

Ogilvy Consulting

LAND USE & DEVELOPMENT STRATEGIES

Post Office Box 6315
Tahoe City, California 96145

December 8, 2020

Planning & Building Division
Washoe County
1001 E. Ninth Street
Reno, NV 89512

**Subject: 920 Southwood Blvd, LLC ("Bowl Incline")
Proposed Special Use Permit
920 Southwood Boulevard, Incline Village, Nevada
Washoe County APN: 132-232-08**

To Whom It May Concern:

Based on our recent predevelopment meeting with Chris Bronczyk and Dan Cahalane in Planning, we are submitting this Special Use Permit application to establish an Outdoor Amusements use in association with the existing Bowl Incline (Amusements and Recreations Services) commercial facility at the property. We are submitting this Special Use Permit application for your review and processing towards the anticipated Citizen's Advisory Board meeting and subsequent Board of Adjustments hearing.

Included with this submittal, please find the following required application item and supporting documents:

- Washoe County Predevelopment Worksheet
- Check in the amount of \$3,440.80 for application fees (Tahoe Minor Commercial) and Signed Washoe County Development Application Form (delivered separately via courier)
- Proof of Property Tax Payment
- Proposed Architectural Plan Set (Dennis E. Zirbel, Architect), including planting, lighting and elevations
- Parking Demand Study (LSC Transportation Consultants, Inc., dated 12/3/2020)
- Project Description Document
- Current Grant Deed

920 Southwood Blvd, LLC proposes to renovate the existing Bowl Incline facility in conjunction with creating a new outdoor lounge and use area to encourage year-round use and increased vitality for this existing commercial business and the Incline Village community. The property is located in the Incline Village Community Plan, jointly adopted by the Tahoe Regional Planning Agency and Washoe

County, where a various commercial uses are permissible. The proposed renovation project for Bowl Incline includes "Amusements and Recreations Services" and "Outdoor Amusements" use types; both use types are considered Special Uses under the Community Plan.

Should you have any questions or require additional information, please do not hesitate to contact our office. Your efforts in the processing of this application are greatly appreciated.

Sincerely,



W. Wyatt Ogilvy

WWO: Attachments

cc: Dennis E. Zirbel

Community Services Department

Planning and Building

SPECIAL USE PERMIT

(see page 7)

SPECIAL USE PERMIT FOR GRADING

(see page 9)

SPECIAL USE PERMIT FOR STABLES

(see page 12)

APPLICATION



Community Services Department
Planning and Building
1001 E. Ninth St., Bldg. A
Reno, NV 89512-2845

Telephone: 775.328.6100

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name:			
Project Description:			
Project Address:			
Project Area (acres or square feet):			
Project Location (with point of reference to major cross streets AND area locator):			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone: Fax:		Phone: Fax:	
Email:		Email:	
Cell: Other:		Cell: Other:	
Contact Person:		Contact Person:	
Applicant/Developer:		Other Persons to be Contacted:	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone: Fax:		Phone: Fax:	
Email:		Email:	
Cell: Other:		Cell: Other:	
Contact Person:		Contact Person:	
For Office Use Only			
Date Received: Initial:		Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Property Owner Affidavit

Applicant Name: 920 SOUTHWOOD BLVD LLC

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
COUNTY OF WASHOE)

I, TRACY M. TOMKOVICZ
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 132-232-08

Printed Name TRACY M. TOMKOVICZ

Signed [Signature]

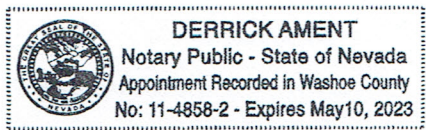
Address 985 FAIRWAY BLVD
INCLINE VILLAGE, NV 89451

Subscribed and sworn to before me this 2 day of December, 2020.

(Notary Stamp)

[Signature]
Notary Public in and for said county and state

My commission expires: May 10, 2023



*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

Special Use Permit Application Supplemental Information

(All required information may be separately attached)

1. What is the project being requested?

2. Provide a site plan with all existing and proposed structures (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.)

3. What is the intended phasing schedule for the construction and completion of the project?

4. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

5. What are the anticipated beneficial aspects or affects your project will have on adjacent properties and the community?

6. What are the anticipated negative impacts or affect your project will have on adjacent properties? How will you mitigate these impacts?

7. Provide specific information on landscaping, parking, type of signs and lighting, and all other code requirements pertinent to the type of use being purposed. Show and indicate these requirements on submitted drawings with the application.

8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the special use permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input type="checkbox"/> No
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9. Utilities:

a. Sewer Service	
b. Electrical Service	
c. Telephone Service	
d. LPG or Natural Gas Service	
e. Solid Waste Disposal Service	
f. Cable Television Service	
g. Water Service	

For most uses, Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required.

h. Permit #		acre-feet per year	
i. Certificate #		acre-feet per year	
j. Surface Claim #		acre-feet per year	
k. Other #		acre-feet per year	

Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources).

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10. Community Services (provided and nearest facility):

a. Fire Station	
b. Health Care Facility	
c. Elementary School	
d. Middle School	
e. High School	
f. Parks	
g. Library	
h. Citifare Bus Stop	

**Special Use Permit Application
for Grading
Supplemental Information**
(All required information may be separately attached)

1. What is the purpose of the grading?

2. How many cubic yards of material are you proposing to excavate on site?

3. How many square feet of surface of the property are you disturbing?

4. How many cubic yards of material are you exporting or importing? If none, how are you managing to balance the work on-site?

5. Is it possible to develop your property without surpassing the grading thresholds requiring a Special Use Permit? (Explain fully your answer.)

6. Has any portion of the grading shown on the plan been done previously? (If yes, explain the circumstances, the year the work was done, and who completed the work.)

7. Have you shown all areas on your site plan that are proposed to be disturbed by grading? (If no, explain your answer.)

8. Can the disturbed area be seen from off-site? If yes, from which directions and which properties or roadways?

9. Could neighboring properties also be served by the proposed access/grading requested (i.e. if you are creating a driveway, would it be used for access to additional neighboring properties)?

10. What is the slope (horizontal/vertical) of the cut and fill areas proposed to be? What methods will be used to prevent erosion until the revegetation is established?

11. Are you planning any berms?

Yes	No	If yes, how tall is the berm at its highest?
-----	----	--

12. If your property slopes and you are leveling a pad for a building, are retaining walls going to be required? If so, how high will the walls be and what is their construction (i.e. rockery, concrete, timber, manufactured block)?

13. What are you proposing for visual mitigation of the work?

14. Will the grading proposed require removal of any trees? If so, what species, how many and of what size?

15. What type of revegetation seed mix are you planning to use and how many pounds per acre do you intend to broadcast? Will you use mulch and, if so, what type?

16. How are you providing temporary irrigation to the disturbed area?

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17. Have you reviewed the revegetation plan with the Washoe Storey Conservation District? If yes, have you incorporated their suggestions?

--

18. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit the requested grading?

Yes	No	If yes, please attach a copy.
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Property Tax Reminder Notice

WASHOE COUNTY
 PO BOX 30039
 RENO, NV 89520-3039
 775-328-2510

PIN: 13223208
 AIN:

Balance Good Through:	12/02/2020
Current Year Balance:	\$0.00
Prior Year(s) Balance: (see below for details)	\$0.00
Total Due:	\$0.00

AUTO



920 SOUTHWOOD BLVD LLC
 985 FAIRWAY BLVD 4336
 INCLINE VILLAGE NV 89451

Description:

Situs: 920 SOUTHWOOD BLVD
 INCLINE VILLAGE

This is a courtesy notice. If you have an impound account through your lender or are not sure if you have an impound account and need more information, please contact your lender directly. Please submit payment for the remaining amount(s) according to the due dates shown. Always include your PIN number with your payment. Please visit our website: www.washoecounty.us/treas

Current Charges									
PIN	Year	Bill Number	Inst	Due Date	Charges	Interest	Pen/Fees	Paid	Balance
13223208	2020	2020461241	1	08/17/2020	1,817.75	0.00	0.00	1,817.75	0.00
13223208	2020		2	10/05/2020	1,817.61	0.00	0.00	1,817.61	0.00
13223208	2020		3	01/04/2021	1,817.61	0.00	0.00	1,817.61	0.00
13223208	2020		4	03/01/2021	1,817.61	0.00	0.00	1,817.61	0.00
Current Year Totals					7,270.58	0.00	0.00	7,270.58	0.00

Prior Years								
PIN	Year	Bill Number	Charges	Interest	Pen/Fees	Paid	Balance	
Prior Years Total								

**920 SOUTHWOOD BLVD, LLC ("BOWL INCLINE")
PROPOSED SPECIAL USE PERMIT
920 SOUTHWOOD BOULEVARD, INCLINE VILLAGE, NEVADA
WASHOE COUNTY APN: 132-232-08**

PROJECT DESCRIPTION

Summary of Request: 920 Southwood Blvd, LLC proposes to renovate the existing Bowl Incline facility in conjunction with creating a new outdoor lounge and use area to encourage year-round use and increased vitality for this existing commercial business and the Incline Village community. The property is located in the Incline Village Community Plan, jointly adopted by the Tahoe Regional Planning Agency and Washoe County, where a various commercial uses are permissible. The proposed renovation project for Bowl Incline includes "Amusements and Recreations Services" and "Outdoor Amusements" use types; both use types are considered Special Uses under the Community Plan.

Existing Site Conditions: The subject parcel is located at the corner of Incline Way and Southwood Boulevard in the community of Incline Village. According to Washoe County Assessor's records, the existing 16,500 square foot "Bowling Center" was originally constructed in 1966. The 16-lane bowling center includes areas dedicated to billiards, golf simulation, video arcade and food and beverage within the building.

Surrounding Land Uses: The properties in the vicinity are a mix of commercial uses, multi-family residential and the Incline Middle School. The directly adjoining land uses on the two sides of the property are commercial. The property is accessed by an asphalt driveway from SR-28/North Lake Boulevard.

Parcel Zoning and Land Use/ Tahoe Basin Area Plan: The subject parcel is located within the Incline Village Commercial Community Plan, adopted in 1996. In the draft documents for the Washoe County Area Plan, which has been presented to TRPA yet not adopted, no significant zoning changes are proposed that would affect the permissible uses at the property. "Amusements and Recreations Services" and "Outdoor Amusements" use types are considered Special Uses under the Community Plan.

Project Description: The project proposes to renovate and reconfigure the existing Bowl Incline facility, inclusive of the addition of a new outdoor lounge and activity area to improve the year-round vitality of the business. The existing upstairs office space is proposed to be converted a second lounge area and a new entry enclosure is added to the front of the building with bike parking provided at the entry. Along the exterior frontage of the building a new outdoor covered lounge and activity area with perimeter landscaping is proposed. The outdoor area totals approximately 5,100 square feet of space that is considered an "Outdoor Sports and Recreation" use under the TRPA Code. It is forecasted that the additional

lounge and outdoor activity area will generate up to three (3) additional employees from baseline conditions, which are accounted for in the parking demand analysis.

Along with the building renovation the parking area is to be reconfigured, new landscaping incorporated, new signage installed and water quality improvements (BMP's) implemented across the site.

Parking: A Parking Demand Study for the proposed project, dated December 3, 2020, was completed by LSC Transportation Consultants, Inc. LSC evaluated the proposed uses with the Institute of Transportation Engineer's *Trip Generation Manual* (10th Edition, 2020) and *Parking Generation Manual* (5th Edition, 2019). Peak parking demand was analyzed for the two primary use types concluding that the parking demand for the "proposed renovations to the existing building and outdoor recreation area is 60 spaces." A full copy of the report including the Shared Parking Analysis is included with this application.

The existing parking lot is proposed to be reconfigured for more efficient yield and circulation, with the required 60 parking stalls in accordance with the LSC Study attained. Three (3) of the parking stalls are dedicated to employee parking, as they front the dumpster and service area; these stalls will only be utilized at peak demand periods, when use of the dumpsters is not anticipated.

Landscaping: A Planting Plan was prepared by Design Workshop to screen the periphery of the outdoor activity area, as well as the parking lot as viewed from Southwood Boulevard. The plan uses native or adapted species to reduce maintenance and watering requirements. Aumr Maples and Quaking Aspen are specified at the edge of the parking area, with a total of eleven (11) new trees to be planted. A combination of shrubs, perennials and native grasses are utilized in the planting plan. Proposed quantities are listed in a table on the planting plan.

Lighting: All proposed exterior lighting will be shrouded and downlit in accordance with TRPA and Washoe County standards.

Signage: A new freestanding sign is proposed, with the conceptual graphic included within this submittal package.

Other Regulatory Approvals: The proposed project will require Tahoe Regional Planning Agency (TRPA) approval. Based on the use types of "Amusements and Recreations Services" and "Outdoor Amusements" use types, both considered Special Uses under the Incline Village Community Plan, it is anticipated that a Hearings Officer level of review will be required by TRPA.



LSC TRANSPORTATION CONSULTANTS, INC.

2690 Lake Forest Road, Suite C
P. O. Box 5875
Tahoe City, CA 96145
(530) 583-4053
FAX (530) 583-5966
Email: lsc@lsctahoe.com
Website: www.lsctrans.com

December 3, 2020

Dennis E. Zirbel, Architect
10056 Spring Street
P.O. Box 296
Truckee Ca, 96161

RE: Bowl Incline Parking Demand Study

Dear Mr. Zirbel:

Per your request, LSC Transportation Consultants, Inc. has conducted a parking demand analysis for modifications to the Bowl Incline facility located on Southwood Boulevard in Incline Village, Nevada. The project aims to renovate the existing 17,751 square foot bowling alley, adding 1,372 square feet of indoor space within the existing building for lounge space and entry way and to create an additional 5,100 square feet of outdoor entertainment area. While Washoe County parking codes define the parking requirements for indoor recreation, the proposed outdoor component requires a project-specific parking demand study.

Washoe County Development Standards

Per the Washoe County Development Code (Oct 23, 2020), Interpretation 04-1:

“When a commercial development that does not comply with current development standards (nonconforming development) is enlarged by less than fifty (50) percent, or if one allowed use is substituted for another and the structure(s) within the development are not enlarged, the applicant shall demonstrate that current standards, regarding the number of parking spaces for the new or expanded use are complied with. Any new parking spaces or loading areas required shall comply with all current standards, pursuant to Article 410.”

As the increase in the proposed project size is 37 percent of the existing bowling alley’s floor area, and is not greater than 50 percent, the existing 48 parking spaces can be considered to serve the existing bowling alley. The new outdoor entertainment area would require additional parking spaces to meet Washoe County Code.

Parking Demand of Proposed Project Use

The proposed renovations of the Bowl Incline alley included converting the existing 2nd floor office space to a new bar lounge area, as well expanding the entrance hall. The Institute of Transportation Engineer's *Trip Generation Manual* (10th Editions, 2020) and *Parking Generation Manual* (5th Edition, 2019) include Bowling Alley as a land use (ITE Code: 437). A description of the land use states:

A bowling alley is a recreational facility that includes bowling lanes. A small lounge, restaurant and/or snack bar, video games, and pool tables may also be available.

Since the new lounge is considered an accessory use, and the existing bowling alley already has a bar area, no additional parking spaces are expected to be generated by customers to the expanded lounge area. Though new customers are not expected as a direct result of this conversion, the new space could result in increased number of employees. As a result, additional parking spaces is allotted for the change in employees. See attached Table A.

The 5,100 square foot outdoor recreational area is a combination of a covered bar and lounge area, two bocce ball/ice shuffleboard courts, and playground area. As this combined outdoor space does not have standard parking rate, the ITE land use of Racquet/Tennis Club (ITE code 491) was selected as it has close similarities and a potential land use alternative recommended by Washoe County. This outdoor space will require additional employees; two additional parking spaces are allotted for this use.

Since some of those persons using the new outdoor recreation area will likely be bowling patrons, a 25% internal/captive market reduction was taken for this land use. As a result, a combine 72 parking spaces are need to meet peak demands of each of the induvial land uses at their peak times, as shown in Table A. However, since the different land uses peak at different times a shared parking analysis is performed.

Shared Parking

As outdoor recreation has the greatest use during the day while indoor bowling activity is greatest in the evening, the potential of shared parking between the outdoor recreation area and bowling alley uses exist. An analysis of parking needs for each hour of the day was therefore conducted. Based on the hourly percentages found in the *ITE Parking Generation Manual*, the proportion of parking demand for hour of each individual land use is calculated and summed. The percentages presented in the *Parking Generation Manual* were adjusted based on hours of operation and user logs supplied by Bowl Incline. These adjustments did not reduce any of the Manual's factors but added parking demand to earlier in the day as shown to occur based on Bowl Inclines records. These proportions are shown in the lower portion of Table B.

The peak period of parking demand is found to occur at 8 PM (when all bowling guest are assumed to be onsite, along with 41% of the outdoor recreation area in use), at 60 parking spaces.

Conclusion

The parking demand of the Bowl Incline including the proposed renovations to the existing building and outdoor recreation area is 60 spaces. This is based on the original parking spaces associated the current bowling alley plus the additional spaces needed for additional employee of the renovated space and new outdoor recreational space.



Please contact Bill Suen, Engineer with any questions regarding this analysis, at 510-673-3043, bill@lsctahoe.com

Respectfully Submitted,

LSC TRANSPORTATION CONSULTANTS, INC.

BY: 

Gordon R. Shaw, PE, AICP
Project Manager

Table A: Bowl Incline Peak Parking Demand

Description	Quantity	Units	Land Use Category	Parking Rate ¹	Required Parking Spaces for Individual Use	Internal/Captive Market Reduction	Parking Required with Non-Auto and Captive Market Reductions
<u>Existing Landuse to the Converted</u>							
Bowl Incline			Existing Parking Spaces		48	0%	48
Additional Indoor Lounge Employees	1	Employees		1 per Peak Employee	1	0%	1
<u>Proposed Project</u>							
Outdoor Recreation	5.1	KSF	Racquet/Tennis Club	5.49 per KSF	28	25%	21
Additional Outdoor Lounge Employees	2	Employees	(Land Use 491)	1 per Peak Employee	2	0%	2
Total					76		72

NOTE: KSF = 1,000 square feet

Note 1: Parking Requirements from ITE Parking Generation Manual, 5th Edition

LSC Transportation Consultants, Inc.

TABLE B: Bowl Incline Shared Parking Analysis

Description	Total Required Parking for Individual Land Use															Parking Demand During Peak Period
		11:00 AM	12:00 PM	1:00 PM	2:00 PM	3:00 PM	4:00 PM	5:00 PM	6:00 PM	7:00 PM	8:00 PM	9:00 PM	10:00 PM	11:00 PM	12:00 AM	
Existing Bowling Alley	48	10.0	9.6	21.6	36.0	9.6	4.8	21.6	41.8	47.5	48.0	48.0	48.0	9.6	2.4	48
Outdoor Use Area	21	14.0	14.7	18.1	19.7	21.0	21.0	18.7	13.7	8.6	8.6	4.2	2.1	0.0	0.0	9
Additional Lounge Employees	3	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	3.0	1.0	1.0	3
TOTAL PROPOSED PROJECT	69	27	28	43	59	34	29	44	59	60	60	56	54	11	4	60

Shared Parking Factors -- Percent of Peak Parking Demand by Hour															
Land Use	11:00 AM	12:00 PM	1:00 PM	2:00 PM	3:00 PM	4:00 PM	5:00 PM	6:00 PM	7:00 PM	8:00 PM	9:00 PM	10:00 PM	11:00 PM	12:00 AM	
Bowling ¹	20%	20%	45%	75%	20%	10%	45%	87%	99%	100%	100%	100%	20%	5%	
Outdoor Use Area ²	64%	70%	86%	94%	100%	100%	89%	65%	41%	41%	20%	10%	0%	0%	

Note 1: Source - ITE Parking Generation, 5th Edition, 2019. Adjusted for hours of operation and Bowl Incline Use logs.

Note 2: Source - ITE Parking Generation, 5th Edition, 2019, for Racquet/Tennis Club (Land Use 491)

Source: LSC Transportation Consultants, Inc.

APN: 132-232-08
R.P.T.T.: \$13,735.00

Escrow No.: 20007725A-COM

When Recorded Return to:
920 Southwood Blvd LLC
985 Fairway Blvd #4336
Incline Village, NV 89451

Mail Tax Statements to:
920 Southwood Blvd LLC
SAME AS ABOVE

DOC #5101770

11/09/2020 04:42:56 PM
Electronic Recording Requested By
FIRST CENTENNIAL - RENO (MAIN OF
Washoe County Recorder
Katie M. Work
Fee: \$43.00 RPTT: \$13735.00
Page 1 of 3

SPACE ABOVE FOR RECORDER'S USE

GRANT, BARGAIN, SALE DEED

FOR VALUABLE CONSIDERATION, receipt of which is hereby acknowledged,

Waldman Investments, Inc., a Nevada corporation

do(es) hereby Grant, Bargain, Sell and Convey to

920 Southwood Blvd LLC, a Nevada limited liability company

all that real property situated in the City of Incline Village, County of Washoe, State of Nevada, described as follows:

SEE LEGAL DESCRIPTION ATTACHED HERETO AND MADE A PART HEREOF AS EXHIBIT "A"

Together with all and singular tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining.

Page 2 of the Grant, Bargain, Sale Deed (signature page).

Escrow No.: 20007725A-COM

Dated this 6th day of November, 2020.

Waldman Investments Inc., a Nevada corporation

BY: [Signature]
Curt H. Wegener, President

STATE OF NEVADA

COUNTY OF Washoe

This instrument was acknowledged before me on this 6th day of November, 2020, by of Waldman Investments Inc..

[Signature]
Notary Public

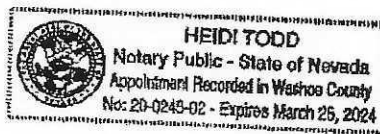
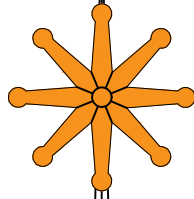


EXHIBIT A

Lots 8 and 9, in Block D, as shown on the map of COMMERCIAL SUB. NO. 1, filed in the office of the County Recorder of Washoe County, Nevada, on March 2, 1965, as Tract Map No. 942.

Assessors Parcel No.: 132-232-08



B **O** **W** **L**

INCLINE

Bocce Ball

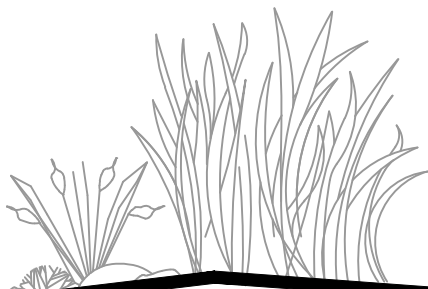
Outdoor Movies

Billiards / Arcade

Cocktail Lounge

Outdoor Dining

Outdoor Activities



BOWL INCLINE - RENOVATION / REMODEL

920 SOUTHWOOD BOULEVARD, INCLINE VILLAGE, WASHOE COUNTY, NEVADA

Provide the following submittals, shop drawings, & samples for Architect's review at least two weeks prior to ordering materials or product. Provide schedule for submittals with decision dates.

Construction Schedule

Lighting Fixtures & controls

Plumbing Schematic

Mechanical Equipment Submittals

Fireplace Shop Drawings with Flues

Door Hardware

Windows Shop Drawings

Paint Samples

Any Metal Fabrications Shop Drawings

Roofing Material Samples

Specify Street Heat Items Shop Drawings

Cabinet/Built-in Shop Drawings

Construction Waste Management Plan

Interior Millwork Samples

History & Stone Samples & Mock-ups

Carpet & Flooring Samples

Plaster & Drywall Finish Sample

Tile Mock-up

Exterior Millwork Sample/Details

Door Shop Drawings

Appliance cut sheets

Interior Finish Mock-up

Waterproofing at retaining walls

Exterior Finish Mock-up

Kitchen Hood / Ventilation

Plaster samples

Landscaping painting & Irrigation submittal

Maintenance Schedule for all finishes/appliances

Civil Engineering Submittals - including sewer pump

All grill work submittals

Electrical Wiring / Circuit Submittals

Fire Sprinkler Design

Food Creek Design and Submittals

SCOPE OF WORK:

The work required to be performed by the contractor consists of constructing and completing the Project as defined in the general conditions or title in accordance with the Drawings, Specifications and all applicable provisions of the Contract Documents. The work includes furnishing all plans, labor, tools, equipment, appliances, transportation and services and in performing all operations necessary for the proper completion of the construction and proper completion of the Project as shown and noted on the drawings. All items shall be submitted to the architect for review and approval prior to construction or installation. All materials and installations shall be in accordance with the correct building codes, ADA, Model Energy Code and all current state and local codes and ordinances.

GENERAL DEFENSIBLE SPACE GUIDELINES:

1. ALL DEAD TREES, BRUSH AND OTHER VEGETATION MUST BE REMOVED.
2. ALL RESIDUAL TREES WILL BE LIMBED TO A HEIGHT OF 10 FEET FROM THE GROUND NOT TO EXCEED 1/3 OF THE TOTAL TREE HEIGHT.
3. ALL RESIDUAL TREES WILL BE LIMBED TO ACHIEVE 10 FEET OF CLEARANCE FROM ANY PART OF THE HOUSE TO THE BRANCHES OF THE TREE. IF THIS WOULD REQUIRE REMOVAL OF THE CROWN EXCEEDING THE LOWER 1/3 OF THE TREE HEIGHT THEN THE TREE SHOULD BE REMOVED.
4. THE AREA WITHIN 5 FEET OF THE FOUNDATION AND SUPPORT POSTS SHOULD NOT CONTAIN ANY COMBUSTIBLE PLANT MATERIALS.
5. WITHIN 30 FEET OF THE STRUCTURE THERE SHOULD ONLY BE SINGLE SPECIES TREES OR WELL MAINTAINED AND WELL IRRIGATED SHRUBS OR TREES. SUCH MATERIAL SHOULD NOT BE CAPABLE OF READILY TRANSMITTING FIRE TO THE STRUCTURE. COMBUSTIBLE MULCHES OR PINE NEEDLES SHOULD NOT BE USED AS A GROUND COVER WITHIN THIS ZONE.
6. ALL BRUSH, TREES OR FLAMMABLE MATERIAL WILL BE REMOVED FROM UNDER THE DRIP LINE OF RESIDUAL TREES OR TREE GROUPS.
7. TREE CANOPIES WILL BE SPACED AT LEAST 10 FEET APART. IF TREES ARE GROUPED CLOSE ENOUGH TOGETHER AS TO ACT AS ONE UNIT, THEN ALL OTHER REQUIREMENTS MUST BE MET.
8. BEYOND 30 FEET FROM THE HOME, BRUSH FIELDS MUST BE SPACED TO A DISTANCE EQUAL OR GREATER THAN 2 TIMES THE HEIGHT OF THE BRUSH. INDIVIDUAL BRUSH PLANTS WILL NOT EXCEED 100 SQUARE FEET IN AREA.
9. SEE ARBORIST REPORT FOR ADDITIONAL INFORMATION.
10. GENERAL CONTRACTOR TO COMPLETE DEFENSIBLE SPACE AS REQUIRED.

BUILDING DESIGN CRITERIA

BUILDING CODES:

- 2018 International Building Code (IBC)
- 2018 Uniform Plumbing Code (UPC)
- 2018 Uniform Mechanical Code (UMC)
- 2017 National Electrical Code (NEC)
- 2018 International Energy Conservation Code (IECC)
- 2018 International Fire Code (IFC)
- 2018 International Urban Wildfire Interface Fire Code (IUIWC)
- 2018 Northern Nevada amendments by NV/CICC, and any other jurisdiction amendments

OCCUPANCY GROUP: A-3

CONSTRUCTION TYPE: V-B (AUTOMATIC FIRE SPRINKLER SYSTEM)

GROUND SNOW LOAD: 30 PSF (6.300' ELEVATION)

ROOF LIVE LOAD (RFL): 13 PSF

BASIC WIND SPEED: 120 MPH - EXPOSURE C

SEISMIC DESIGN CATEGORY: D

FLOOR LIVE LOAD: 40 PSF

FLOOD ZONE: NONE

NOTES:

1. MAINTAIN EXISTING VEGETATION. DISTURB ONLY THE MINIMUM AMOUNT OF AREA WITHIN THE CONSTRUCTION ACTIVITY ZONE INDICATED ON THE PLAN. NO ACTIVITY IS TO TAKE PLACE IN AREAS OF THE SITE OTHER THAN THE CONSTRUCTION ACTIVITY ZONE.
2. CONTRACTOR TO SET NEW DATUM + BUILDING ENTRY PRIOR TO CONSTRUCTION.
3. ALL DISTURBED AREAS TO BE RE-VEGETATED WITH SCHAFFER'S HILL APPROVED FOREST UNDERSTORY SEED MIXTURE AND ALL AREAS OF EXPOSED SOIL WILL BE STABILIZED WITH FINE STRAW OR MULCH PRIOR TO SUBMITTING FOR FINAL RELEASE.

TRPA PROJECT NOTES:

1. Contractor to adhere to all TRPA conditions of approval, constraints and guidelines, including attachment R, site to be annotated per TRPA requirements by October 15th.
2. All grading except for driveway grading to the side setback must be performed within the setback, unless shown otherwise. Verify driveway grades and estimate edge of pavement prior to construction.
3. See landscape plan for additional information. All landscaping shall conform to the requirements for sites and species identified in Volume 30 of the TRPA Code of Ordinances. Fertilizer use in the landscape and irrigation areas shall not be used except as outlined in TRPA Code of Ordinances section 81A.
4. All barren and disturbed areas created by construction shall be re-vegetated per TRPA Handbook of Best Management Practices and Living with Fire. Lake Tahoe Basin Second Edition.
5. Maintain existing vegetation except only the minimum amount of area around the building footprint. No grading or excavation shall be permitted except as shown on the plans. Excavation equipment shall be limited to the foundation footprint to minimize site disturbance. No grading or excavation shall be permitted outside of the building footprint.
6. Contractor shall ensure that all trees adjacent to the construction site be fenced and protected with substantial wood fencing. Protect all existing trees to remain inside the construction activity zone with vertical 6x wrapped around trees. Use wood pallets on ground over drains.
7. Contractor shall ensure that nothing will be attached to trees.
8. Contractor shall ensure that all grading and trenching shall be located in such a way that trees and tree root systems will not be damaged. Hand dig around all tree roots encircled.
9. No access soil to be retained on site. All soil removed during excavation to be reused as backfill. All cut material must be disposed of in a TRPA approved location. Verify completion of soil with geotechnical engineer prior to backfilling. No fill or re-construction other than backfill for structures shall be allowed. All temporary soil stockpiles shall be appropriately covered with tarps and contained by temporary erosion control fences and/or cover with gravel bags.
10. All existing trees and shrubs on the lakeward side of this parcel shall be considered as scenic mitigation. These trees and shrubs shall not be removed or trimmed for view enhancement purposes without prior written TRPA approval. Any such removal or trimming shall constitute a violation of project approval. Temporary Best Management Practices (BMP's) are to be installed and maintained prior to excavation and during all phases of the proposed project.
11. All employee vehicles shall be parked on existing paved surfaces or existing compacted road shoulders only.
12. Any normal construction activities creating noise in excess of TRPA noise standards shall be considered exempt from said standards provided all work is conducted between the hours of 9:00am and 6:30pm.
13. Contractor to keep Dust Control Measures in place during construction. Broadcast such shall not be permitted as a dust control measure within 35 feet of structures.
14. Prior to release of security photos shall be provided to TRPA taken during the construction of any subsurface BMP's or any trenching and backfilling with gravel.
15. Contractor shall ensure that all scenic design and mitigation measures outlined in the scenic analysis are included as part of project. Consult with architect for additional information.
16. All exterior lighting shall be consistent with TRPA Code of Ordinances Section 36 Exterior Lighting standards. Specifically, all exterior lighting shall be fully shielded and directed downward so as not to produce negative glare onto public right-of-way or adjoining properties. Illumination for aesthetic or dramatic purposes of any building or surrounding landscape utilizing exterior light fixtures projected above the horizontal is prohibited.
17. All Best Management Practices (BMP's) shall be maintained in perpetuity to ensure effectiveness which may require BMP's to be periodically reinstalled or replaced.

GENERAL PROJECT NOTES

1. The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property that this requirement shall apply continuously and not be limited to the normal working hours and that the Contractor shall defend, indemnify, and hold the Owner, Architect and Engineer harmless from any liability, real or alleged, in connection with the performance of work on this project, except for liability arising from the sole negligence of the Owner, Architect or the Engineer.
2. All elevations are based on existing site data. The Contractor, Owner and Architect to review drainage, building elevations and grading prior to start of construction.
3. The Contractor shall be responsible for adequate temporary drainage facilities during the rainy season operation and protect all disturbed areas from erosion. He shall repair any areas of erosion prior to acceptance of grading.
4. The Contractor shall expose all existing utility lines or other underground facilities at proposed crossings or connection points to verify location and elevation. Backfill shall be included in the price for various items of work. Contractor shall contact USA to locate underground utilities prior to digging.
5. The Contractor is responsible for the protection of all existing monuments or other survey markers. All such monuments or markers destroyed during construction shall be replaced at Contractor's expense. Contractor shall set a finish floor datum on site prior to excavation.
6. It is the Contractor's responsibility to notify the Architect immediately upon any existing conditions that will reflect in changes from the construction drawings. Contractor shall verify all dimensions prior to construction.

