

LINE TABLE - NEW ACCESS EASEMENT

LINE	BEARING	DISTANCE
L1	S 72°06'05" E	28.24'
L2	N 17°46'54" E	27.21'
L3	S 12°53'47" E	32.47'
L4	S 41°59'05" E	56.40'
L5	S 54°44'42" E	55.84'
L6	S 51°36'56" E	37.46'
L7	S 42°53'37" E	33.30'
L8	S 22°30'49" E	27.20'
L9	S 26°22'29" E	26.94'
L10	S 13°28'56" E	20.37'
L11	S 15°54'00" W	21.40'
L12	S 82°38'52" W	11.09'
L13	N 08°11'20" W	10.10'
L14	N 60°51'50" W	13.75'
L15	N 14°38'20" W	69.12'
L16	N 44°37'47" W	52.83'
L17	N 50°36'23" W	82.11'
L18	N 46°18'42" W	78.24'



**LEGEND**

- FND 5/8" REBAR W/PLASTIC CAP, PLS 18297
- △ FND NAIL & TAG, PLS 18297
- FOUND MONUMENT AS NOTED
- ▲ FOUND PK NAIL (NO TAG)
- ⊠ FOUND CHISELED "X" SEE REFERENCES LIST
- FOUND 5/8" REBAR W/CAP, PLS 6630
- ⊢ FOUND NAIL & TAG, PLS 6630
- (M) MEASURED
- (R) RECORD INFORMATION,
- P.O.B. POINT OF BEGINNING
- P.O.C. POINT OF COMMENCEMENT

**BASIS OF BEARING**

THE EASTERLY RECORD OF SURVEY PREPARED FOR NEVADA PACIFIC DEVELOPMENT CORPORATION, AS FILED FOR RECORD AT DOCUMENT NO. 4177450 IN THE OFFICE OF THE WASHOE COUNTY RECORDER.

**REFERENCES**

- 1) TRACT MAP OF NEVADA VISTA SUBDIVISION, ACCORDING TO THE MAP THEREOF, FILED AUGUST 5, 1926 AS TRACT MAP NO. 198, DOCUMENT NO. 37826, WASHOE COUNTY RECORDS, NEVADA.
- 2) RECORD OF SURVEY FOR NEVADA PACIFIC DEVELOPMENT CORPORATION, FILED NOVEMBER 27, 2012, AS RECORD OF SURVEY MAP 5461, DOCUMENT NO. 4177450, RECORD OF SURVEY MAP 5461, WASHOE COUNTY RECORDS, NEVADA.
- 6) PRELIMINARY TITLE REPORT FOR TITLE INSURANCE, DATED APRIL 4, 2014 AS ORDER NO. 01415-7968, STEWART TITLE COMPANY, RENO, NEVADA.

**NEVADA VISTA SUBDIVISION**  
WITHIN SECTION 30,  
T. 16 N., R. 18 E., M.D.M.  
WASHOE COUNTY

PROJ: 13-137.1  
11/13/2014



**Exhibit A**  
**APN 123-201-02**  
**ACCESS EASEMENT**  
**LEGAL DESCRIPTION**

A tract of land being for the purpose of a private access easement across a portion of Lot 2, Block D of Nevada Vista Subdivision, a subdivision of record filed at Document no. 37826 in the office of the Washoe County Recorder, lying entirely within Section 30, Township 16 North, Range 18 East of the Mount Diablo Meridian, Washoe County, Nevada, and being more particularly described as follows:

Commencing at Stateline Mile Post 191, being a point on the Westerly line of said Section 30;

Thence S 83°39'58" E a distance of 884.61 feet to a point on the Northerly boundary of said Lot 2, Block D, being the POINT OF BEGINNING;

Thence along said Northerly boundary of Lot 2, Block D, for the following two courses:

1. S 72°06'05"E a distance of 28.24 feet;
2. N 17°46'54"E a distance of 27.21 feet;

Thence departing said boundary line the following sixteen courses:

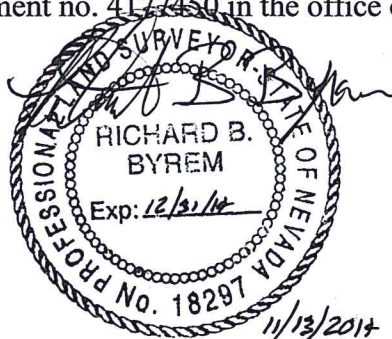
1. S 12°53'47"E a distance of 32.47 feet;
2. S 41°59'05"E a distance of 56.40 feet;
3. S 54°44'42"E a distance of 55.84 feet;
4. S 51°36'56"E a distance of 37.46 feet;
5. S 42°53'37"E a distance of 33.30 feet;
6. S 22°30'49"E a distance of 27.20 feet;
7. S 26°22'29"E a distance of 26.94 feet;
8. S 13°28'56"E a distance of 20.37 feet;
9. S 15°54'00"W a distance of 21.40 feet;
10. S 82°38'52"W a distance of 11.09 feet;
11. N 08°11'20"W a distance of 10.10 feet;
12. N 60°51'50"W a distance of 13.75 feet;
13. N 14°38'20"W a distance of 69.12 feet;
14. N 44°37'47"W a distance of 52.83 feet;
15. N 50°36'23"W a distance of 82.11 feet;
16. N 46°18'42"W a distance of 78.24 feet to the POINT OF

BEGINNING; Containing 5,971 square feet, or 0.137 acre.

Basis of Bearings is the Record of Survey prepared for Nevada Pacific Development Corporation, as filed for record at Document no. 4177450 in the office of the Washoe County Recorder.

Prepared by:

Richard B. Byrem, Nevada PLS 18297  
Resource Concepts, Inc.  
PO Box 11796, Zephyr Cove, NV 89448  
(775) 588-7500



Wed Nov 12 16:55:46 2014

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1 Polyline Report
2
3 Northing      Easting      Bearing      Distance
4
5 TIE: STATELINE MILE POST 191
6 14758292.795  2222197.861
7                S 83°39'58" E 884.608
8 14758195.206  2223077.070
9
10 14758195.206  2223077.070
11                S 72°06'05" E 28.238
12 14758186.527  2223103.941
13                N 17°46'54" E 27.205
14 14758212.432  2223112.249
15                S 12°53'47" E 32.470
16 14758180.781  2223119.496
17                S 41°59'05" E 56.404
18 14758138.854  2223157.227
19                S 54°44'42" E 55.844
20 14758106.620  2223202.828
21                S 51°36'56" E 37.463
22 14758083.358  2223232.195
23                S 42°53'37" E 33.297
24 14758058.964  2223254.858
25                S 22°30'49" E 27.200
26 14758033.837  2223265.273
27                S 26°22'29" E 26.940
28 14758009.701  2223277.240
29                S 13°28'56" E 20.370
30 14757989.892  2223281.989
31                S 15°54'00" W 21.400
32 14757969.311  2223276.127
33                S 82°38'52" W 11.090
34 14757967.892  2223265.128
35                N 08°11'20" W 10.100
36 14757977.889  2223263.689
37                N 60°51'50" W 13.750
38 14757984.584  2223251.679
39                N 14°38'20" W 69.118
40 14758051.457  2223234.211
41                N 44°37'47" W 52.827
42 14758089.052  2223197.099
43                N 50°36'23" W 82.108
44 14758141.162  2223133.646
45                N 46°18'42" W 78.241
46 14758195.206  2223077.070
47
48 Closure Error Distance> 0.00000
49 Total Distance> 684.065
50 Polyline Area: 5971.0 sq ft, 0.1 acres
51

