

Community Services Department

Planning and Development

SPECIAL USE PERMIT

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SPECIAL USE PERMIT FOR GRADING

(see page 11)

SPECIAL USE PERMIT FOR STABLES

(see page 16)

APPLICATION



Community Services Department
Planning and Development
1001 E. Ninth St., Bldg. A
Reno, NV 89520

Telephone: 775.328.3600

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Development staff at 775.328.3600.

Project Information		Staff Assigned Case No.: _____	
Project Name: Verizon Wireless "Rolling Thunder"			
Project Description: Verizon Wireless seeks approval of grading work supporting a new unmanned wireless telecommunications facility at 5202 Wayside Road.			
Project Address: 5205 Wayside Road, Reno, NV 89510			
Project Area (acres or square feet): See site plans			
Project Location (with point of reference to major cross streets AND area locator): <small>Hillside above existing development on parcel, located at 5205 Wayside Road. Parcel located at east end of Wayside Road, past intersection with Stirrup Dr.</small>			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
077-350-01	42.46		
Section(s)/Township/Range: 23-21-33			
Indicate any previous Washoe County approvals associated with this application: Case No.(s). DCA16-007, WSUP17-0006			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: Brian Akre		Name: Complete Wireless Consulting, Inc.	
Address: PO Box 7710 Reno, NV		Address: 2009 V Street Sacramento, CA	
Zip: 89510-7710		Zip: 95818	
Phone: 775-475-1295		Phone: 916-764-2454	
Fax:		Fax: 916-313-3730	
Email: bakre@washoeschools.net		Email: MEllis@completewireless.net	
Cell: 775-475-1295		Cell: 916-764-2454	
Other:		Other:	
Contact Person: Brian Akre		Contact Person: Michelle Ellis, Planning Manager	
Applicant/Developer:		Other Persons to be Contacted:	
Name: Sacramento Valley LP d/b/a Verizon Wireless		Name:	
Address: Attn: CWC, 2009 V Street Sacramento, CA		Address:	
Zip: 95818		Zip:	
Phone: 916-764-2454		Phone:	
Fax: 916-313-3730		Fax:	
Email: MEllis@completewireless.net		Email:	
Cell: 916-764-2454		Cell:	
Other:		Other:	
Contact Person: Michelle Ellis		Contact Person:	
For Office Use Only			
Date Received:		Planning Area:	
Initial:			
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Property Owner Affidavit

Applicant Name: Verizon Wireless

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
)
COUNTY OF WASHOE)

I, Brian Akre
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Development.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 077-350-01

Printed Name Brian Akre

Signed Brian Akre 5-11-16

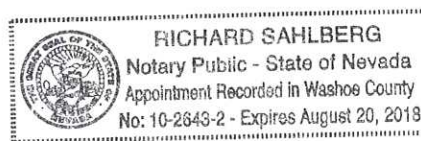
Address PO Box 7710
Reno, NV 89510

Subscribed and sworn to before me this
11 day of MAY, 2016.

(Notary Stamp)

[Signature]
Notary Public in and for said county and state

My commission expires: 8/20/2018



*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of recorded document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

Special Use Permit Application Supplemental Information

(All required information may be separately attached)

Chapter 110 of the Washoe County Code is commonly known as the Development Code. Specific references to special use permits may be found in Article 810, Special Use Permits.

1. What is the type of project being requested?

Graded gravel access road supporting wireless facility on hillside.

2. What currently developed portions of the property or existing structures are going to be used with this permit?

None, access road proposed on raw land

3. What improvements (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.) will have to be constructed or installed and what is the projected time frame for the completion of each?

Gravel access road, grading work.

4. What is the intended phasing schedule for the construction and completion of the project?

Construction will last approximately two months.

5. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

Access route involved less invasive grading work than existing path on property.

6. What are the anticipated beneficial aspects or effects your project will have on adjacent properties and the community?

Access route to proposed telecommunications site on hillside

7. What will you do to minimize the anticipated negative impacts or effects your project will have on adjacent properties?

No impacts on other properties anticipated.

8. Please describe operational parameters and/or voluntary conditions of approval to be imposed on the project special use permit to address community impacts:

Facility will be unmanned, and road lightly used. Technician visit 1-2 times per month

9. How many improved parking spaces, both on-site and off-site, are available or will be provided? (Please indicate on site plan.)

No parking proposed. Facility will be unmanned.

10. What types of landscaping (e.g. shrubs, trees, fencing, painting scheme, etc.) are proposed? (Please indicate location on site plan.)

6' chain link fence with barbed wire at lease area perimeter.

11. What type of signs and lighting will be provided? On a separate sheet, show a depiction (height, width, construction materials, colors, illumination methods, lighting intensity, base landscaping, etc.) of each sign and the typical lighting standards. (Please indicate location of signs and lights on site plan.)

Down-tilted light at equipment cabinets, contact signage on fence. See site plans.

12. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the special use permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
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13. Utilities:

a. Sewer Service	N/A
b. Electrical Service	Yes, see site plans
c. Telephone Service	Yes, see site plans
d. LPG or Natural Gas Service	N/A
e. Solid Waste Disposal Service	N/A
f. Cable Television Service	N/A
g. Water Service	N/A

For most uses, the Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required:

h. Permit #		acre-feet per year	
i. Certificate #		acre-feet per year	
j. Surface Claim #		acre-feet per year	
k. Other #		acre-feet per year	

- l. Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources):

<p>Not applicable.</p>

14. Community Services (provided and nearest facility):

a. Fire Station	Scott Fire Protection
b. Health Care Facility	N/A
c. Elementary School	N/A
d. Middle School	N/A
e. High School	N/A
f. Parks	Palomino Valley Park Site
g. Library	N/A
h. Citifare Bus Stop	N/A

Special Use Permit Application for Grading Supplemental Information

(All required information may be separately attached)

Chapter 110 of the Washoe County Code is commonly known as the Development Code. Specific references to special use permits may be found in Article 810, Special Use Permits. Article 438, Grading, and Article 418, Significant Hydrologic Resources, are the ordinances specifically involved in this request.