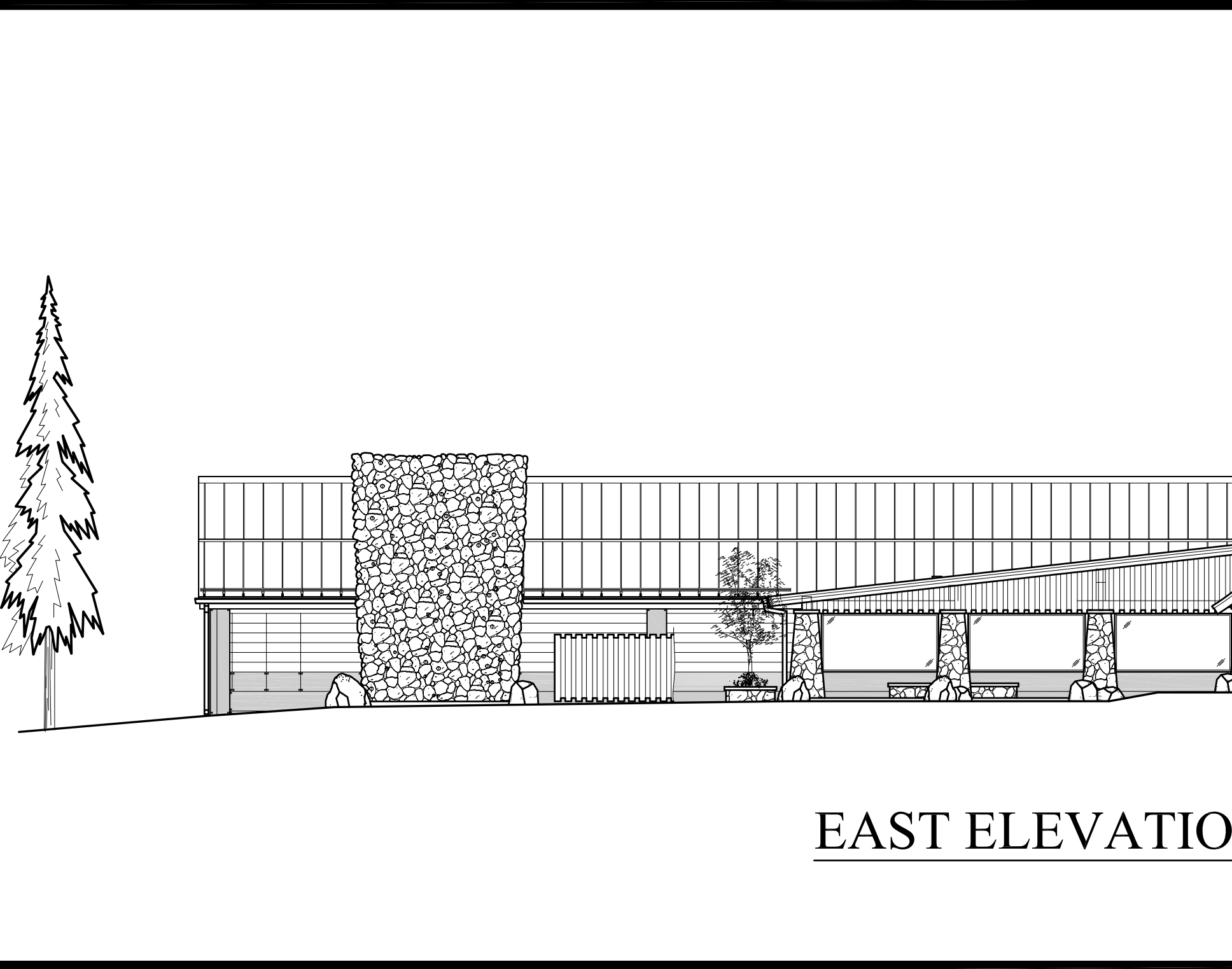
1. The Architect assumes no responsibilities for any changes, omissions, errors or deviations by the Owner or Contractor either accidental or intentional. Contractor to ask in writing, any and all questions with regards to intent or interpretation of drawings and specifications prior to submitting bids and starting work. The submital of a bid or starting work by any contractor shall be considered as his acknowledgment of his responsibility for the requirements of all sections and trades of this project (i.e. civil, architectural, electrical, mechanical, structural, landscaping). The contractor shall review all project drawings and requirements prior to bid or starting work and include the cost of all materials, labor and work required to satisfy the requirements of all trades, even if these items are not addressed by the specifications or shown on the drawings.
2. Temporary utilities and services shall be installed and maintained in accordance with local codes and regulations. These utilities and services shall not unduly infringe upon the area's natural elements such as trees, rocks, shrubs, etc. Temporary hookups such as lights and power shall have their own temporary poles and shall not utilize trees or other natural elements for that purpose.
3. Temporary Best Management Practices (BMP's) are to be installed and maintained prior to excavation and during all phases of the proposed project. Removal of temporary facilities shall occur as progress of work permits and not later than completion of work.
4. Adequate measures shall be taken to protect areas outside the immediate construction zone and shall be strictly observed: a) These areas shall include trees or groups of trees adjacent to the construction zone and shall be fenced off to insure their protection. b) Adjacent property shall be respectfully protected. If it should become necessary to use the adjacent property for any reason, the reason shall be specified and written permission shall be obtained from the respective owner (s, /, c, /). Any areas outside the construction zone affected by the construction shall be restored to original condition.
5. Any material from clearing and excavation which is unsuitable for fill or landscaping shall be removed from the site.
6. Back filling of trenches, foundation and other excavation shall be done in such a manner as to not disrupt natural site conditions, drainage, ground cover, etc.
7. The Contractor shall call the Architect 48 hours prior to placing concrete in footing for steel review. Contractor is to notify the Architect on any deviation of plans or specifications.
8. The General Contractor is to notify the interior designer and the Architect prior to the placing and installations of all lighting fixtures, interior finishes, cabinets, etc. and submit samples to the designer and Architect for approval.
9. Complete clean-up of the construction site and all areas outside the construction site shall be an integral part of the work. No trash shall be allowed to accumulate during construction and shall be removed at least on a weekly basis.
10. Contractor shall develop and implement a Construction Waste Management Plan so that materials are recycled and/or salvaged to a minimum of 50% of non-hazardous construction and demolition debris per U.S. Green Building Council "MR Credit 2.1" guidelines.
11. The Contractor is permitted one sign stating his firm and subcontractors per local regulations, verify.
12. All work and materials shall conform to the latest edition of the International Residential Code and all other applicable local codes and ordinances.
13. Structural engineering by "Richard Chesbro Engineering" shall be an integral and legally binding portion of these Contract Documents.
14. Contractor shall install all utilities as per Utility and Washoe County building department requirements.
15. Re-vegetate / Landscape all disturbed areas per TRPA / Washoe County standards and permit.
16. General Contractor to provide general requirements per outline specifications.
17. Temporary and permanent BMP's may be field fit by the Environmental Compliance Inspector where appropriate.
18. All Best Management Practices shall be maintained in perpetuity to ensure effectiveness which may require BMP's to be periodically reinstalled or replaced.
19. This site shall be winterized in accordance with the provisions of Attachment R by October 15th of each construction season.
20. Contractor to provide weekly updates to Owner and Architect with detailed photos of progress.
21. The General Contractor is responsible for insuring that the project, as-built, does not exceed the approved land coverage figures shown on the Site Plan. The approved land coverage figures shall supersede scaled drawings when discrepancies occur.
22. Geotech reports shall be an integral part of these construction documents.

1. All employee vehicles shall be parked on existing paved surfaces or existing compacted road shoulders only.
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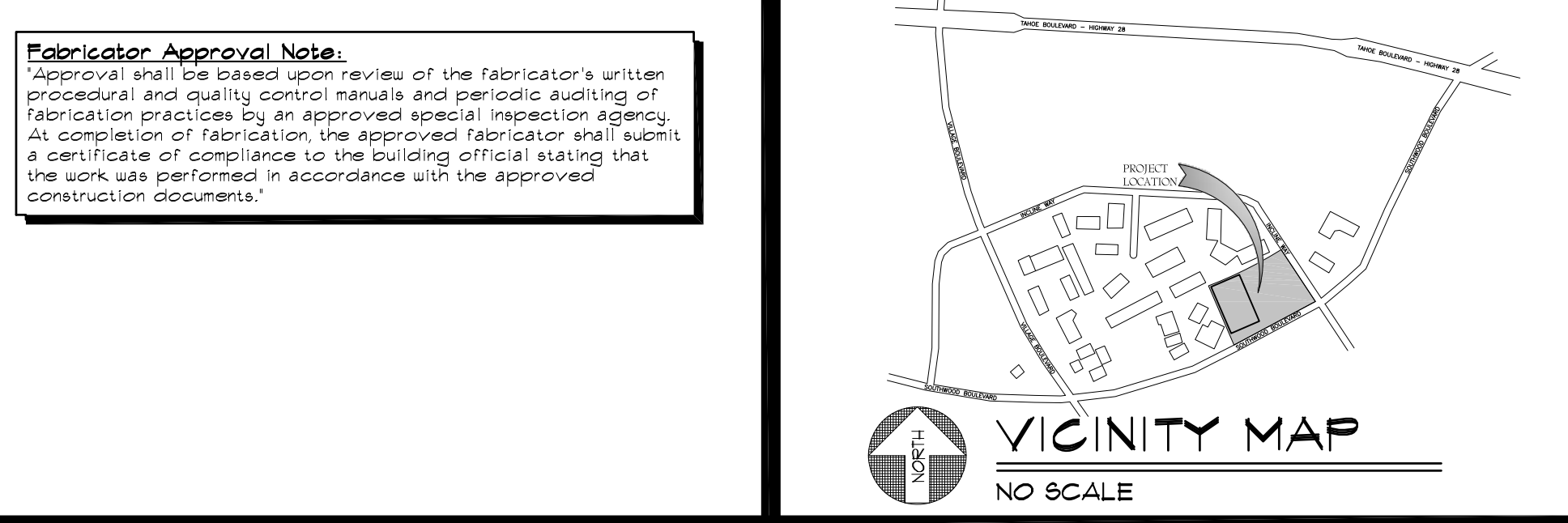
DESIGN TEAM

ARCHITECT	PLANNER
Dennis Zirbel DENNIS E. ZIRBEL ARCHITECT A PROFESSIONAL CORPORATION P.O. Box 296 Truckee, CA 96160 Telephone: 530.582.8979 Fax: 530.582.8938	Ogilvy Consulting / Land Use & Development Strategies Post Office Box 6315 Tahoe City, CA 96145 Telephone: (530) 583-5800
STRUCTURAL ENGINEER	SURVEYOR
Richard Chesbro Richard Chesbro Engineering 236 Public Square Suite #101 Franklin TN 37064 Telephone: (530) 587-0129	MAPCA Surveys, Inc. 580 Mount Rose Street Reno, NV 89509 Telephone: (775) 432-2067 Fax: (775) 432-2068
CIVIL ENGINEER	MECHANICAL / ELECTRICAL
Brian Clark High Sierra Civil Engineering 15472 Archery View Truckee, CA 96161 Telephone: (530) 414-5026	MSA Engineering Consultants 4599 Longley Lane Reno, NV 89502 (775) 828-4889
FOOD SERVICE	LANDSCAPE DESIGN
Vern Martin Vern Martin Design Associates 760 Robin Street Reno, NV 89509 (775) 240-2637	DESIGNWORKSHOP 128 Market Street, Suite 3E Stateline, NV 89449-5666 (775) 588-5929

EXTERIOR ELEVATION



EAST ELEVATION

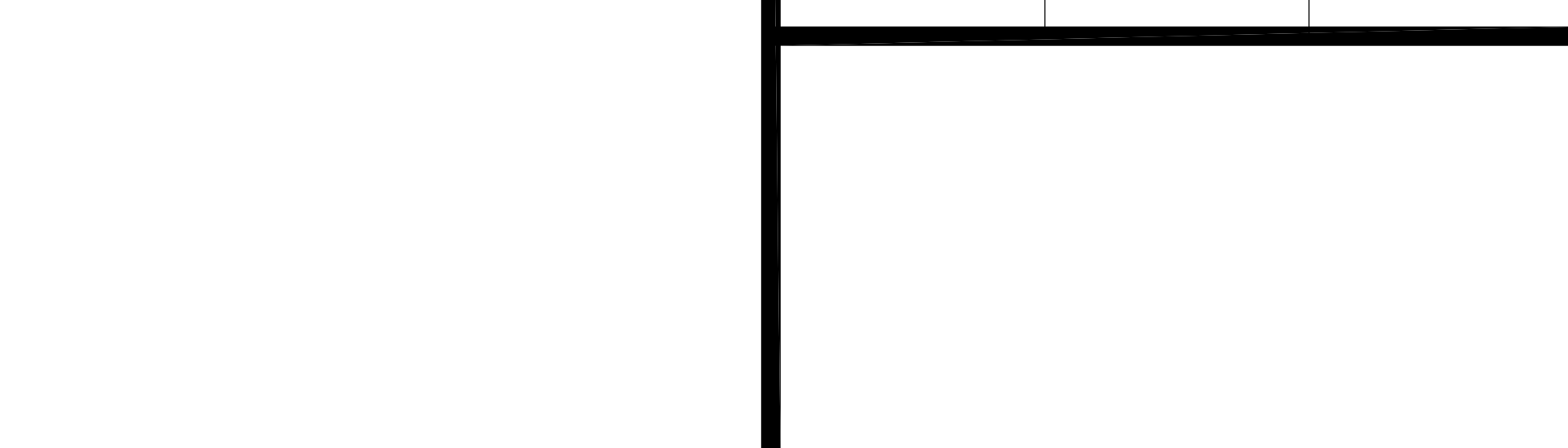


PERMIT NOTES

Fabricator Approval Note:

Approval shall be based upon review of the fabricator's written procedural and quality control manuals and periodic auditing of fabrication practices by an approved special inspection agency. At completion of fabrication, the approved fabricator shall submit a certificate of compliance to the building official stating that the work was performed in accordance with the approved construction documents.

VICINITY MAP



BMP CALCULATIONS

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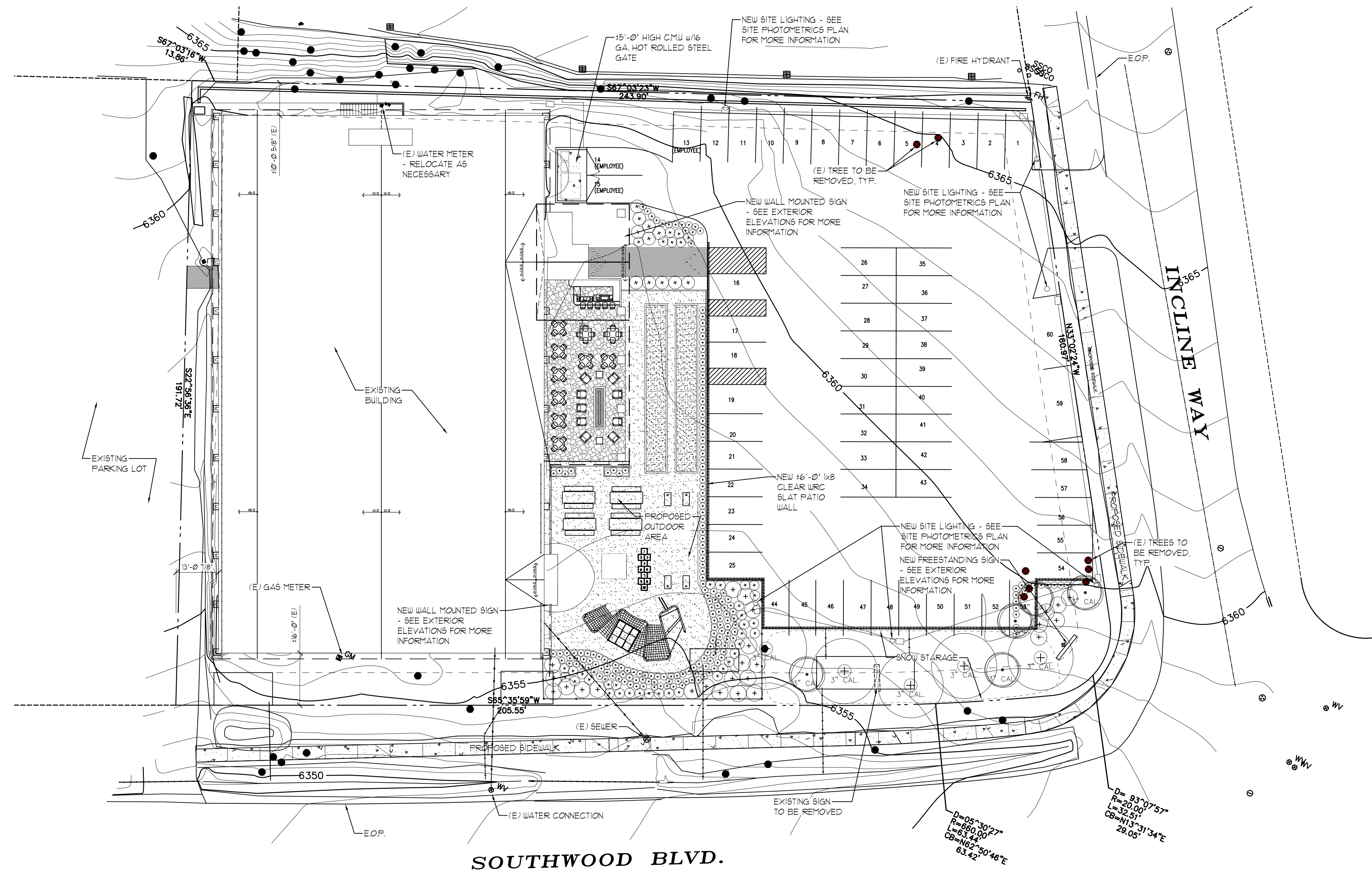
EXTERIOR ELEVATION



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OTHER DRAWINGS	
TOPOGRAPHIC SURVEY	

- NOTES:**
- THERE ARE NO POTENTIAL HAZARDS.
 - THERE ARE NO ACTIVE FAULT ZONES.
 - THIS PROJECT SHALL COMPLY WITH ALL APPLICABLE PROVISIONS OF THE WASHOE COUNTY DEVELOPMENT CODE.
 - THERE ARE NO SIGNIFICANT HYDROLOGICAL RESOURCES.
 - THERE ARE NO FLOOD HAZARDS.
 - AN APPROVED BACKFLOW PREVENTION DEVICE SHALL BE REQUIRED ON ALL LANDSCAPE IRRIGATION SYSTEMS.
 - SEE FLOOR PLANS, CIVIL, AND LANDSCAPE PLANS FOR ADDITIONAL INFO.



SOUTHWOOD BLVD.

ARCHITECTURAL SITE PLAN
SCALE: 1"=20'-0"

ARCHITECTURAL SITE PLAN	
REVISIONS	

BOWL INCLINE
RENOVATION/REMODEL

920 Southwood Boulevard
Incline Village
Washoe County, Nevada

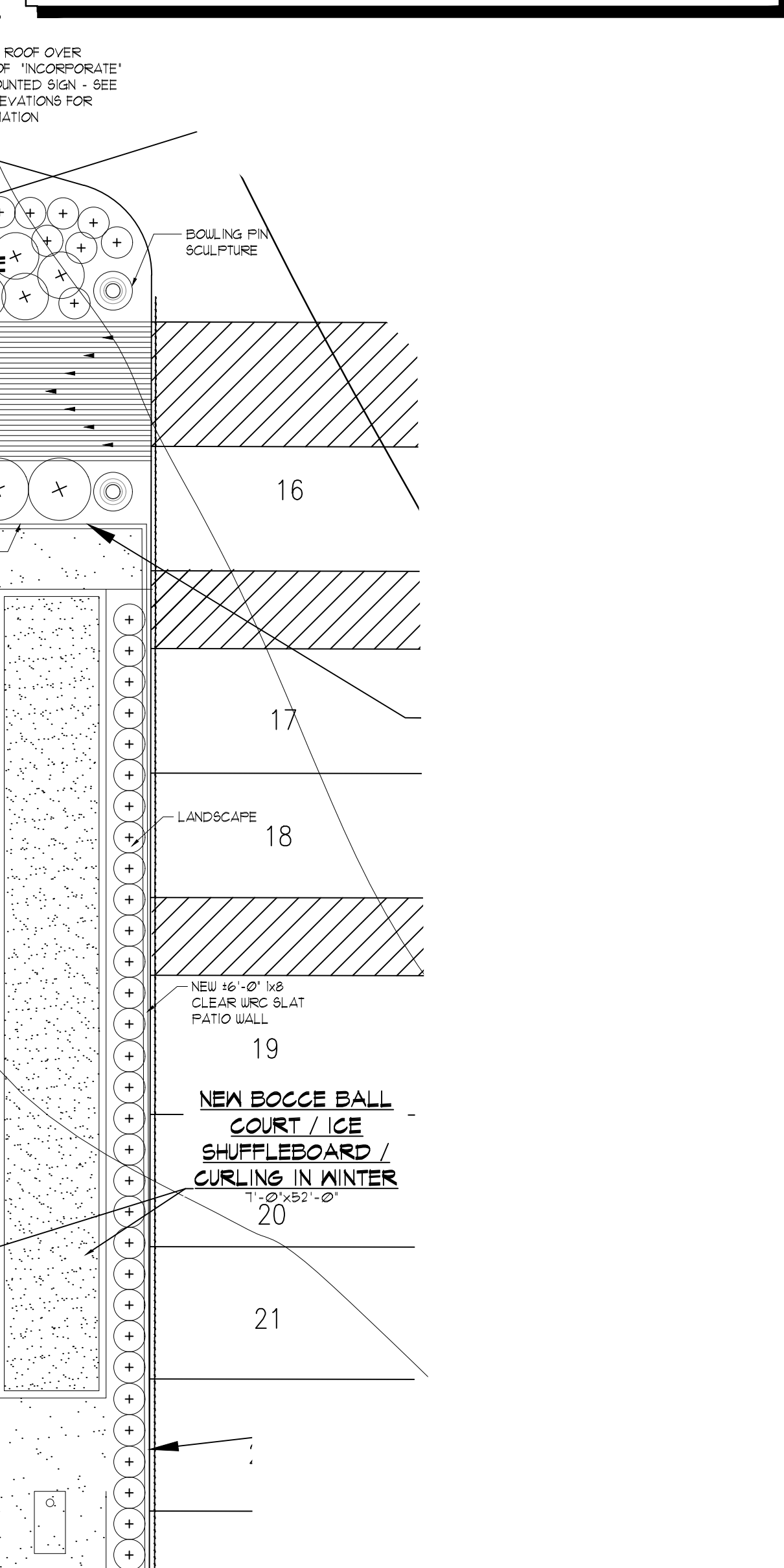
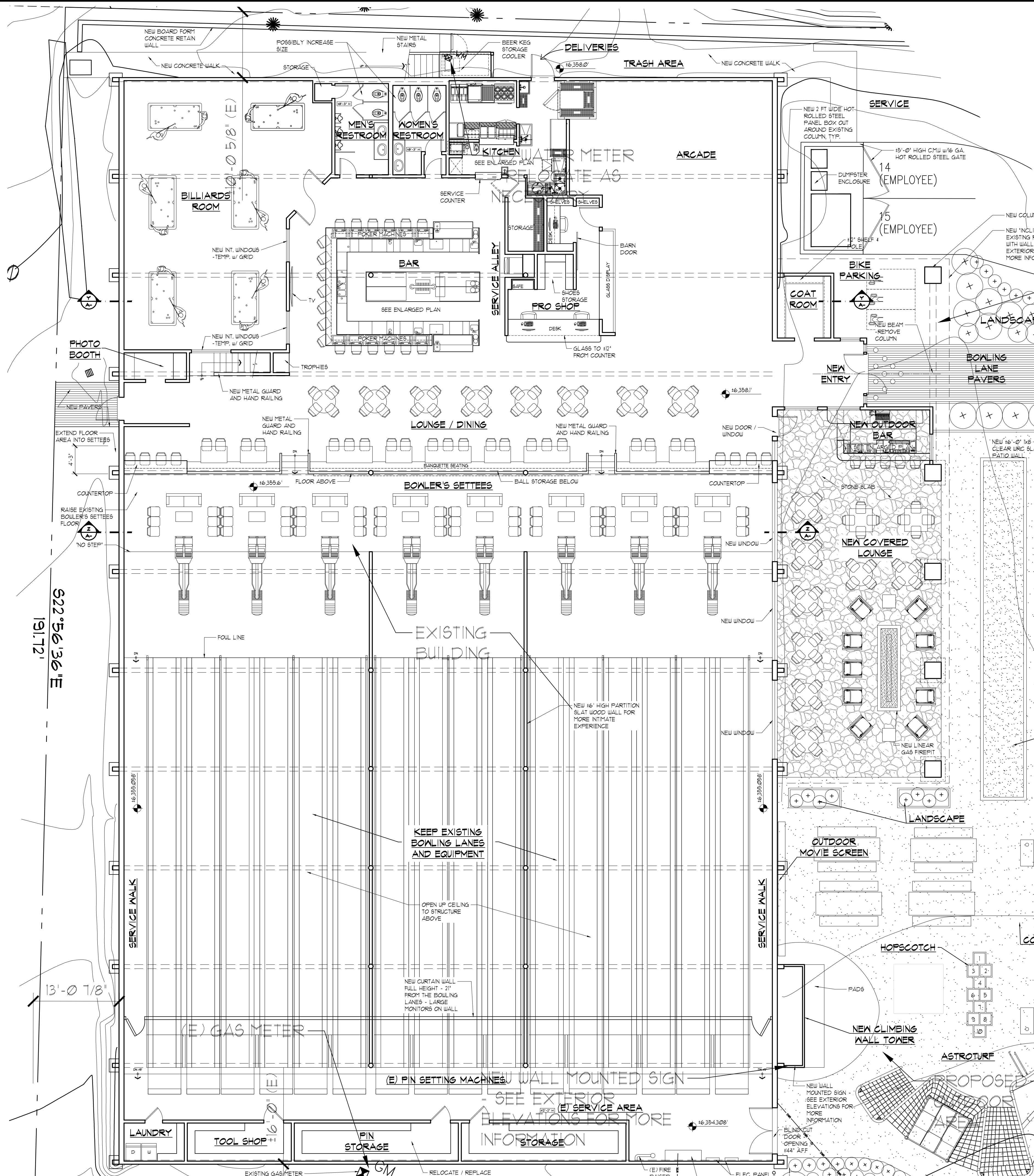
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FLOOR AREA CALCULATION

EXISTING CONDITIONED AREA	
ENTRY LEVEL	±16,500 SQ. FT.
UPPER LEVEL	±1,251 SQ. FT.
TOTAL EXISTING FLOOR AREA	±17,751 SQ. FT.
PROPOSED CONDITIONED AREA	
ENTRY LEVEL	±16,695 SQ. FT.
UPPER LEVEL	±2,428 SQ. FT.
TOTAL PROPOSED FLOOR AREA	±19,123 SQ. FT.
TOTAL PROPOSED OUTDOOR AREA	±15,100 SQ. FT.



CONCEPTUAL ENTRY LEVEL FLOOR PLAN
SCALE: 1/8" = 1'-0"

CONCEPTUAL ENTRY LEVEL FLOOR PLAN	
REVISIONS	

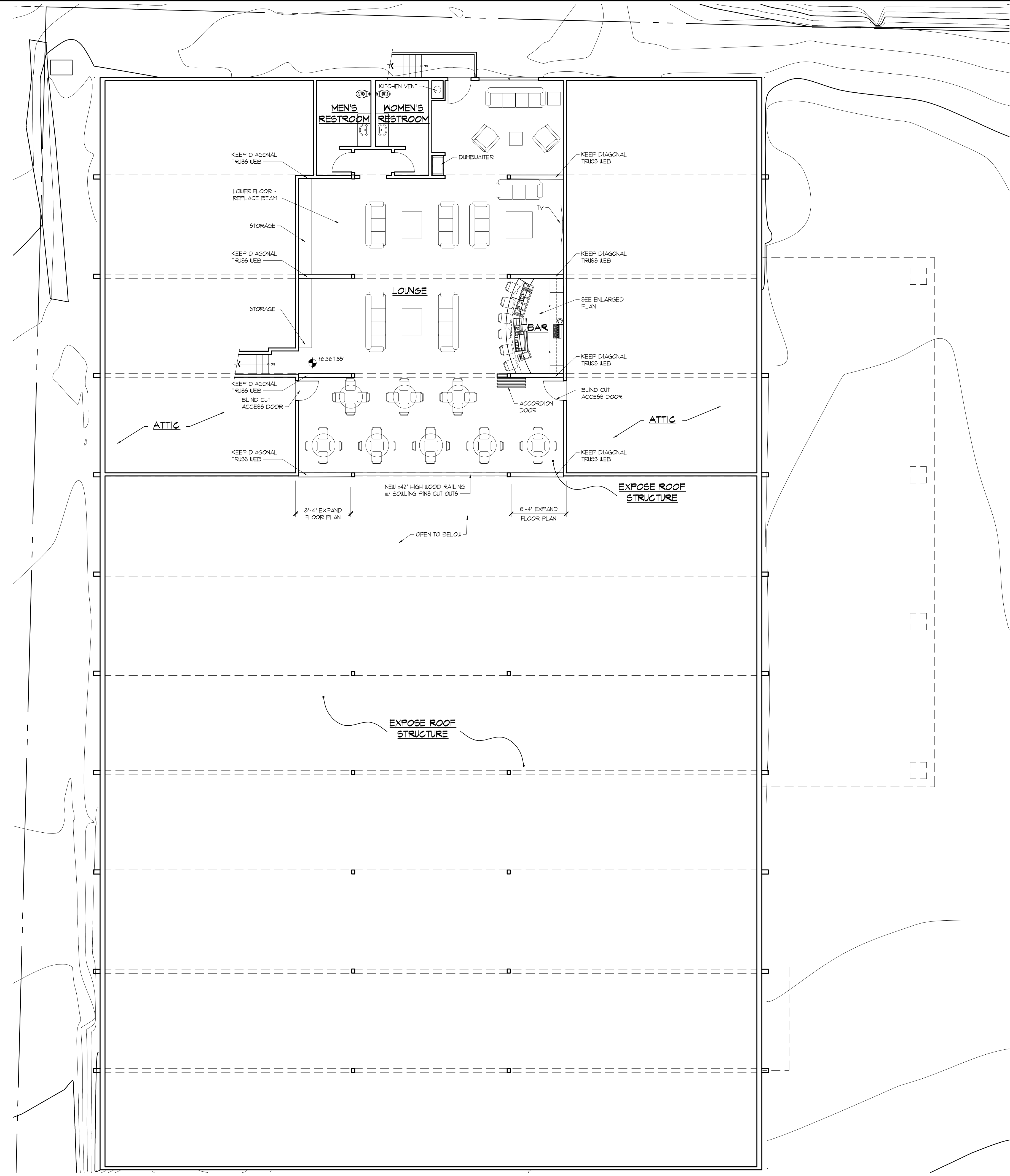
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CONCEPTUAL UPPER LEVEL FLOOR PLAN

REVISIONS		

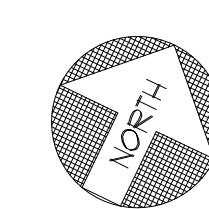
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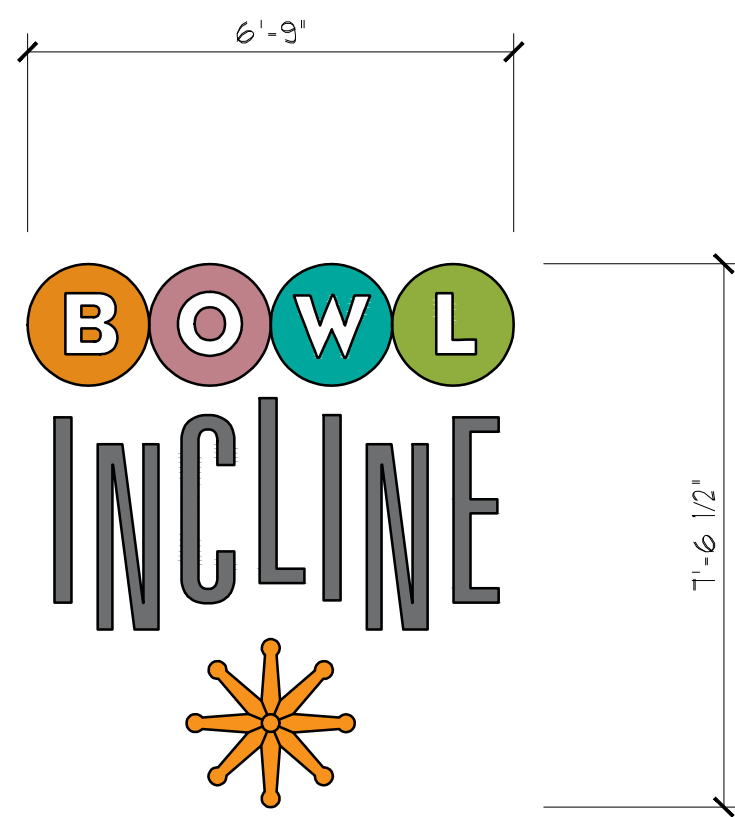


CONCEPTUAL UPPER LEVEL FLOOR PLAN

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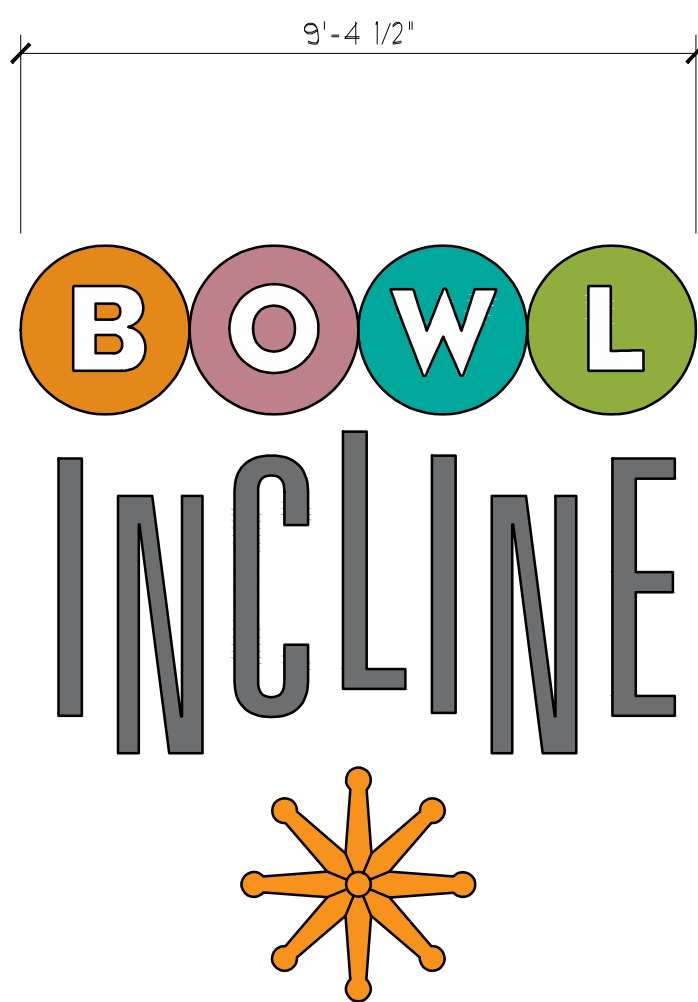
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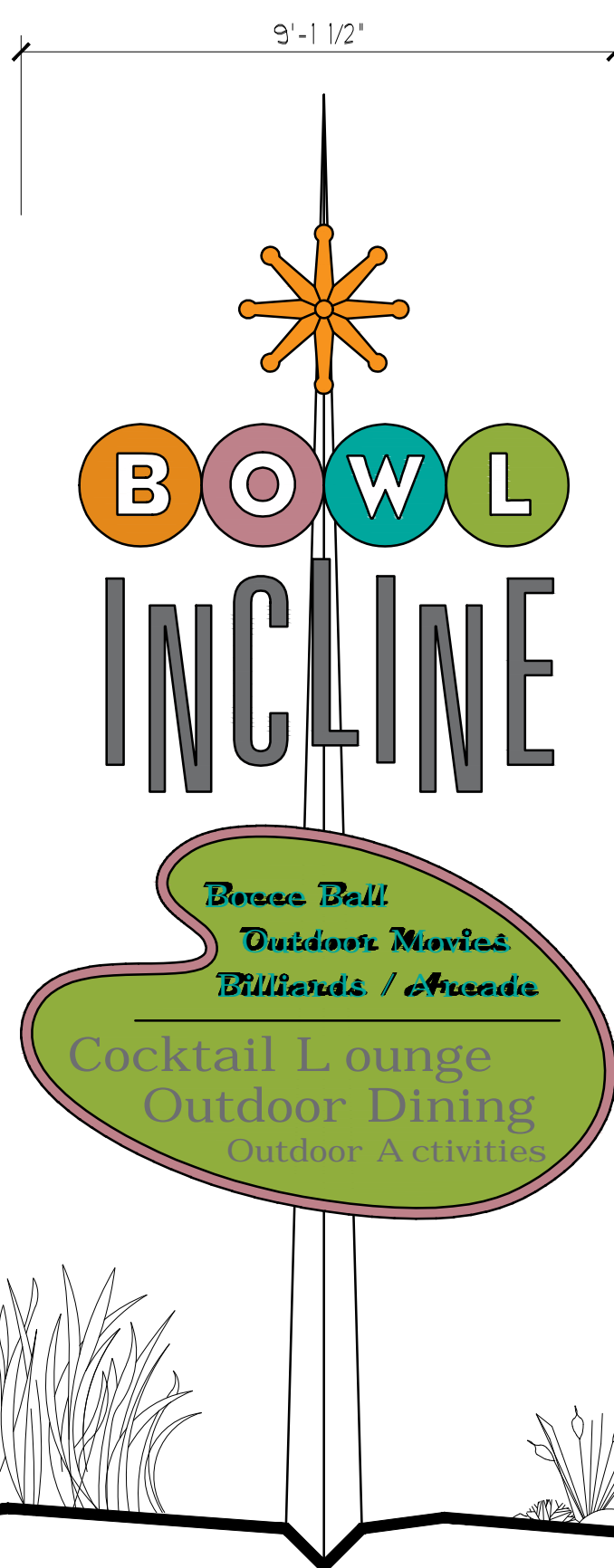
WALL MOUNTED
SIGN @ CLIMBING WALL

SCALE: 3/8"=1'-0"