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**Exhibit A**  
**ADJUSTED APN 123-201-02**

A parcel of land being a portion of Lot 2, Block D, together with a portion of Somers Drive, as shown on the map of Nevada Vista Subdivision, a subdivision plat of record filed at Document no. 37826 in the office of the Washoe County Recorder, lying entirely within Section 30, Township 16 North, Range 18 East of the Mount Diablo Meridian, Washoe County, Nevada, and being more particularly described as follows:

BEGINNING at the SW corner of said Lot 2, which bears S 71°42'39" E, 835.63 feet from Stateline Mile Post 191;

Thence N 05°54'14" E along the westerly line of said Lot 2 a distance of 156.55 feet;

Thence S 56°44'43" W along the northerly line of Lot 1, said Block D a distance of 19.32 feet;

Thence along the easterly right-of-way line of Somers Drive, a public road for the following two courses:

1.) 38.13 feet along the arc of a non-tangent curve to the left having a central angle of 54°36'38", a radius of 40.00 feet, and a chord which bears N 29°28'02" E, 36.70 feet;

2.) N 02°01'50"E a distance of 13.00 feet;

Thence S 80°49'51" E, a distance of 101.22 feet;

Thence N 17°46'54" E, a distance of 16.91 feet;

Thence S 87°32'10" E, a distance of 139.64 feet to the Government Meander Line of Lake Tahoe as shown on said Nevada Vista Subdivision;

Thence continuing S 87°32'10" E, a distance of 21.05 feet, more or less, to the low water line of Lake Tahoe, said line being the 6223.1 foot contour line;

Thence southeasterly along said low water line to a point bearing S 54°04'33" E, 189.21 feet distant, more or less, from the end point of the last course;

Thence S 75°53'17" W, a distance of 124.34 feet, more or less, to said Government Meander Line;

Thence continuing S 75°53'17" W, a distance of 43.01 feet;

Thence S 14°14'29" E, a distance of 120.03 feet;

Thence S 75°36'34" W, a distance of 126.15 feet;

Thence N 58°15'03" W, a distance of 213.67 feet to the POINT OF BEGINNING;  
Containing 81,225 square feet, or 1.86 Acres.

BASIS OF BEARING is the southwesterly line of said Lot 2, Block D (N58°15'03"W).

Prepared by:

Richard B. Byrem

Nevada PLS 18297

Resource Concepts, Inc.

PO Box 11796, Zephyr Cove, NV 89448

(775) 588-7500

**Exhibit A**  
**ADJUSTED APN 123-032-18**

A parcel of land being a portion of Lot 3, Block B, together with a portion of Somers Drive, as shown on the map of Nevada Vista Subdivision, a subdivision plat of record filed at Document no. 37826 in the office of the Washoe County Recorder, lying entirely within Section 30, Township 16 North, Range 18 East of the Mount Diablo Meridian, Washoe County, Nevada, and being more particularly described as follows:

BEGINNING at the SW corner of said Lot 3, which bears S 86°09'31" E, 893.62 feet from Stateline Mile Post 191;

Thence along the existing boundary of said Lot 3 the following four courses;

- 1) N 26°14'40" E, a distance of 117.27 feet;
- 2) N 25°56'07" E, a distance of 79.88 feet;
- 3) N 86°23'17" E, a distance of 170.80 feet to the Government Meander Line of Lake Tahoe as shown on said Nevada Vista Subdivision;
- 4) N 86°23'17" E, a distance of 75.55 feet, more or less, to the low water line of Lake Tahoe, said line being the 6223.1 foot contour line;

Thence southeasterly along said low water line to a point bearing S 34°54'05" E, 258.16' distant, more or less, from the end point of course of the last course;

Thence N 87°32'10" W, a distance of 20.05 feet, more or less, to said Government Meander Line of Lake Tahoe;

Thence N 87°32'10" W, a distance of 139.64 feet;

Thence S 17°46'54" W, a distance of 16.91 feet;

Thence N 80°49'51" W, a distance of 32.14 feet;

Thence N 26°14'40" E, a distance of 25.99 feet to the POINT OF BEGINNING;

Containing 50,515 square feet, or 1.16 Acres, more or less.

Basis of Bearings is the southwesterly line of Lot 2, Block D of said Nevada Vista Subdivision. (N 58°15'03"W)

Prepared by:

Richard B. Byrem, Nevada PLS 18297  
Resource Concepts, Inc.  
PO Box 11796, Zephyr Cove, NV 89448  
(775) 588-7500

**Exhibit A**  
**ADJUSTED APN 123-032-19**

A parcel of land being a portion of Lot 1, Block B, together with a portion of Somers Drive, as shown on the map of Nevada Vista Subdivision, a subdivision plat of record filed at Document no. 37826 in the office of the Washoe County Recorder, lying entirely within Section 30, Township 16 North, Range 18 East of the Mount Diablo Meridian, Washoe County, Nevada, and being more particularly described as follows:

BEGINNING at the SE corner of said Lot 1, which bears S 86°09'31" E, 893.62 feet from Stateline Mile Post 191;

Thence S 26°14'40" W, a distance of 25.99 feet;

Thence N 80°49'51" W, a distance of 69.09 feet;

Thence N 02°12'07" E, a distance of 12.99 feet;

Thence 33.20 feet along the arc of a non-tangent curve to the left having a central angle of 55°21'45", a radius of 34.36 feet, and a chord which bears N 25°26'11"W 31.92 feet to an existing angle point on the southerly boundary of said Lot 1;

Thence along the existing boundary of said Lot 1 the following four courses;

1) N 53°02'12" W, a distance of 86.16 feet;

2) N 00°28'26" W, a distance of 69.27 feet;

3) S 78°01'55" E, a distance of 218.94 feet;

4) S 26°14'40" W, a distance of 117.27 feet to the POINT OF

BEGINNING;

Containing 21,835 square feet, or 0.50 Acres.

Basis of Bearings is the southwesterly line of Lot 2, Block D of said Nevada Vista Subdivision. (N 58°15'03"W)

Prepared by:

Richard B. Byrem, Nevada PLS 18297

Resource Concepts, Inc.