1. What is the purpose of the grading?

Access road up hillside to reach telecommunications facility.

2. How many cubic yards of material are you proposing to excavate on site?

Approximately 3,615

3. How many square feet of surface of the property are you disturbing?

Approximately 3,615

4. How many cubic yards of material are you exporting or importing? If none, how are you managing to balance the work on-site?

Importing approximately 291 cubic yards

5. Is it possible to develop your property without surpassing the grading thresholds requiring a Special Use Permit? (Explain fully your answer.)

No. Must develop access road capable of supporting hillside vehicular access.

6. Has any portion of the grading shown on the plan been done previously? (If yes, explain the circumstances, the year the work was done, and who completed the work.)

No. Access route is raw land.

7. Have you shown all areas on your site plan that are proposed to be disturbed by grading? (If no, explain fully your answer.)

Yes. Site plans address all areas on property where grading is proposed.

8. Can the disturbed area be seen from off-site? If yes, from which directions, and which properties or roadways?

Yes, will be slightly visible from Wayside Road, looking east.

9. Could neighboring properties also be served by the proposed access/grading requested (i.e. if you are creating a driveway, would it be used for access to additional neighboring properties)?

No, access road will be fully contained within landlord's 42.46 acre parcel.

10. What is the slope (Horizontal:Vertical) of the cut and fill areas proposed to be? What methods will be used to prevent erosion until the revegetation is established?

Limits of disturbance: Daylight Max 3:1 slope

11. Are you planning any berms?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, how tall is the berm at its highest?
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12. If your property slopes and you are leveling a pad for a building, are retaining walls going to be required? If so, how high will the walls be and what is their construction (i.e. rockery, concrete, timber, manufactured block)?

Please see site plans.

13. What are you proposing for visual mitigation of the work?

Route will be graveled to blend in with hillside.

14. Will the grading proposed require removal of any trees? If so, what species, how many and of what size?

No tree removal is proposed.

15. What type of revegetation seed mix are you planning to use and how many pounds per acre do you intend to broadcast? Will you use mulch and, if so, what type?

Seed mix to be determined, based on requirements of permit. No mulch proposed.

16. How are you providing temporary irrigation to the disturbed area?

To be determined during BP application process.

17. Have you reviewed the revegetation plan with the Washoe Storey Conservation District? If yes, have you incorporated their suggestions?

Yes. Yes.

18. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit the requested grading?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please attach a copy.
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CD DRAWING SIGN-OFF

DATE: _____ TIME: _____ % CWC-PLEASE RETURN BY: _____

COMPLETE Wireless Consulting, Inc. SIGNATURE _____ DATE _____

SITE ACQUISITION: _____

PLANNING: _____

CONSTRUCTION: _____

MANAGEMENT: _____

verizon SIGNATURE _____ DATE _____

CONSTRUCTION: _____

RF ENGINEER: _____

MW ENG./TRANSPORT: _____

EQUIPMENT ENGINEER: _____

OTHER (IF APPLICABLE) SIGNATURE _____ DATE _____

PROJECT NOTES

PER C.O.A. #1:
SHOULD ANY PREHISTORIC OR HISTORIC REMAINS/ARTIFACTS BE DISCOVERED DURING SITE DEVELOPMENT, WORK SHALL TEMPORARILY BE HALTED AT THE SPECIFIC SITE AND THE STATE HISTORIC PRESERVATION OFFICE OF THE DEPARTMENT OF MUSEUMS, LIBRARY AND ARTS SHALL BE NOTIFIED TO RECORD AND PHOTOGRAPH THE SITE. THE PERIOD OF TEMPORARY DELAY SHALL BE LIMITED TO A MAXIMUM OF TWO WORKING DAYS FROM THE DATE OF NOTIFICATION.

PER C.O.A. #1:
ALL DISTURBED AREAS (EXCEPT FOR COMPACTED/ENGINEERED GRAVEL SURFACES) RESULTING FROM CONSTRUCTION OF THE PROJECT AND RELATED ACCESS ROADS AND UTILITIES SHALL BE RESTORED / RE-VEGETATED WITH SEED MIXES THAT ARE NATIVE AND/OR ADAPTED TO THE AREA.

SPECIAL INSPECTIONS

SPECIAL INSPECTIONS PER 2012 IBC SECTION 1704 ARE REQUIRED FOR THE FOLLOWING:

A.) ALL STRUCTURAL WELDING, INCLUDING WELDING OF REINFORCEMENT OF STRUCTURAL STEEL

B.) INSTALLATION & TIGHTENING OPERATIONS FOR ALL HIGH-STRENGTH FRICTION BOLTING

C.) INSTALLATION & TIGHTENING OPERATIONS FOR ALL ANCHOR BOLTS

D.) DURING THE TAKING OF TEST SPECIMENS & PLACING OF ALL REINFORCED CONCRETE WHERE THE SPECIFIED CONCRETE STRENGTH EXCEEDS 2500 PSI

E.) DURING PLACEMENT OF REINFORCING STEEL

F.) SOILS & FOUNDATION COMPLIANCE WITH PROJECT SOIL REPORT PRIOR TO FOUNDATION INSPECTION

STRUCTURAL DESIGN CRITERIA:

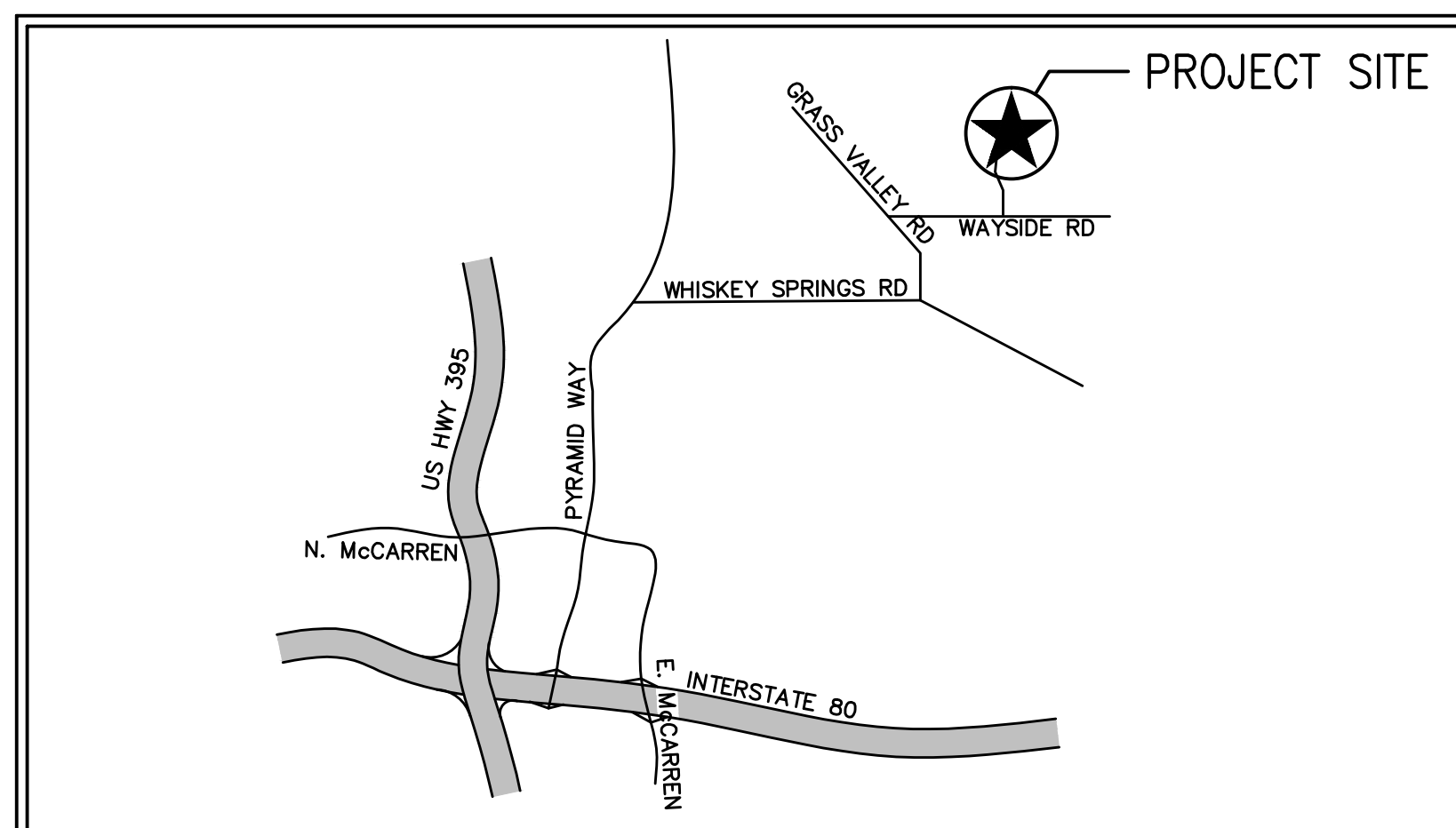
1) SOIL SITE CLASSIFICATION:	D
2) SOIL BEARING CAPACITY:	SLABS: 1500 PSF
3) SEISMIC IMPORTANCE FACTOR:	I
4) SPECTRAL RESPONSE ACCELERATIONS:	Ss = 1.317g S1 = 0.464g
5) SPECTRAL RESPONSE COEFFICIENTS:	SDS = 0.878g SD1 = 0.475g
6) SITE COEFFICIENTS:	Fa = 1.0
7) SEISMIC DESIGN CATEGORY:	D



295 Parkshore Drive, Folsom, CA 95630

ROLLING THUNDER

5205 WAYSIDE ROAD
RENO, NV 89510
APN: 077-350-01
LOCATION #: 382432



LOCATION PLAN

DIRECTIONS

- FROM VERIZON OFFICE @ 255 PARKSHORE DR., FOLSOM, CA 95630:**
1. HEAD NORTHEAST ON PARKSHORE DR.
 2. TURN LEFT ONTO COOLIDGE DR.
 3. TURN LEFT ONTO GLENN DR.
 4. USE THE RIGHT 2 LANES TO TURN RIGHT ONTO FOLSOM BLVD.
 5. CONTINUE ONTO FOLSOM-AUBURN RD.
 6. CONTINUE ONTO AUBURN FOLSOM RD.
 7. TURN LEFT ONTO CAVITT STALLMAN RD.
 8. TURN RIGHT AT THE 1ST CROSS STREET ONTO LAIRD RD.
 9. TURN RIGHT ONTO HORSESHOE BAR RD.
 10. TURN LEFT TO STAY ON HORSESHOE BAR RD.
 11. TURN RIGHT TO MERGE ONTO I-80 E.
 12. MERGE ONTO I-80 E.
 13. ENTERING NEVADA.
 14. USE THE RIGHT 2 LANES TO TAKE EXIT 18 TO MERGE ONTO NV-445 N/PYRAMID WAY.
 15. MERGE ONTO NV-445 N/PYRAMID WAY.
 16. TURN RIGHT ONTO WHISKEY SPRINGS RD.
 17. TURN LEFT ONTO GRASS VALLEY RD.
 18. TURN RIGHT ONTO WAYSIDE RD.