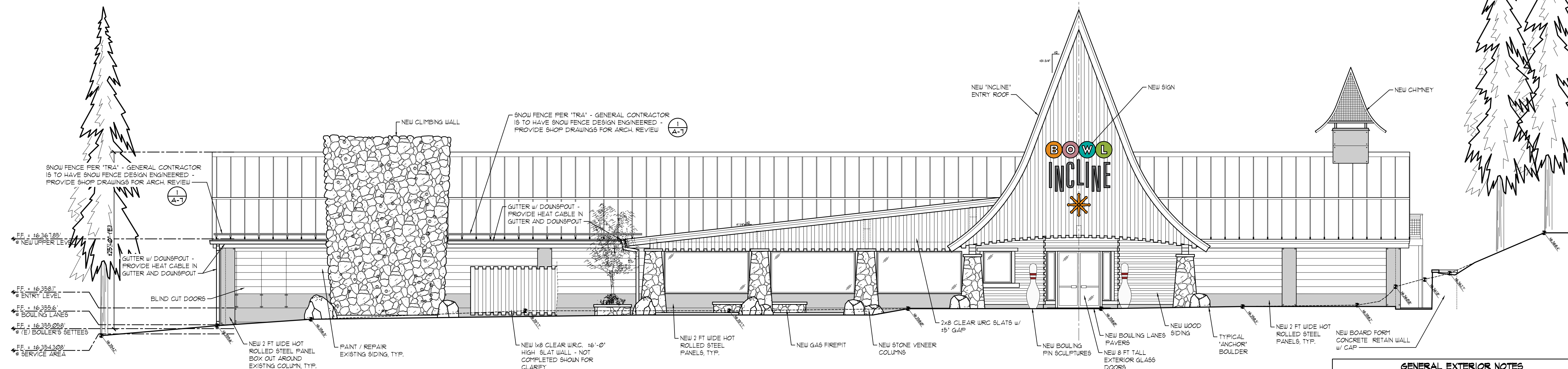
WALL MOUNTED
SIGN @ MAIN ENTRY

SCALE: 3/8"=1'-0"



FREESTANDING
SIGN @ PROPERTY SE CORNER

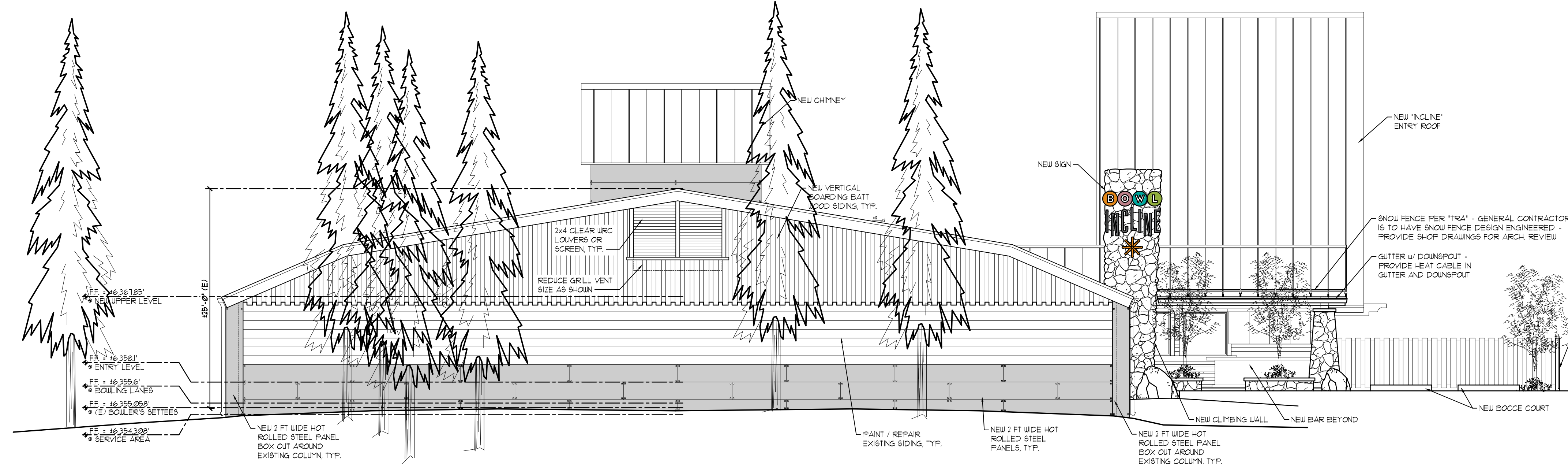
SCALE: 3/8"=1'-0"



EAST EXTERIOR ELEVATION

SCALE: 1/8"=1'-0"

- GENERAL EXTERIOR NOTES**
- All existing horizontal exterior siding is a bevel siding to be primed and painted. Color to be determined. All new vertical exterior siding to be 2x8 STK URC square edge boards w/ 2x8 STK URC square edge batts. All new horizontal exterior siding to be 2x8 STK URC square edge boards w/ 2x6 STK URC square edge batts. - no groove, both sidings to be 'Circle Saw' Montana Timber Products 'Ranchwood' in Eastern color. All trim to be 2x STK URC 'Wire Brushed' per plan with matching finish to siding. Verify details and color with Architect.
 - All structural members (i.e.: columns, beams, rafters) to be re-sawn douglas fir, stained with 'Olympic' semi-transparent stain #13. All exposed metal flashing on beam/roof shall be 20 ga. g.i. painted. Submit samples to Architect.
 - All Metal Roofs to be 'Metal Sales' Magna-Loc w/ pencil ribs 4 FVDF (Kynar 500) paint system, medium bronze. Verify color w/ Architect. Provide (2) layers of 'Grace' 'Ultra' roof underlayment at all roofs. 'Bithutene' up full height on rake walls & side walls. Use 20 ga. g.i. painted valley flashing. Verify finish and color with Architect. See roof plan for additional information / detail. Provide continuous 20 ga. g.i. painted ridge cap per plan. Consult with Architect prior to ordering.
 - All windows / exterior doors to be 'Western Windows' or equal aluminum frame windows / doors with dual glazing, and bronze finish w/ profiles. Verify color with Architect. See window schedule.
 - All stone shall be 16" thick 'Select Stone' 'Pipestone Granite' or equal with approximately 20% of the stone with lichen. Set with deep joints in a dry stack fashion. Use 'Anchor Boulders' as shown. Provide samples and mock-ups for Architect's review.
 - All metal siding to be 24" tall 16ga hot rolled steel with exposed square head fasteners and 'Pamela' finish or equal. Consult with Architect.
 - All exposed concrete retaining walls to be board formed w/ concrete cap and acid stained dark, per Architect.
 - Provide Architect with samples 4 colors of actual materials, mocked up on exterior all together, with called out finish prior to ordering.



SOUTH EXTERIOR ELEVATION

SCALE: 1/8"=1'-0"

CONCEPTUAL EXTERIOR ELEVATIONS

REVISIONS

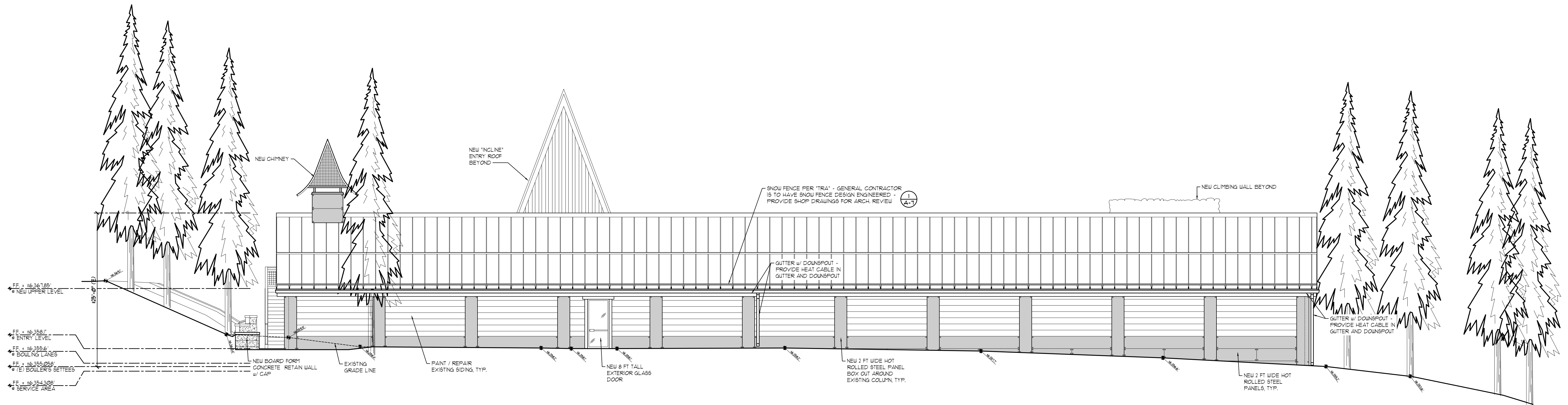
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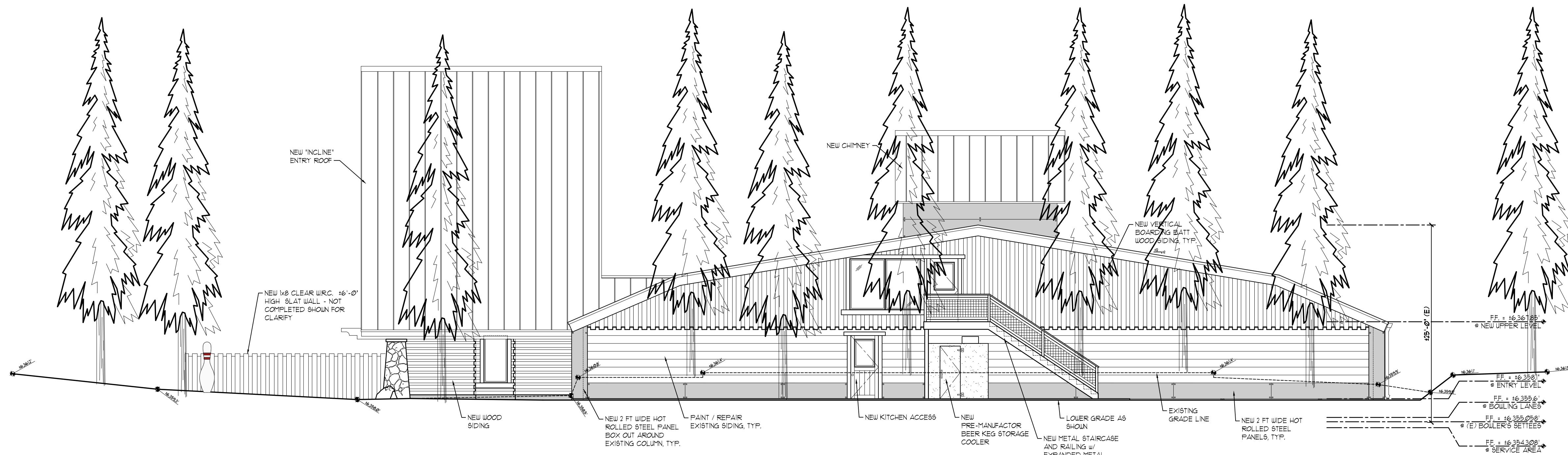
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WEST EXTERIOR ELEVATION

SCALE: 1/8"=1'-0"



NORTH EXTERIOR ELEVATION

SCALE: 1/8"=1'-0"

CONCEPTUAL EXTERIOR ELEVATIONS

REVISIONS

**BOWL INCLINE
RENOVATION/REMODEL**

920 Southwood Boulevard
Incline Village
Washoe County, Nevada

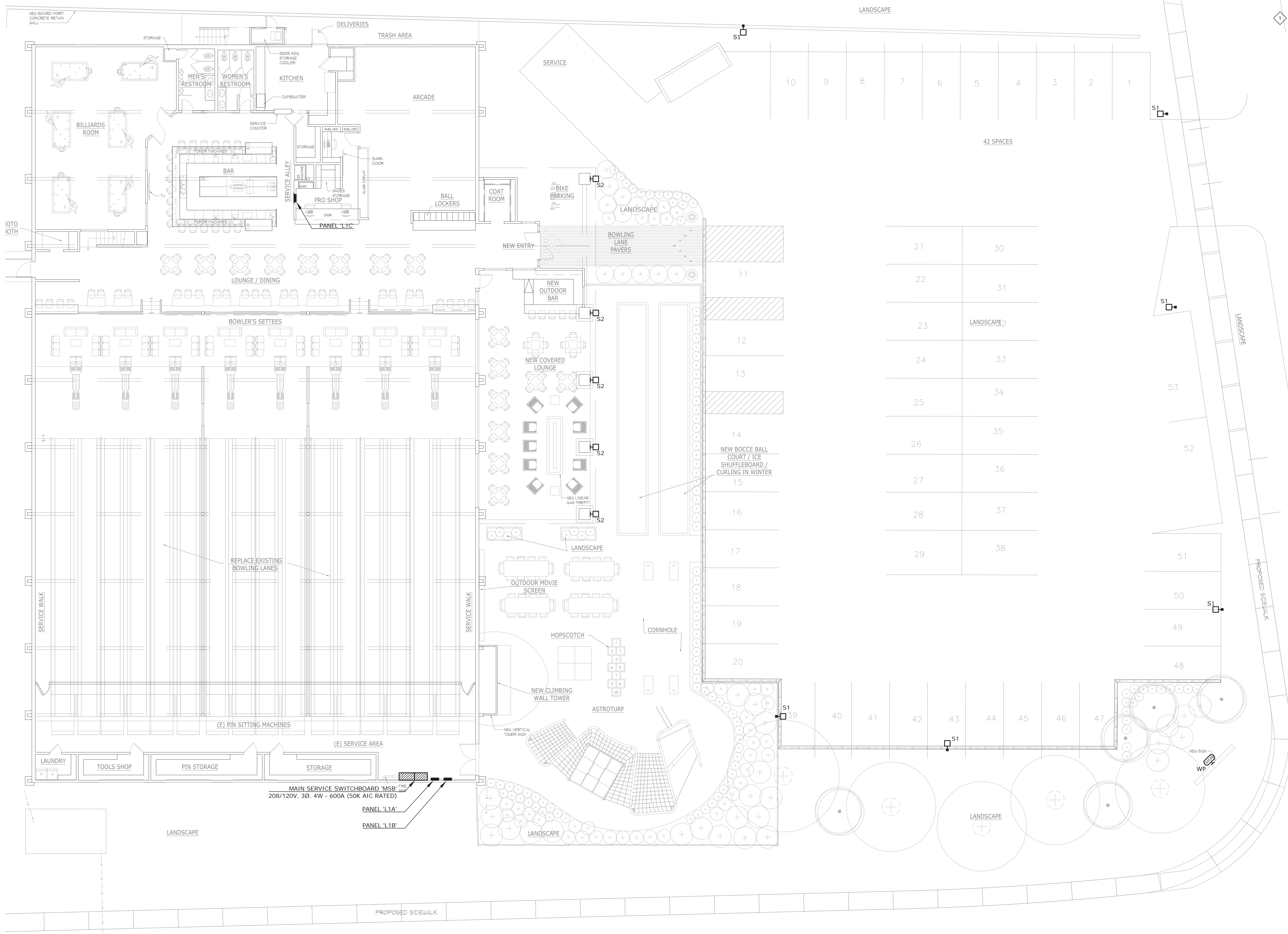
**DENNIS E. ZIRBEL
ARCHITECT**

A PROFESSIONAL CORPORATION
P.O. Box 296 Truckee, CA 96160
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Fax: 530.582.8938
www.zirbelarchitect.com

DRAWN: YTM
DATE: 12/8/2020
SCALE: 1/8"=1'-0"
JOB No.: 2017

SHEET
A-5

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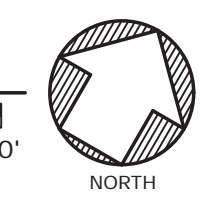
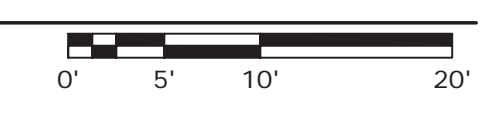


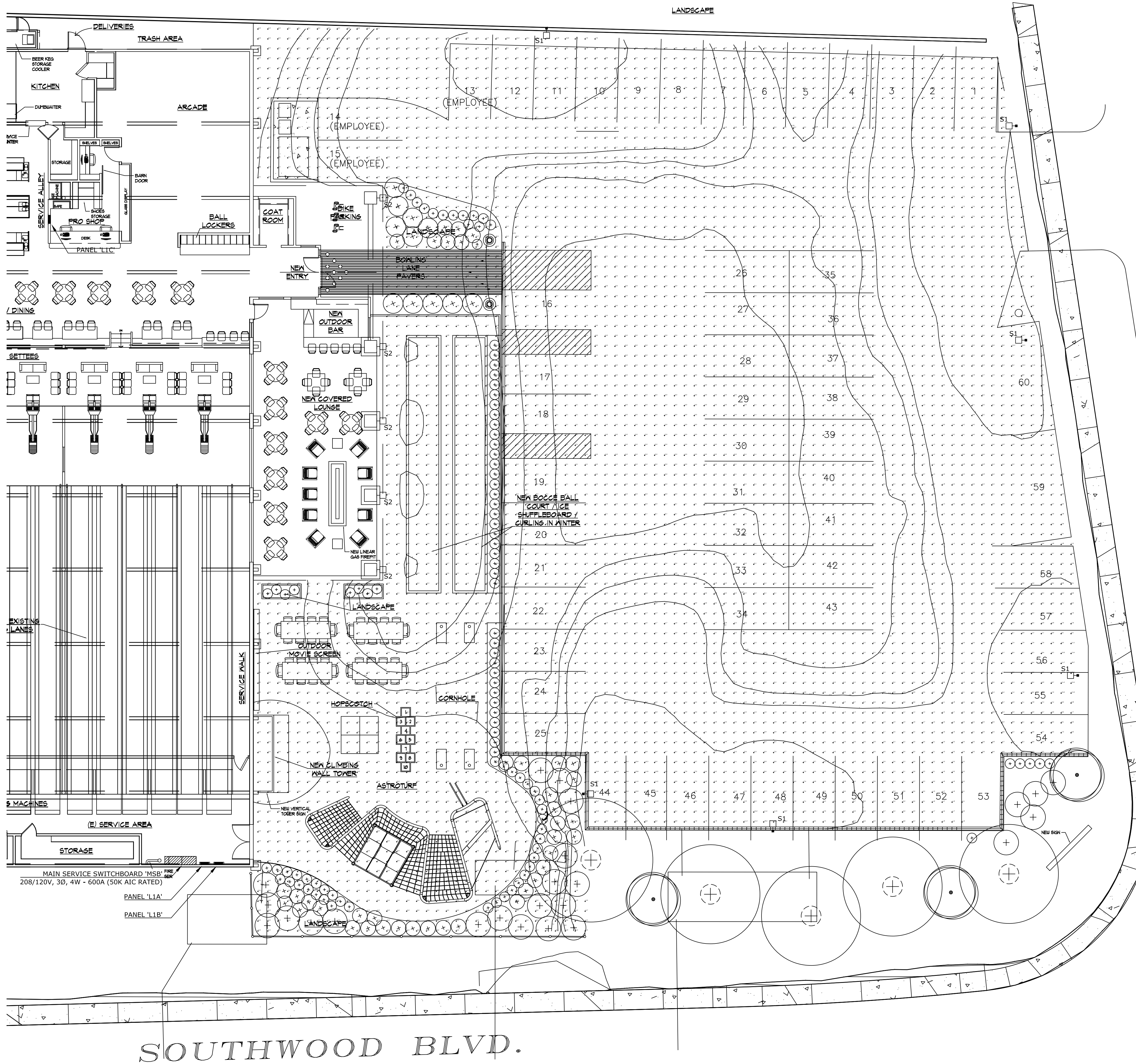
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 4599 Longley Lane
 Reno, NV 89502
 775.828.4889
 msa-cc.com
 R20071

ELECTRICAL SITE PLAN		
REVISIONS		
BOWL INCLINE RENOVATION/REMODEL		
920 Southwood Boulevard Incline Village Washoe County, Nevada		
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DATE: TBD	E1.1	
SCALE: AS SHOWN		
JOB No.: 2017		

A
E1.1 ELECTRICAL SITE PLAN
 1" = 10'-0"





Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens per Lamp	Lumen Multiple	LLF	Wattage	Efficiency
S1		6	COOPER LIGHTING SOLUTIONS - MCGRAW-EDISON (FORMERLY EATON)	GPC-AF-02-LED-E1-SL3-8030-HSS	GALLEON PEDESTRIAN LUMINAIRE (2) 80 CRI, 3000K, 1050mA LIGHT SQUARES WITH 16 LEDES EACH AND TYPE III SPILL LIGHT ELIMINATOR OPTICS WITH HOUSE SIDE SHIELD		32	GPC-AF-02-LED-E1-SL3-8030-HSS.ies	270	1	1	113	100%
S2		5	Stemberg Lighting	0630LED-1RND45T4-MDL03-CTA-HSS	0630LED Small Prairie Series, Clear Textured Acrylic, Type 4	26 LEDs	1	0630LED-1RND45T4-MDL03-CTA-HSS.IES	1479	1	1	31.5	100%

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	+	2.0 fc	16.7 fc	0.0 fc	N/A	N/A

INCLINE WAY

SOUTHWOOD BLVD.

SITE PHOTOMETRICS		
REVISIONS		
-	-	-
-	-	-
-	-	-

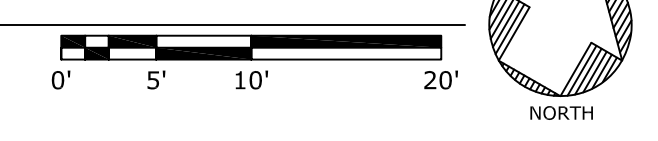
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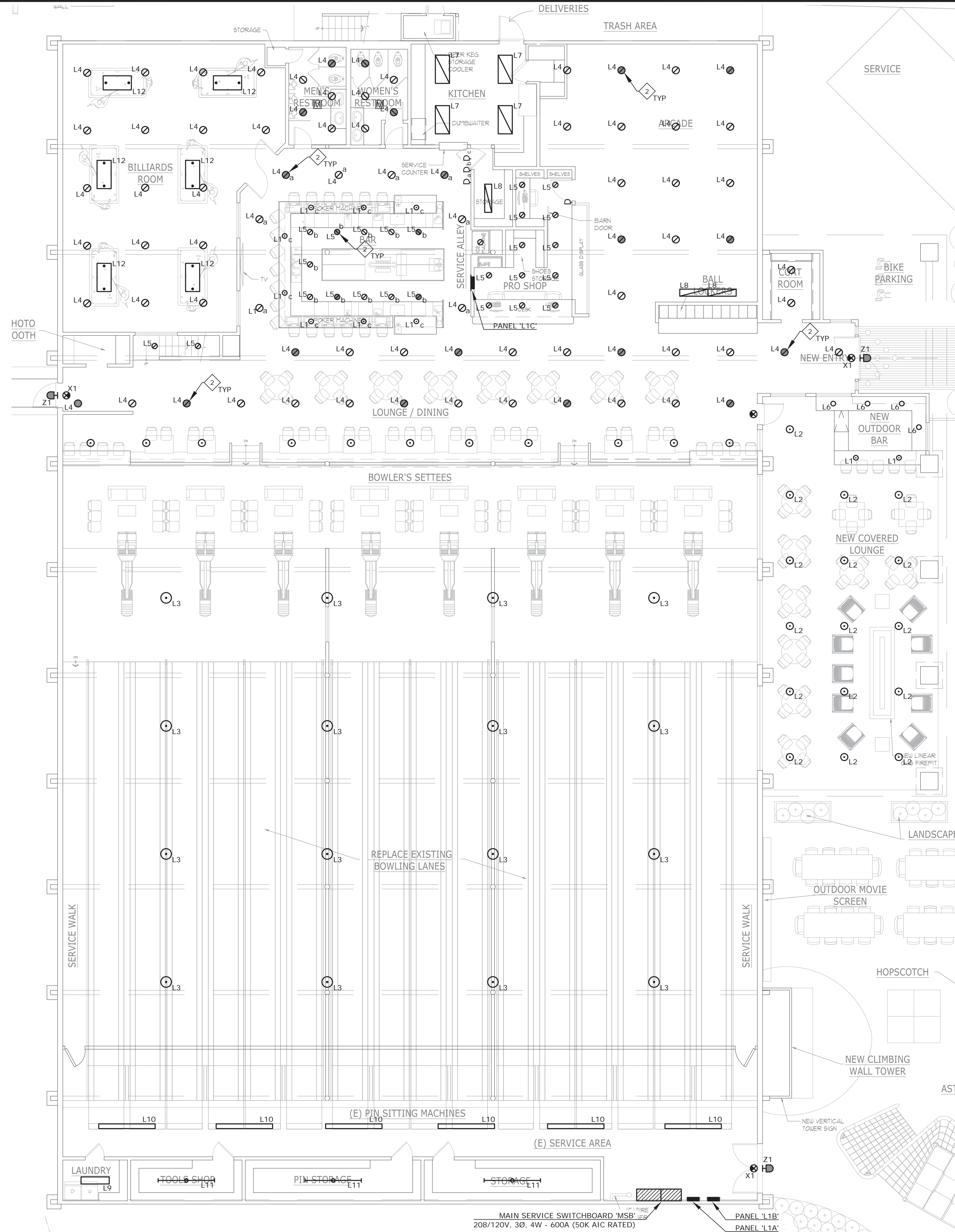
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A SITE PHOTOMETRICS
 E1.1PH 1" = 10'-0"



DRAWN: MSA	SHEET
DATE: 12/8/2020	E1.1PH
SCALE: AS SHOWN	
JOB No.: 2017	



GENERAL NOTES:

- 1.

SHEET NOTES:

1. EXTEND AND CONNECT CIRCUITING FROM JUNCTION BOX TO OUTLETS IN AREA WITH SAME CIRCUIT NUMBERS, ROUTE #12 CONDUCTORS (MINIMUM) THROUGHOUT, UON.
2. PROVIDE FIXTURE WITH INTEGRAL/REMOTE BATTERY PACK FOR APPROXIMATELY 1/2 LUMENS FOR 90 MINUTE OPERATION DURING POWER LOSS. INCLUDE REMOTE TEST BUTTON AND CHARGE INDICATOR LED RED LIGHT.

A
E3.1
FIRST FLOOR PLAN - LIGHTING
1/8" = 1'-0"

PROGRESS, NOT FOR CONSTRUCTION
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FIRST FLOOR PLAN - LIGHTING

REVISIONS		

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GENERAL NOTES:

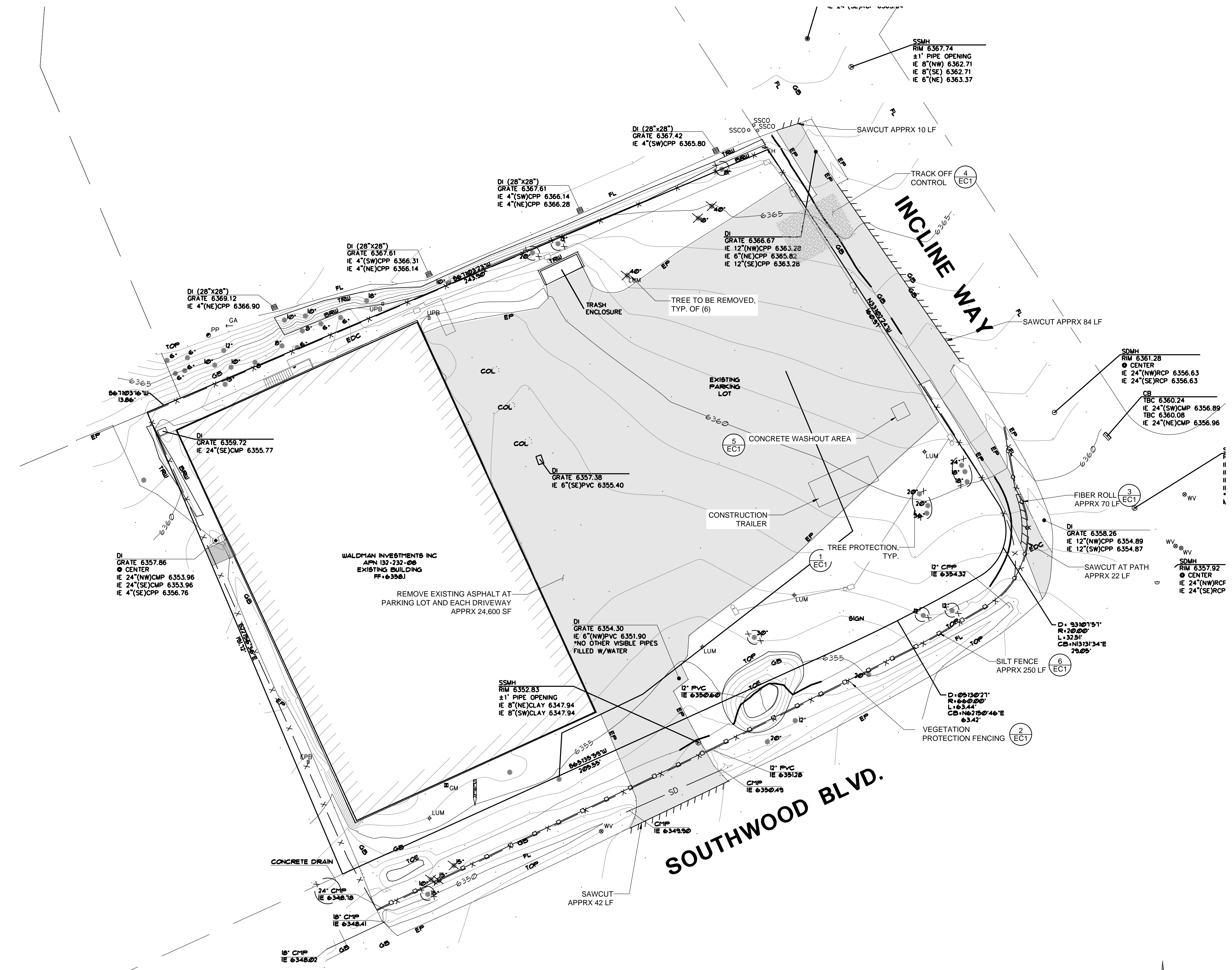
- CONSTRUCTION NOISE: THE CONTRACTOR SHALL INSURE THAT ALL CONSTRUCTION VEHICLES OR EQUIPMENT, FIXED OR MOBILE, OPERATED WITHIN CLOSE PROXIMITY OF A RESIDENTIAL DWELLING SHALL BE EQUIPPED WITH PROPERLY OPERATING AND MAINTAINED MUFFLERS AT ALL TIMES DURING PROJECT CONSTRUCTION. IT IS THE OWNER'S RESPONSIBILITY TO OBTAIN THE SERVICES OF A QUALIFIED ACOUSTICAL PROFESSIONAL TO VERIFY PROPER EQUIPMENT MUFFLERS IF CONCERNS RELATING TO THE ISSUE ARISE.

CONSTRUCTION NOISE EMANATING FROM ANY CONSTRUCTION ACTIVITIES FOR WHICH A BUILDING PERMIT OR GRADING PERMIT IS REQUIRED IS PROHIBITED ON SUNDAYS AND FEDERAL HOLIDAYS, AND SHALL ONLY OCCUR:
A) MONDAY THROUGH FRIDAY, 7:00 AM TO 8:00 PM
B) SATURDAY, 8:00 AM TO 5:00 PM
C) SUNDAY, 10:00 AM TO 4:00 PM

ADVISORY COMMENT: ESSENTIALLY, QUIET ACTIVITIES, WHICH DO NOT INVOLVE HEAVY EQUIPMENT OR MACHINERY, MAY OCCUR AT OTHER TIMES.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY AND PROPER PRECAUTIONS TO PROTECT EXISTING IMPROVEMENTS WITHIN THE RIGHT OF WAY AS WELL AS ADJACENT PROPERTIES FROM ANY AND ALL DAMAGE THAT MAY RESULT FROM ANY AND ALL WORK IN CONNECTION WITH CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE TO RESTORE ANY DAMAGE DUE TO CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY HORIZONTAL AND VERTICAL TRANSITIONS BETWEEN NEW CONSTRUCTION AND EXISTING SURFACES TO PROVIDE FOR PROPER DRAINAGE AND INGRESS/EGRESS TO SAID CONSTRUCTION. THE EXTENT OF TRANSITION IS TO BE DETERMINED BY THE ENGINEER.
- ALL ROADSIDE DITCHES AND SHOULDERS SHALL BE RECONSTRUCTED TO ORIGINAL GRADES AND CONDITIONS.
- ALL GRADING AND PAVING WORK SHALL CONFORM TO THE RECOMMENDATIONS CONTAINED IN THE PROJECT PLANS AND SPECIFICATIONS.
- HORIZONTAL AND VERTICAL LAYOUT SHALL BE VERIFIED BY A LICENSED LAND SURVEYOR PRIOR TO CONSTRUCTION.
- THE ENGINEER ASSUMES NO RESPONSIBILITY BEYOND THE ADEQUACY OF HIS DESIGN CONTAINED HEREIN.
- THE FOLLOWING STANDARDS AND SPECIFICATIONS ARE REQUIREMENTS APPLICABLE TO THIS PROJECT AND SHALL BE MAINTAINED EXCEPT AS EXPLICITLY MODIFIED OR SUPPLEMENTED BY THESE PLANS. ALL REFERENCE STANDARDS AND SPECIFICATIONS ARE THE LATEST EDITIONS.
A. TRPA STANDARDS AND BMP GUIDELINES
B. WASHOE COUNTY STANDARDS
- SHOULD IT APPEAR THAT THE WORK TO BE COMPLETED, OR ANY MATTER RELATIVE THERETO, IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT HIGH SIERRA ENGINEERING FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY. PHONE: (530) 414-5026.
- ALL LOCATIONS OF EXISTING UTILITIES SHOWN HAVE BEEN ESTABLISHED BY FIELD OBSERVATION OR OBTAINED FROM AVAILABLE RECORDS AND SHOULD THEREFORE BE CONSIDERED APPROXIMATE ONLY AND NOT NECESSARILY COMPLETE. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO INDEPENDENTLY VERIFY THE ACCURACY OF THE UTILITY LOCATIONS SHOWN AND TO FURTHER DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN HEREON WHICH MAY BE AFFECTED BY THESE PLANS. THE CONTRACTOR SHALL EXPOSE AND VERIFY ELEVATIONS OF EXISTING UTILITIES AND CLEARANCES OF UTILITY CROSSINGS AT LEAST 48 HOURS IN ADVANCE OF PIPELINES AND PUMP STATION EXCAVATIONS.
- THE UTILITY LOCATIONS SHOWN AND TO FURTHER DISCOVER AND AVOID ANY OTHER UTILITIES NOT SHOWN HEREON WHICH MAY BE AFFECTED BY THESE PLANS. THE CONTRACTOR SHALL EXPOSE AND VERIFY ELEVATIONS OF EXISTING UTILITIES AND CLEARANCES OF UTILITY CROSSINGS AT LEAST 48 HOURS IN ADVANCE OF PIPELINES AND PUMP STATION EXCAVATIONS.
- CONTRACTOR AGREES THAT THEY SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
- THE CONTRACTOR SHALL EXPOSE AND CHECK ELEVATIONS OF EXISTING UTILITIES AND CLEARANCES OF UTILITY CROSSINGS BEFORE CONSTRUCTING NEW PIPELINES.