PO Box 11796, Zephyr Cove, NV 89448

(775) 588-7500

**Exhibit A  
SOMERS DRIVE  
PRIVATE ACCESS EASEMENT  
LEGAL DESCRIPTION**

A portion of for private access easement purposes, lying entirely within Section 30, Township 16 North, Range 18 East of the Mount Diablo Meridian, Washoe County, Nevada, said portion of land being more particularly described as follows:

BEGINNING at the SE corner of Somers Drive, a public street, originally described on the map of Nevada Vista Subdivision at document no. 37826 in the records of Washoe County, Nevada, said point also being an angle point of Lot 2, Block D, of said Nevada Vista Subdivision;

thence N 72°06'05"W along the northerly boundary of said Lot 2, Block D, a distance of 33.96 feet to a point on the westerly boundary line of Adjusted Lot 2, Block D, as shown on Record of Survey To Support a Boundary Line Adjustment for Nevada Pacific Development Corporation, at document no. \_\_\_\_\_ in the Washoe County records;

thence N 78°55'31" W a distance of 63.48 feet to a point on the westerly boundary line of Adjusted Lot 1, Block B, as shown on document no. \_\_\_\_\_;

thence N 02°12'07"E a distance of 11.48 feet to the westerly corner common to said Adjusted Lot 2, Block D and Adjusted Lot 1, Block B, as shown on document no. \_\_\_\_\_;

thence along the westerly boundary of said Adjusted Lot 1, Block B,

N 02°12'07"W, a distance of 12.99 feet;

thence continuing along said westerly line 6.23 feet along the arc of a curve to the left having a central angle of 10°21'28", a radius of 34.46 feet, and a chord which bears N 02°58'37"E 6.22 feet;

thence S 78°55'31"E a distance of 74.12;

thence 2.91 feet along the arc of a curve to the right having a central angle of 02°18'03", a radius of 72.53 feet, and a chord which bears S 77°45'03"E 2.91 feet, to a point on the line common to said Adjusted Lot 1, Block B, and Adjusted Lot 3 Block B, as shown on said document no. \_\_\_\_\_;

thence 29.71 feet along the arc of a curve to the right having a central angle of 23°28'14", a radius of 72.53 feet, and a chord which bears S 64°51'54"E 29.51 feet, to a point on the northerly line of said Lot 2, Block D, of document no. 37826;

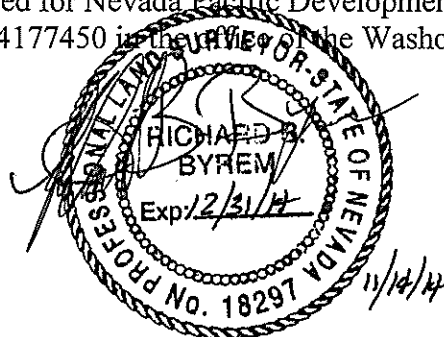
thence along said line S 17°46'54"W, a distance of 27.20 feet to the POINT OF BEGINNING;

Containing 3,068 square feet, or 0.070 acre.

Basis of Bearings is the Record of Survey prepared for Nevada Pacific Development Corporation, as filed for record at document no. 4177450 in the records of the Washoe County Recorder.

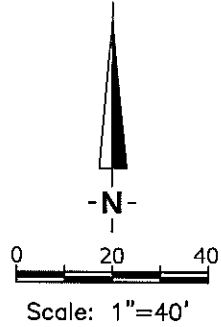
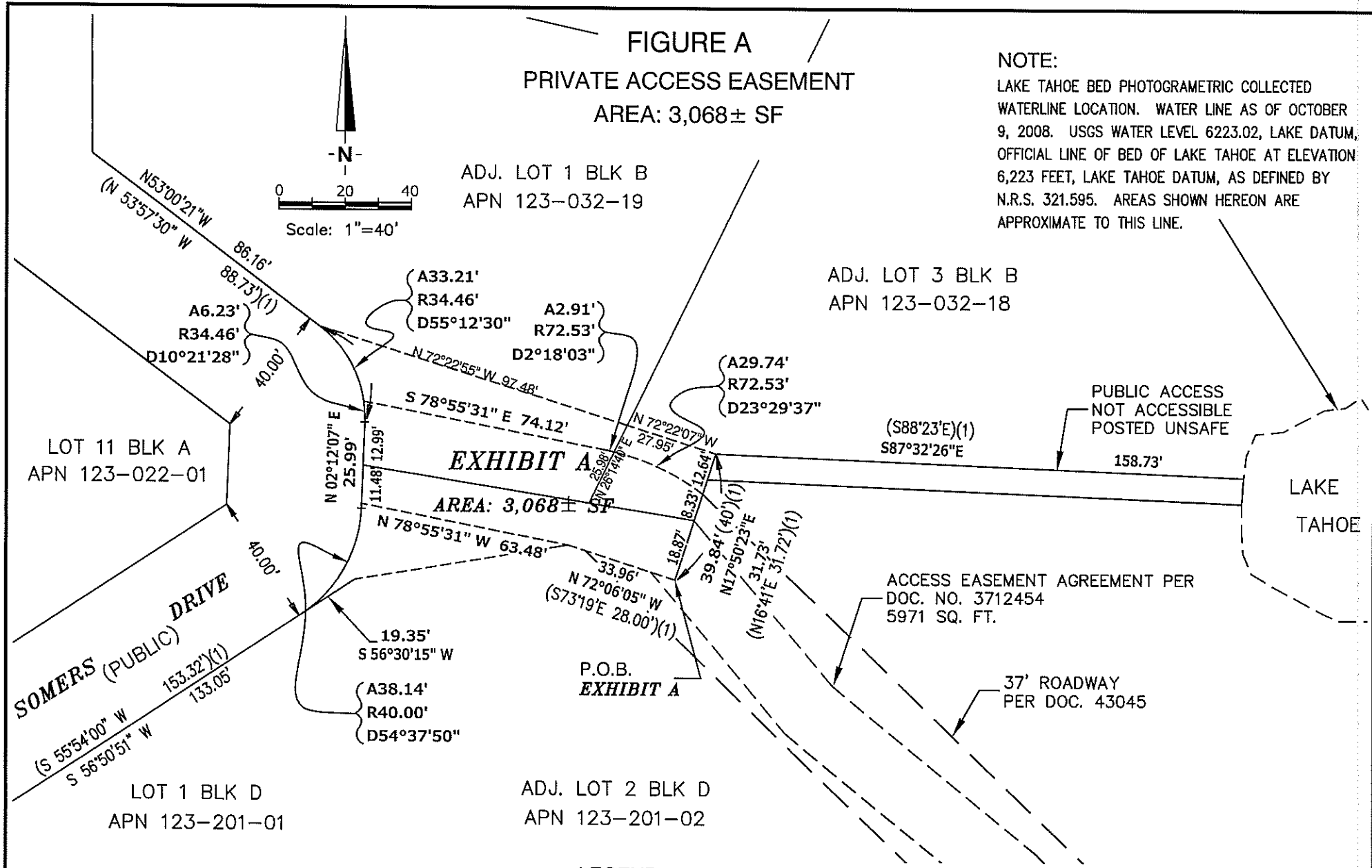
Prepared by:

Richard B. Byrem, Nevada PLS 18297  
Resource Concepts, Inc.  
PO Box 11796, Zephyr Cove, NV 89448  
(775) 588-7500



**FIGURE A**  
**PRIVATE ACCESS EASEMENT**  
**AREA: 3,068± SF**

**NOTE:**  
 LAKE TAHOE BED PHOTOGRAMETRIC COLLECTED  
 WATERLINE LOCATION. WATER LINE AS OF OCTOBER  
 9, 2008. USGS WATER LEVEL 6223.02, LAKE DATUM,  
 OFFICIAL LINE OF BED OF LAKE TAHOE AT ELEVATION  
 6,223 FEET, LAKE TAHOE DATUM, AS DEFINED BY  
 N.R.S. 321.595. AREAS SHOWN HEREON ARE  
 APPROXIMATE TO THIS LINE.



ADJ. LOT 1 BLK B  
 APN 123-032-19

ADJ. LOT 3 BLK B  
 APN 123-032-18

LOT 11 BLK A  
 APN 123-022-01

**EXHIBIT A**  
**AREA: 3,068± SF**

PUBLIC ACCESS  
 NOT ACCESSIBLE  
 POSTED UNSAFE

LAKE  
 TAHOE

ACCESS EASEMENT AGREEMENT PER  
 DOC. NO. 3712454  
 5971 SQ. FT.

37' ROADWAY  
 PER DOC. 43045

P.O.B.  
**EXHIBIT A**

ADJ. LOT 2 BLK D  
 APN 123-201-02

**BASIS OF BEARING**  
 THE EASTERLY RECORD OF SURVEY PREPARED FOR  
 NEVADA PACIFIC DEVELOPMENT CORPORATION, AS  
 FILED FOR RECORD AT DOCUMENT NO. 4177450 IN  
 THE OFFICE OF THE WASHOE COUNTY RECORDER.

**LEGEND**  
 P.O.B. POINT OF BEGINNING  
 (1) TRACT MAP OF NEVADA VISTA  
 SUBDIVISION, ACCORDING TO THE MAP  
 THEREOF, FILED AUGUST 5, 1926 AS  
 TRACT MAP NO. 198, DOC. NO. 37826,  
 RECORDER OF WASHOE COUNTY, NEVADA.

**NEVADA VISTA SUBDIVISION**  
 WITHIN SECTION 30,  
 T. 16 N., R. 18 E., M.D.M.  
 WASHOE COUNTY

PROJ: 13-137.1  
 8/21/2013



```

1 PRIVATE ACCESS EASEMENT Polyline Report      Wed May 28 13:34:46 2014
2
3
4 Point# Description  Northing      Easting      Angle      Distance  Radius  Chord Length  Arc Length  Delta      Tangent Chord Angle
5 300  N/TAG 6__0  14758186.5270  2223103.9410  N 72°06'05" W 33.9564
6 209  5/8RB YPC6630 14758196.9630  2223071.6280  N 78°55'31" W 63.4780
7      14758209.1564  2223009.3321  N 02°12'07" E 11.4756
8 401  calc      14758220.6235  2223009.7730  N 02°12'07" E 12.9938
9 400  calc      14758233.6077  2223010.2722  34.4610  6.2213      6.2298      10°21'28" 3.1234  N 02°58'37" W
10     14758239.8206  2223009.9491  S 78°55'31" E 74.1224
11     14758225.5825  2223082.6912  72.5347  2.9125      2.9126      2°18'03" 1.4565  S 77°45'03" E
12     14758224.9646  2223085.5374  72.5346  29.5056     29.7129     23°28'14" 15.0678  S 64°51'54" E
13     14758212.4321  2223112.2491  S 17°46'54" W 8.3371
14 405  calc      14758204.4933  2223109.7030  S 17°46'54" W 18.8677
15 300  N/TAG 6__0  14758186.5270  2223103.9410
16 ----- Grand Total -----
17 varies varies      varies      varies      varies      varies  varies  varies      varies  varies  varies  varies
18 Closure Error Distance> 0.000000
19 Total Distance> 262.0864
20 Polyline Area: 3068.2 sq ft, 0.07 acres
21

```

**Exhibit A  
SOMERS DRIVE  
PRIVATE ACCESS EASEMENT  
LEGAL DESCRIPTION**

A portion of for private access easement purposes, lying entirely within Section 30, Township 16 North, Range 18 East of the Mount Diablo Meridian, Washoe County, Nevada, said portion of land being more particularly described as follows:

BEGINNING at the SE corner of Somers Drive, a public street, originally described on the map of Nevada Vista Subdivision at document no. 37826 in the records of Washoe County, Nevada, said point also being an angle point of Lot 2, Block D, of said Nevada Vista Subdivision;

thence N 72°06'05"W along the northerly boundary of said Lot 2, Block D, a distance of 33.96 feet to a point on the westerly boundary line of Adjusted Lot 2, Block D, as shown on Record of Survey To Support a Boundary Line Adjustment for Nevada Pacific Development Corporation, at document no. \_\_\_\_\_ in the Washoe County records;

thence N 78°55'31" W a distance of 63.48 feet to a point on the westerly boundary line of Adjusted Lot 1, Block B, as shown on document no. \_\_\_\_\_;

thence N 02°12'07"E a distance of 11.48 feet to the westerly corner common to said Adjusted Lot 2, Block D and Adjusted Lot 1, Block B, as shown on document no. \_\_\_\_\_;

thence along the westerly boundary of said Adjusted Lot 1, Block B,

N 02°12'07"W, a distance of 12.99 feet;

thence continuing along said westerly line 6.23 feet along the arc of a curve to the left having a central angle of 10°21'28", a radius of 34.46 feet, and a chord which bears N 02°58'37"E 6.22 feet;

thence S 78°55'31"E a distance of 74.12;

thence 2.91 feet along the arc of a curve to the right having a central angle of 02°18'03", a radius of 72.53 feet, and a chord which bears S 77°45'03"E 2.91 feet, to a point on the line common to said Adjusted Lot 1, Block B, and Adjusted Lot 3 Block B, as shown on said document no. \_\_\_\_\_;

thence 29.71 feet along the arc of a curve to the right having a central angle of 23°28'14", a radius of 72.53 feet, and a chord which bears S 64°51'54"E 29.51 feet, to a point on the northerly line of said Lot 2, Block D, of document no. 37826;

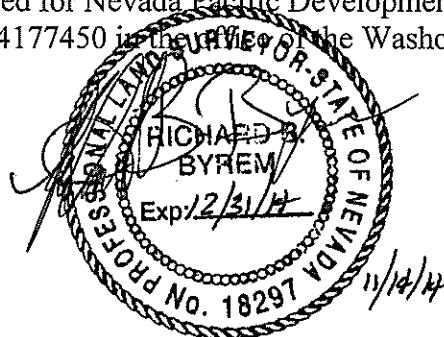
thence along said line S 17°46'54"W, a distance of 27.20 feet to the POINT OF BEGINNING;

Containing 3,068 square feet, or 0.070 acre.