INDEX OF DRAWINGS

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| 2. C1 | CIVIL SURVEY SHEET |
| 3. C-2 | SITE TOPOGRAPHY |
| 4. A1.1 | OVERALL SITE PLAN, ENLARGED ACCESS ROAD PLAN |
| 5. A2.1 | EQUIPMENT LAYOUT PLAN |
| 6. A2.2 | ANTENNA LAYOUT PLAN |
| 7. A3.1 | PROJECT ELEVATIONS |
| 8. A4.1 | SITE CONSTRUCTION DETAILS |
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- CARTWRIGHT ENGINEERS GRADING & DRAINAGE PLANS:**
- | | |
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| 16. C1.0 | GENERAL NOTES & ACCESS ROAD TYPICAL SECTIONS |
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| 19. C1.3 | ACCESS ROAD SECTIONS |
| 20. C2.0 | EROSION & SEDIMENT CONTROL |

PROJECT DIRECTORY

APPLICANT:
VERIZON WIRELESS
295 PARKSHORE DRIVE
FOLSOM, CA 95630

PROPERTY OWNER:
BRIAN M. & MARIA M. AKRE
P.O. BOX 7710
RENO, NV 89510

ARCHITECT:
MANUEL S TSILIAS
1520 RIVER PARK DRIVE
SACRAMENTO, CA 95815
916-505-3811 PH

CONSTRUCTION MANAGER:
BOB SCHROEDER
COMPLETE WIRELESS CONSULTING, INC.
2009 V STREET
SACRAMENTO, CA 95818
916-217-7512
bschroeder@completewireless.net

PROJECT SUMMARY

ASSESSOR'S PARCEL NUMBER: 077-350-01

JURISDICTION: WASHOE COUNTY

OCCUPANCY: U (UNMANNED TELECOMMUNICATIONS FACILITY)

TYPE OF CONSTRUCTION: V-B

ZONING: GRA - GENERAL RURAL AGRICULTURE

CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

1. 2012 INTERNATIONAL BUILDING CODE
2. 2012 INTERNATIONAL RESIDENTIAL CODE
3. 2012 INTERNATIONAL MECHANICAL CODE
4. 2012 INTERNATIONAL FUEL GAS CODE
5. 2012 UNIFORM MECHANICAL CODE
6. 2012 UNIFORM PLUMBING CODE
7. 2011 NATIONAL ELECTRIC CODE
8. 2009 INTERNATIONAL ENERGY CONSERVATION CODE W/AMENDMENTS
9. 2003 INTERNATIONAL FIRE CODE W/AMENDMENTS
10. 2012 NORTHERN NEVADA AMENDMENTS

ACCESSIBILITY REQUIREMENTS:
THIS FACILITY IS UNMANNED AND NOT FOR HUMAN HABITATION. HANDICAPPED ACCESS REQUIREMENTS ARE NOT REQUIRED IN ACCORDANCE WITH THE 2012 INTERNATIONAL BUILDING CODE.

PROJECT DESCRIPTION

- PROPOSED VERIZON WIRELESS UNMANNED TELECOMMUNICATIONS FACILITY INCLUDING:**
- A 50'-0"x50'-0" LEASE AREA.
 - A CHAIN LINK FENCE @ LEASE AREA PERIMETER.
 - OUTDOOR EQUIPMENT CABINETS.
 - UNDERGROUND POWER & TELCO UTILITIES BROUGHT TO FACILITY.
 - A COAXIAL CABLE ICE BRIDGE.
 - ANTENNAS W/ASSOCIATED TOWER MOUNTED EQUIPMENT MOUNTED ON A PROPOSED MONOPOLE.

PROJECT MILESTONES

05/12/2016	90% ZONING DOCUMENTS
06/20/2016	100% ZONING DOCUMENTS
04/19/2017	100% ZONING DOCUMENTS REV1
05/31/2017	90% CONSTRUCTION DOCUMENTS
07/24/2017	100% CONSTRUCTION DOCUMENTS

COMPLETE Wireless Consulting, Inc.

Manuel S. Tsilias, Architect
1520 River Park Drive, Sacramento, CA 95815
916-505-3811

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ROLLING THUNDER
5205 WAYSIDE ROAD
RENO, NV 89510

verizon

SHEET TITLE: TITLE SHEET, LOCATION PLAN, PROJECT DATA

MANUEL S. TSILIAS
REGISTERED
No. 7295
EXPIRES: 12/31/17
ARCHITECT
STATE OF NEVADA

Not valid unless signed in ink by licensee.

Revisions:

△ --	
△ --	
△ --	
△ --	
△ --	

File:162.1800_T11.dwg
Drawn By: MWS
Checked By: MST
Scale: AS NOTED
Date: 07/24/17

Job No. 162.1800

T1.1

CONDITIONS OF APPROVAL

Washoe County Conditions of Approval for WSUP17-0006

Washoe County Planning and Development Division

1. The following conditions are requirements of the Planning and Development Division, which shall be responsible for determining compliance with these conditions.

Contact: Chad Glesinger, Senior Planner, 775.328.3626, cglesinger@washoecounty.us

- a. The applicant shall demonstrate substantial conformance to the plans approved as part of this special use permit. The Planning and Development Division shall determine compliance with this condition.
- b. All related utilities, including telephone and electrical lines connected with the proposed wireless communications facility and within any and all Verizon utility easements on the subject site shall be placed underground.
- c. The total height of the cell tower, including all antennas or any other apparatus, shall not exceed 150 feet from finished grade.
- d. The applicant shall submit complete construction plans and building permits shall be issued within two years from the date of approval by Washoe County. The applicant shall complete construction within the time specified by the building permits. Compliance with this condition shall be determined by the Planning and Development Division.
- e. Security fencing shall be erected around the entire 50 x 50 foot wireless communications facility compound (lease area). The installation of security fencing shall assure the facility is protected from climbing by unauthorized persons. Said security fencing shall NOT be screened by the use of colored slats. The chain link fence shall remain unscreened and open (i.e. see through).
- f. All equipment, fencing, ground cabinet, tower, and tower components shall be painted a neutral color (e.g. tan or light brown) that will blend with the character of the area. In no instance shall reflective metal materials be utilized that could result in light and glare.
- g. The applicant shall attach a copy of the action order granting approval of this project to all administrative permit applications (including building permits) applied for as part of this special use permit.
- h. At the time of building permit application, the applicant shall submit a survey (or other acceptable certification) demonstrating that the monopole is located a minimum of 2,000 feet from the parcel boundary of Assessors Parcel Number 077-340-14.
- i. All disturbed areas (except for compacted/engineered gravel surfaces) resulting from construction of the project and related access roads and utilities shall be restored / re-vegetated with seed mixes that are native and/or adapted to the area.
- j. A note shall be placed on all construction drawings and grading plans stating:

NOTE

Should any prehistoric or historic remains/artifacts be discovered during site development, work shall temporarily be halted at the specific site and the State Historic Preservation Office of the Department of Museums, Library and Arts shall be notified to record and photograph the site. The period of temporary delay shall be limited to a maximum of two working days from the date of notification.