LEGEND

- SAWCUT
- VEGETATION PROTECTION FENCING
- FIBER ROLL
- FILTER FENCE
- INDEX CONTOUR W/ ELEV.
- INTERMEDIATE CONTOUR W/ ELEV.
- EDGE OF PAVEMENT
- PROPERTY LINE
- BUILDING SETBACK
- FOUND MONUMENT AS NOTED
- NOTHING FOUND OR SET
- SPOT ELEVATION
- SEWER MANHOLE
- WATER VALVE
- CLEAN OUT
- FIRE HYDRANT
- UTILITY AS NOTED
- M.P.E. MULTIPURPOSE EASEMENT
- SNO SNOW STORAGE EASEMENT
- TREE



DEMOLITION QUANTITIES (APPROXIMATE)	
VEGETATION PROTECTION FENCING (CONSTRUCTION PERIMETER FENCING)	930 LF
SILT FENCE	250 LF
FIBER ROLLS	70 LF
SAWCUT	158 LF
TRACK OFF CONTROL	1
CONCRETE WASHOUT	1
TREE REMOVAL (GREATER THAN 6" DBH)	6
ASPHALT REMOVAL	24,600 SF

Brian Clark
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EXISTING CIVIL SITE PLAN

REVISIONS	

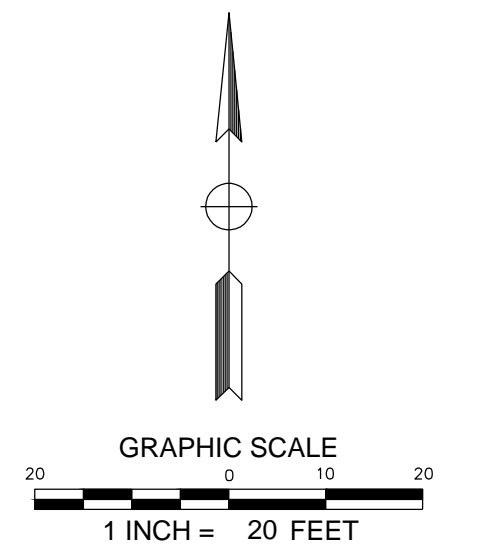
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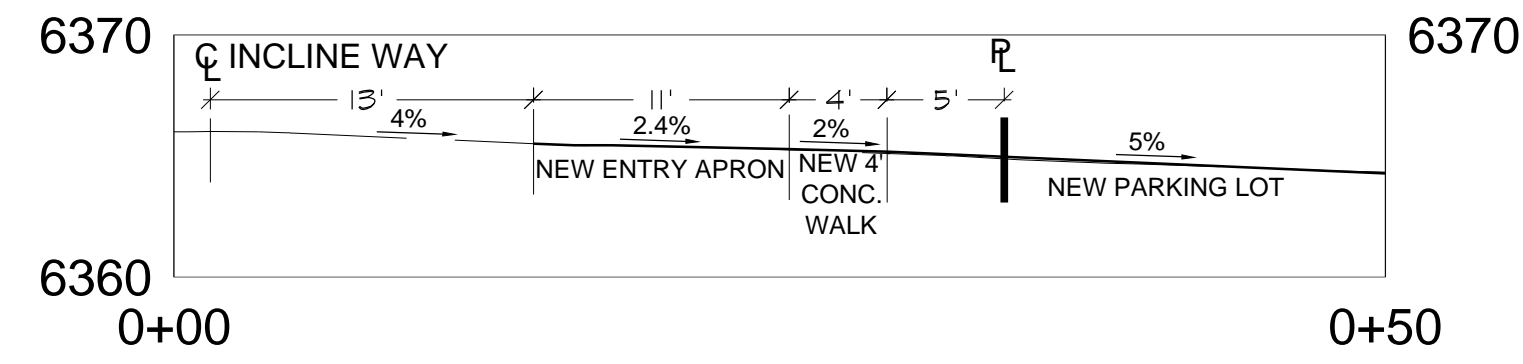
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DRAWN: HSC - BC	SHEET
DATE: 12/8/2020	C1
SCALE: 1" = 20'	
JOB No.: 2011	

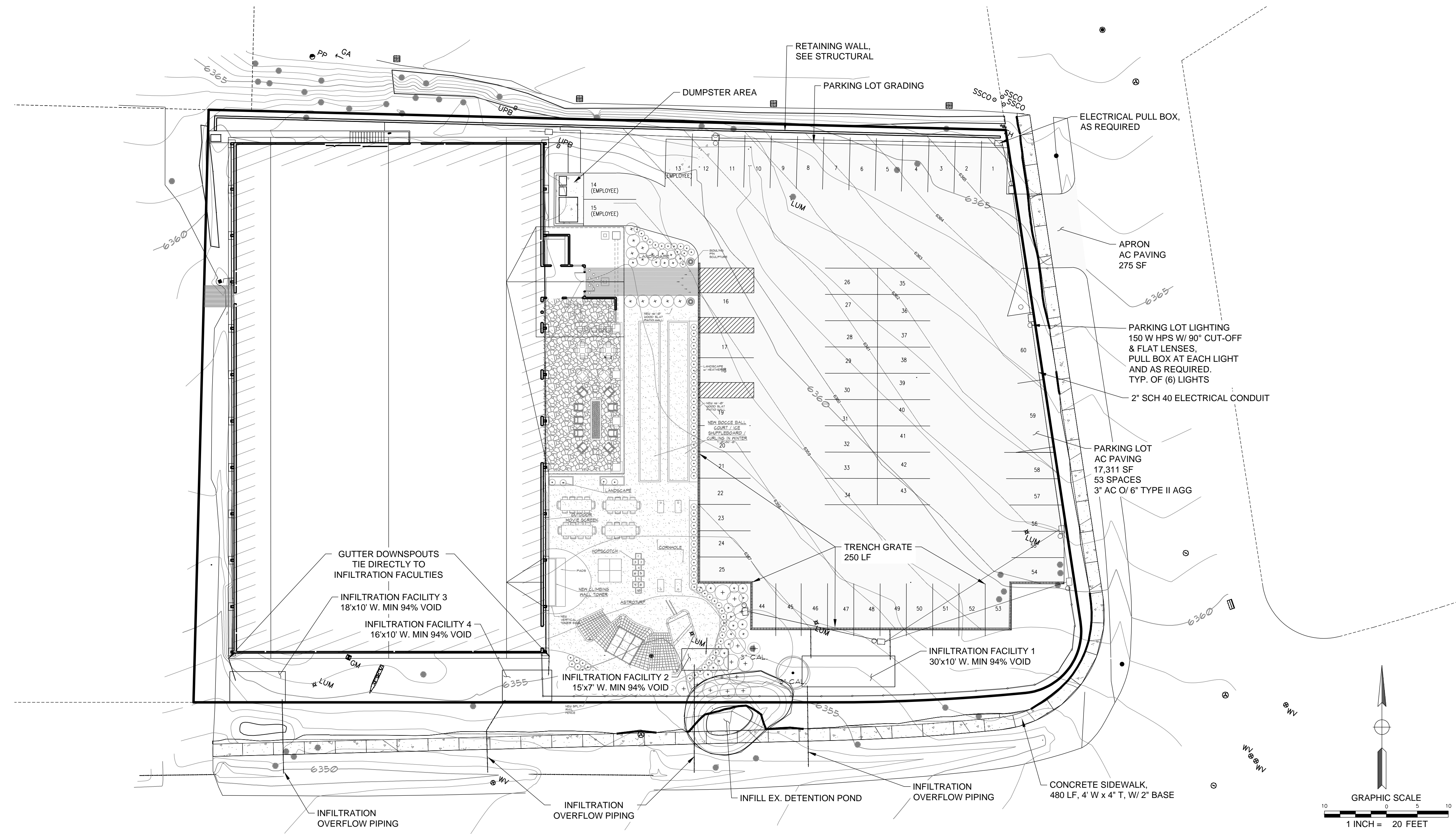
THE CONTRACTOR SHALL CALL "UNDERGROUND SERVICE ALERT (USA)" AT (800) 642-2444 TWO (2) DAYS MINIMUM TO FOURTEEN (14) DAYS MAXIMUM PRIOR TO COMMENCING EXCAVATION.





Driveway Centerline Cross Section

IMPROVEMENT QUANTITIES (APPROXIMATE)	
AC PAVING & AGG BASE (LOT & APRON)	17,586 SF
CONCRETE SIDEWALK	480 LF
GRADING	CUT: 215 CY FILL: 77 CY
DRAINAGE FACILITIES (PREFAB W/ MIN. 94% VOID SPACE)	30'x10' 15'x7' 16'x10' 18'x10'
TRENCH GRATE	250 LF
DRAINAGE PIPING, 6" PVC	200 LF (+/-)
LIGHTS W/ PULL BOX & LIGHT POLE BASE	6 EA



EROSION CONTROL NOTES:

- PRIOR TO FORECAST RAIN OR SNOW EVENTS EXCEEDING 50% PROBABILITY (AS SHOWN ON THE NOAA.ORG WEBSITE) AND AFTER PROJECT COMPLETION ALL DISTURBED AREAS SHALL BE STABILIZED WITH PINE NEEDLES, MUCH OR OTHER APPROVED METHOD (PROJECT STAGING AREA INCLUDED).
- REMOVAL OF NATIVE VEGETATION SHALL BE MINIMIZED. ALL DISTURBED AREAS SHALL BE STABILIZED WITH A 3-INCH LAYER OF MULCH OR COVERED WITH AN EROSION CONTROL BLANKET.
- TEMPORARY EROSION CONTROL MEASURES AND DETAILS AS SHOWN ON THIS PLAN ARE SUGGESTED MINIMUM METHODS OF CONTROLLING EROSION DURING CONSTRUCTION. THE CONTRACTOR SHALL IMPLEMENT ADDITIONAL MEASURES AS DICTATED BY FIELD CONDITIONS TO CONTROL EROSION AND SEDIMENTATION.
- IF INCLEMENT WEATHER IS FORECAST, CONTRACTOR SHALL TAKE NECESSARY STEPS TO PROTECT AREAS DISTURBED BY CONSTRUCTION FROM EROSION AND/OR SUBSEQUENT DISCHARGE OF EARTHEN MATERIALS FROM THE SITE.
- ALL TEMPORARY EROSION CONTROL FEATURES SHALL BE INSPECTED DAILY AND PRIOR TO INCLEMENT WEATHER AND CORRECTIVE ACTION TAKEN AS NECESSARY TO INSURE PROPER FUNCTION.
- ALL AREAS DISTURBED BY CONSTRUCTION OF OFFSITE UTILITIES, INCLUDING ROADWAY SURFACES, SHOULDERS AND OTHER AREAS WILL BE RESTORED TO THE SATISFACTION OF WASHOE COUNTY.
- ALL DISTURBED AREAS SHALL BE REVEGETATED OR OTHERWISE PROTECTED TO THE SATISFACTION OF THE ENGINEER. ONLY NATIVE BRUSH AND GRASS SPECIES SHALL BE USED FOR REVEGETATION. EXISTING AREAS OF DISTURBANCE WITHIN EACH PHASE SHALL BE RESTORED PURSUANT TO BEST MANAGEMENT PRACTICES (BMPs). THIS INCLUDES REVEGETATION OF EXISTING DIRT ROADS WHICH WILL NO LONGER BE UTILIZED FOR VEHICULAR ACCESS.
- THE AREAS OF SOIL AND VEGETATION DISTURBANCE SHALL BE LIMITED TO THAT REQUIRED FOR CONSTRUCTION PURPOSES. EXCEPT WHERE REQUIRED FOR ACCESS, THERE SHALL BE NO DISTURBANCE IN AREAS TO BE LEFT IN A NATURAL STATE. CONSTRUCTION TRAFFIC SHALL BE LIMITED TO AREAS TO BECOME PERMANENT CIRCULATION (E.G., ROADWAYS AND PARKING AREAS, ETC.) OR OTHER DESIGNATED ROUTES APPROVED BY THE ENGINEER.
- DISTURBANCE CREATED BY CONSTRUCTION SHALL BE STABILIZED WITHIN 24 HOURS OF CESSATION OF TRAVEL INTO SUCH AREAS. IF WORK HAS CEASED IN AN AREA OR IF AN AREA IS FOUND TO BE SUBJECT TO POTENTIAL EROSION PROBLEMS ASSOCIATED WITH VEGETATION LOSS AND SOIL COMPACTION, EFFORTS TO STABILIZE SUCH AREAS SHALL BE INITIATED THE NEXT WORK DAY FOLLOWING THE INSPECTION. STABILIZATION OF THESE AREAS SHALL BE CARRIED OUT UTILIZING BMPs.
- THE CONTRACTOR SHALL MAINTAIN ADEQUATE DUST CONTROL. MEASURES SHALL INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
 - CONDUCT MAJOR DUST-GENERATING ACTIVITIES WHEN WIND VELOCITIES ARE LOW.
 - SPRINKLE WORK AREAS, CONSTRUCTION EQUIPMENT TRAVEL ROUTES, AND EQUIPMENT TO CONTROL DUST.
 - PREVENT CONSTRUCTION VEHICLES FROM TRACKING MUD ONTO NEIGHBORING ROADS AND HIGHWAYS.
- ALL DISTURBED AREAS WILL BE REVEGETATED WITH THE WASHOE COUNTY APPROVED SEED MIX, AND ALL AREAS OF EXPOSED SOIL WILL BE STABILIZED WITH PINE STRAW OR MULCH.

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PROPOSED CIVIL SITE PLAN	
REVISIONS	

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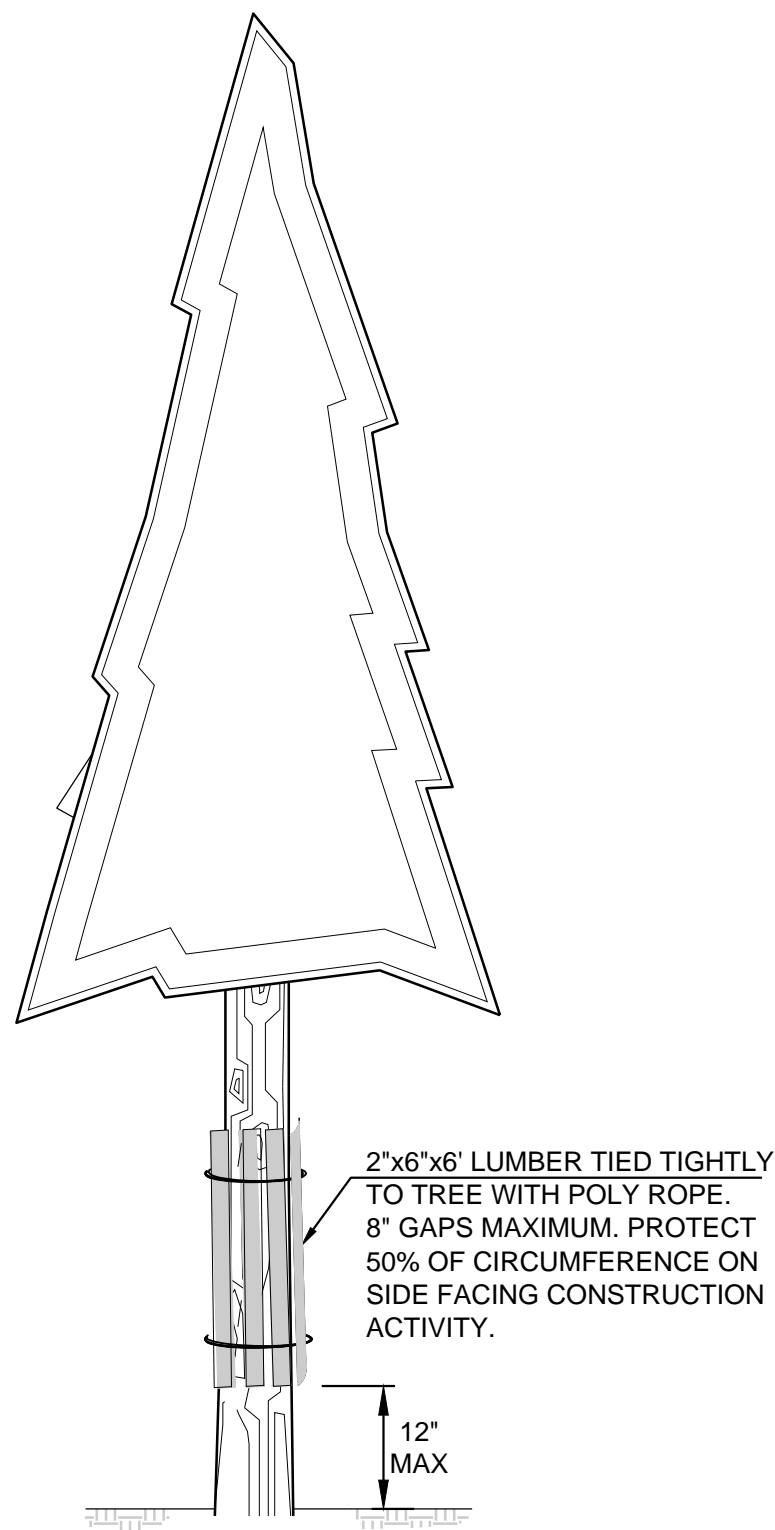
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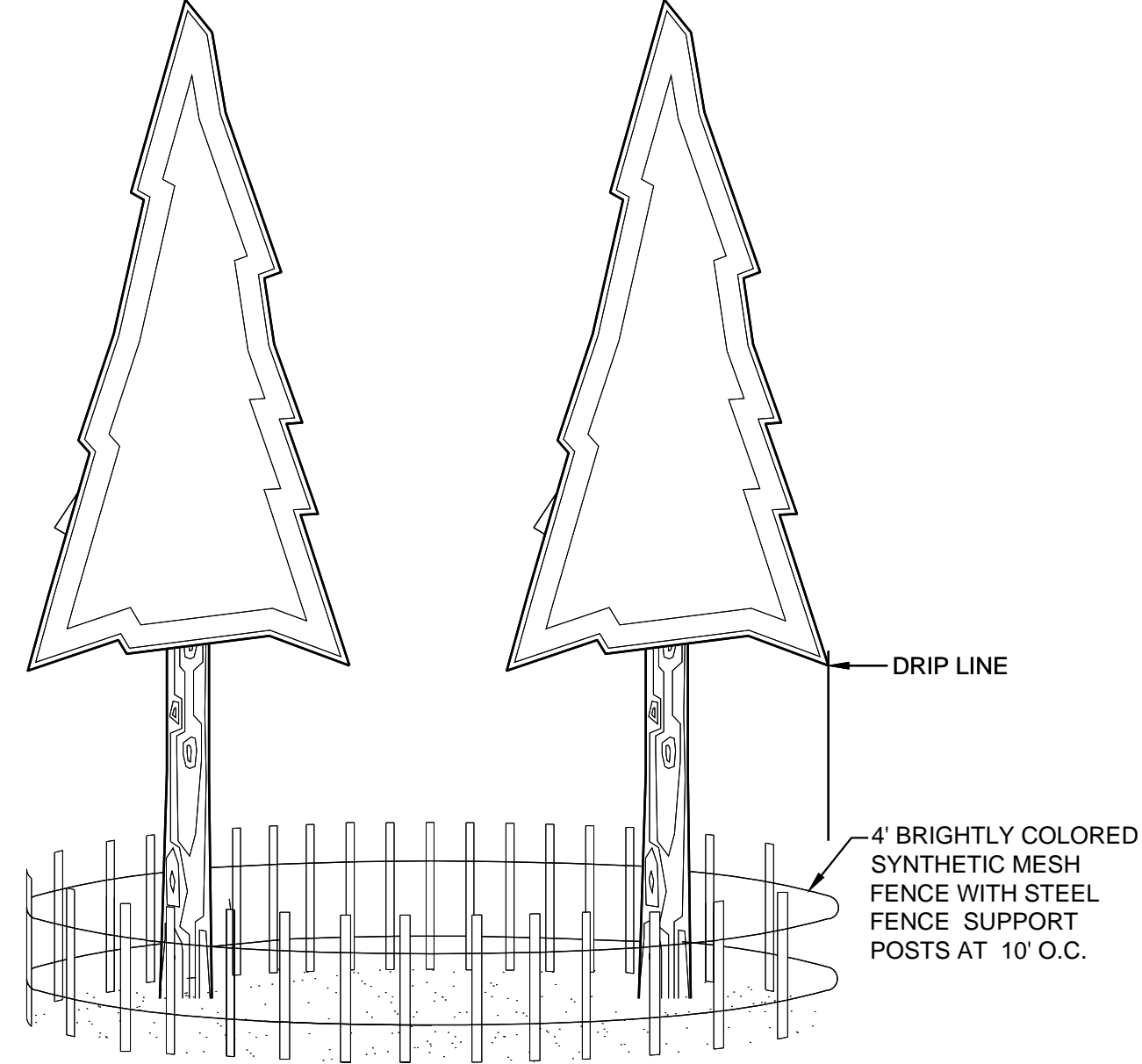


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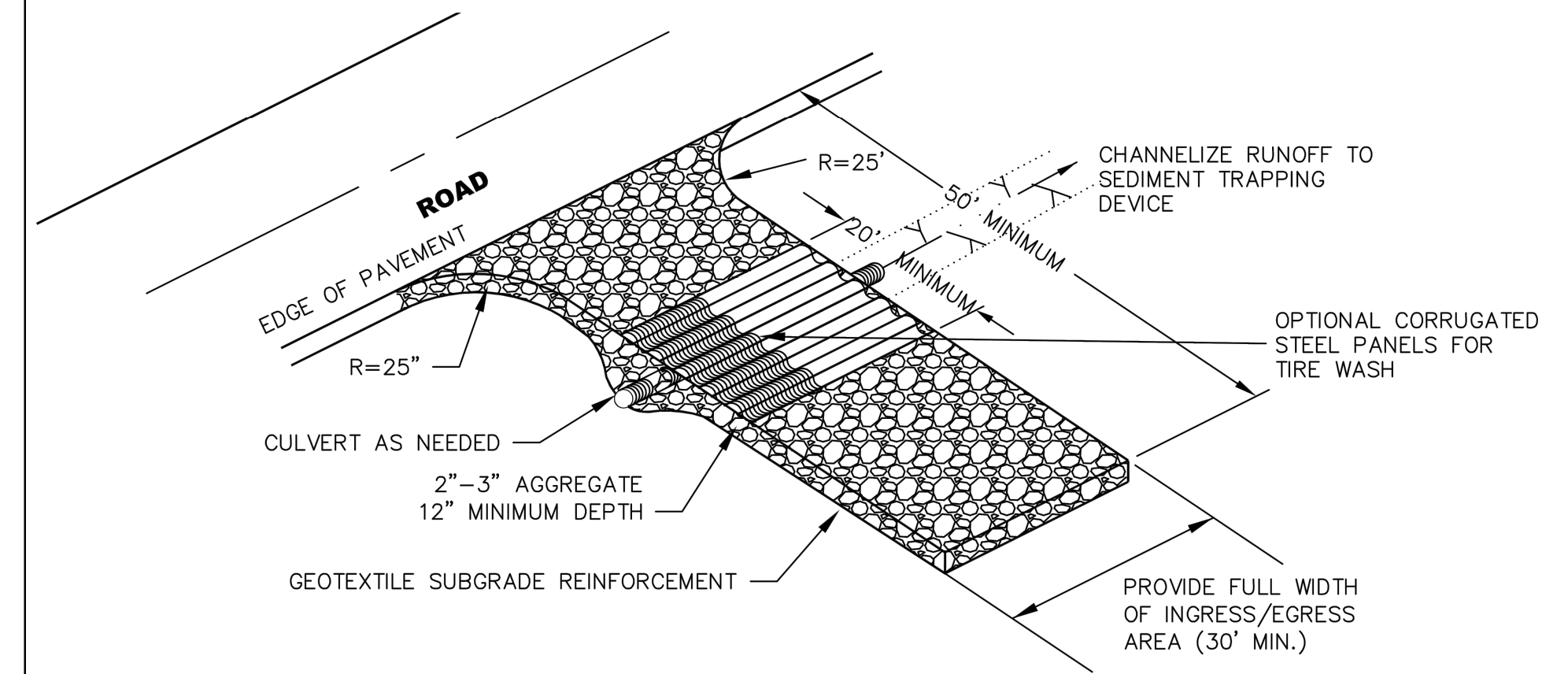
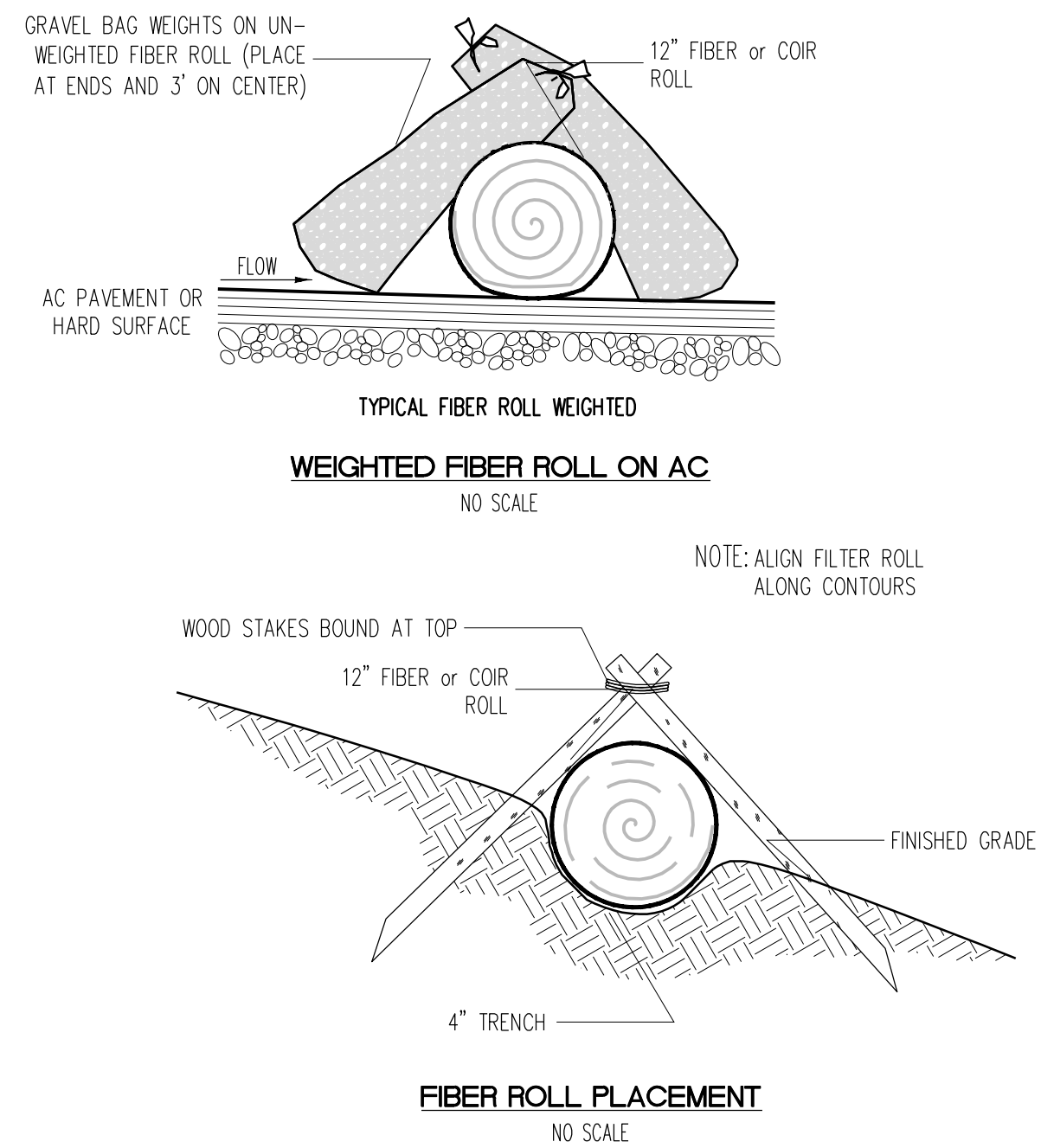
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DATE: 12/8/2020	C2
SCALE: 1" = 20'	JOB No.: 2017



- DUST CONTROL PRACTICES ARE REQUIRED FOR ANY GRADING ACTIVITY AND ARE APPLICABLE TO MOST CONSTRUCTION SITES. ALL EXPOSED AREAS OF THE APPROVED CONSTRUCTION SITE SHALL BE MULCHED WITH A 2 TO 3 INCH LAYER OF PINE NEEDLES OR WOOD CHIPS. MULCHING TO A DEPTH, WHICH APPROACHES OR EXCEEDS 4 INCHES NEGATIVELY AFFECTS SOIL PROPERTIES AND CAN INHIBIT REVEGETATION. STRAW MULCH WILL NOT BE ACCEPTABLE. OTHER TECHNIQUES SUCH AS EROSION CONTROL BLANKETS CAN BE SUBSTITUTED FOR MULCH IF THEY ARE INSTALLED AND MAINTAINED ACCORDING TO MANUFACTURERS SPECIFICATIONS.
- FENCING OF "NON-APPROVED" CONSTRUCTION AREAS SHALL BE SPECIFIED TO BE AT LEAST 48 INCHES HIGH AND SHALL BE CONSTRUCTED OF METAL POSTS AND EITHER ORANGE CONSTRUCTION FENCING OR METAL MESH FENCING ALSO AT LEAST 48 INCHES HIGH.
- NO MATERIAL OR EQUIPMENT SHALL ENTER OR BE PLACED IN THE AREAS PROTECTED BY FENCING OR OUTSIDE THE APPROVED CONSTRUCTION AREA WITHOUT PRIOR APPROVAL.
- TO REDUCE SOIL DISTURBANCE AND DAMAGE TO VEGETATION, THE AREA OF DISTURBANCE DURING THE CONSTRUCTION OF A STRUCTURE SHALL BE LIMITED TO THE AREA BETWEEN THE FOOTPRINT OF THE BUILDING AND THE PUBLIC ROAD. FOR THE REMAINDER OF THE SITE, THE DISTURBANCE AREA SHALL NOT EXCEED 12 FEET FROM THE FOOTPRINT OF THE STRUCTURE, PARKING AREA OR CUT/FILL SLOPE. THIS FENCING SHALL BE CLEARLY SHOWN ON THE APPROVED PLANS. ALL CHANGES OR EXCEPTIONS SHALL BE SHOWN ON A REVISED SET OF PLANS FOR APPROVAL. ANY "IN-THE-FIELD" CHANGES SHALL BE APPROVED BY THE ENGINEER.



NOTE:
1. FOR USE IN OTHER AREAS, PLACE FENCING AT LIMIT OF AREA TO BE DISTURBED.



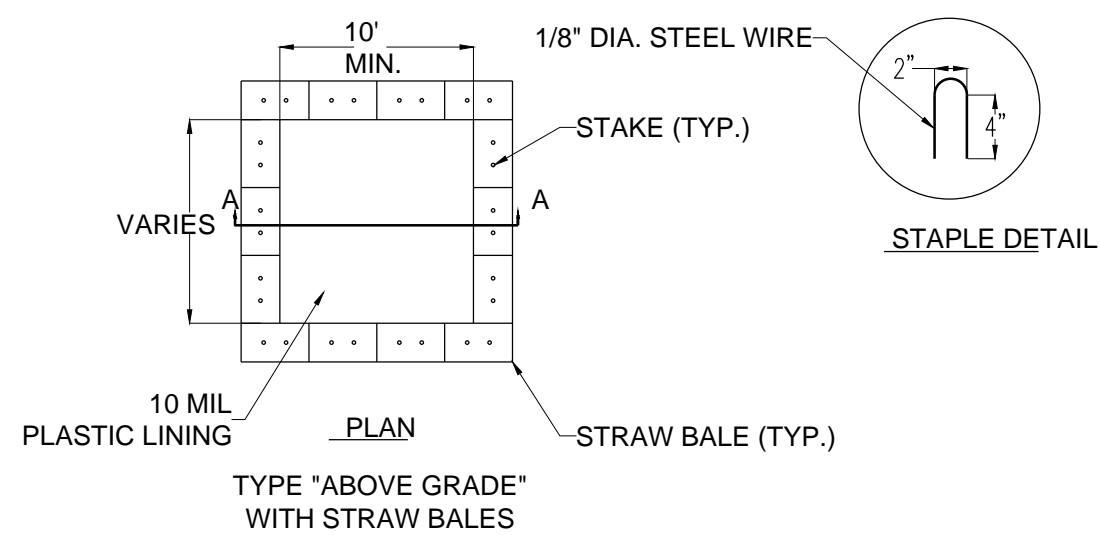
- NOTES:**
- A STABILIZED CONSTRUCTION ENTRANCE SHALL BE USED AT ALL POINTS OF CONSTRUCTION INGRESS AND EGRESS.
 - THE AGGREGATE SHALL BE 2-3 IN. CRUSHED ROCK.
 - THE ENTRANCE SHALL BE PROPERLY GRADED TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.
 - THE ENTRANCE SHALL BE CONSTRUCTED ON LEVEL GROUND.
 - PERIODIC TOP DRESSING WITH ADDITIONAL STONE SHALL BE PROVIDED TO ENSURE THE INTEGRITY OF THE ENTRANCE DURING CONSTRUCTION.
 - CONTRACTOR TO MAINTAIN CONSTRUCTION ENTRANCE AT ALL TIMES.
 - CRUSHED ROCK MATERIAL SHALL BE ADDED WHEN SURFACE VOIDS ARE NOT VISIBLE.
 - ALL SEDIMENT DEPOSITS ON PAVED ROADWAYS SHALL BE REMOVED WITHIN 24 HOURS.
 - THE CRUSHED ROCK AND GEOTEXTILE SHALL BE REMOVED AT COMPLETION OF CONSTRUCTION.