Basis of Bearings is the Record of Survey prepared for Nevada Pacific Development Corporation, as filed for record at document no. 4177450 in the records of the Washoe County Recorder.

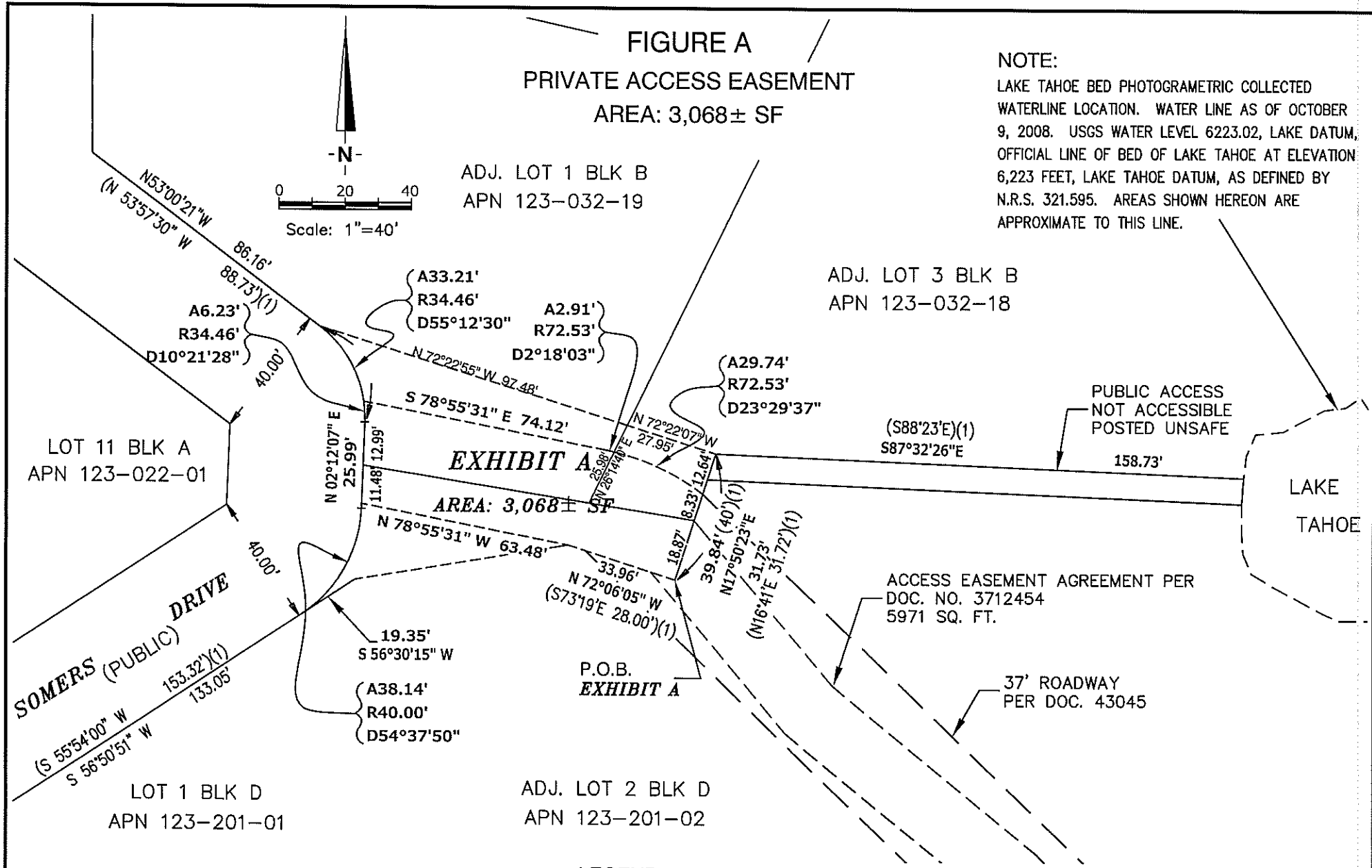
Prepared by:

Richard B. Byrem, Nevada PLS 18297  
Resource Concepts, Inc.  
PO Box 11796, Zephyr Cove, NV 89448  
(775) 588-7500



**FIGURE A**  
**PRIVATE ACCESS EASEMENT**  
**AREA: 3,068± SF**

**NOTE:**  
 LAKE TAHOE BED PHOTOGRAMETRIC COLLECTED  
 WATERLINE LOCATION. WATER LINE AS OF OCTOBER  
 9, 2008. USGS WATER LEVEL 6223.02, LAKE DATUM,  
 OFFICIAL LINE OF BED OF LAKE TAHOE AT ELEVATION  
 6,223 FEET, LAKE TAHOE DATUM, AS DEFINED BY  
 N.R.S. 321.595. AREAS SHOWN HEREON ARE  
 APPROXIMATE TO THIS LINE.



**BASIS OF BEARING**

THE EASTERLY RECORD OF SURVEY PREPARED FOR NEVADA PACIFIC DEVELOPMENT CORPORATION, AS FILED FOR RECORD AT DOCUMENT NO. 4177450 IN THE OFFICE OF THE WASHOE COUNTY RECORDER.

**LEGEND**

P.O.B. POINT OF BEGINNING  
 (1) TRACT MAP OF NEVADA VISTA SUBDIVISION, ACCORDING TO THE MAP THEREOF, FILED AUGUST 5, 1926 AS TRACT MAP NO. 198, DOC. NO. 37826, RECORDER OF WASHOE COUNTY, NEVADA.