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Washoe County Conditions of Approval for WSUP17-0006

k. The following **Operational Conditions** shall be required for the life of the project:

1. This Special Use Permit shall expire and become null and void within 2 years from the final date of approval if final building permits have not been issued by said date.
2. The applicant and any successors shall be responsible for maintenance and repairs of everything within the 50 x 50 foot wireless communications compound and shall be responsible for all maintenance and repairs of the entire wireless communications facility, including required maintenance of the fence and replacement of any part of the slim line pole should it deteriorate or become damaged. The applicant shall take action not more than 30 days after receiving notification from Washoe County of any damage to the wireless communications facility or the fence.
3. If the facility ceases operations, or if abandonment is contemplated, then the operator/owner of record shall notify Washoe County of its intent at least 2 months in advance and shall submit demolition plans to the Washoe County Building and Safety division. The abandoned site shall be restored to its pre-development condition. The owner shall be responsible for all costs associated with demolition and restoration of the site.
4. Failure to comply with the Conditions of Approval shall render this approval null and void. Compliance with this condition shall be determined by Washoe County Planning and Development.
5. The applicant and any successors shall direct any potential purchaser/operator of the site and/or the special use permit to meet with Washoe County Planning and Development to review conditions of approval prior to the final sale of the site and/or the special use permit. Any subsequent purchaser/operator of the site and/or the special use permit shall notify the Washoe County Planning and Development of the name, address, telephone number, and contact person of the new purchaser/operator within 30 days of the final sale.
6. This special use permit shall remain in effect as long as the subject wireless communications facility is in operation and remains in compliance with the conditions of approval.

Washoe County Engineering and Capital Projects Division

2. The following conditions are requirements of the Engineering and Capital Projects Division, which shall be responsible for determining compliance with these conditions.

Contact: Leo Vesely, P.E., 775.328.2313, lvesely@washoecounty.us

- a. A complete set of construction improvement drawings, including an on-site grading plan (to include the access road), shall be submitted when applying for a building/grading permit. Grading shall comply with best management practices (BMP's) and shall include detailed plans for grading, site drainage, erosion control (including BMP locations and installation details), slope stabilization, and mosquito abatement. Placement or removal of any excavated materials shall be indicated on the grading plan. All grading shall comply with Washoe County Code Chapter 110, Article 438, Grading Standards. Silts shall be controlled on-site.
- b. The applicant shall provide **proof of easements** for the lease area, access and utilities. A copy of the documented easements shall be submitted to the Engineering Division prior to issuance of a building permit.

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Washoe County Conditions of Approval for WSUP17-0006

c. All existing and proposed easements shall be shown on the site and/or grading plan. The County Engineer shall determine compliance with this condition.

3. The following conditions are requirements of the Palomino Valley General Improvement District (PVGID), which shall be responsible for determining compliance with these conditions.

Contact: Larry Johnson, President of PVGID, 775.848.6788, palvalgjd@gmail.com

- a. Any damage to PVGID roadways from construction traffic shall be repaired by regrading after completion of the project.

*** End of Conditions ***

Special Use Permit Case Number WSUP17-0006
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GENERAL NOTES

1. DRAWINGS ARE NOT TO BE SCALED, WRITTEN DIMENSIONS TAKE PRECEDENCE, AND THIS SET OF PLANS IS INTENDED TO BE USED FOR DIAGRAMMATIC PURPOSES ONLY, UNLESS NOTED OTHERWISE. THE GENERAL CONTRACTOR'S SCOPE OF WORK SHALL INCLUDE FURNISHING ALL MATERIALS, EQUIPMENT, LABOR AND ANYTHING ELSE DEEMED NECESSARY TO COMPLETE INSTALLATIONS AS DESCRIBED HEREIN.

2. PRIOR TO THE SUBMISSION OF BIDS, THE CONTRACTORS INVOLVED SHALL VISIT THE JOB SITE AND FAMILIARIZE THEMSELVES WITH ALL CONDITIONS AFFECTING THE PROPOSED PROJECT, WITH THE CONSTRUCTION AND CONTRACT DOCUMENTS, FIELD CONDITIONS AND CONFIRM THAT THE PROJECT MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY ERRORS, OMISSIONS, OR DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT/ ENGINEER.

3. THE GENERAL CONTRACTOR SHALL RECEIVE WRITTEN AUTHORIZATION TO PROCEED WITH CONSTRUCTION PRIOR TO STARTING WORK ON ANY ITEM NOT CLEARLY DEFINED BY THE CONSTRUCTION DRAWINGS/CONTRACT DOCUMENTS.

4. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE PROJECT DESCRIBED HEREIN. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THE CONTRACT.

5. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS ACCORDING TO MANUFACTURER'S/VENDOR'S SPECIFICATIONS UNLESS NOTED OTHERWISE OR WHERE LOCAL CODES OR ORDINANCES TAKE PRECEDENCE.

6. ALL WORK PERFORMED ON PROJECT AND MATERIALS INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS, AND ORDINANCES. CONTRACTOR SHALL GIVE ALL NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS, AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY, MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS, AND LOCAL AND STATE JURISDICTIONAL CODES BEARING ON THE PERFORMANCE OF THE WORK.

7. GENERAL CONTRACTOR SHALL PROVIDE AT THE PROJECT SITE A FULL SET OF CONSTRUCTION DOCUMENTS UPDATED WITH THE LATEST REVISIONS AND ADDENDUMS OR CLARIFICATIONS FOR THE USE BY ALL PERSONNEL INVOLVED WITH THE PROJECT.

8. THE STRUCTURAL COMPONENTS OF THIS PROJECT SITE/FACILITY ARE NOT TO BE ALTERED BY THIS CONSTRUCTION PROJECT UNLESS NOTED OTHERWISE.