1 INDIVIDUAL TREE PROTECTION

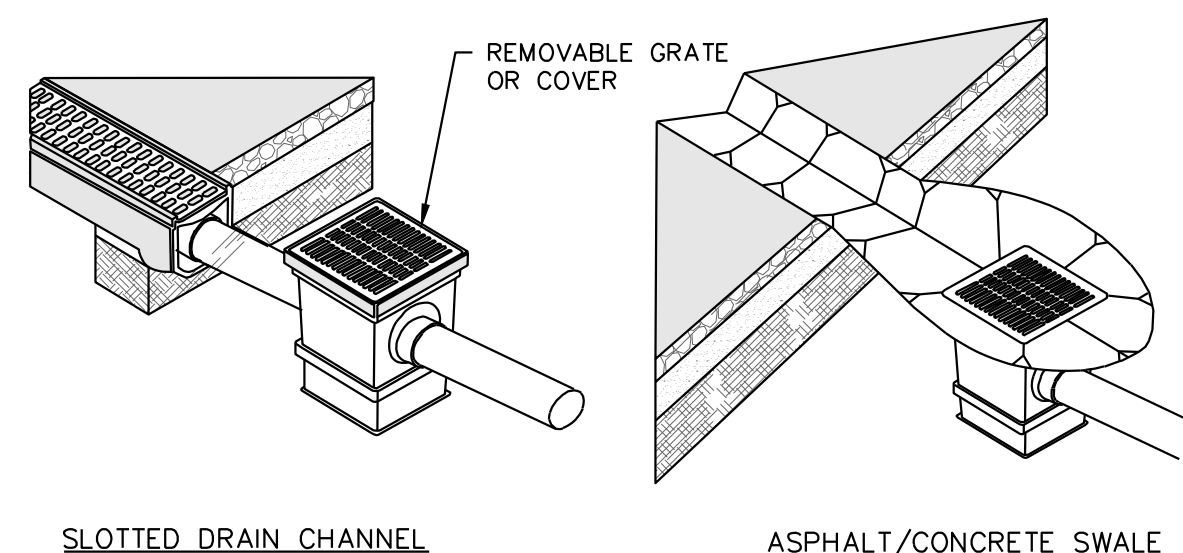
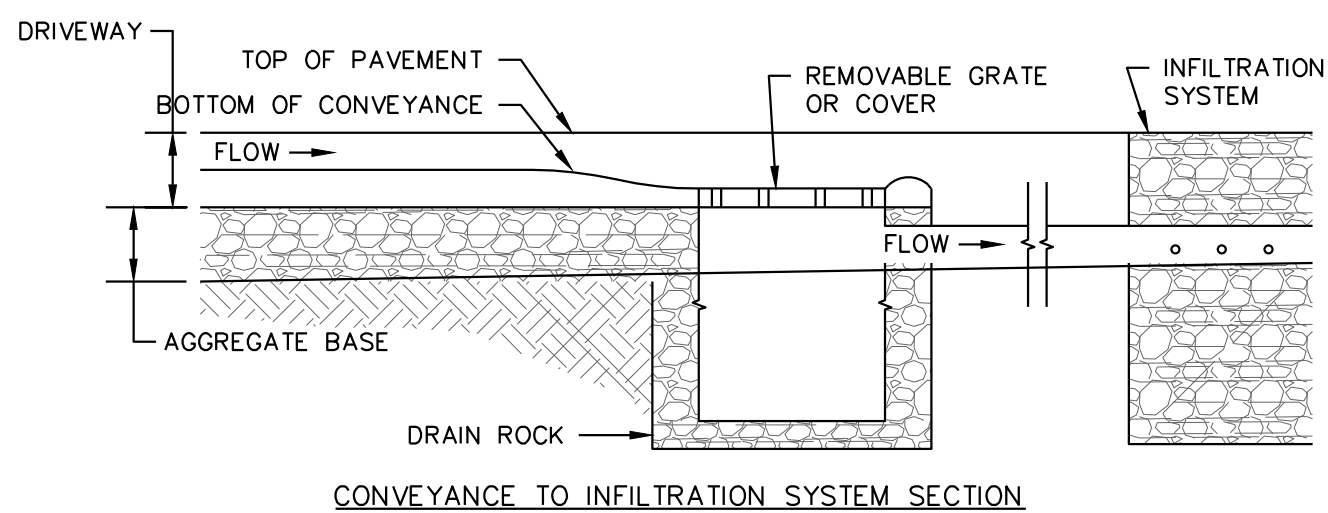
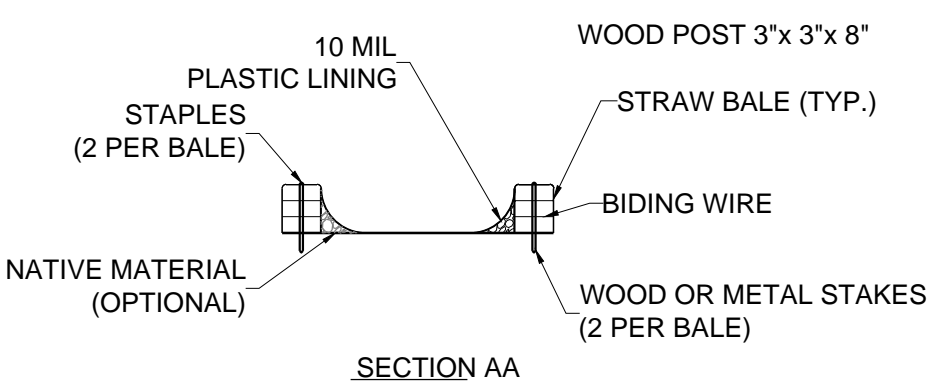
2 VEGETATION PROTECTION FENCE

3 FIBER ROLL

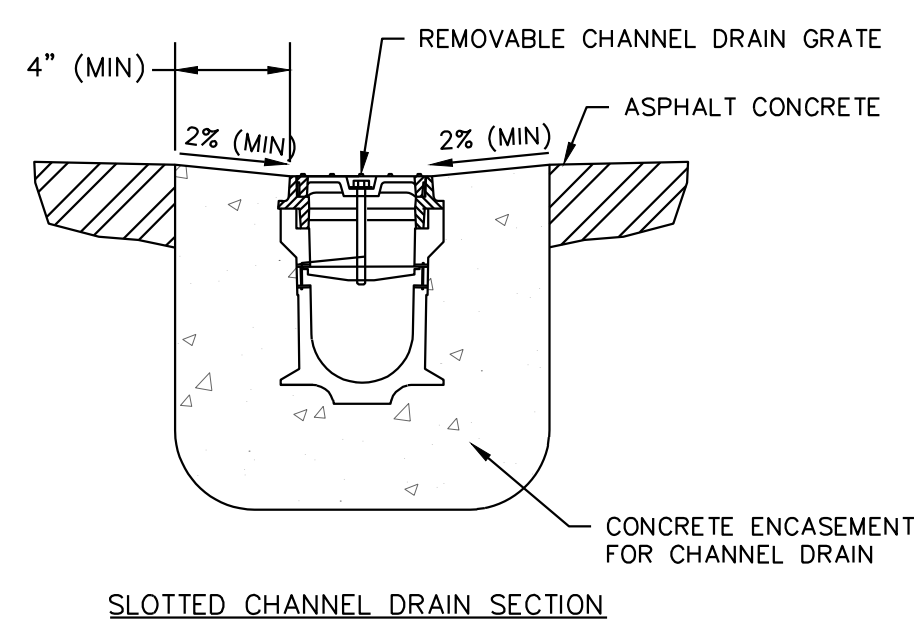
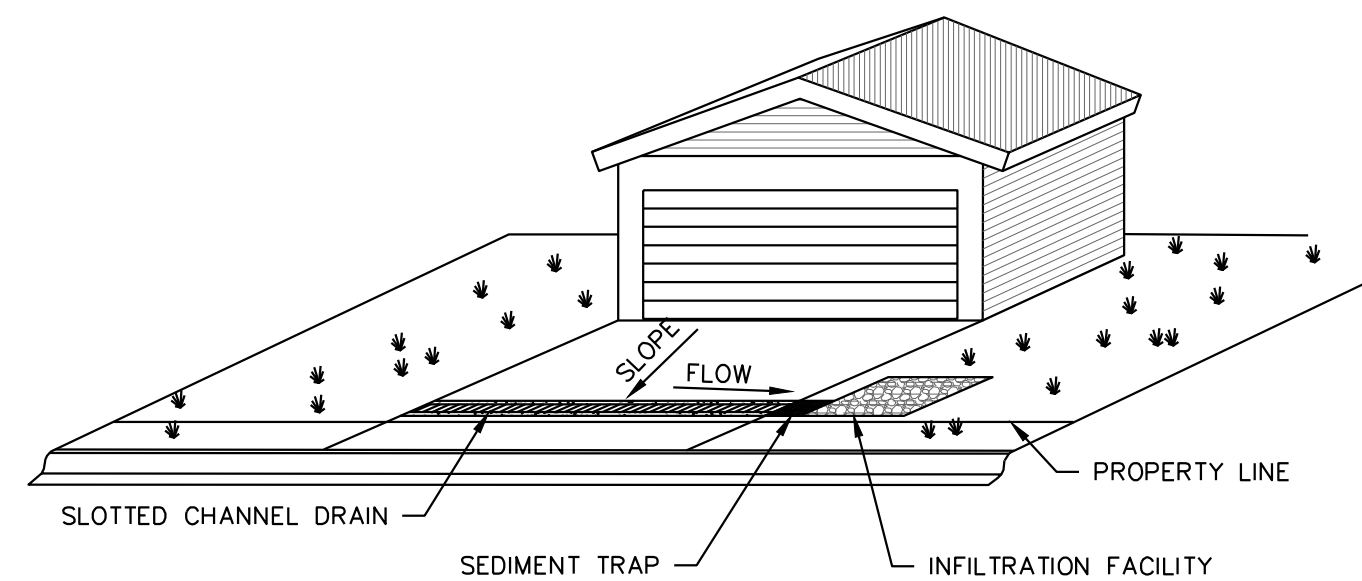
4 TRACK OFF CONTROL



- NOTES:**
- ACTUAL LAYOUT DETERMINED IN FIELD
 - THIS DESIGN CAN BE SUBSTITUTED WITH A 10' DIAMETER PLASTIC CHILD'S SWIMMING POOL

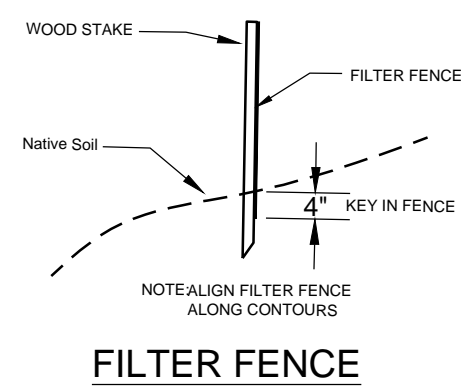


- NOTES:**
- DESIGN SUMP TO HAVE ONE CUBIC FOOT OF STORAGE FOR EVERY 100 SQUARE FEET OF IMPERVIOUS AREA DRAINING TO SEDIMENT TRAP.



- NOTES:**
- REFER TO MANUFACTURER'S SPECIFICATIONS FOR INSTALLATION OF SLOTTED CHANNEL DRAIN.
 - CONNECT SLOTTED CHANNEL DRAIN TO SEDIMENT TRAP AND INFILTRATION FACILITY.
 - FOR EASE OF MAINTENANCE, CHOOSE A BRAND THAT HAS REMOVABLE GRATES, CORRUGATED METAL PIPE SLOTTED CHANNEL DRAINS OR OTHER TYPES OF CHANNEL DRAINS WITHOUT REMOVABLE GRATES ARE DIFFICULT TO INSPECT AND MAINTAIN.
 - INSTALL WITH SLOPE DIRECTED TOWARDS INFILTRATION SYSTEM. INSTALL SLOTTED CHANNEL DRAIN WITH A SLOPE GREATER THAN 1% TO ENSURE PROPER FLOW, AND PREVENT FREEZING AND STANDING WATER.
 - A REVERSE FLOW SYSTEM FOR A SLOTTED CHANNEL DRAIN MAY BE USED FOR DRIVEWAYS THAT SLOPE TOWARD AN AREA CONSIDERED UNSUITABLE FOR INFILTRATION (CONSTRAINED) AND WHEN A PRE-SLOPED CHANNEL WILL NOT PROVIDE ENOUGH SLOPE TO CONVEY RUNOFF TO THE DESIRED INFILTRATION SYSTEM LOCATION.

5 CONCRETE WASHOUT AREA



6 SILT FENCE

7 AREA DRAIN / SEDIMENT TRAP

9 SLOTTED CHANNEL DRAIN

Brian Clark
High Sierra Civil Engineering
15472 Archery View
Truckee, CA 96161
Telephone: (530) 414-5026

DETAILS

REVISIONS

**BOWL INCLINE
RENOVATION/REMODEL**

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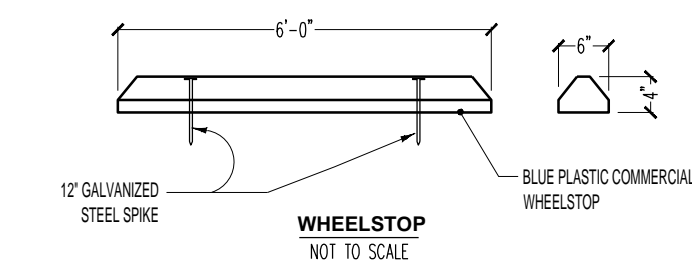
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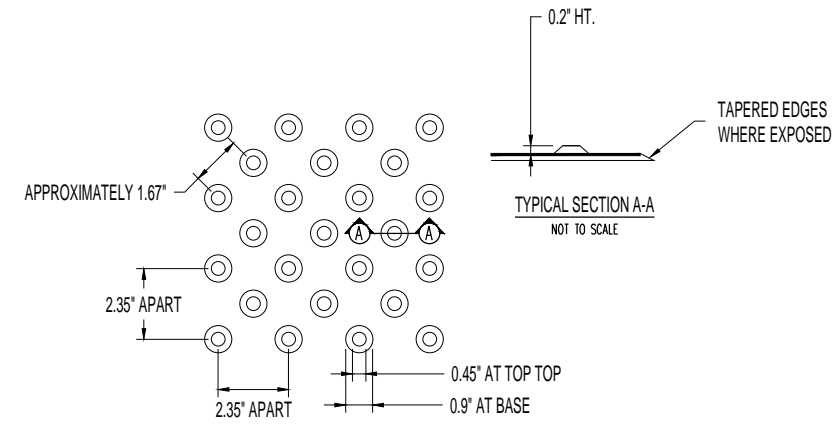
GENERAL NOTES

1. ACCESSIBLE PARKING SPACES SHALL BE LOCATED AS NEAR AS PRACTICAL TO A PRIMARY ENTRANCE.
2. ACCESSIBLE SPACE MUST PERMIT USE OF EITHER CAR DOORS.
3. BUMPERS ARE REQUIRED WHEN NO CURB OR BARRIER IS PROVIDED WHICH WILL PREVENT ENCRoACHMENT OF CARS OVER WALKWAYS.
4. WHEELCHAIR USERS MUST NOT BE FORCED TO GO BEHIND PARKED CARS OTHER THAN THEIR OWN.
5. SURFACE SLOPES OF PARKING AREAS FOR THE DISABLED SHOULD BE MINIMAL BUT ARE REQUIRED NOT TO EXCEED 1/2" FT. (2%) IN ANY DIRECTION.
6. RAMPS SHALL NOT ENCRoACH INTO ANY PARKING SPACE.
7. ACCESSIBLE PARKING SPACE SHALL BE NEAR ACCESSIBLE PRIMARY ENTRANCE OF BUILDING. PATH OF TRAVEL FROM PARKING AREA SHALL BE LIMITED TO MAXIMUM SLOPE (1:20) IN THE DIRECTION OF TRAVEL AND 1/2" FT. (2%) CROSS SLOPE. "BUMP" CHANGES IN LEVEL SHALL NOT EXCEED 1/4" WHEN CHANGES IN LEVEL DO OCCUR. THEY SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1 UNIT VERTICAL IN 2 UNITS HORIZONTAL, EXCEPT THAT LEVEL CHANGES NOT EXCEEDING 1/4" INCH MAY BE VERTICAL.
8. EACH PARKING SPACE IS REQUIRED TO BE AT LEAST 18' LONG. WHEN MORE THAN 1 SPACE IS REQUIRED, 2 SPACES CAN BE PROVIDED WITHIN A 22' WIDE AREA, 26' WIDE IF AREA IS VAN-ACCESSIBLE.



SIGNAGE NOTES

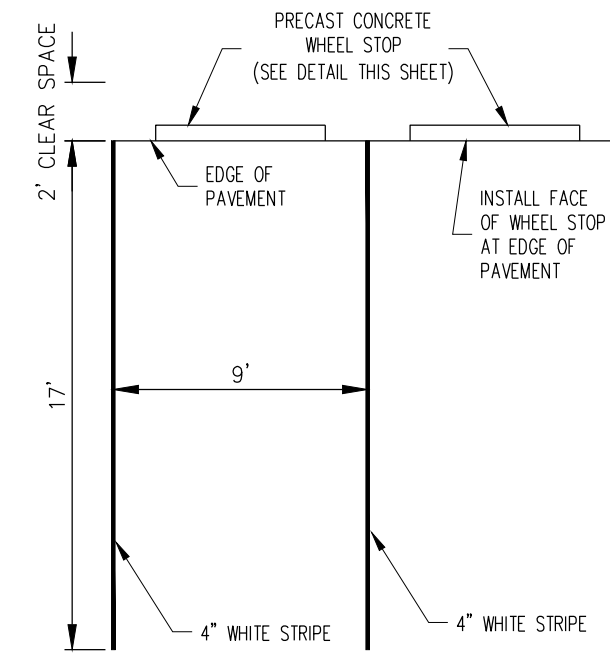
1. EACH PARKING SPACE SHALL HAVE A REFLECTORIZED PORCELAIN ENAMELED STEEL SIGN PERMANENTLY POSTED IMMEDIATELY ADJACENT TO AND VISIBLE FROM EACH STALL OR SPACE. THE SIGN SHALL NOT BE SMALLER THAN 70 SQUARE INCHES.
2. FREE STANDING SIGNS TO BE LOCATED AT INTERIOR END OF PARKING SPACE MOUNTED A MINIMUM OF 8' ABOVE FINISH GRADE. WALL MOUNTED SIGNS TO BE LOCATED AT INTERIOR END OF PARKING SPACE MOUNTED A MINIMUM OF 3' ABOVE FINISH GRADE. SIGNS IDENTIFYING ACCESSIBLE PARKING SPACES SHALL BE LOCATED SO THEY CANNOT BE OBLSCURED BY A VEHICLE PARKED IN THAT SPACE.
3. SURFACE IDENTIFICATION IN ACCESSIBLE SPACES TO BE THE INTERNATIONAL SYMBOL OF ACCESSIBILITY IN PAINTED WHITE WITH A BLUE BACKGROUND 3 FEET SQUARE.
4. ALL SIGNAGE MUST COMPLY WITH CALIFORNIA BUILDING CODE SECTION 1117B.5.
5. UNAUTHORIZED PARKING SIGNAGE (CALM/CTC 124 1129B-4) MUST BE INSTALLED AT PARKING LOT ENTRANCE OR ADJACENT TO AND VISIBLE FROM EACH STALL.



DETECTABLE WARNING

2 TRUNCATED DOMES

NOT TO SCALE



STANDARD STALL

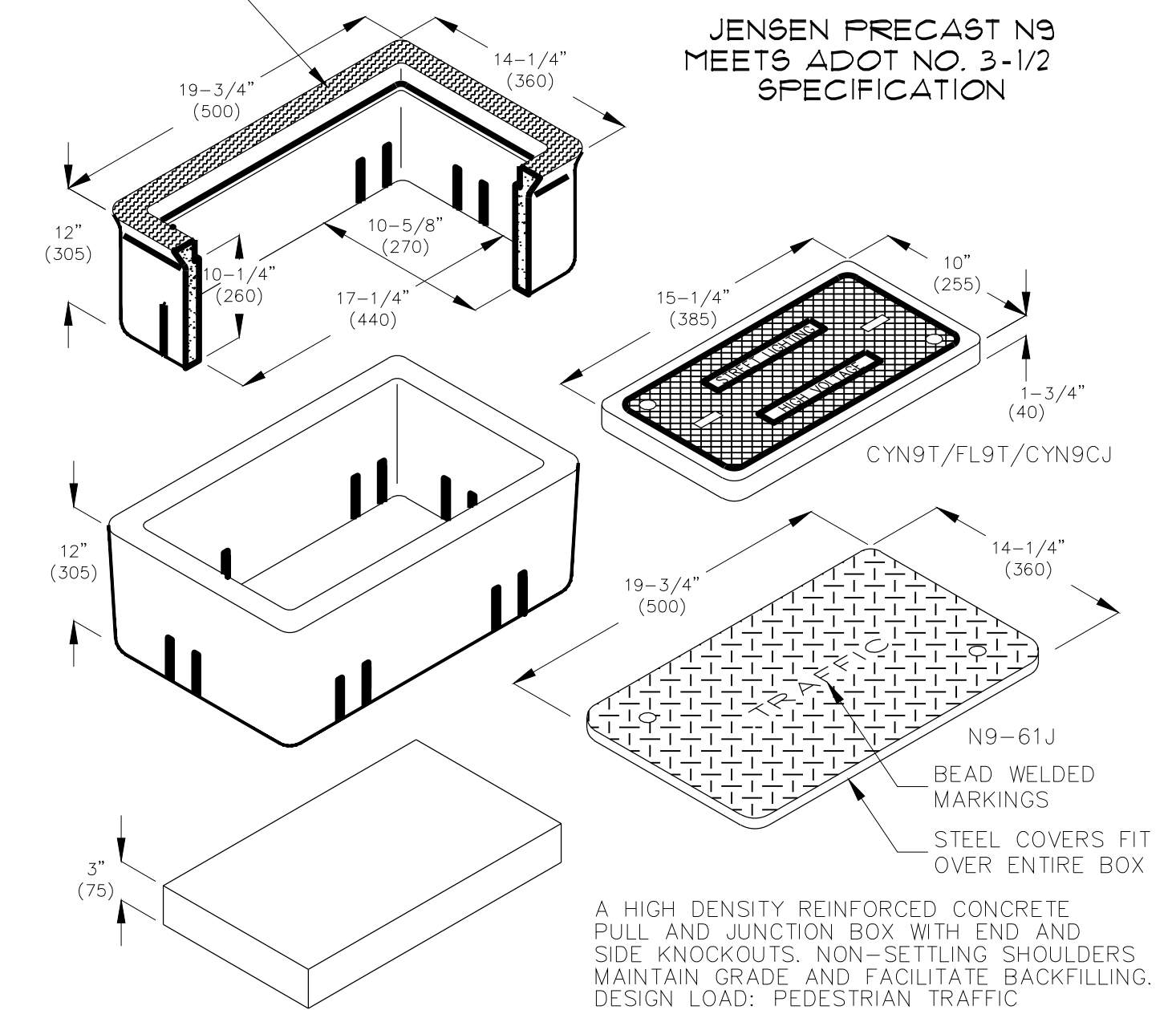
3 PARKING STALL DETAILS

NOT TO SCALE

NO. 3-1/2 ELECTRICAL PULL BOX

- ETCHED POLYETHYLENE FACE
- FACE ANCHORED IN CONCRETE
- ULTRAVIOLET INHIBITOR

JENSEN PRECAST N9 MEETS ADOT NO. 3-1/2 SPECIFICATION



A HIGH DENSITY REINFORCED CONCRETE PULL AND JUNCTION BOX WITH END AND SIDE KNOCKOUTS. NON-SETTLING SHOULDERS MAINTAIN GRADE AND FACILITATE BACKFILLING. DESIGN LOAD: PEDESTRIAN TRAFFIC

CATALOG NUMBER	PRODUCT	DESCRIPTION	APPROX. WT. (LBS.)
CYN9	BOX	REINFORCED CONCRETE	85
FL9T	LID	NONMETALLIC LID W/HOLD DOWN BOLTS	6
CYN9CJ	LID	CAST IRON LID W/HOLD DOWN BOLTS	19
CYN9-61J	COVER	STEEL CHECKER PLATE W/HOLD DOWN BOLTS	19
CYN9E	EXTENSION	12" HIGH REINFORCED CONCRETE	82
CYN9SL	SLAB	REINFORCED CONCRETE	30

FOR COMPLETE DESIGN AND PRODUCT INFORMATION, CONTACT JENSEN PRECAST.

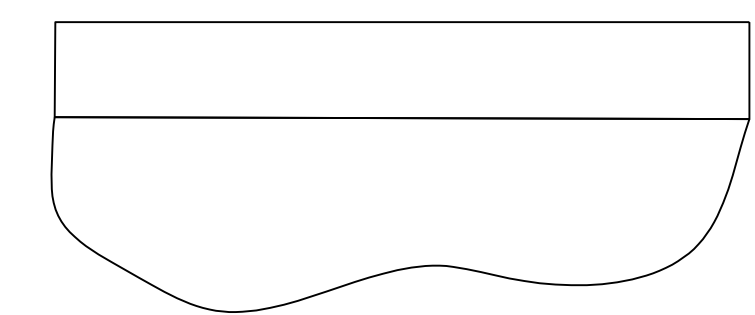
NOTE: METRIC DIMENSIONS ROUNDED TO NEAREST 5 MM.

1/2" = 12.5mm
3/8" = 9.5mm
© 2010 Jensen Precast



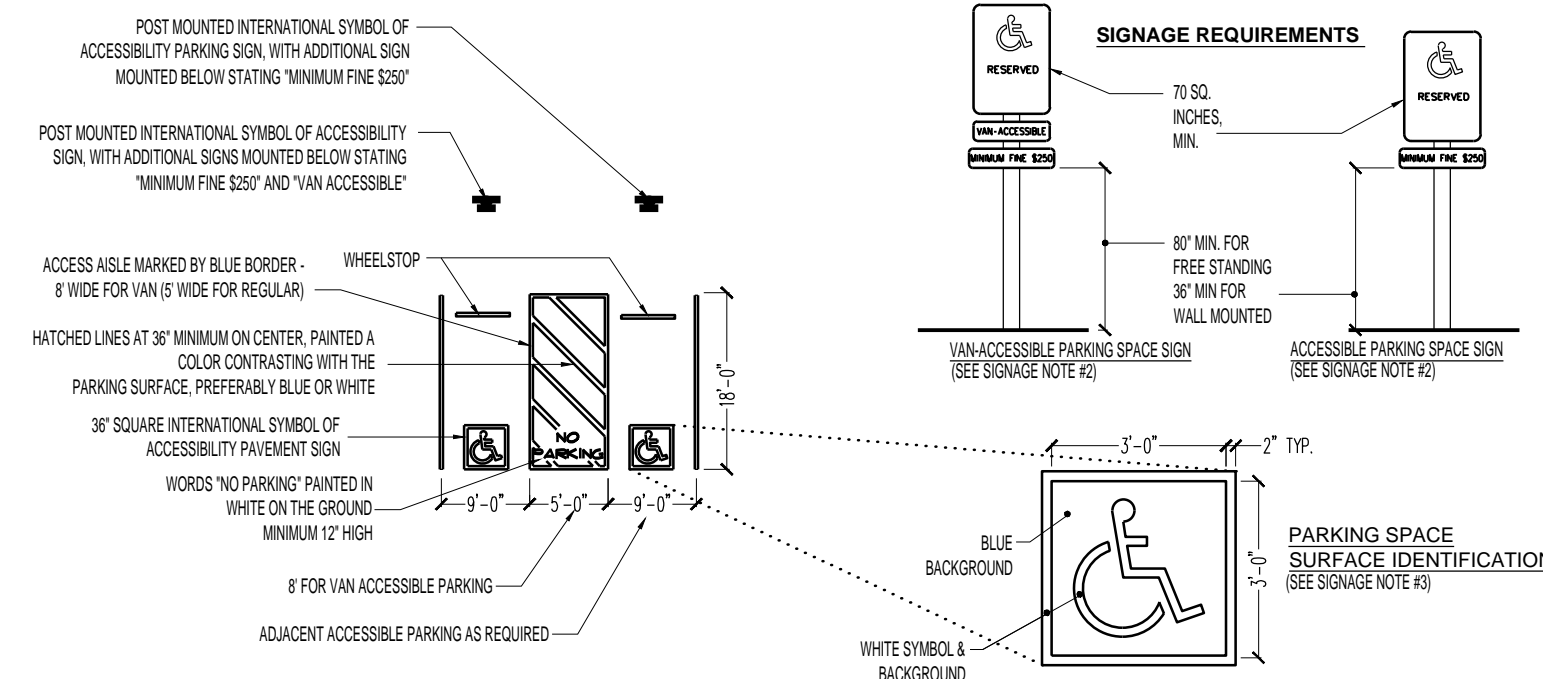
4 ELECTRICAL PULLBOX

NOT TO SCALE



1 ACCESSIBLE PARKING STALL REQUIREMENTS

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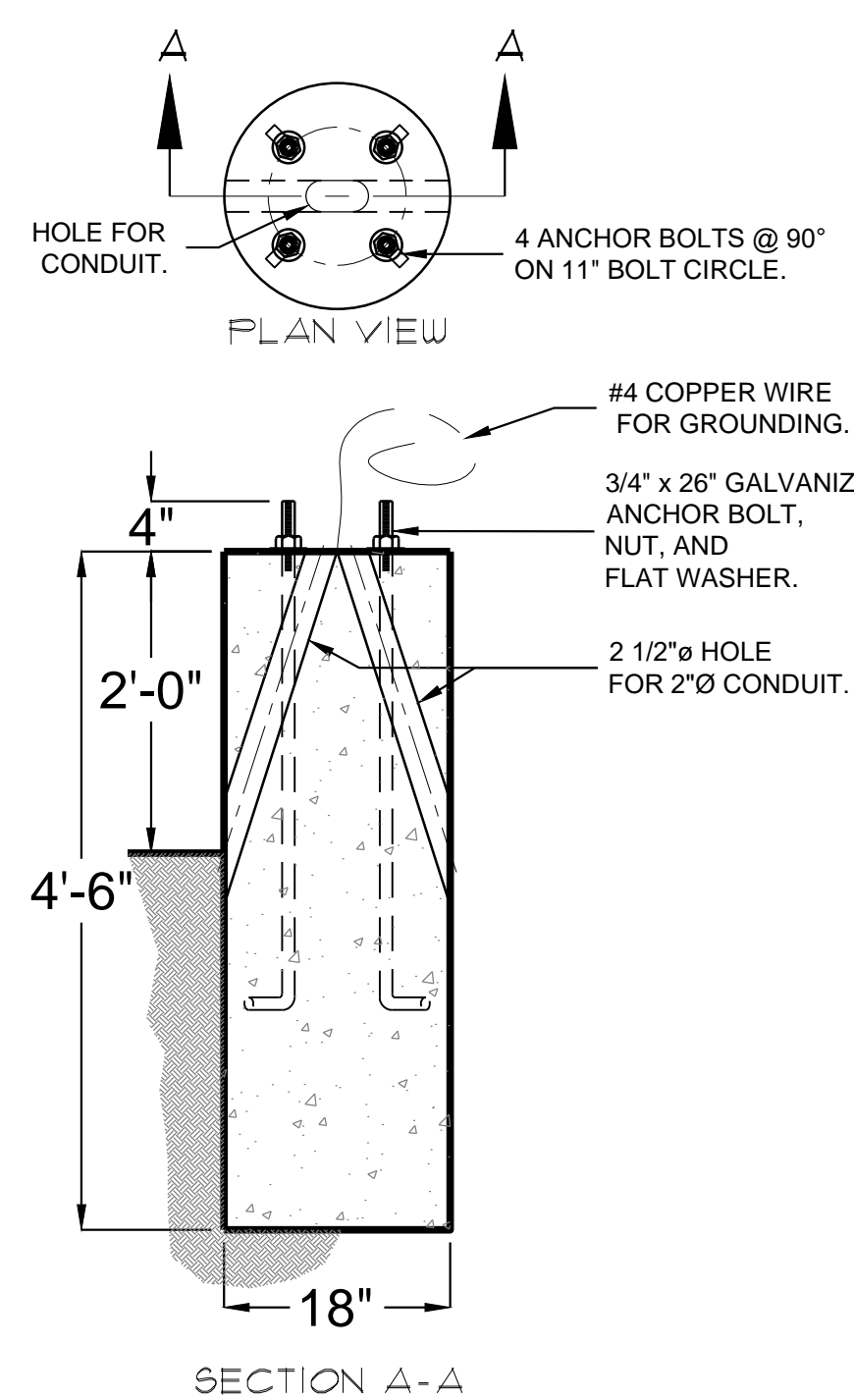


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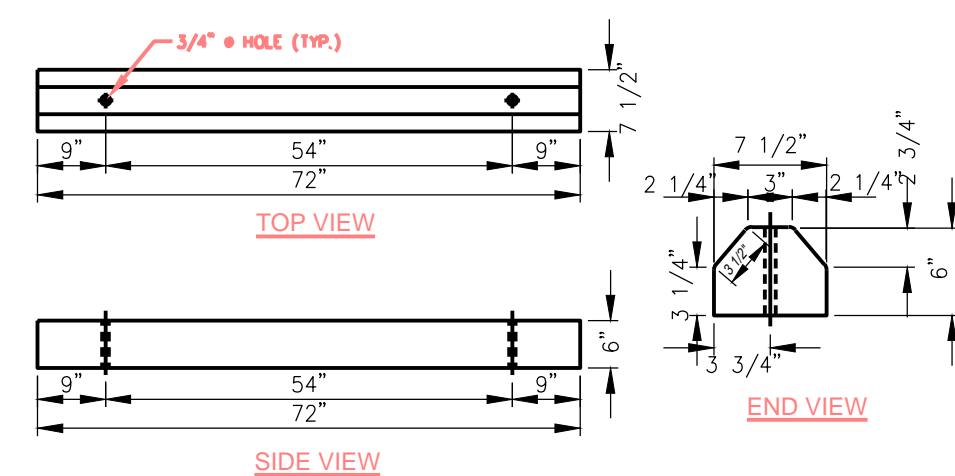
LIGHT POLE BASE

NOT TO SCALE

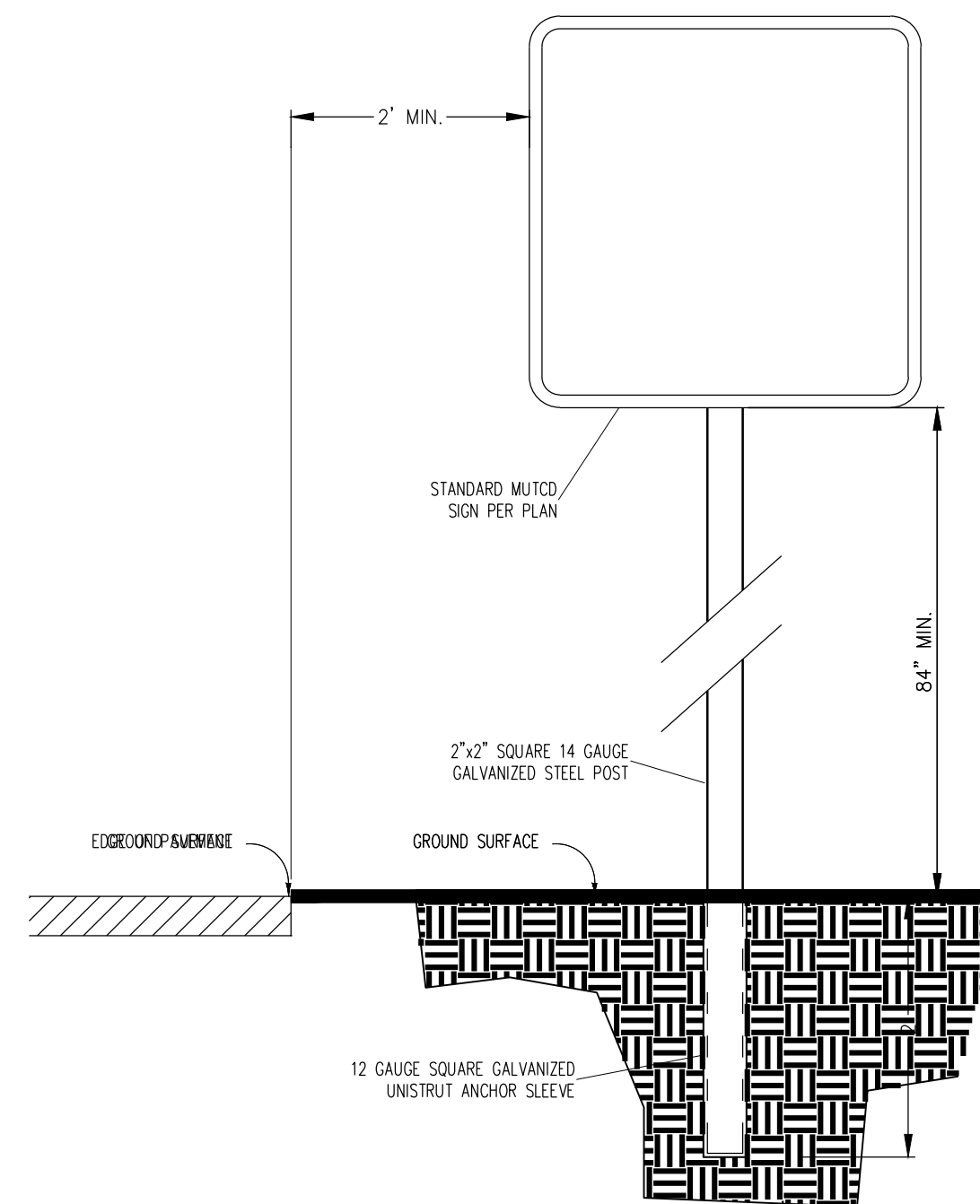


6 PRECAST CONCRETE WHEEL STOP

NOT TO SCALE



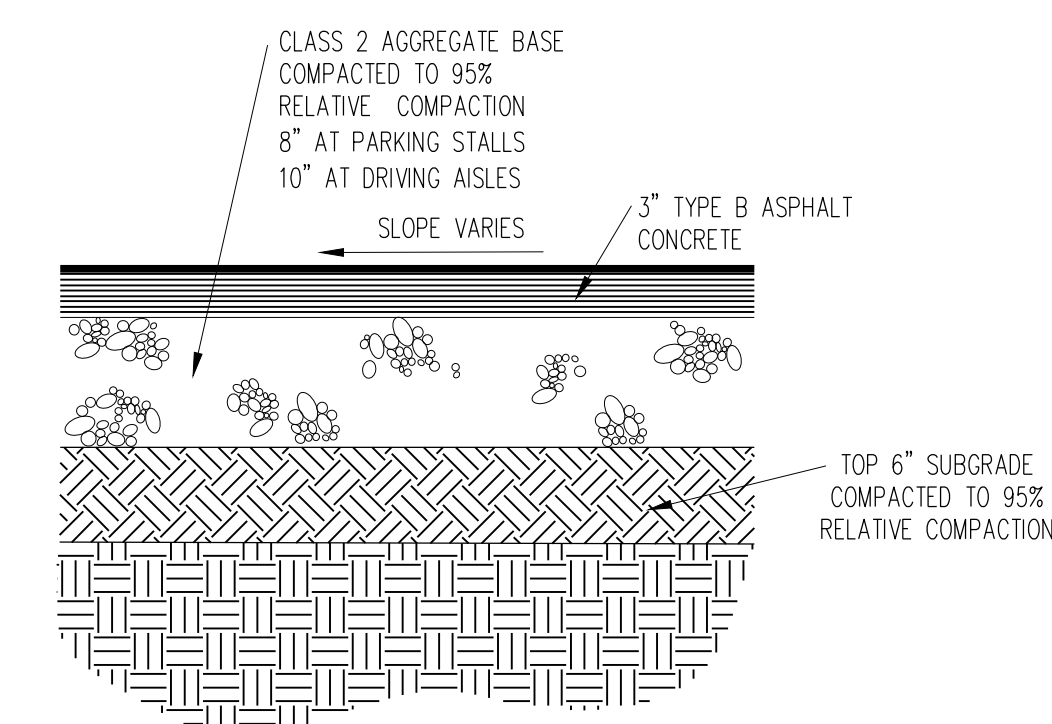
6



7 SIGN INSTALLATION

NOT TO SCALE

7



7 AC PAVING SECTION

NOT TO SCALE

7

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Truckee, CA 96161
Telephone: (530) 414-5026