**NEVADA VISTA SUBDIVISION**  
 WITHIN SECTION 30,  
 T. 16 N., R. 18 E., M.D.M.  
 WASHOE COUNTY

PROJ: 13-137.1  
 8/21/2013





```

1 PRIVATE ACCESS EASEMENT Polyline Report      Wed May 28 13:34:46 2014
2
3
4 Point# Description  Northing      Easting      Angle      Distance Radius  Chord Length Arc Length Delta      Tangent Chord Angle
5 300  N/TAG 6__0  14758186.5270 2223103.9410 N 72°06'05" W 33.9564
6 209  5/8RB YPC6630 14758196.9630 2223071.6280 N 78°55'31" W 63.4780
7      14758209.1564 2223009.3321 N 02°12'07" E 11.4756
8 401  calc      14758220.6235 2223009.7730 N 02°12'07" E 12.9938
9 400  calc      14758233.6077 2223010.2722      34.4610 6.2213      6.2298      10°21'28" 3.1234 N 02°58'37" W
10     14758239.8206 2223009.9491 S 78°55'31" E 74.1224
11     14758225.5825 2223082.6912      72.5347 2.9125      2.9126      2°18'03" 1.4565 S 77°45'03" E
12     14758224.9646 2223085.5374      72.5346 29.5056      29.7129      23°28'14" 15.0678 S 64°51'54" E
13     14758212.4321 2223112.2491 S 17°46'54" W 8.3371
14 405  calc      14758204.4933 2223109.7030 S 17°46'54" W 18.8677
15 300  N/TAG 6__0  14758186.5270 2223103.9410
16 ----- Grand Total -----
17 varies varies      varies      varies      varies      varies varies      varies      varies      varies      varies
18 Closure Error Distance> 0.000000
19 Total Distance> 262.0864
20 Polyline Area: 3068.2 sq ft, 0.07 acres
21

```

**Exhibit B**

**8 FOOT WIDE ACCESS STRIP  
(A PORTION OF SOMERS DRIVE)  
LEGAL DESCRIPTION**

An 7.83 foot wide strip of land, shown as a portion of Somers Drive on the map of Nevada Vista Subdivision, said map recorded at document no. 37826 in the records of Washoe County, Nevada, lying entirely within Section 30, Township 16 North, Range 18 East of the Mount Diablo Meridian, Washoe County, Nevada, said 8 foot wide strip of land being more particularly described as follows:

Commencing at the SW corner of Lot 3, Block B, said Nevada Vista Subdivision;  
thence S 72°22'41"E along the southerly boundary of said Lot 3, Block B, a distance of 27.96 feet to an angle point on said southerly boundary of Lot 3, Block B, being the POINT OF BEGINNING;

thence S 87°32'10"E along said southerly boundary of Lot 3, Block B, a distance of 158.73 feet, more or less, to the bed of Lake Tahoe at elevation 6,223 feet above sea level;

thence S 04°39'05"W along the bed of Lake Tahoe a distance of 7.83 feet to the northerly boundary of Lot 2, Block D, said Nevada Vista Subdivision;

thence N 87°27'10"W along said northerly boundary of Lot 2, Block D, a distance of 160.57 feet, more or less, to an angle point on said northerly boundary of Lot 2, Block D;

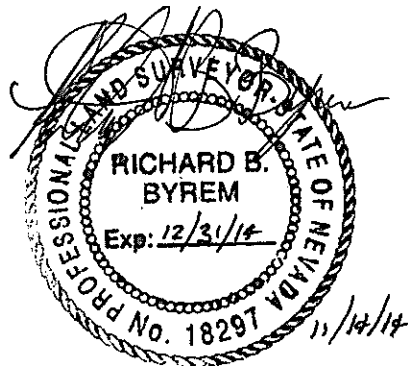
thence N 17°46'54"E 8.11 feet to the POINT OF BEGINNING;

Containing 1249 square feet, or 0.029 acre.

Basis of Bearings is the Record of Survey prepared for Nevada Pacific Development Corporation, as filed for record at document no. 4177450 in the office of the Washoe County Recorder.

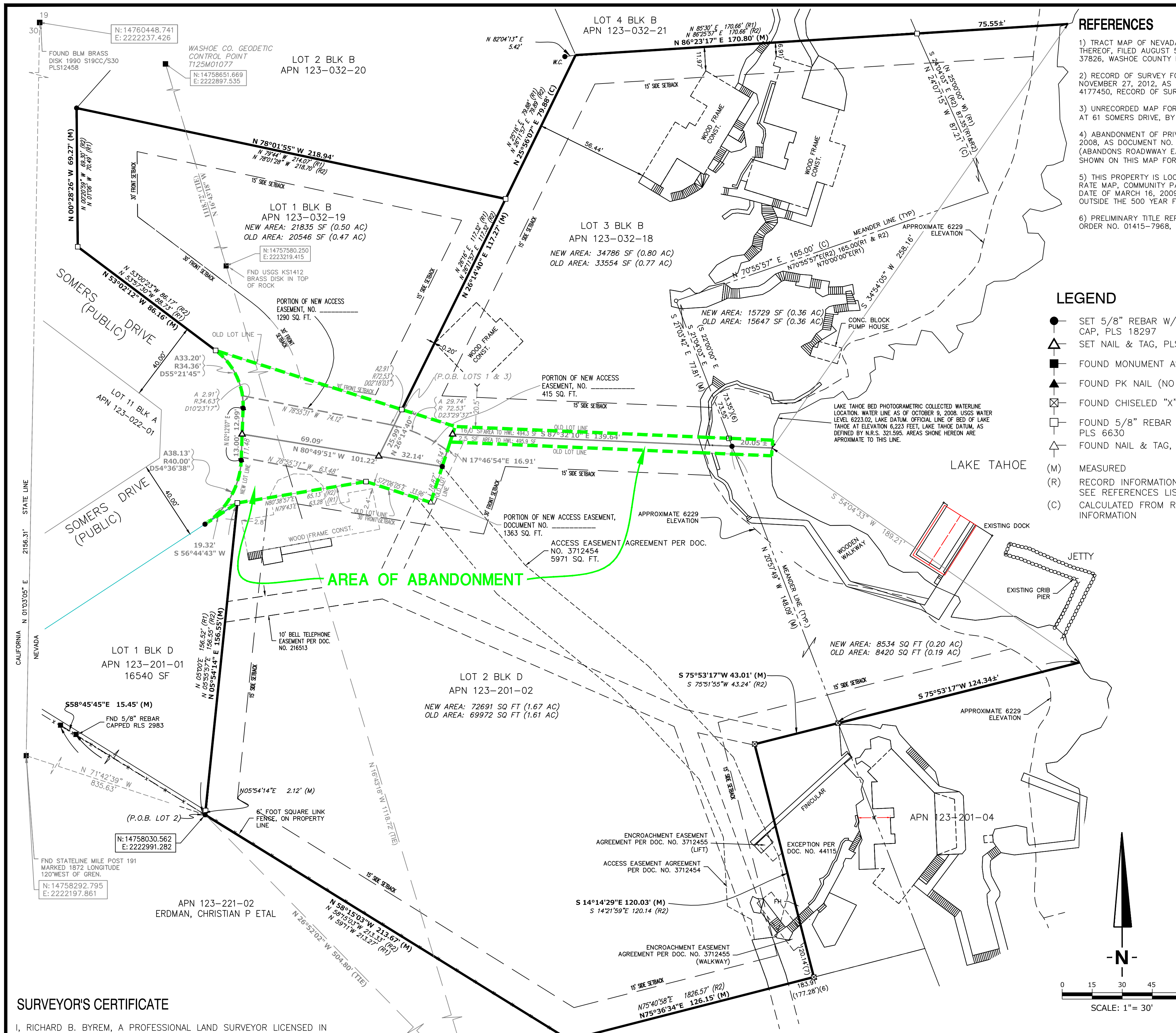
Prepared by:

Richard B. Byrem, Nevada PLS 18297  
Resource Concepts, Inc.  
PO Box 11796, Zephyr Cove, NV 89448  
(775) 588-7500



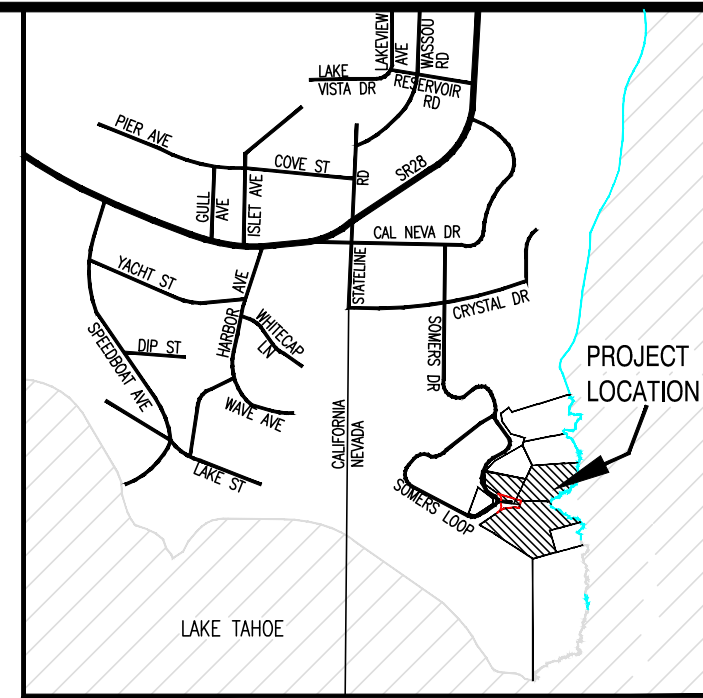
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1 Walk Access Strip Polyline Report Tue May 13 13:55:50 2014
2
3
4 Point# Description Northing Easting Angle Distance
5 116 NAIL/TAG 14758224.4628 2223116.1075 S 87°32'10" E 158.7642
6 14758217.6378 2223274.7250 S 04°39'25" W 7.8316
7 14758209.8320 2223274.0892 N 87°32'10" W 160.6081
8 14758216.7363 2223113.6295 N 17°46'54" E 8.1141
9 116 NAIL/TAG 14758224.4628 2223116.1075
10 ----- Grand Total -----
11 varies varies varies varies varies varies
12 Closure Error Distance> 0.000000
13 Total Distance> 335.3181
14 Polyline Area: 1249.7 sq ft, 0.03 acres
15
```





**REFERENCES**

- TRACT MAP OF NEVADA VISTA SUBDIVISION, ACCORDING TO THE MAP THEREOF, FILED AUGUST 5, 1926 AS TRACT MAP NO. 198, DOCUMENT NO. 37826, WASHOE COUNTY RECORDS, NEVADA.
- RECORD OF SURVEY FOR NEVADA PACIFIC DEVELOPMENT CORPORATION, FILED NOVEMBER 27, 2012, AS RECORD OF SURVEY MAP 5461, DOCUMENT NO. 4177450, RECORD OF SURVEY MAP 5461, WASHOE COUNTY RECORDS, NEVADA.
- UNRECORDED MAP FOR NEVADA PACIFIC DEVELOPMENT RESIDENTIAL BANKING AT 61 SOMERS DRIVE, BY TRI STATE SURVEYING, INC., DATED 10/30/12.
- ABANDONMENT OF PRIVATE ROADWAY EASEMENT, RECORDED DECEMBER 15, 2008, AS DOCUMENT NO. 3712453, WASHOE COUNTY RECORDS, NEVADA. (ABANDONS ROADWAY EASEMENT REFERRED TO DOCUMENT NO. 1520741—NOT SHOWN ON THIS MAP FOR CLARITY, AFFECTED PARCELS 5B, 5C, 3 AND 4).
- THIS PROPERTY IS LOCATED IN UNSHADED ZONE X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 32031C34006, WHICH BEARS THE EFFECTIVE DATE OF MARCH 16, 2009. UNSHADED ZONE X AREAS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOOD PLAIN.
- PRELIMINARY TITLE REPORT FOR TITLE INSURANCE, DATED APRIL 4, 2014 AS ORDER NO. 01415-7968, STEWART TITLE COMPANY, RENO, NEVADA.



NO SCALE  
Vicinity Map

**TAHOE REGIONAL PLANNING AGENCY CERTIFICATE**

THIS MAP CONFORMS TO TAHOE REGIONAL PLANNING AGENCY REQUIREMENTS.

DATE \_\_\_\_\_

**LEGEND**

- SET 5/8" REBAR W/PLASTIC CAP, PLS 18297
- ▲ SET NAIL & TAG, PLS 18297
- FOUND MONUMENT AS NOTED
- ▲ FOUND PK NAIL (NO TAG)
- ⊗ FOUND CHISELED "X"
- FOUND 5/8" REBAR W/CAP, PLS 6630
- ▲ FOUND NAIL & TAG, PLS 6630
- (M) MEASURED
- (R) RECORD INFORMATION, SEE REFERENCES LIST
- (C) CALCULATED FROM RECORD INFORMATION

**OWNER'S CERTIFICATE**

I, THE UNDERSIGNED OWNER OF THE AFFECTED PARCELS AS SHOWN ON THIS MAP DO HEREBY STATE:

- I HAVE EXAMINED THIS PLAT AND APPROVE AND AUTHORIZE ITS RECORDING;
- I AGREE TO EXECUTE THE REQUIRED DOCUMENTS CREATING ANY EASEMENT WHICH IS SHOWN HEREON;
- I AGREE TO EXECUTE THE REQUIRED DOCUMENTS ABANDONING ANY EXISTING EASEMENT PURSUANT TO THE PROVISIONS OF NRS 278.010 TO 278.630, INCLUSIVE;
- ALL PROPERTY TAXES ON THE LAND FOR THE FISCAL YEAR HAVE BEEN PAID;
- ANY LENDER WITH AN IMPOUND ACCOUNT FOR THE PAYMENT OF TAXES HAS BEEN NOTIFIED OF THE ADJUSTMENT OF THE BOUNDARY LINE OR THE TRANSFER OF THE LAND.
- I AGREE TO ACCEPT ANY DRAINAGE ONTO OUR PROPERTY RESULTING FROM THIS BOUNDARY LINE ADJUSTMENT.

NEVADA PACIFIC DEVELOPMENT CORPORATION

NOTARY PUBLIC

STATE OF \_\_\_\_\_ )  
COUNTY OF \_\_\_\_\_ ) S.S.

ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, IN THE YEAR 2014 BEFORE ME  
PERSONALLY KNOWN TO ME (OR PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE) TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THIS INSTRUMENT, AND ACKNOWLEDGED THAT HE EXECUTED IT.

WITNESS MY HAND AND OFFICIAL SEAL.

MY COMMISSION EXPIRES: \_\_\_\_\_

**OWNER'S CERTIFICATE**

I, THE UNDERSIGNED OWNER OF THE AFFECTED PARCELS AS SHOWN ON THIS MAP DO HEREBY STATE:

- I HAVE EXAMINED THIS PLAT AND APPROVE AND AUTHORIZE ITS RECORDING;
- I AGREE TO EXECUTE THE REQUIRED DOCUMENTS CREATING ANY EASEMENT WHICH IS SHOWN HEREON;
- I AGREE TO EXECUTE THE REQUIRED DOCUMENTS ABANDONING ANY EXISTING EASEMENT PURSUANT TO THE PROVISIONS OF NRS 278.010 TO 278.630, INCLUSIVE;
- ALL PROPERTY TAXES ON THE LAND FOR THE FISCAL YEAR HAVE BEEN PAID;
- ANY LENDER WITH AN IMPOUND ACCOUNT FOR THE PAYMENT OF TAXES HAS BEEN NOTIFIED OF THE ADJUSTMENT OF THE BOUNDARY LINE OR THE TRANSFER OF THE LAND.
- I AGREE TO ACCEPT ANY DRAINAGE ONTO OUR PROPERTY RESULTING FROM THIS BOUNDARY LINE ADJUSTMENT.

NEVADA PACIFIC DEVELOPMENT CORPORATION

NOTARY PUBLIC

STATE OF \_\_\_\_\_ )  
COUNTY OF \_\_\_\_\_ ) S.S.

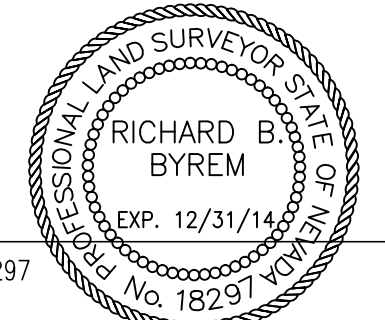
ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, IN THE YEAR 2014 BEFORE ME  
PERSONALLY KNOWN TO ME (OR PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE) TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THIS INSTRUMENT, AND ACKNOWLEDGED THAT HE EXECUTED IT.

WITNESS MY HAND AND OFFICIAL SEAL.

MY COMMISSION EXPIRES: \_\_\_\_\_

**SURVEYOR'S CERTIFICATE**

- I, RICHARD B. BYREM, A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF NEVADA, DO HEREBY CERTIFY THAT:
- THIS IS A TRUE AND ACCURATE REPRESENTATION OF THE LANDS SURVEYED UNDER MY SUPERVISION AT THE INSTANCE OF NEVADA PACIFIC DEVELOPMENT CORPORATION.
  - THE LANDS SURVEYED LIE WITHIN A PORTION OF SECTION 30, T.16N., R.18E. M.D.M. AND THE SURVEY WAS COMPLETED ON APRIL \_\_\_\_\_, 2014.
  - ALL CORNERS AND ANGLE POINTS OF THE ADJUSTED BOUNDARY HAVE BEEN DEFINED BY MONUMENTS OR WILL BE OTHERWISE DEFINED ON A DOCUMENT OF RECORD AS REQUIRED BY NRS 625.340.
  - THIS MAP IS NOT IN CONFLICT WITH THE PROVISIONS OF NRS 278.010 TO 278.630 INCLUSIVE.
  - THIS MAP COMPLIES WITH APPLICABLE STATUTES OF THIS STATE AND ANY LOCAL ORDINANCES IN EFFECT ON THE DATE THAT THE SURVEY WAS COMPLETED, AND THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH CHAPTER 625 OF THE NEVADA ADMINISTRATIVE CODE.



RICHARD B. BYREM, PROFESSIONAL LAND SURVEYOR NO. 18297

**GOVERNING AGENCY CERTIFICATE**

WASHOE COUNTY HAS REVIEWED AND APPROVED THIS MAP.

MICHAEL E. GUMP, PLS NO. 13927  
WASHOE COUNTY SURVEYOR

**GEODETIC COORDINATE BASE**

BASIS OF STATE PLANE COORDINATES NGS STATE LINE, PID K51412, USING A COMBINED FACTOR OF 0.99978505 STATE PLANE COORDINATE SYSTEM WEST ZONE.

**BASIS OF ELEVATIONS**

THE BASIS OF ELEVATIONS OF THIS SURVEY IS USGS LAKE TAHOE DATUM AS DETERMINED FROM GPS VERTICAL OBSERVATION ON OCTOBER 9, 2009. THE ELEVATION BEING 6223.08 LAKE ELEVATION AT 10:00AM.

**TAX CERTIFICATE** (APN: 123-201-02)

THE UNDERSIGNED HEREBY CERTIFIES THAT ALL PROPERTY TAXES ON THE LAND FOR THE FISCAL YEAR HAVE BEEN PAID AND THAT THE FULL AMOUNT OF ANY DEFERRED PROPERTY TAXES FOR THE CONVERSION OF THE PROPERTY FROM AGRICULTURAL USE HAS BEEN PAID PURSUANT TO N.R.S. 361A.265.

WASHOE COUNTY TREASURER  
TITLE

**COUNTY RECORDER'S CERTIFICATE**

FILE NO. \_\_\_\_\_  
FILED FOR RECORD AT THE REQUEST OF NEVADA PACIFIC DEVELOPMENT CORPORATION ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2014.  
OFFICIAL RECORDS OF WASHOE COUNTY, NEVADA.

COUNTY RECORDER

BY: \_\_\_\_\_  
DEPUTY  
FEEL: \_\_\_\_\_

**RECORD OF SURVEY**

IN SUPPORT OF A BOUNDARY LINE ADJUSTMENT FOR

**NEVADA PACIFIC DEVELOPMENT CORPORATION**

LOT 1 AND LOT 3, BLOCK "B", &  
LOT 2, BLOCK "D", NEVADA VISTA SUBDIVISION  
& A PORTION OF THE PUBLIC ACCESS FROM  
SOMERS DRIVE  
ON NEVADA VISTA SUBDIVISION  
WITHIN A PORTION OF SECTION 30, T. 16 N., R. 19 E., M.D.M.  
WASHOE COUNTY, NEVADA

DATE	REVISION

JOB NO.	13-137.1
DATE	7/8/14
DRAWN	CNJ
CHECKED	RBB
REVISION	

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