9. DETAILS HEREIN ARE INTENDED TO SHOW END RESULT OF DESIGN. MINOR MODIFICATIONS MAY BE REQUIRED TO SUIT JOB CONDITIONS OR SITUATIONS, AND SUCH MODIFICATIONS SHALL BE INCLUDED AS PART OF THE SCOPE OF WORK.

10. SEAL PENETRATIONS THROUGH FIRE-RATED AREAS WITH U.L. LISTED OR FIRE MARSHALL APPROVED MATERIALS IF APPLICABLE TO THIS FACILITY AND OR PROJECT SITE.

11. THE CONTRACTOR SHALL MAKE NECESSARY PROVISIONS TO PROTECT EXISTING IMPROVEMENTS, EASEMENTS, PAVING, CURBING, ETC. DURING CONSTRUCTION. UPON COMPLETION OF WORK, CONTRACTOR SHALL REPAIR ANY DAMAGE THAT MAY HAVE OCCURRED DUE TO THE CONSTRUCTION ON OR ABOUT THE PROPERTY.

12. CONTRACTOR SHALL SEE TO IT THAT GENERAL WORK AREA IS KEPT CLEAN AND HAZARD FREE DURING CONSTRUCTION AND DISPOSE OF ALL DIRT, DEBRIS, RUBBISH AND REMOVE EQUIPMENT NOT SPECIFIED AS REMAINING ON THE PROPERTY. PREMISES SHALL BE LEFT IN CLEAN CONDITION AND FREE FROM PAINT SPOTS, DUST, OR SMUDGES OF ANY NATURE.

13. THE ARCHITECTS/ENGINEERS HAVE MADE EVERY EFFORT TO SET FORTH IN THE CONSTRUCTION AND CONTRACT DOCUMENTS THE COMPLETE SCOPE OF WORK. CONTRACTORS BIDDING THE JOB ARE NEVERTHELESS CAUTIONED THAT MINOR OMISSIONS OR ERRORS IN THE DRAWINGS AND OR SPECIFICATIONS SHALL NOT EXCUSE SAID CONTRACTOR FROM COMPLETING THE PROJECT AND IMPROVEMENTS IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS. THE BIDDER SHALL BEAR THE RESPONSIBILITY OF NOTIFYING (IN WRITING) THE ARCHITECT/ENGINEER OF ANY CONFLICTS, ERRORS, OR OMISSIONS PRIOR TO THE SUBMISSION OF CONTRACTOR'S PROPOSAL. IN THE EVENT OF DISCREPANCIES THE CONTRACTOR SHALL PRICE THE MORE COSTLY OR EXTENSIVE WORK, UNLESS DIRECTED OTHERWISE.

Manuel S. Tshilas, Architect
1520 River Park Drive, Sacramento, CA 95815
916-505-8811
COMPLETE Wireless Consulting, Inc.

ROLLING THUNDER
5205 WAYSIDE ROAD
RENO, NV 89510

SHEET TITLE: GENERAL NOTES AND CONDITIONS OF APPROVAL

MANUEL S. TSHILAS
REGISTERED
No. 7295
EXPIRES: 12/31/17
ARCHITECT
STATE OF NEVADA
Not valid unless signed in ink by licensee.

Revisions:

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Drawn By: JCE
Checked By: TST
Scale: AS NOTED
Date: 07/24/17

Job No. 162.1800

T1.2

LEGEND

- PARCEL BOUNDARY
- NEIGHBORING PARCEL BOUNDARY
- LEASE AREA BOUNDARY
- UTILITIES
- (E) EASEMENTS
- (P) EASEMENTS
- FENCE LINE
- JP JOINT UTILITY POLE
- TP TELEPHONE POLE
- EP ELECTRICAL POLE
- 6" OAK TREE WITH DIAMETER BREST HEIGHT (DBH)
- W WATER VALVE
- W WATER BOX
- SSMH SANITARY SEWER MANHOLE
- SDMH STORM DRAIN MANHOLE
- DI DROP INLET

DATE OF SURVEY: 05-04-16

SURVEYED BY OR UNDER DIRECTION OF: KENNETH D. GEIL, PLS 13385 LOCATED IN THE COUNTY OF WASHOE, STATE OF NEVADA

CONTRACTOR IS RESPONSIBLE TO VERIFY LEASE AREA PRIOR TO CONSTRUCTION.

BEARINGS SHOWN ARE BASED UPON MONUMENTS FOUND AND RECORD INFORMATION. THIS IS NOT A BOUNDARY SURVEY.

ELEVATIONS SHOWN ON THIS PLAN ARE BASED UPON U.S.G.S. N.A.V.D. 88 DATUM. ABOVE MEAN SEA LEVEL UNLESS OTHERWISE NOTED.

N.G.V.D. 1929 CORRECTION: SUBTRACT 3.39' FROM ELEVATIONS SHOWN.

CONTOUR INTERVAL: 1 FT.

ASSESSOR'S PARCEL NUMBER: 077-350-01

LANDLORD(S): BRIAN M. & MARIA M. AKRE
P.O. BOX 7710
RENO, NV 89510

Project Name: Rolling Thunder

Project Site Location: 5205 Wayside Road
Reno, NV 89510
Washoe County

Date of Observation: 05-04-16

Equipment/Procedure Used to Obtain Coordinates: Trimble GeoXT post processed with Pathfinder Office software.