SITE DETAILS

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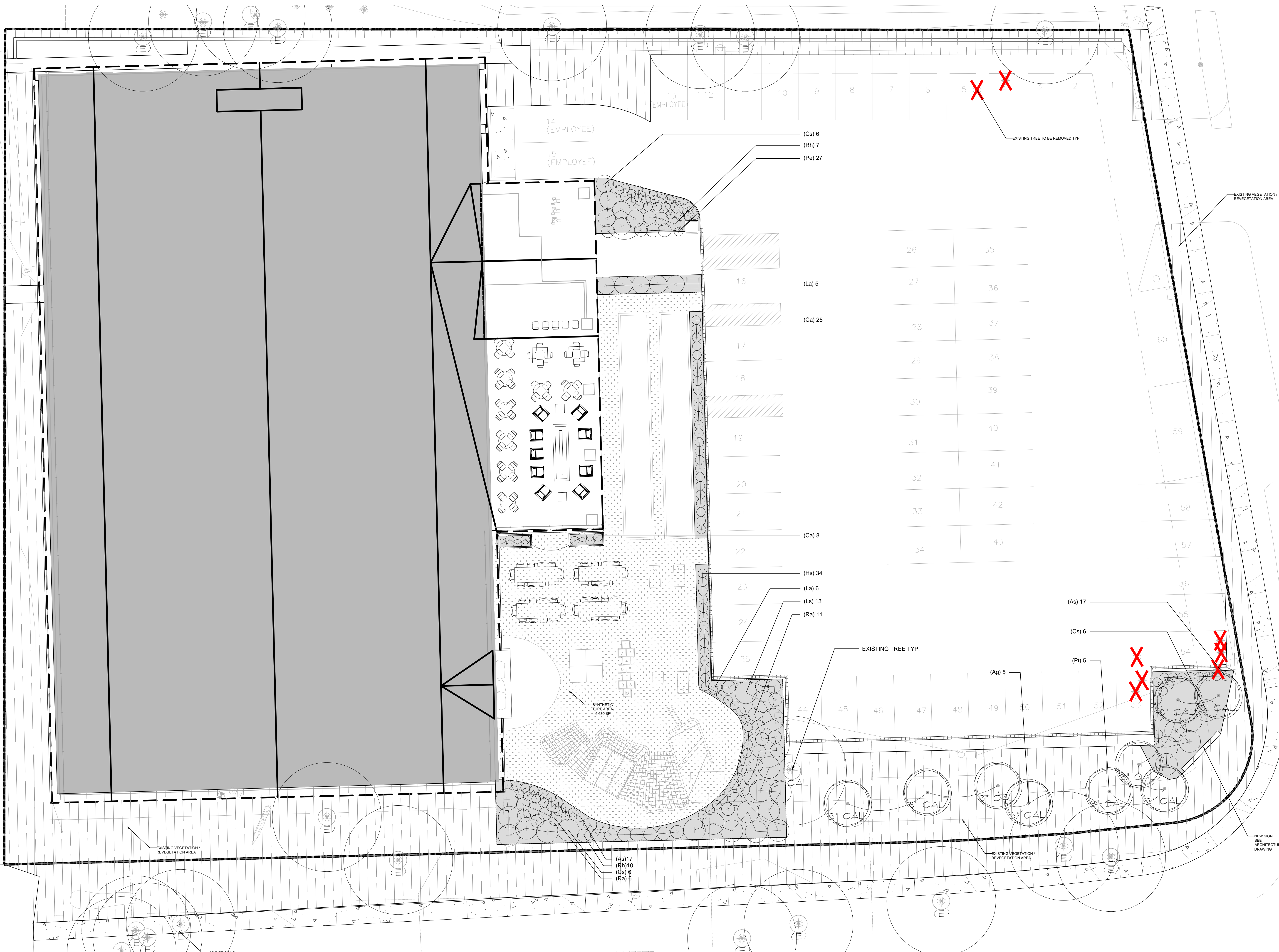
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PLANT LIST & LEGEND

ABBR.	BOTANICAL NAME	COMMON NAME	QTY.	SIZE
SMALL DECIDUOUS TREES				
Ag	Acer ginnala	Amur Maple	5	3" Cal.
Pt	Populus tremuloides	Quaking Aspen	6	3" Cal.
SHRUBS				
Cs	Cornus sericea	Red-twig Dogwood	31	5 Gal.
La	Lavandula spp.	Lavender	11	1 Gal.
Ra	Ribes alpinum	Alpine Currant	17	1 Gal.
Rh	Rhus aromatica 'Gro-Le'	Low Grow Sumac	17	1 Gal.
ORNAMENTAL GRASSES				
As	Achillea spp.	Yarrow	34	1 Gal.
Ca	Calamagrostis x acutiflora	Karf Foerster Grass	33	1 Gal.
Hs	Helictichon spp.	Blue Oat Grass	34	1 Gal.
Pe	Penstemon eatonii	Firecracker Penstemon	27	1 Gal.

PRELIMINARY PLANTING SUMMARY

PLANTED AREAS WITH MULCH:	1,820 SF
PROPOSED TURF (SYNTHETIC):	6,360 SF
EXISTING PLANTING AREAS (INCLUDING OFF-SITE AREAS):	10,500 SF
EXISTING PLANTING AREAS TO BE REVEGETATED FROM DISTURBANCE:	10% ESTIMATION (1,050 SF)
EXISTING TREES TO BE REMOVED:	8 TREES

PLANT LEGEND

- PROPOSED TREE
- LARGE SHRUB (5 GAL)
- SMALL SHRUB (1 GAL)
- PERENNIAL PLANTING
- SYNTHETIC TURF AREA
- EXISTING VEGETATION - REVEGETATE IF DISTURBED
- PLANTING REQUIRING LANDSCAPE MULCH

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PLANTING PLAN

REVISIONS

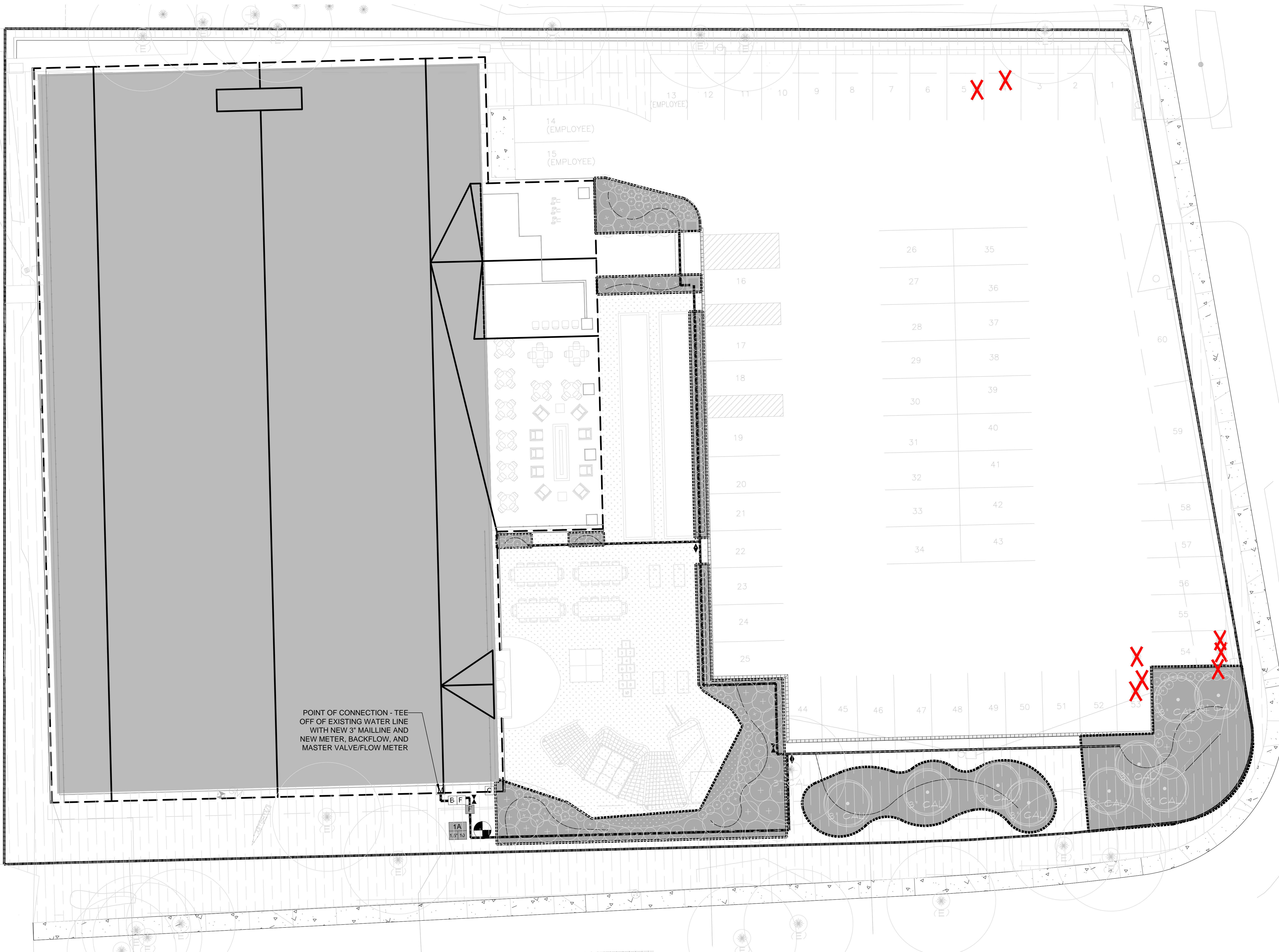
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PLANTING PLAN
 SCALE: 1"=10'-0"

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DATE:	12/8/2020	L-1
SCALE:	1"=10'-0"	
JOB No.:	2017	



DRIP IRRIGATION LEGEND			
SYMBOL	UNIT	SERIES/MODEL	COMMENT
	3" IRRIGATION MAINLINE	SCH 40 PVC, SIDR-7 HDPE PIPE UNDER ALL ROADS AND DRIVEWAYS	INSTALL 2" MIN BELOW FINISH GRADE, SIZE AS NOTED. INSTALL IN SLEEVE UNDER ALL HARD SURFACES. SEE DETAIL & SHEET U114 FOR SIDR-7 TO PVC CONNECTION.
	IRRIGATION SLEEVE	SCH 40 PVC, 2X PIPE SIZE	INSTALL AT SPECIFIED DEPTH PER MAINLINE OR LATERAL PIPE. EXTEND SLEEVE 12" BELOW ELEVATION.
	LATERAL PVC DISTRIBUTION LINE	SCHEDULE 40 PVC, SIZED PER VALVE	INSTALL 18" MIN. BELOW FINISH GRADE, SIZE AS NOTED. INSTALL IN SLEEVE UNDER ALL HARD SURFACES (NOT SHOWN FOR CLARITY).
	LATERAL POLY DISTRIBUTION LINE (DRIP)	3" POLY PIPE RAINBIRD XBS 940	INSTALL 4" MIN 0" MAX BELOW FINISH GRADE. INSTALL IN 2" SLEEVE UNDER ALL HARD SURFACES. NOT SHOWN FOR CLARITY. INSTALL FLUSHING END CAP AT END OF EACH LINE. LAYOUT IS CONCEPTUAL. CONTRACTOR SHALL LAYOUT ZONE TO ENSURE MINIMUM 15 PSI TO EACH EMITTER.
	CONTROLLER	WEATHERTRAK ET/PRO3	3-WIRE IN HEAVY-DUTY TOP ENTRY ENCLOSURE
	WATER METER	PER WATER UTILITY COMPANY	SIZED PER MAINLINE
	BACKFLOW PREVENTER	3" ZURN 375 REDUCED PRESSURE	SIZED PER MAINLINE
	MASTER VALVE AND FLOW SENSOR	WEATHERTRAK WTF3-150-PD-NO W/ COMPATIBLE FLOW SENSOR	NORMALLY OPEN
	DRIP VALVE ASSEMBLY	RAINBIRD XCZ-100-PRB-COM OR XCZ-150-LCS W/ BALL VALVE	1" OR 1.5" DRIP VALVE ASSEMBLY W/ 40 PSI PRESSURE REGULATOR AND FILTER. LOCATE IN PLANTER (UNLESS NOTED OTHERWISE)
	QUICK COUPLING VALVE	RAINBIRD 44-RC - 1"	LOCATE IN PLANTER
	ISOLATION VALVE	MUELLER, SAME SIZE AS MAIN LINE	LOCATE IN PLANTER
	CONTROL WIRE CONDUIT	2" SIZE	INSTALL UNDER PAVING
	DRIP IRRIGATION ZONE		
	VALVE #		
	FLOW RATE (GPM)		
	VALVE SIZE		

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IRRIGATION PLAN

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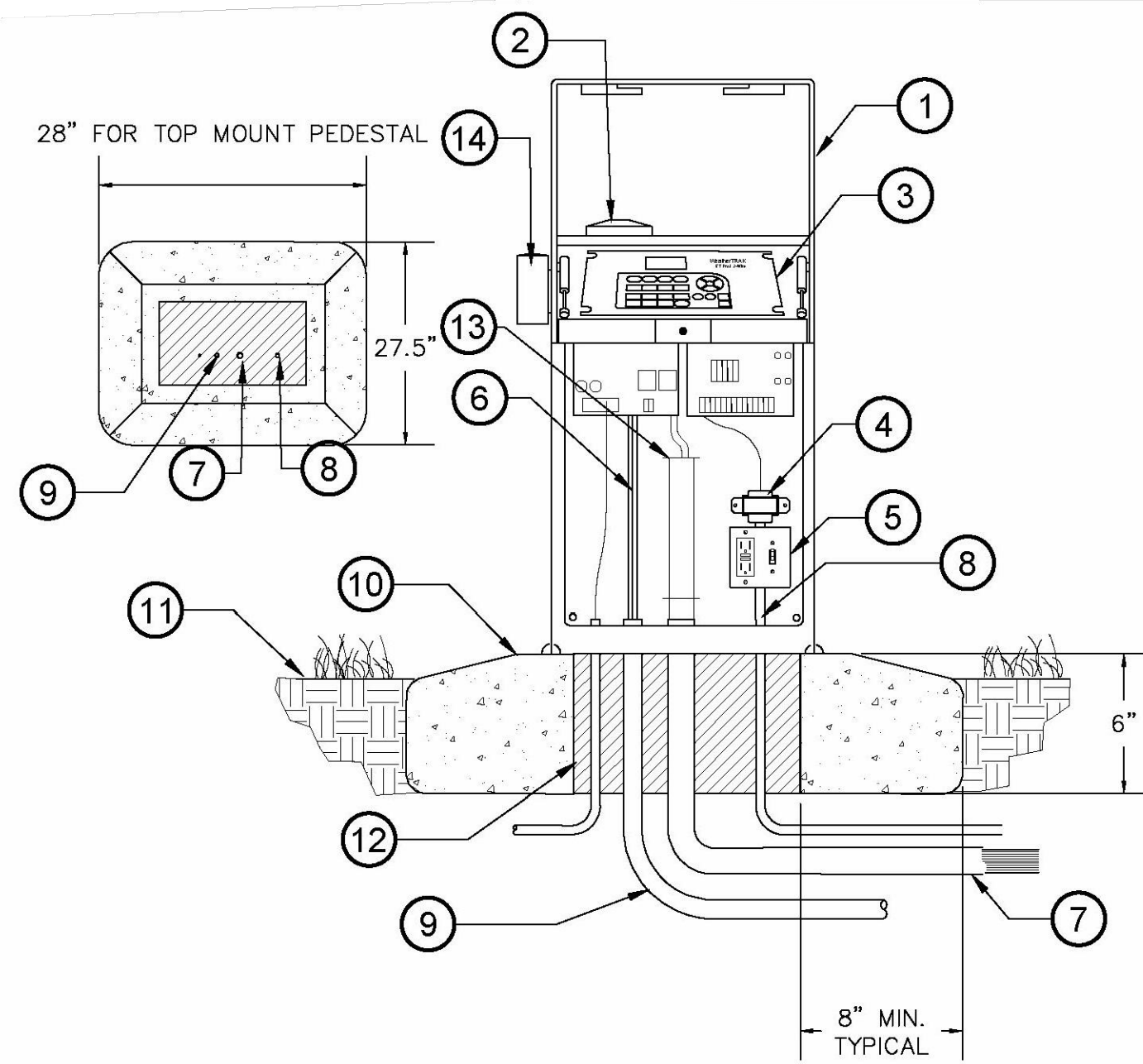
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IRRIGATION PLAN
 SCALE: 1"=10'-0"



- ① STAINLESS STEEL AUTOMATIC CONTROLLER ENCLOSURE ASSEMBLY. SEE IRRIGATION LEGEND FOR MAKE AND MODEL.
- ② LOW PROFILE ANTENNA.
- ③ WEATHERTRAK ET PRO3 2-WIRE CONTROLLER. SEE DRAWINGS AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- ④ CONTROLLER TRANSFORMER.
- ⑤ GFI ON/OFF POWER SWITCH RECEPTACLE. (OPTIONAL)
- ⑥ OPTIONAL CONVENTIONAL FLOW SENSOR CABLE AND MASTER VALVE WIRES PER SPECIFICATIONS.
- ⑦ 3" PVC SWEEP ELL AND CONDUIT FOR CONTROL WIRES.
- ⑧ 1" PVC SWEEP ELL AND CONDUIT FOR 120 VAC FROM METERED POWER SUPPLY.
- ⑨ 2" PVC SWEEP ELL AND CONDUIT FOR OPTIONAL CONVENTIONALLY WIRED FLOW SENSOR AND MASTER VALVE WIRES.
- ⑩ POURED CONCRETE BASE. SLOPE TO DRAIN.
- ⑪ FINISH GRADE. 2" BELOW TOP OF CONCRETE BASE.
- ⑫ FILL VOIDS WITH CONCRETE SLURRY MIX.
- ⑬ NEATLY BUNDLE WIRES AND SECURE WITH WIRE TIRES. (TYPICAL)
- ⑭ RAIN SENSOR WITHIN VIT RAIN SENSOR ENCLOSURE (PT# RGRVSS) PER SPEC.

NOTE: MINIMUM CONCRETE BASE REQUIREMENTS. CONTRACTOR SHALL VERIFY NUMBER AND SIZE OF CONDUITS REQUIRED FOR EACH ENCLOSURE INSTALLATION. USE ENCLOSURE MANUFACTURER'S TEMPLATE FOR PROPER LAG BOLT PLACEMENT. PROVIDE A MINIMUM 2" OF CONCRETE FROM LAG BOLT TO OPENING IN CONCRETE BASE FOR CONDUITS.

WEATHERTRAK ET PRO3 2-WIRE 18" TOP ENTRY ENCLOSURE

Wire Length Limits for the 2-Wire Path

WeatherTRAK 2-Wire provides easy installation and wire extending options. This section describes the 2-wire path length limits both worst-case and typical.

Typical 2-Wire Path Length Limits

This represents the typical scenario where decoders are installed evenly along the 2-wire path.

Number of simultaneous valves	Valves evenly distributed along 2-wire (ft.)	
	AWG 16	AWG 14
1	11,000	17,800
2	10,200	16,300
3	8,800	14,100
4	7,800	12,500
5	7,000	11,200
6	6,300	10,100
7	5,800	9,200
8	5,300	8,500

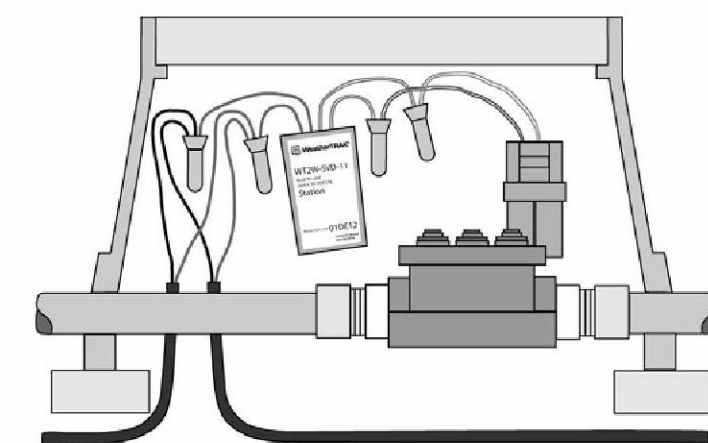
Worst Case 2-Wire Path Length Limits

This represents the worst-case scenario where all the installed decoders are at the end of the 2-wire path.

Number of active valves on 2-wire path	Maximum wire length (ft.) assuming #16/2-wire
1	6,200
2	5,600
3	4,900
4	4,300

Station Decoder to Solenoid

Each irrigation control valve must be connected to a WeatherTRAK 2-Wire Station Decoder (WT2W-SVD-11). Each station decoder is programmed with a station number. The station decoder must be connected to the 2-wire path and the solenoid using the included 3M DBR/Y-6 splice kits. The decoder and splice kits should be based in a valve box for easier troubleshooting and diagnostics.



Notes:

WeatherTRAK 2-Wire systems are **NOT** compatible with the following solenoids:

- DC latching solenoids
- Toro Spike-Guard™ solenoids
- Netafim Aquative Plus® solenoids

Rain Bird DV Series valve solenoids are **NOT** recommended for use with the WeatherTRAK 2-Wire system due to their high current draw.

CONTROLLER NOTES:

WEATHERTRAK 2 WIRE COMPONENTS FOR CARSON CITY IRRIGATION SYSTEM

WIRING:

1. WIRING TYPE TO BE DOUBLE-JACKETED PVC TWO-CONDUCTOR SOLID CORE, WITH 3/16" INSULATION - HIGH DENSITY AND SUNLIGHT RESISTANT. POLYETHYLENE OUTER JACKET TO CONFORM WITH ICEA S-GL-402, WITH A WALL THICKNESS OF 0.45 INCHES. ALL WIRE INSULATION SHALL BE INTACT, FREE OF ANY NICKS OR CUTS. WIRE SIZE TO BE #14, WITH A MAXIMUM DISTANCE TO THE FURTHEST VALVE SET PER MANUFACTURERS RECOMMENDATIONS.
2. CONNECTORS TO THE DECODERS TO BE TW-SPLICE-14 OR EQUAL GEL FILLED CONNECTORS. CONTRACTOR TO TEST ALL CONNECTIONS BEFORE IMMERSING THE WIRE NUT IN THE GEL-FILLED CAP. TWIST WIRES TO PROVIDE A SOLID MECHANICAL CONNECTION BEFORE SECURING THE ATTACHMENT BY ADDING THE WIRE NUT. ADHERE TO ALL LOCAL AND NATIONAL BUILDING AND ELECTRICAL CODES.

GROUNDING RODS AND PLATES

1. ALL GROUNDING RODS SHALL BE BARE COPPER OF 5/8" DIAMETER OR LARGER AND 8 FEET LONG OR LARGER.
2. ALL GROUNDING PLATES SHALL BE 4" X 96", AS OUTLINED IN THE ASIC EARTH GROUNDING GUIDELINES. 100-2002.
3. A MEASURED RESISTANCE READING OF NO MORE THAN 25 OHMS IS REQUIRED AT EACH LIGHTNING ARRESTOR. ARRESTOR TO BE TW-LA-1, INSTALLED EVERY 500 FEET ALONG THE TWO WIRE PATH. INSTALL IN AN IRRIGATION VALVE BOX SET TO PLANTER GRADE. ARRESTOR TO BE CONNECTED TO THE TWO-WIRE CABLE THAT MEETS RAIN MASTER'S TW-CAB-14 CABLE SPECIFICATIONS. REFER TO ASIC SPEC SECTION 7.0 - MEASURING RESISTANCE, ITEM A.
4. ALL CONNECTIONS TO THE GROUNDING RODS SHALL CONFORM TO ASIC EARTH GROUNDING GUIDELINE 100-2002 AND SHALL CONSIST OF A 'CADWELD' TYPE OF CONNECTION.

VALVE DECODERS

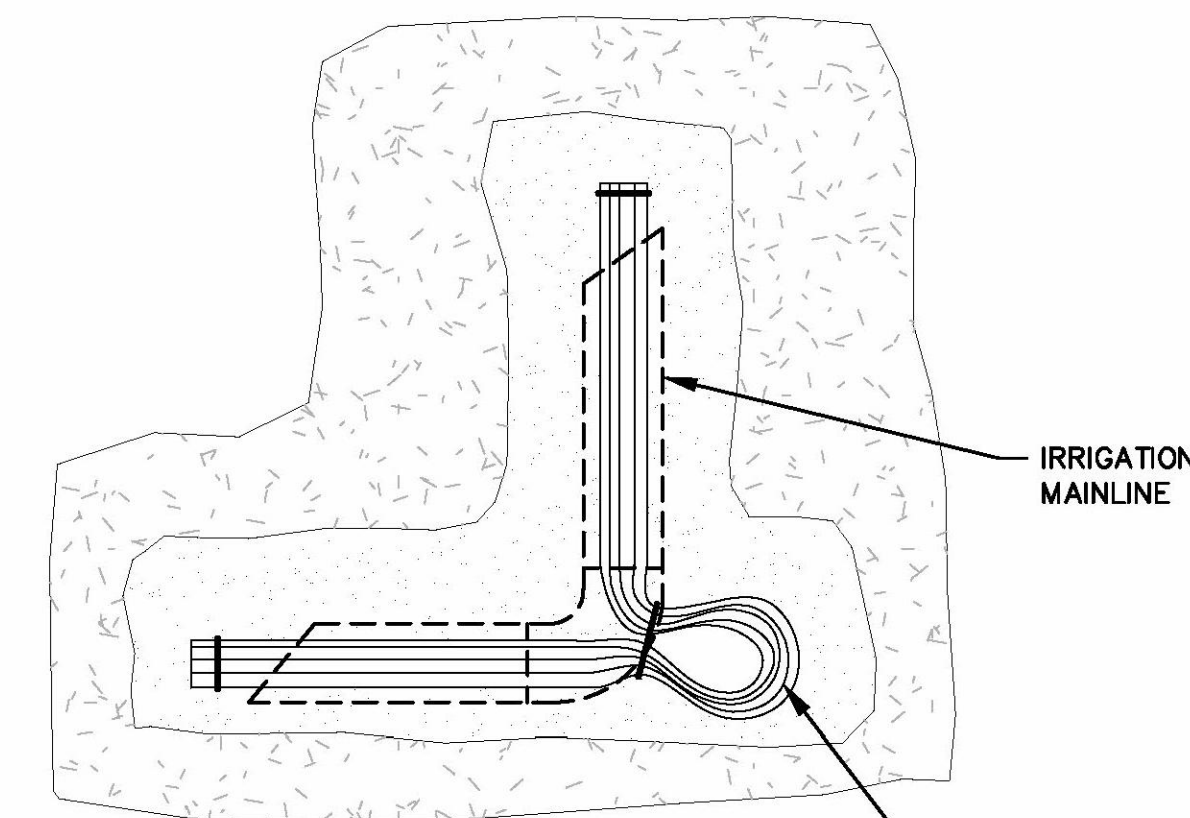
1. DECODERS SHALL BE LOCATED AT EACH VALVE (1 PER VALVE). LOCATE THE DECODERS PER MANUFACTURER'S RECOMMENDATIONS. DECODERS SHALL BE WEATHERTRAK DECODER, OR APPROVED EQUIVALENT THAT IS COMPATIBLE WITH CONTROLLER. INSTALL DECODERS PER MANUFACTURER'S RECOMMENDATIONS.

FLOW SENSOR

1. THE FLOW SENSOR SHALL BE WEATHERTRAK FLOW3 HYDROMETER WITH POWER SUPPLY AND UNION PHOTO DIODE HYDROMETER, 1.5", 1.8-55 GPM, MAX 235 PSI. PVC SLIP TYPE CONNECTION. APPROXIMATE PRESSURE AT THE EXISTING POINT OF CONNECTION IS APPROXIMATELY 70 PSI - CONTRACTOR TO TEST PRESSURE FOR VERIFICATION.
2. INSTALL THE FLOW SENSOR IN THE PLANTER WITH THE POINT OF CONNECTION CONFORMING TO THE REQUIREMENTS FOR PIPE SPACING BETWEEN MASTER VALVE AND FLOW SENSOR.
3. SEE PLANS FOR THE TYPE AND LOCATION OF THE MASTER VALVE. THE MASTER VALVE SHALL BE WIRED TO THE CONTROLLER FOR AUTOMATIC SHUT-DOWN OF THE SYSTEM.

EXISTING RAINMASTER CONTROLLER RETROFIT

1. CONTRACTOR SHALL REPLACE EXISTING RAINMASTER CONTROLLER WITH SITEONE LANDSCAPE SUPPLY WEATHERTRAK 2-WIRE CONTROLLER AND CONVENTIONAL WIRE RETROFIT KIT. SEE SPEC FOR MODEL NUMBERS. CONTACT JAMES WELLER AT SITEONE LANDSCAPE SUPPLY, 1675 NICHOLS DRIVE ROCKLIN, CA 95765 (925.451.1610).



TWIST OR TIE A SURPLUS 18" LOOP IN ALL WIRING AT CHANGES OF DIRECTION GREATER THAN 30°. UNTWIST OR UNTIE ALL LOOPS AFTER ALL CONNECTIONS HAVE BEEN MADE.

1 CONTROLLER WIRING
CONTROL WIRE 6/2015 NOT TO SCALE

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IRRIGATION DETAILS

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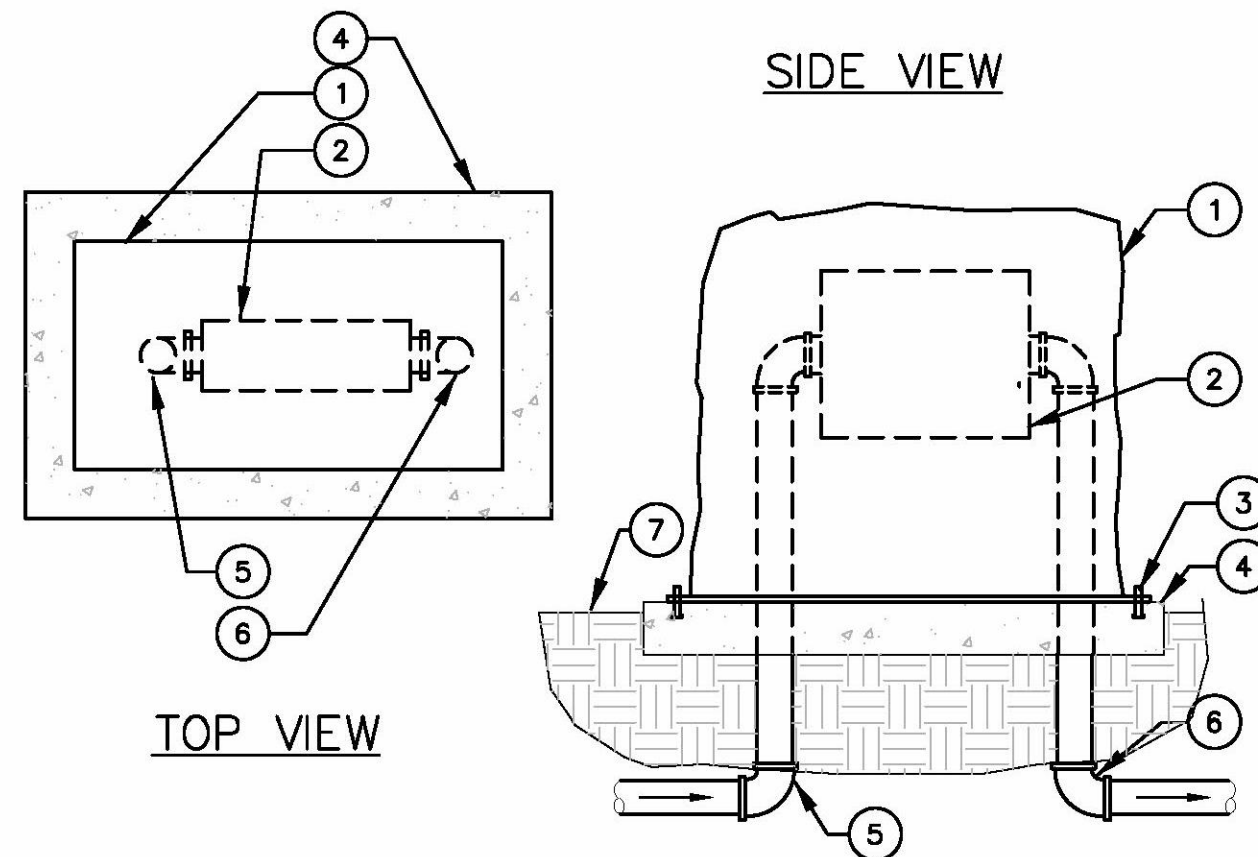
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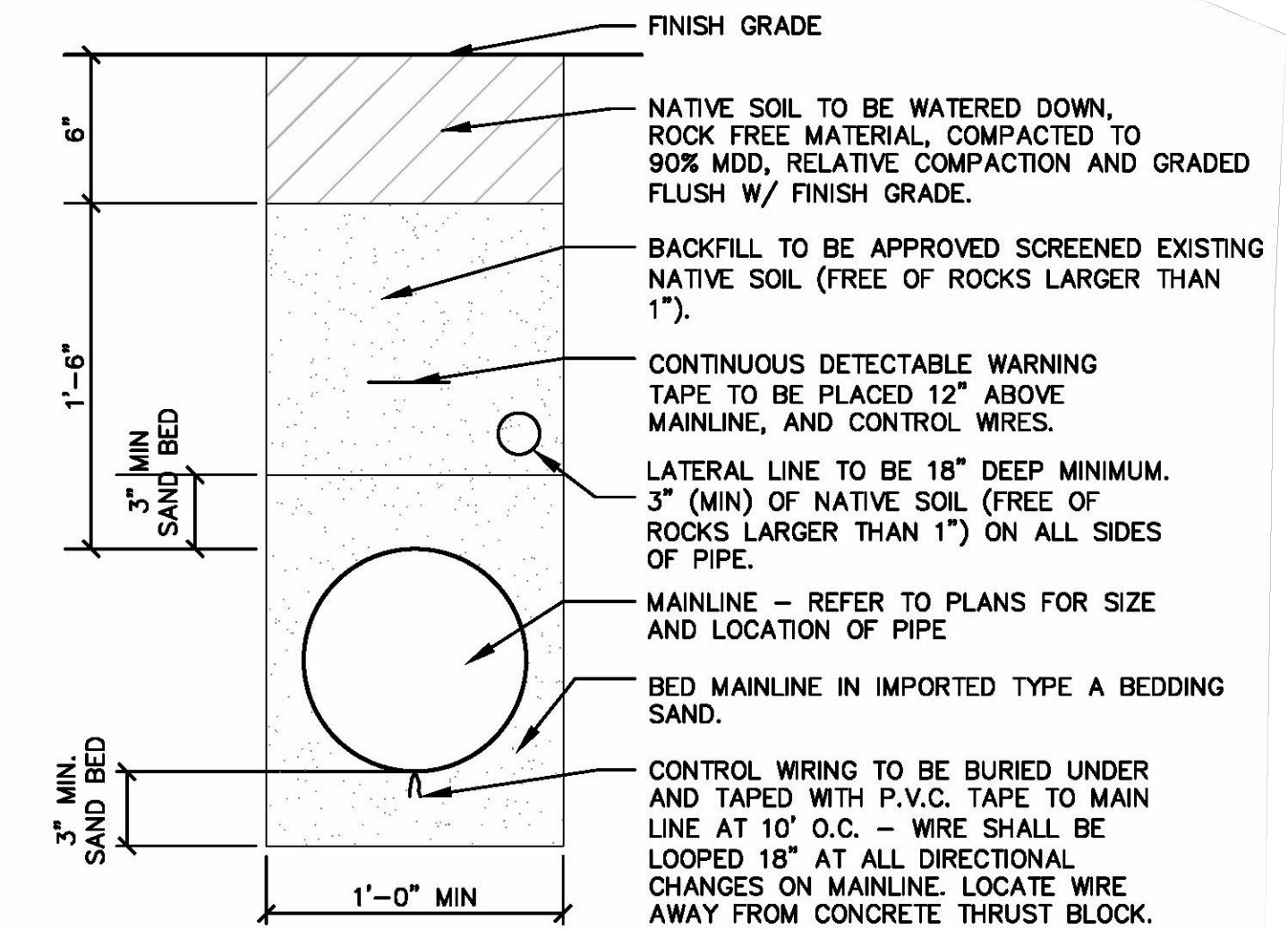
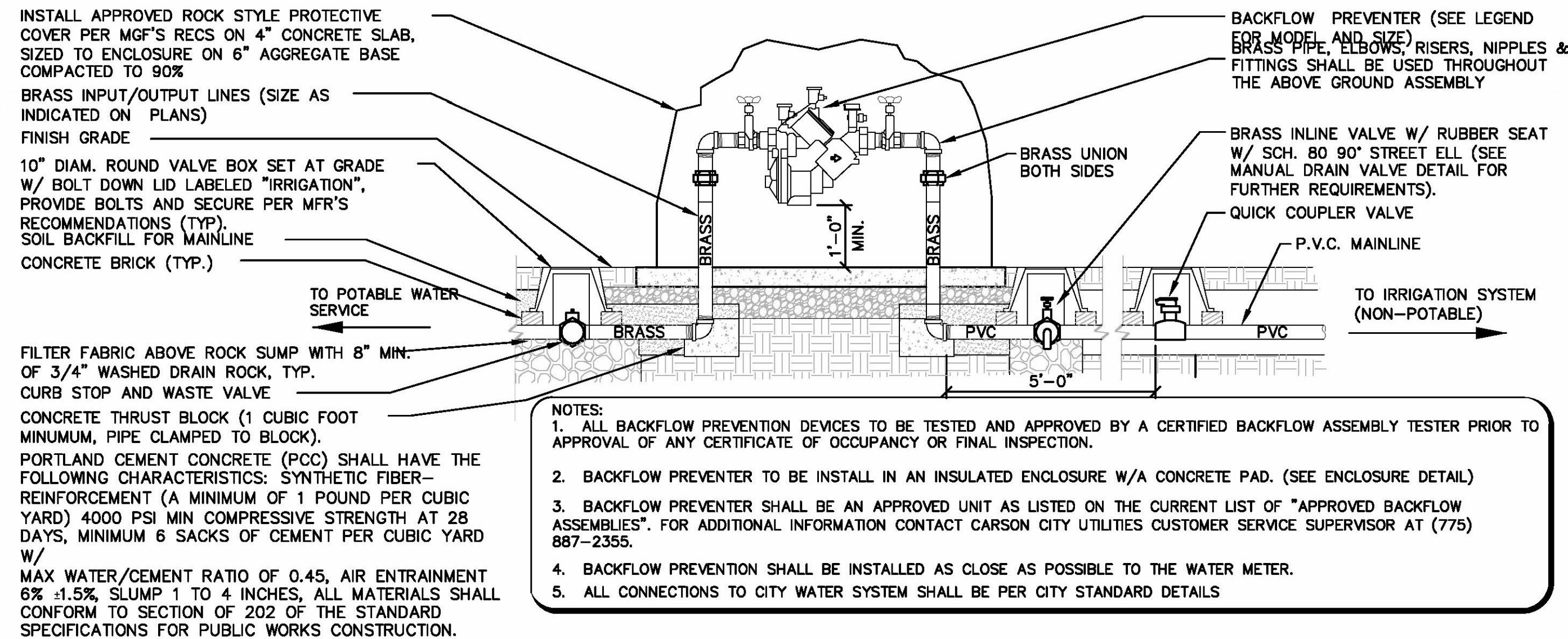
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- LEGEND**
- ① INSULATED BACKFLOW ENCLOSURE (FAUX ROCK APPEARANCE).
 - ② BACKFLOW PREVENTER.
 - ③ ANCHOR ROD (TYPICAL)
 - ④ POURED CONCRETE BASE (3000 p.s.i. PER SPECIFICATIONS) - 6" MIN. THICKNESS - EXTEND 4" BEYOND OUTSIDE DIMENSIONS OF ENCLOSURE.
 - ⑤ WATER SERVICE INLET PIPING
 - ⑥ WATER SERVICE OUTLET PIPING.
 - ⑦ FINISH GRADE.

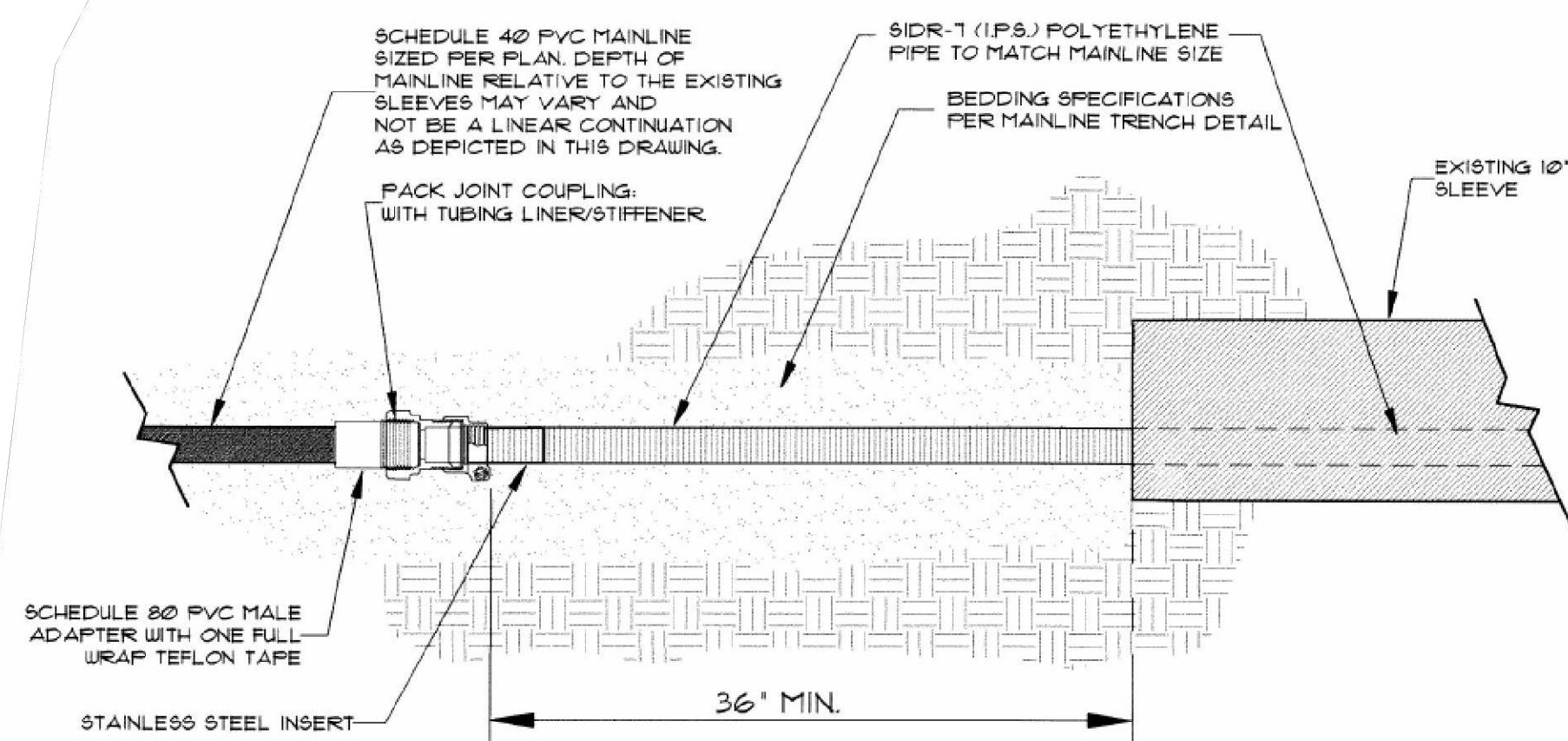
NOTE: REFER TO DETAIL 9 FOR ADDITIONAL CONSTRUCTION INFORMATION ON BACKFLOW PREVENTER.



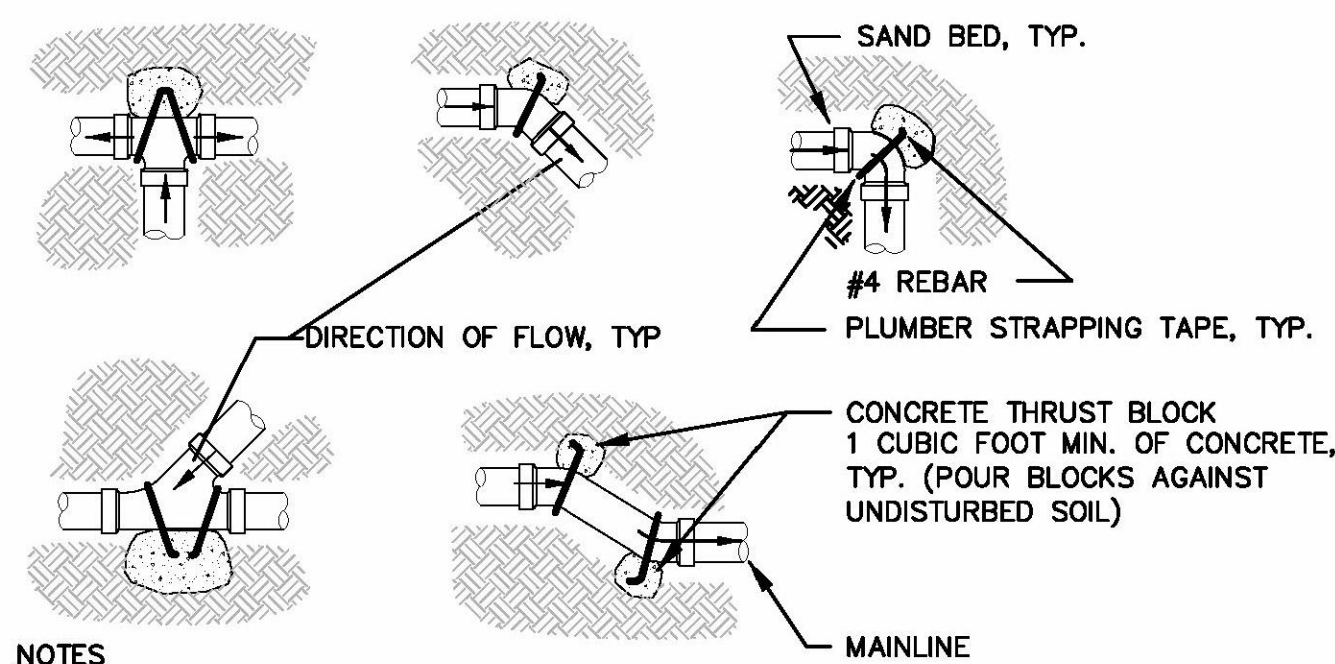
BACKFLOW ENCLOSURE

BACKFLOW PREVENTER

TRENCH WALL SECTION



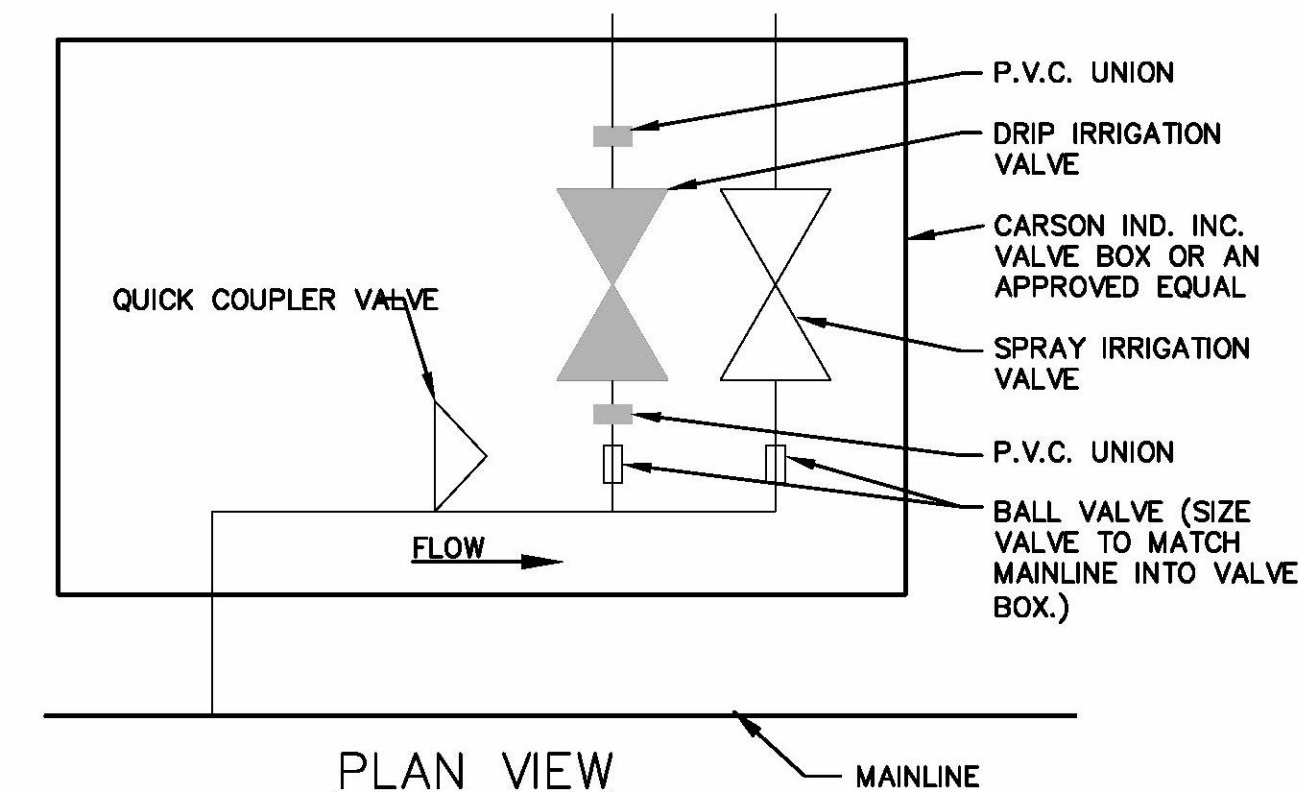
SIDR-7 TO PVC CONNECTION



- NOTES**
1. ALL MAINLINES TO BE INSTALLED AND TESTED ACCORDING TO THE GENERAL IRRIGATION NOTES.
 2. TRENCH DEPTH & WIDTH SHALL BE AS SHOWN ON TRENCH DETAILS.
 3. ATTACH MAINLINE PIPE TO ALL CONCRETE THRUST BLOCKS AT ALL DIRECTIONAL CHANGES SO THAT NO MAINLINE MOVEMENT WILL OCCUR. ALL PIPE JOINTS & FACE OF PLUGS TO BE KEPT CLEAR OF CONCRETE.
 4. THRUST BLOCKS TO BE CONSTRUCTED OF 3000 P.S.I. CONCRETE.
 5. THRUST BLOCKS NOT REQUIRED ON MAINLINES 1 1/2" DIAMETER OR LESS.

THRUST BLOCK DETAIL

NOTE: REFER TO SHEET L.2 FOR VALVE LOCATIONS



MANIFOLD DETAIL

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IRRIGATION DETAILS

REVISIONS	

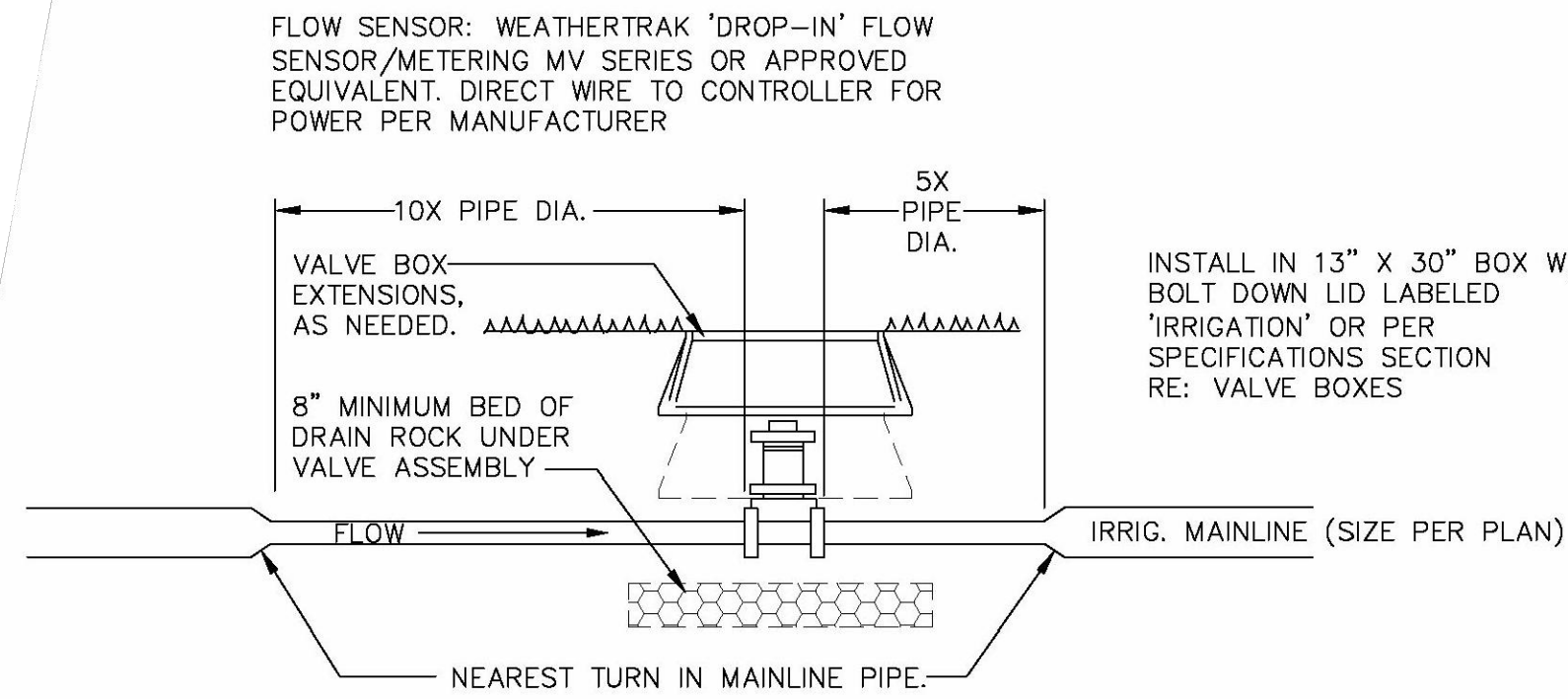
**BOWL INCLINE
 RENOVATION/REMODEL**

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 Washoe County, Nevada

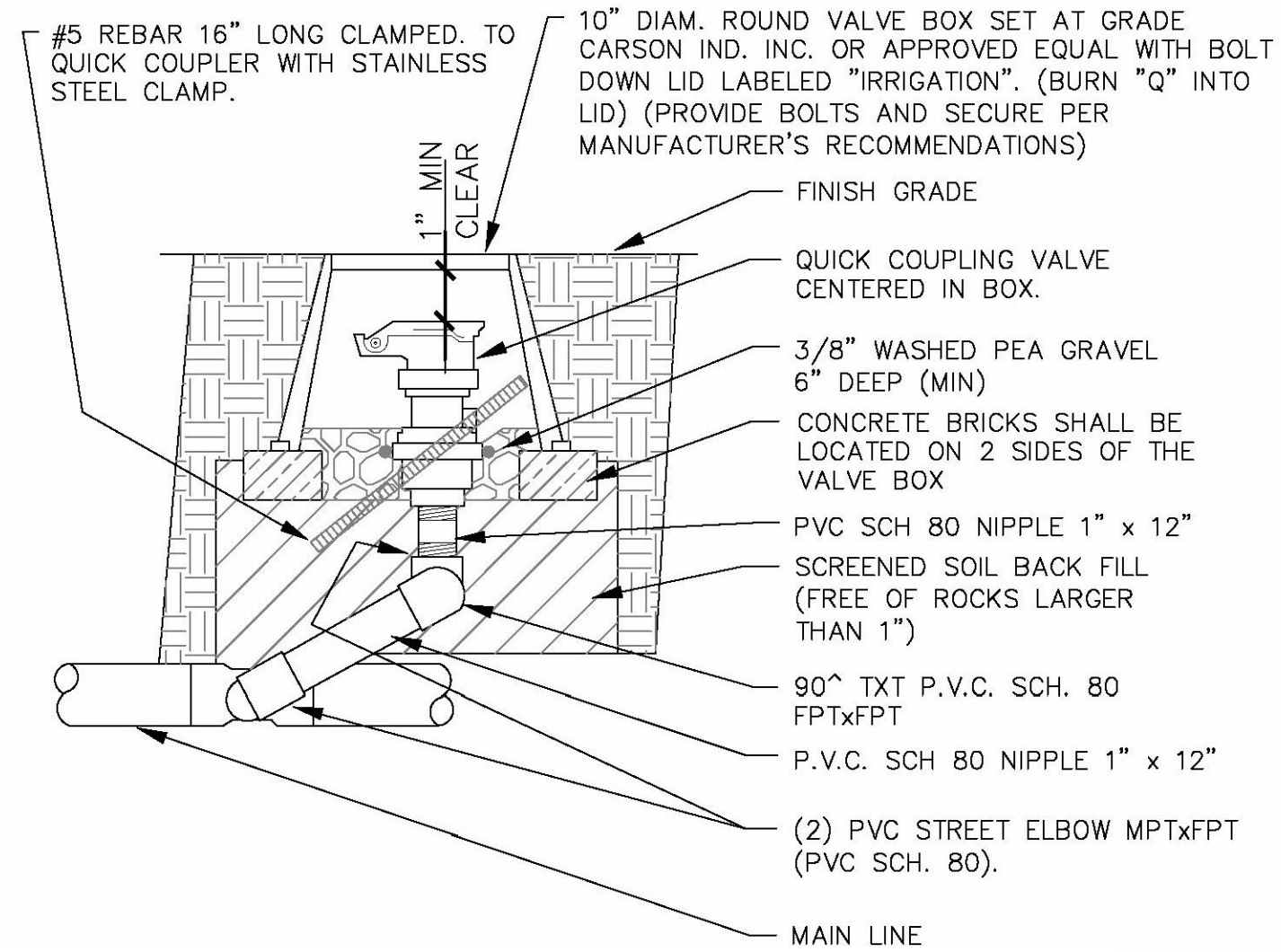
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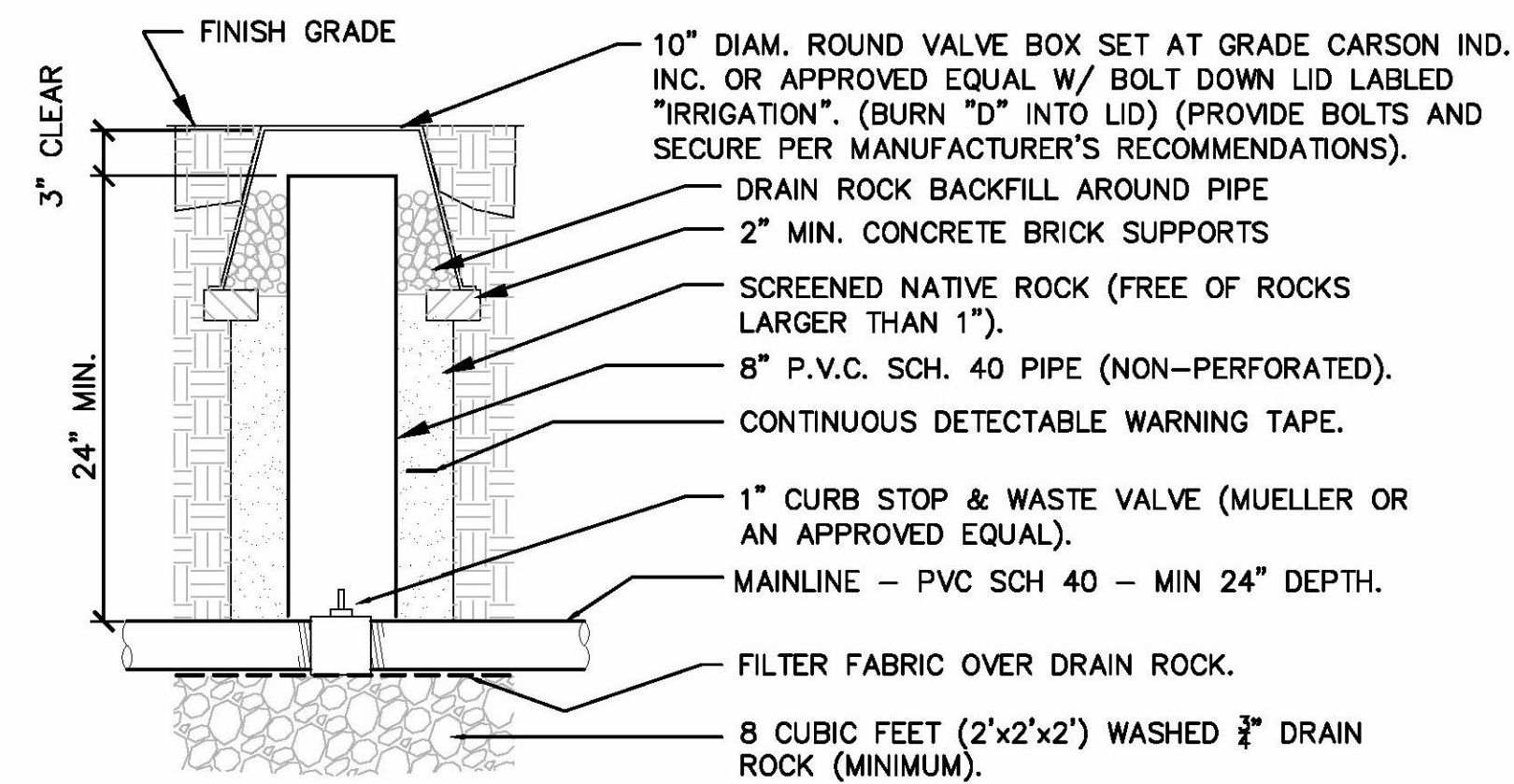
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DATE: 12/8/2020	L-4
SCALE:	
JOB No.: 2017	



FLOW SENSOR

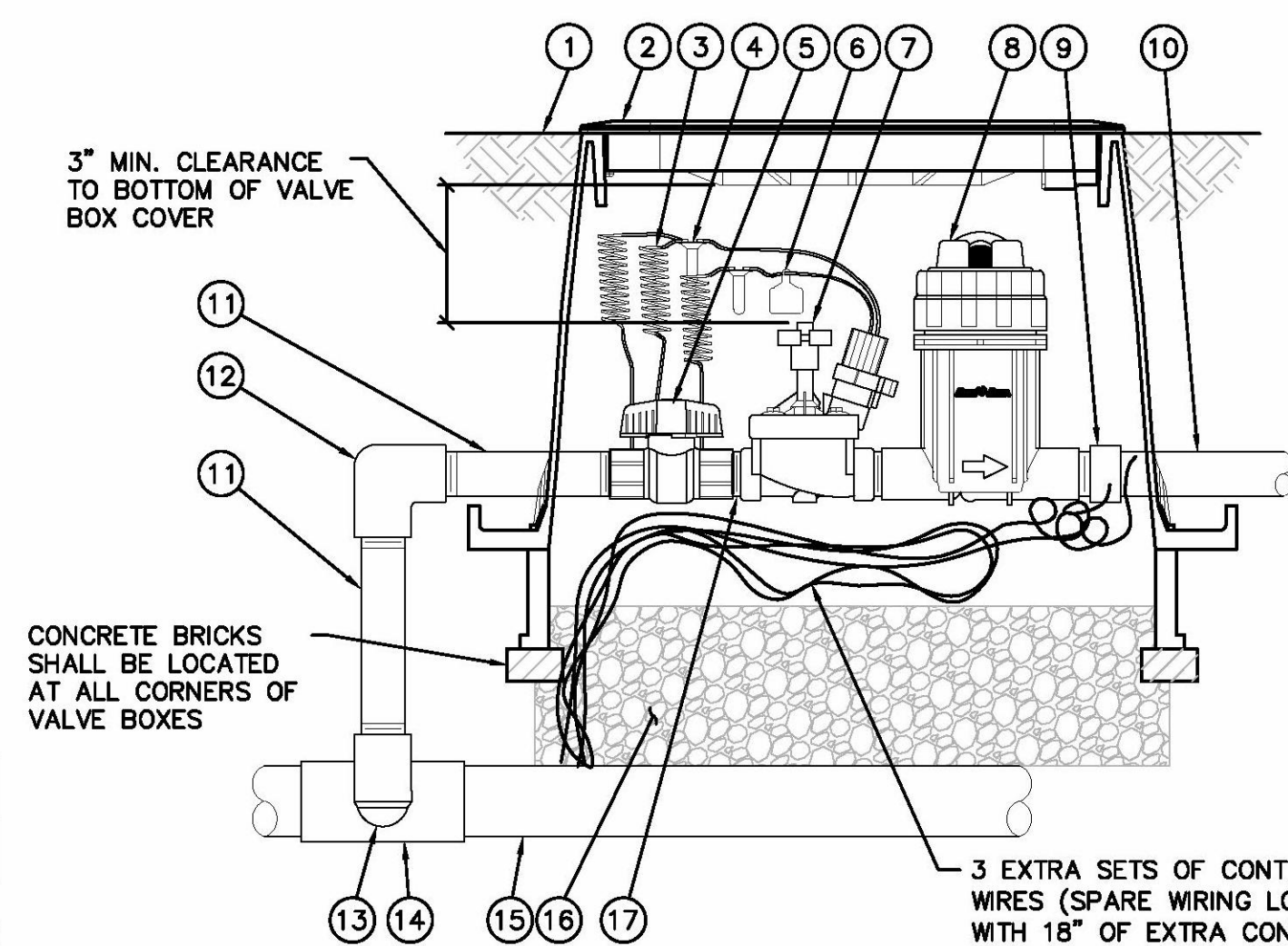


QUICK COUPLING VALVE



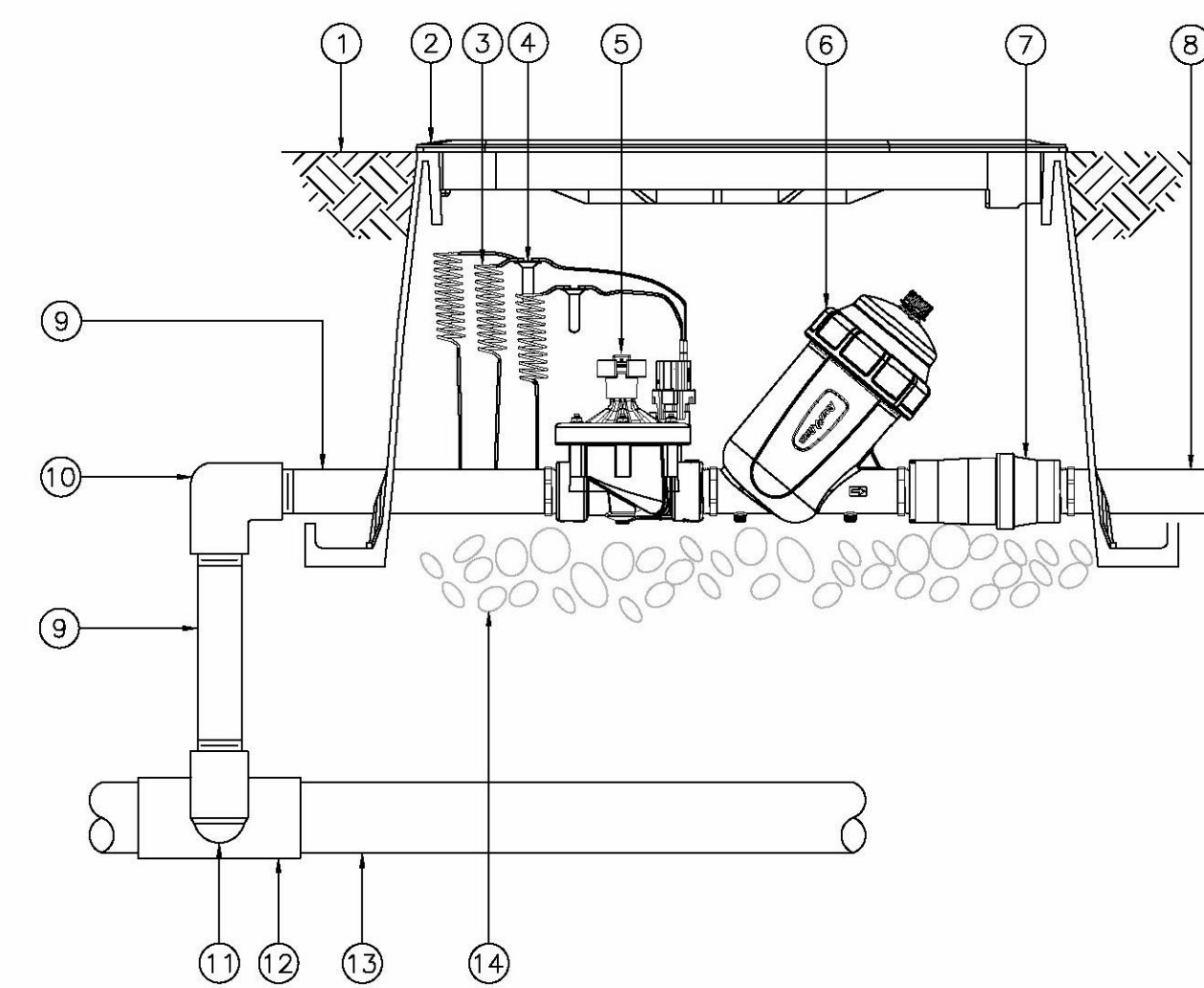
CURB STOP & WASTE

- NOTES:
 1. ALL VALVE BOXES TO BE CARSON INDUSTRIES INC. OR AN APPROVED EQUAL.
 2. ALL DRAIN ROCK IN VALVE BOXES TO BE 3/8" WASHED PEA GRAVEL.