Type of Antenna Mount: Proposed Monopole
Coordinates:

Latitude: N 39°48'46.52" (NAD83) N 39°48'46.84" (NAD27)
Longitude: W 119°37'22.92" (NAD83) W 119°37'19.25" (NAD27)

ELEVATION of Ground at Structure (NAVD88) 4540' AMSL

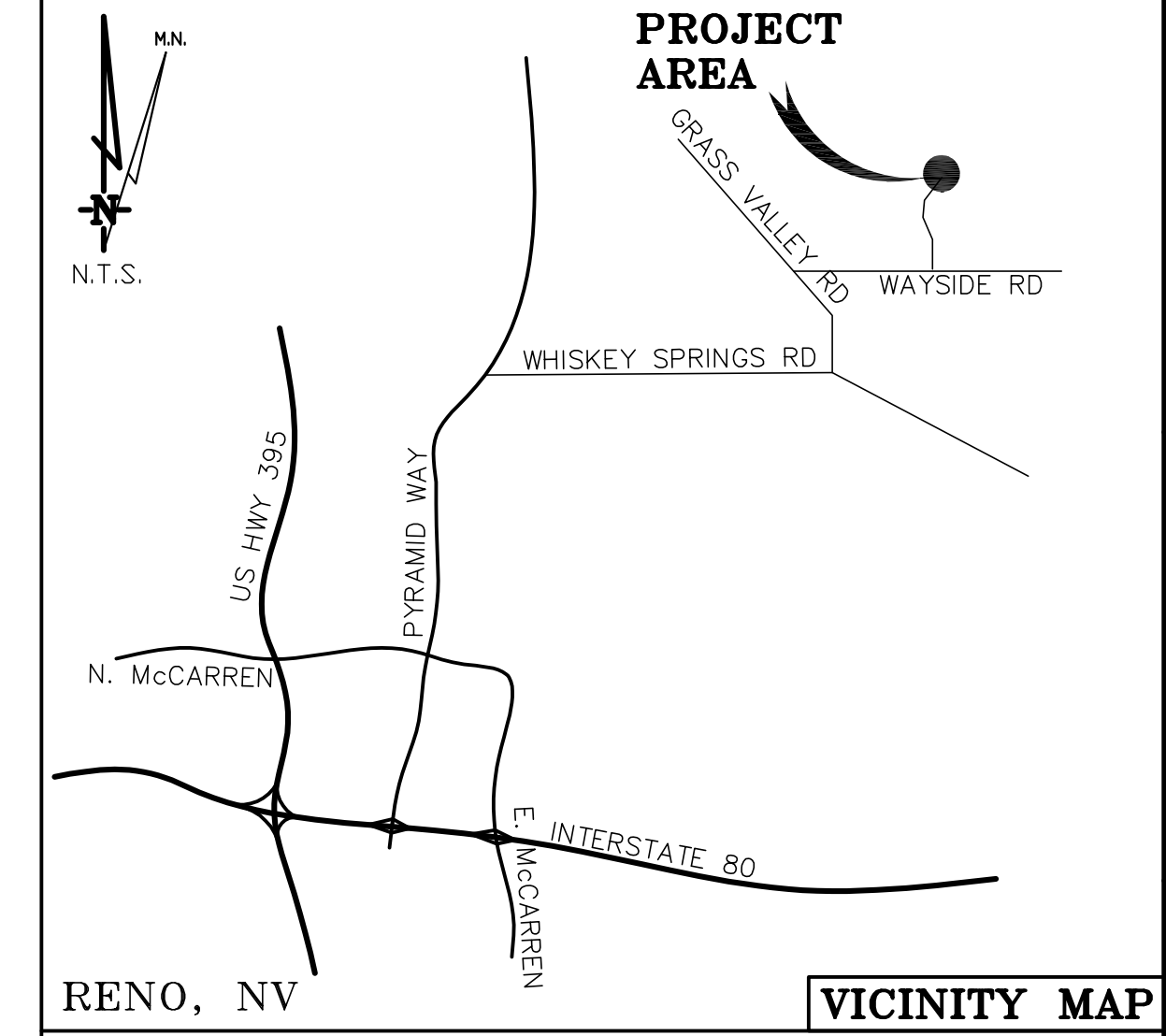
Rollong Thunder
Lease Area Description

All that certain lease area being a portion of the Southeast quarter of the Southeast quarter of Section 33, Township 23 North, Range 21 East M.D.M. as delineated on Survey 1009 filed as Document No. 434698 Official Records of Washoe County, Nevada being more particularly described as follows:

Equipment Lease Area
Commencing at a monument set for the Southeast corner of said parcel of land; thence along the East boundary thereof North 00°10'11" East 711.10 feet; thence leaving said East boundary North 89°49'49" West 587.85 feet to the True Point of Beginning; thence from said point of beginning South 07°46'30" West 50.00 feet; thence North 82°13'30" West 50.00 feet; thence North 07°46'30" East 50.00 feet; thence South 82°13'30" East 50.00 feet to the point of beginning.

Together with an easement for access purposes, twenty feet in width the centerline of which is described as follows: Beginning at a point which bears South 7°46'30" West, 10.00 feet from the Southwest corner of the above described lease area; thence from said point of beginning South 82°13'30" East, 190.10 feet thence along a tangent curve to the East, having a radius of 500.00 feet and a central angle of 82°23'41"; thence along said curve a distance of 719.03 feet; ; thence South 0°10'11" West, 93.14 feet more or less to the public right of way.

Also together with an easement for utility purposes, six feet in width, the centerline of which is described as follows: Beginning at a point on the South boundary of the above described lease area which bears South 82°13'30" East, 8.29 feet from the Southwest corner thereof; thence from said point of beginning South 7°46'30" West, 20.44 feet; thence South 16°16'35" West, 667.08 feet more or less to the public right of way.