1" DRIP VALVE

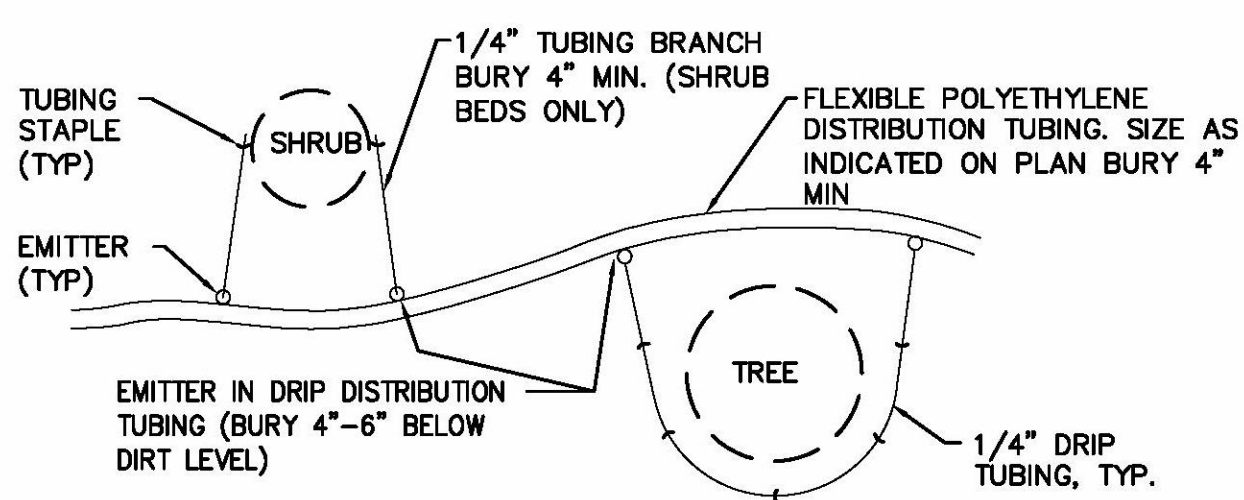
- 1 FINISH GRADE / TOP OF MULCH
- 2 VALVE BOX WITH COVER: CARSON INDUSTRIES INC. OR AN APPROVED EQUAL, WITH BOLT DOWN LID LABELED "IRRIGATION" (PROVIDE BOLTS, AND SECURE PER MANUFACTURERS RECOMMENDATIONS) BOX TO SET FLUSH & LEVEL WITH FINISH GRADE.
- 3 30-INCH LINEAR LENGTH OF WIRE, COILED
- 4 WATERPROOF CONNECTION: RAIN BIRD DB SERIES
- 5 1-INCH BALL VALVE (INCLUDED IN XCZ-PRB-100-COM KIT)
- 6 ID TAG
- 7 REMOTE CONTROL VALVE: RAIN BIRD PESB (INCLUDED IN XCZ-PRB-100-COM KIT)
- 8 PRESSURE REGULATING QUICK-CHECK FILTER: RAIN BIRD PRB-QKCHK-100 (INCLUDED IN XCZ-PRB-100-COM KIT)
- 9 PVC SCH 40 FEMALE ADAPTOR
- 10 LATERAL PIPE / DRIP LINE
- 11 PVC SCH 80 NIPPLE (LENGTH AS REQUIRED)
- 12 PVC SCH 40 ELL
- 13 PVC SCH 80 NIPPLE (2-INCH LENGTH, HIDDEN) AND PVC SCH 40 ELL
- 14 PVC SCH 40 TEE OR ELL
- 15 MAINLINE PIPE
- 16 6-INCH MINIMUM DEPTH BED OF 3/4-INCH WASHED PEA GRAVEL
- 17 PVC SCH 80 NIPPLE, CLOSE (INCLUDED IN XCZ-PRB-100-COM KIT)



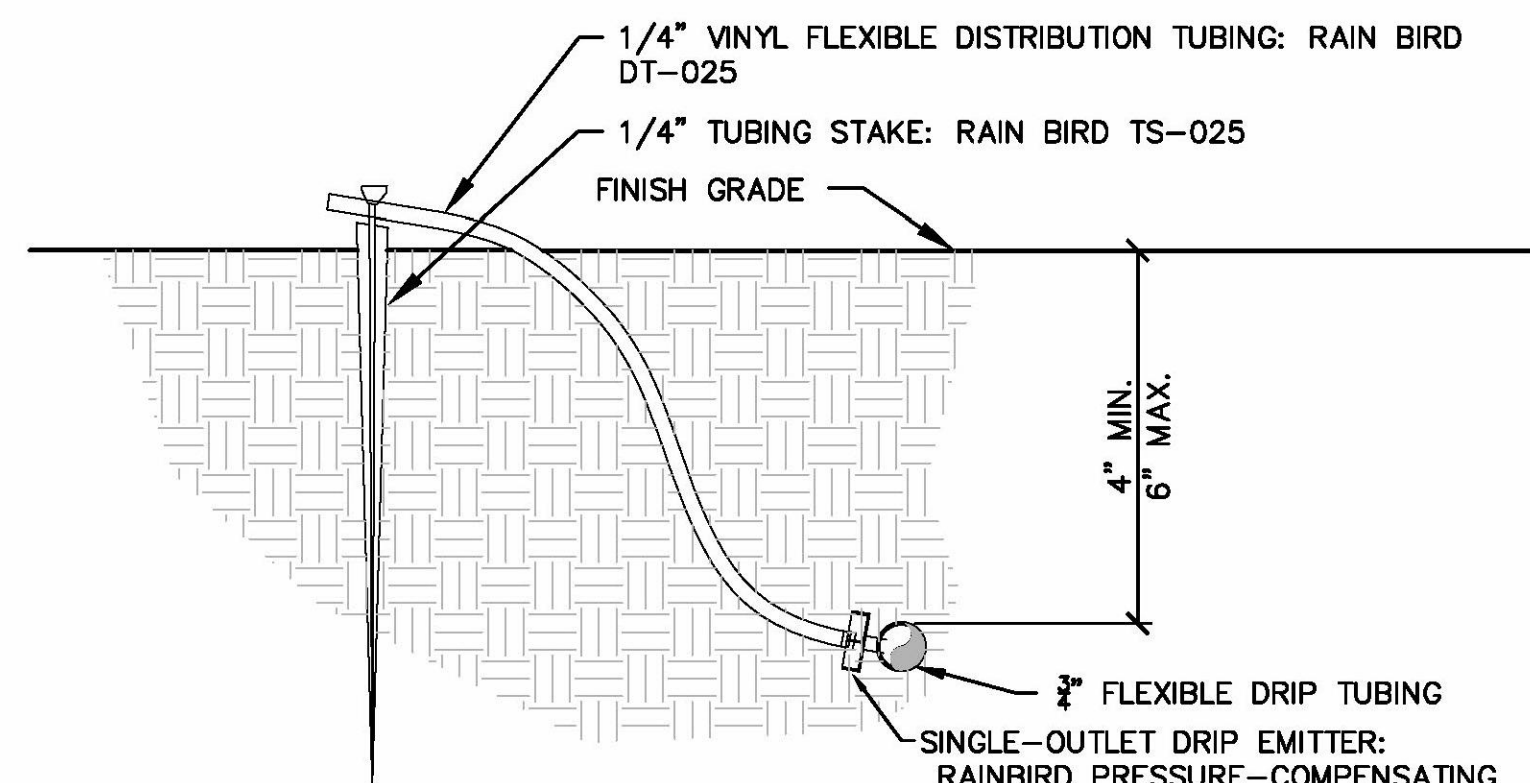
1.5" DRIP VALVE

- 1 FINISH GRADE/TOP OF MULCH
- 2 JUMBO VALVE BOX WITH COVER: RAIN BIRD VB-JUMBO
- 3 30-INCH LINEAR LENGTH OF WIRE, COILED
- 4 WATERPROOF CONNECTION: RAIN BIRD DB SERIES
- 5 1 1/2" PEB VALVE (INCLUDED IN XCZ-150-LCS KIT)
- 6 1 1/2" FILTER - RAIN BIRD LARGE CAPACITY SCREEN FILTER (INCLUDED IN XCZ-150-LCS KIT)
- 7 1 1/2" HIGH FLOW PRESSURE REGULATOR (INCLUDED IN XCZ-150-LCS KIT)
- 8 LATERAL PIPE
- 9 PVC SCH 80 NIPPLE 1 1/2"
- 10 PVC SCH 40 ELBOW
- 11 PVC SCH 80 NIPPLE (2" LENGTH, HIDDEN) AND PVC 40 ELBOW
- 12 PVC SCH 40 TEE OR ELBOW
- 13 MAINLINE PIPE
- 14 3" MINIMUM DEPTH OF 3/4" WASHED GRAVEL

- NOTE:
 1. STAKE LATERAL AND DISTRIBUTION TUBING IN PLACE AT SURFACE TO PREVENT SHIFTING.
 2. SECURE 1/4" DRIP TUBING WITH 6" GALVANIZED METAL STAPLES
 3. ALL PLANTS LOCATED ON SLOPES SHALL HAVE EMITTERS PLACED UP HILL FROM PLANT.
 4. DO NOT WRAP DISTRIBUTION TUBING AROUND PLANT STEM OR TREE TRUNK
 5. DO NOT PLACE EMITTERS AGAINST PLANT STEM OR TREE TRUNK
 6. PLACE EMITTERS AROUND PLANT FOR EQUAL DISTRIBUTION OF WATER
 7. CONTRACTOR IS RESPONSIBLE TO ESTABLISH WATERING TIMES AND DURATIONS
 8. EMITTER (GPM) WATER RATE MAY BE ALTERED DUE TO SOIL TYPE AND SOIL DRAINAGE CHARACTERISTICS.

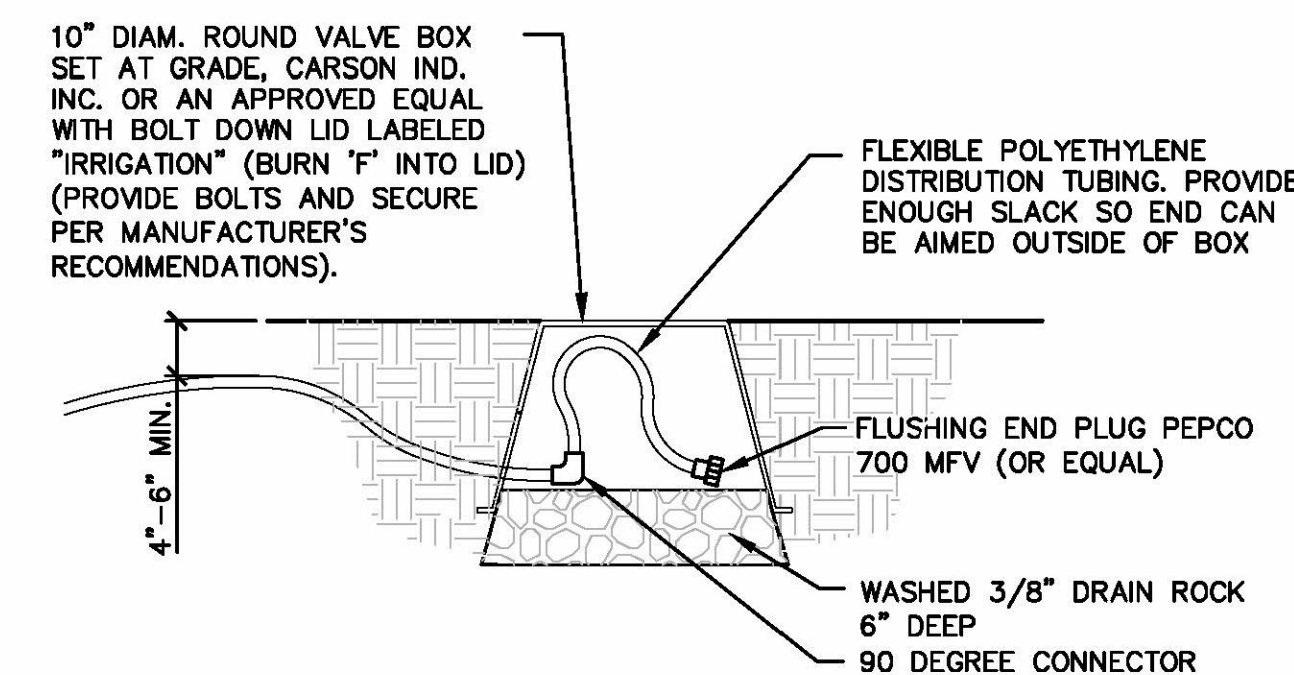


DRIP EMITTER



- NOTE:
 1. USE RAIN BIRD BUG GUN MODEL EMA-BG TO INSERT EMITTER DIRECTLY INTO DRIP TUBING.
 2. PLACE EMITTERS SO OUTER EDGE OF ROOTBALL AND SOIL OUTSIDE OF ROOTBALL WILL RECEIVE WATER. DO NOT PLACE EMITTER AT TRUNK OR STEM OF PLANTS.

DRIP EMITTER STAKING DETAIL



- NOTES:
 1. ALL VALVE BOXES TO BE CARSON INDUSTRIES INC. OR AN APPROVED EQUAL
 2. ALL DRAIN ROCK IN VALVE BOXES TO BE 3/8" CLEAN WASHED PEA GRAVEL

FLUSHING END CAP

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IRRIGATION DETAILS

REVISIONS

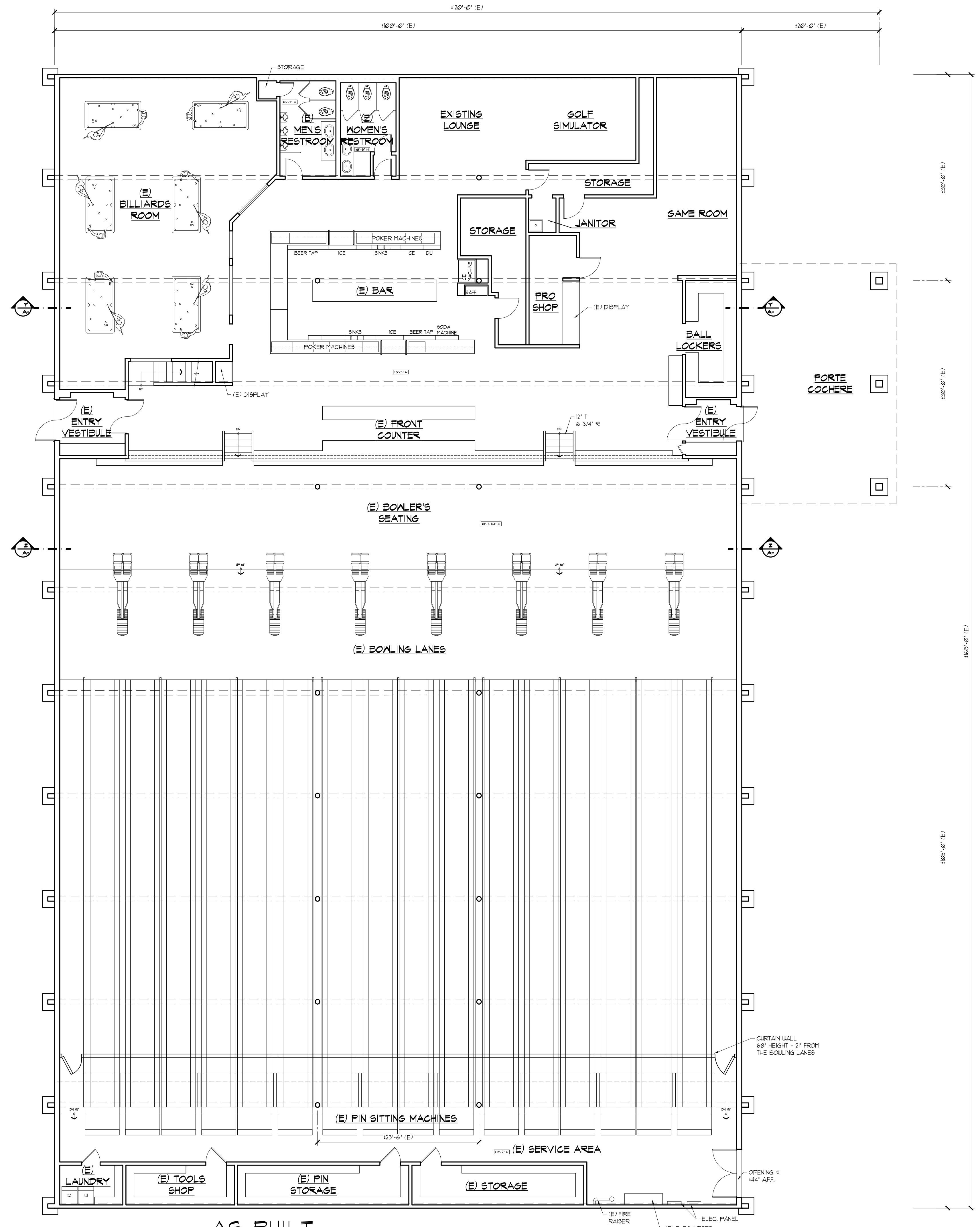
BOWL INCLINE
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920 Southwood Boulevard
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DRAWN: TTM	SHEET
DATE: 12/8/2010	L-5
SCALE:	
JOB No.: 2011	



FLOOR AREA CALCULATION	
EXISTING CONDITIONED AREA	
ENTRY LEVEL	16,500 SQ. FT.
UPPER LEVEL	1,251 SQ. FT.
TOTAL EXISTING FLOOR AREA	17,751 SQ. FT.

AS-BUILT ENTRY LEVEL FLOOR PLAN	
REVISIONS	

BOWL INCLINE
 RENOVATION/REMODEL

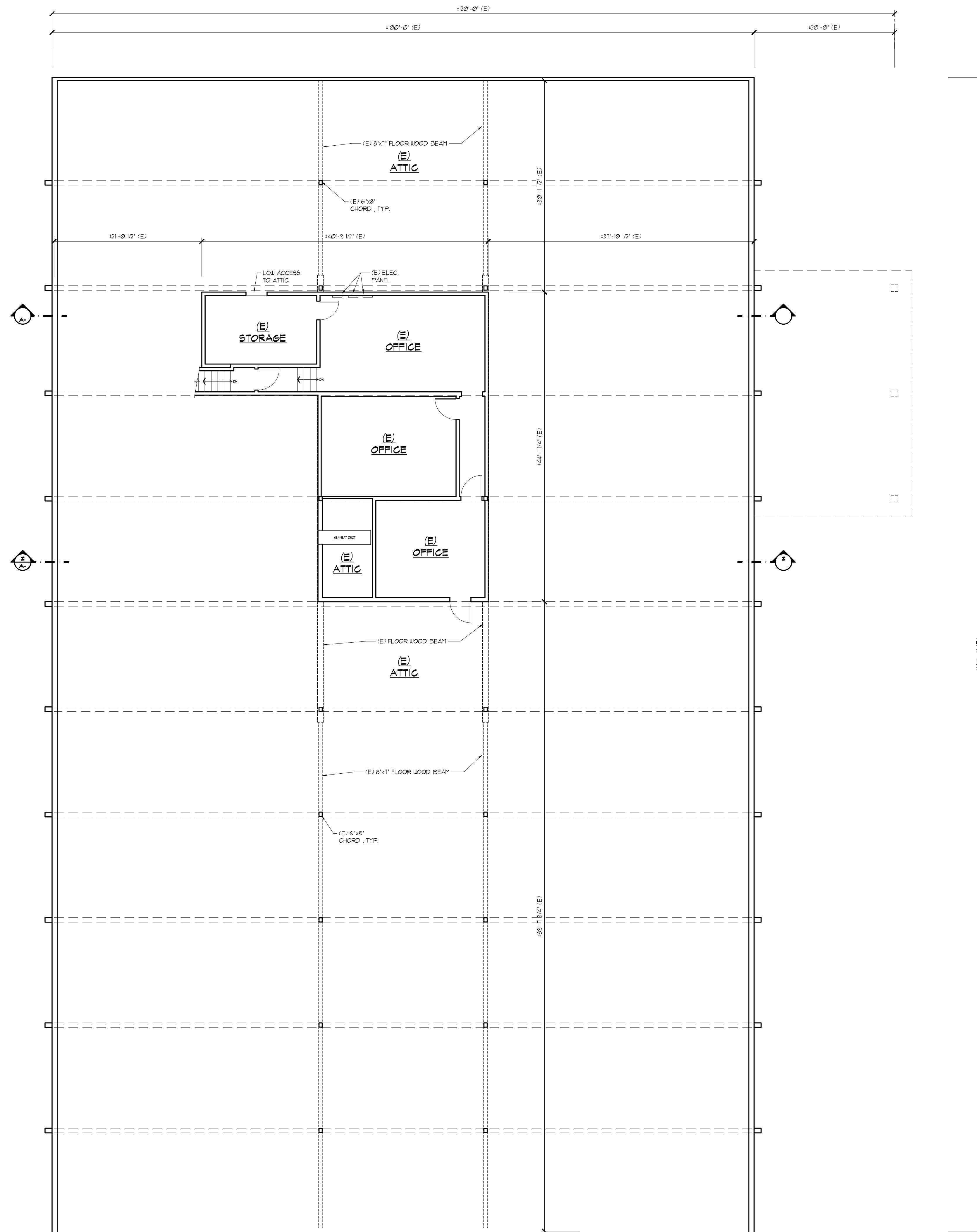
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DRAWN: DE	SHEET
DATE: 12/8/2020	AB-2
SCALE: 1/8" = 1'-0"	
JOB No.: 2017	

AS-BUILT ENTRY LEVEL FLOOR PLAN
 SCALE: 1/8" = 1'-0"

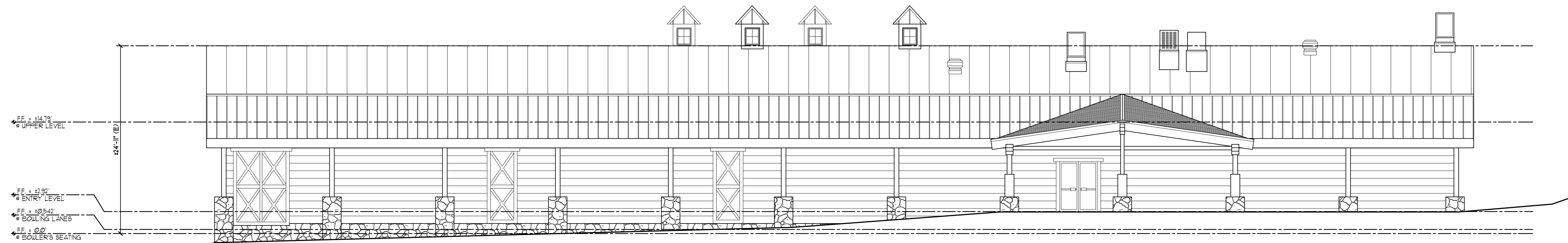
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**AS-BUILT
UPPER LEVEL FLOOR PLAN**
SCALE: 1/8"=1'-0"

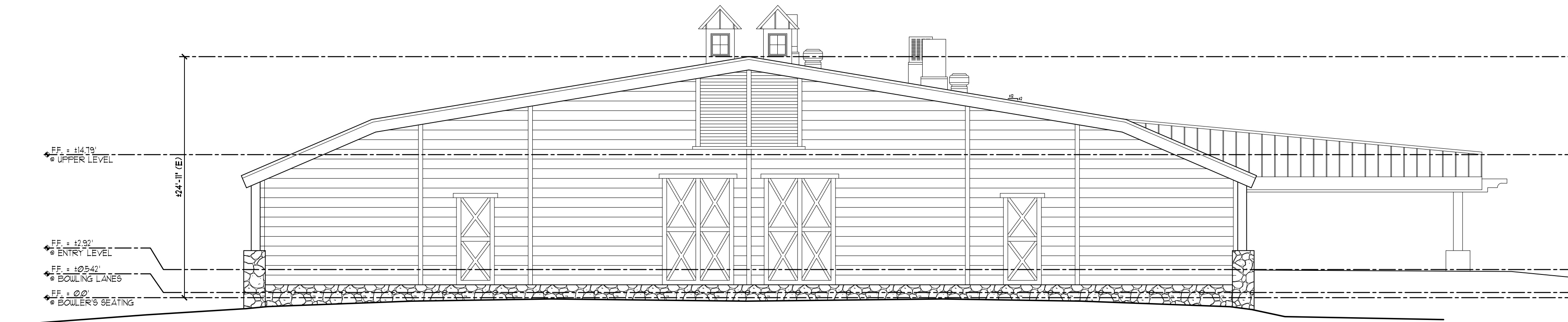
AS-BUILT UPPER LEVEL FLOOR PLAN	
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DATE: 12/8/2020	AB-3
SCALE: 1/8"=1'-0"	
JOB No.: 2017	

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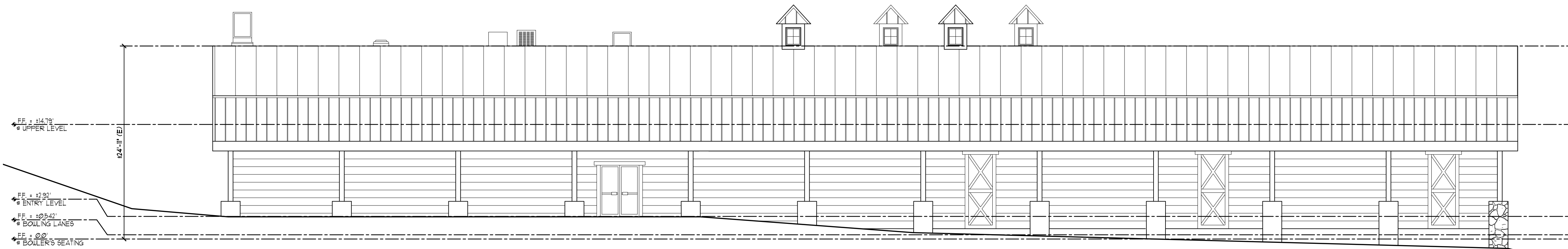
**AS-BUILT
EAST EXTERIOR ELEVATION**

SCALE: 1/8"=1'-0"



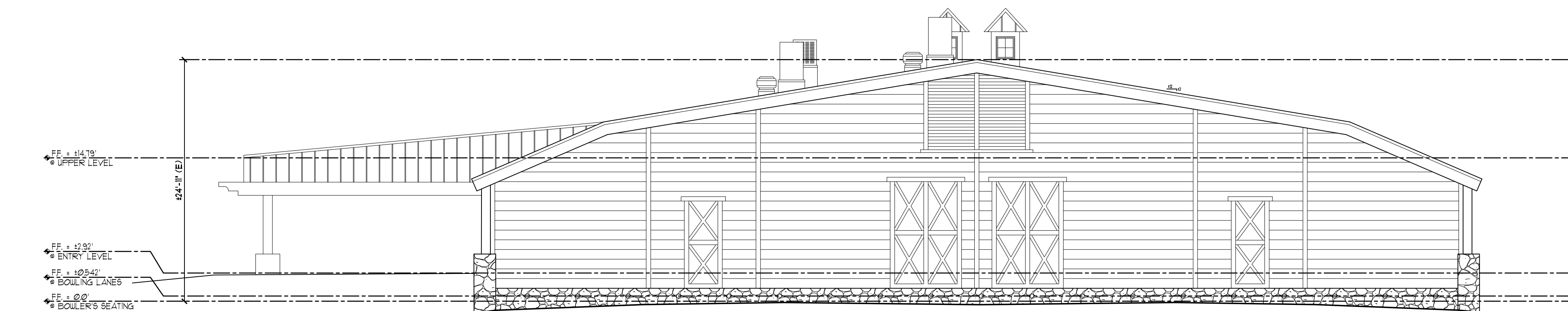
**AS-BUILT
SOUTH EXTERIOR ELEVATION**

SCALE: 1/8"=1'-0"



**AS-BUILT
WEST EXTERIOR ELEVATION**

SCALE: 1/8"=1'-0"



**AS-BUILT
NORTH EXTERIOR ELEVATION**

SCALE: 1/8"=1'-0"

**AS-BUILT EXTERIOR
ELEVATIONS**

REVISIONS

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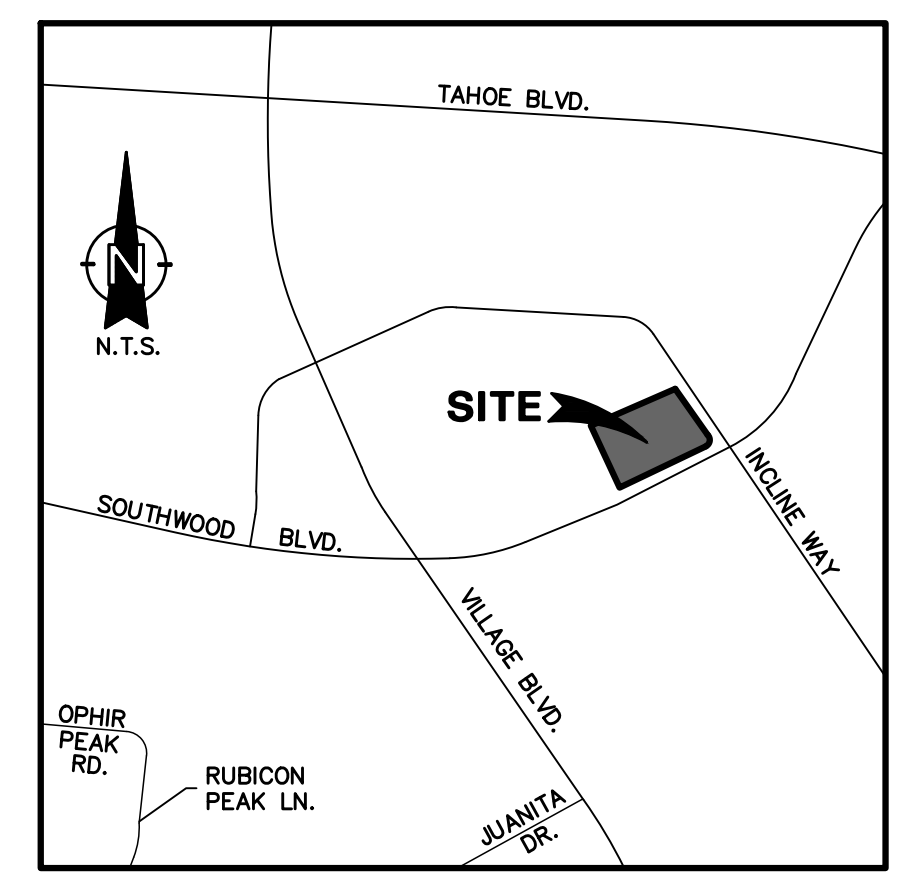
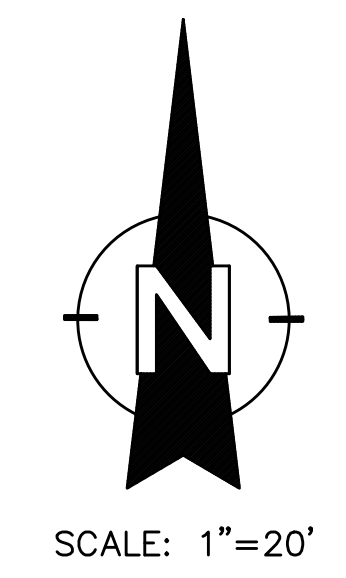
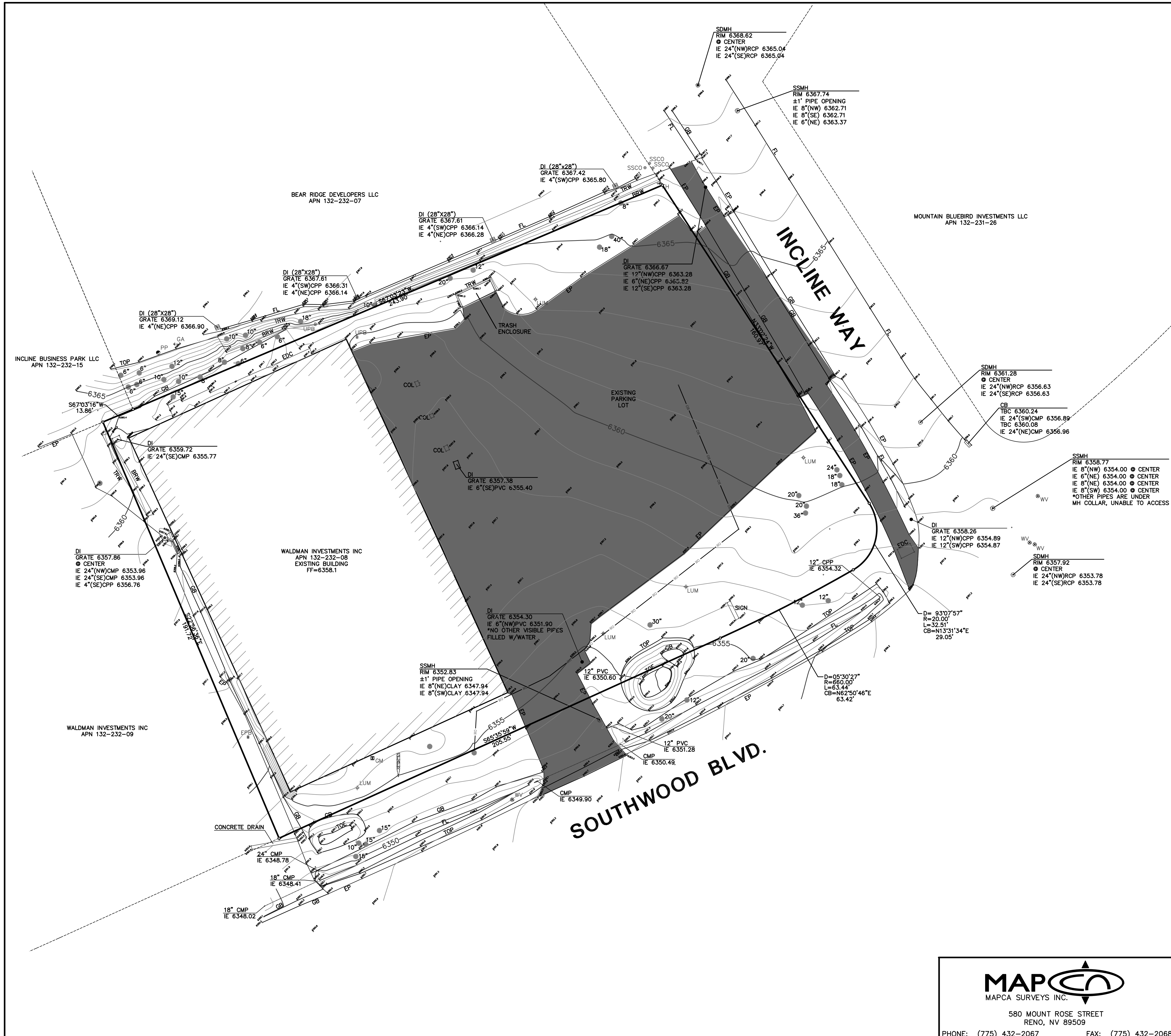
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SHEET
AB-4

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VICINITY MAP

LEGEND

- TREE (CONIFEROUS)
- NOTHING FOUND/ NOTHING SET
- CB CATCH BASIN
- CL CENTERLINE
- COL COLUMN
- DI DROP INLET
- FL FLOWLINE
- EP EDGE OF PAVEMENT
- GB GRADEBREAK
- EPB ELECTRICAL PULL BOX
- FH FIRE HYDRANT
- FL FLOW LINE
- IE INVERT ELEVATION
- LUM LUMINAIRE
- SDMH STORM DRAIN MANHOLE
- SSCO SANITARY SEWER CLEANOUT
- SSMH SANITARY SEWER MANHOLE
- TBC TOP BACK OF CURB
- TOE TOE OF SLOPE
- TOP TOP OF SLOPE
- UPB UTILITY PULL BOX
- WM WATER METER
- WV WATER VALVE

APN: 132-232-08 WASHOE COUNTY
 SITE ADDRESS: 920 SOUTHWOOD BLVD.
 INCLINE VILLAGE, NEVADA 89451

HORIZONTAL DATUM:
 NEVADA STATE PLANE COORDINATE SYSTEM, NAD 83/94,
 WEST ZONE. GROUND DISTANCES

VERTICAL DATUM:
 NAVD88

LAND COVERAGE VERIFICATION

VERIFIED CLASS 1B COVERAGE	SQ. FT.
BUILDING	16,710
TOTAL VERIFIED CLASS 1B COVERAGE	16,710
VERIFIED CLASS 6 COVERAGE	SQ. FT.
AC DRIVEWAY/PARKING AREA	22,286
TOTAL VERIFIED CLASS 6 COVERAGE	22,286
TOTAL PARCEL VERIFIED COVERAGE	38,996



 MAPCA SURVEYS, INC. 580 MOUNT ROSE STREET RENO, NV 89509 PHONE: (775) 432-2067 FAX: (775) 432-2068	TOPOGRAPHIC SURVEY BOWL INCLINE LOTS 8 & 9 COMMERCIAL SUBDIVISION NO. 1 SW 1/4 SECTION 15, T.16N., - R.18E., M.D.B. & M	DRAWN BY: VI	CHECKED BY: BC	
	SCALE: 1" = 20' C.I. = 1 FOOT	DATE: OCTOBER 2020	JOB NUMBER: 1401 SHEET 1 OF 1	
	INCLINE VILLAGE WASHOE COUNTY NEVADA	DATE OF SURVEY: SEPTEMBER 2020		