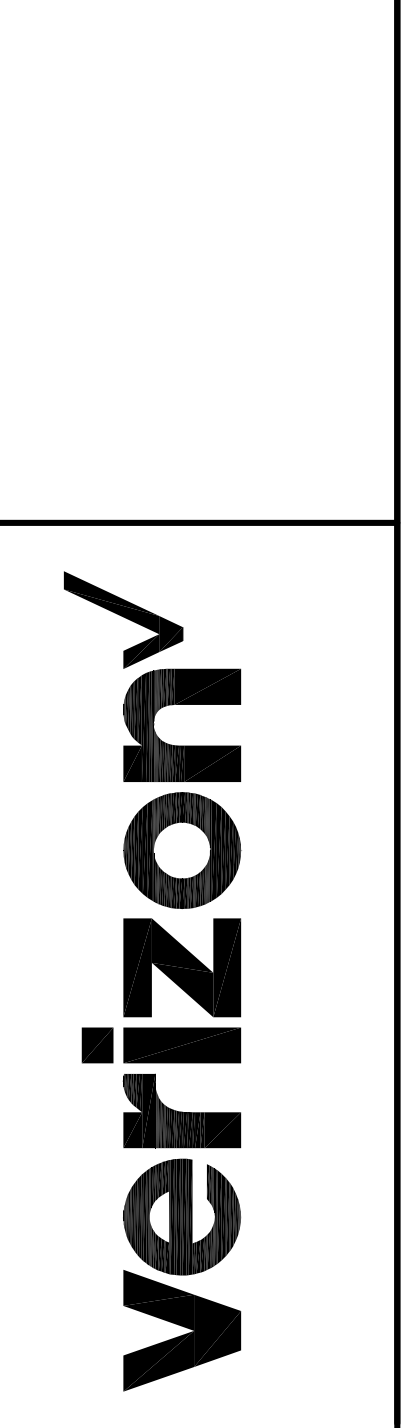


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BOUNDARY SHOWN IS BASED ON MONUMENTATION FOUND AND RECORD INFORMATION. THIS IS NOT A BOUNDARY SURVEY. THIS IS A SPECIALIZED TOPOGRAPHIC MAP WITH PROPERTY LINES AND EASEMENTS BEING A GRAPHIC DEPICTION BASED ON INFORMATION GATHERED FROM VARIOUS SOURCES OF RECORD AND AVAILABLE MONUMENTATION FOUND DURING THE FIELD SURVEY. NO EASEMENTS WERE RESEARCHED OR PLOTTED. PROPERTY LINES AND LINES OF TITLE WERE NOT INVESTIGATED NOR SURVEYED. NO PROPERTY MONUMENTS WERE SET.

DEPT	APPROVED	DATE
A&C		
RE		
RF		
INT		
EE\IN		
OPS		
EE\OUT		

Surveyor
GEIL ENGINEERING
ENGINEERING • SURVEYING • PLANNING
1226 HIGH STREET
AUBURN, CALIFORNIA 96905
Phone: (530) 885-0496
Fax: (530) 885-0498

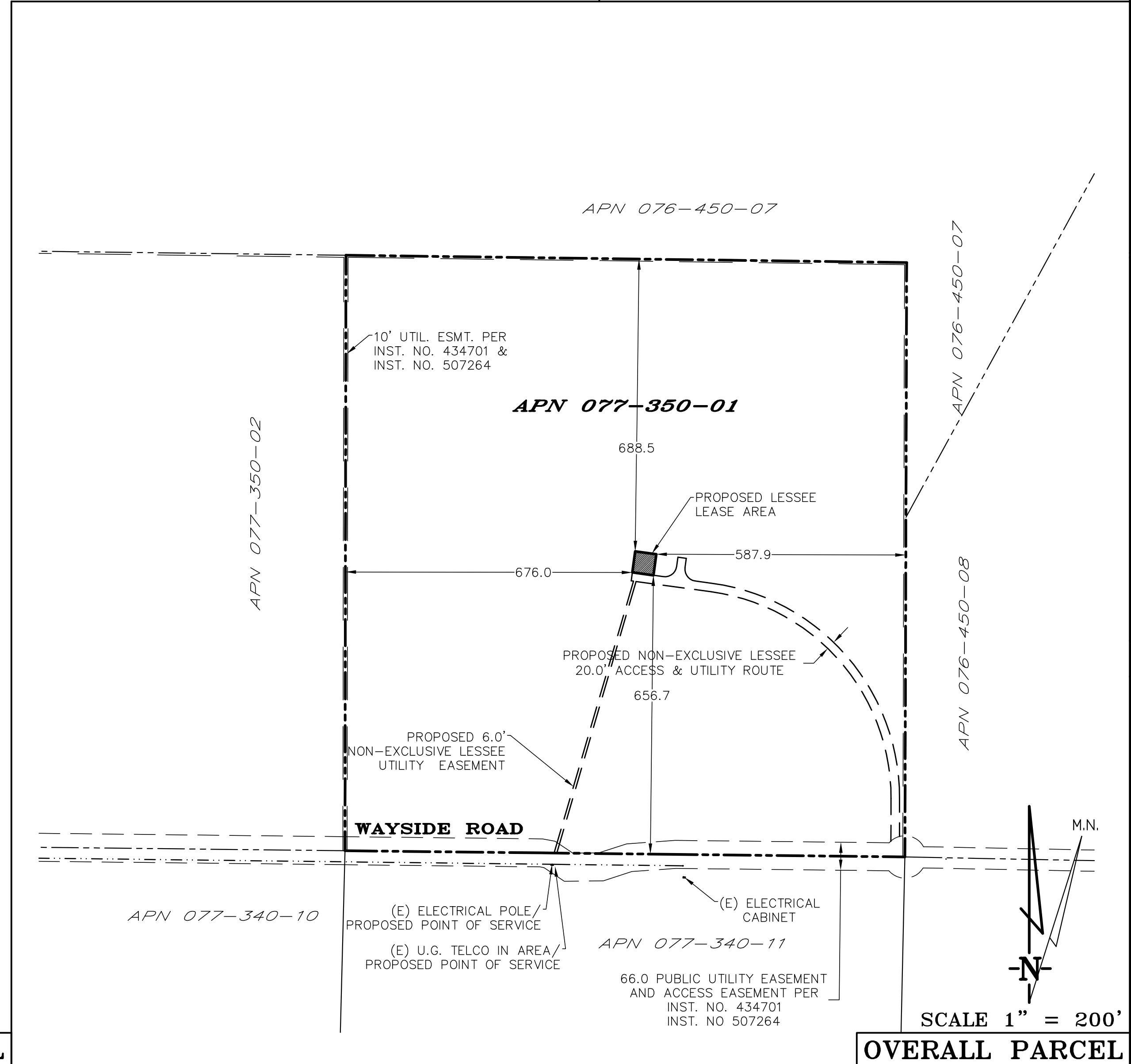
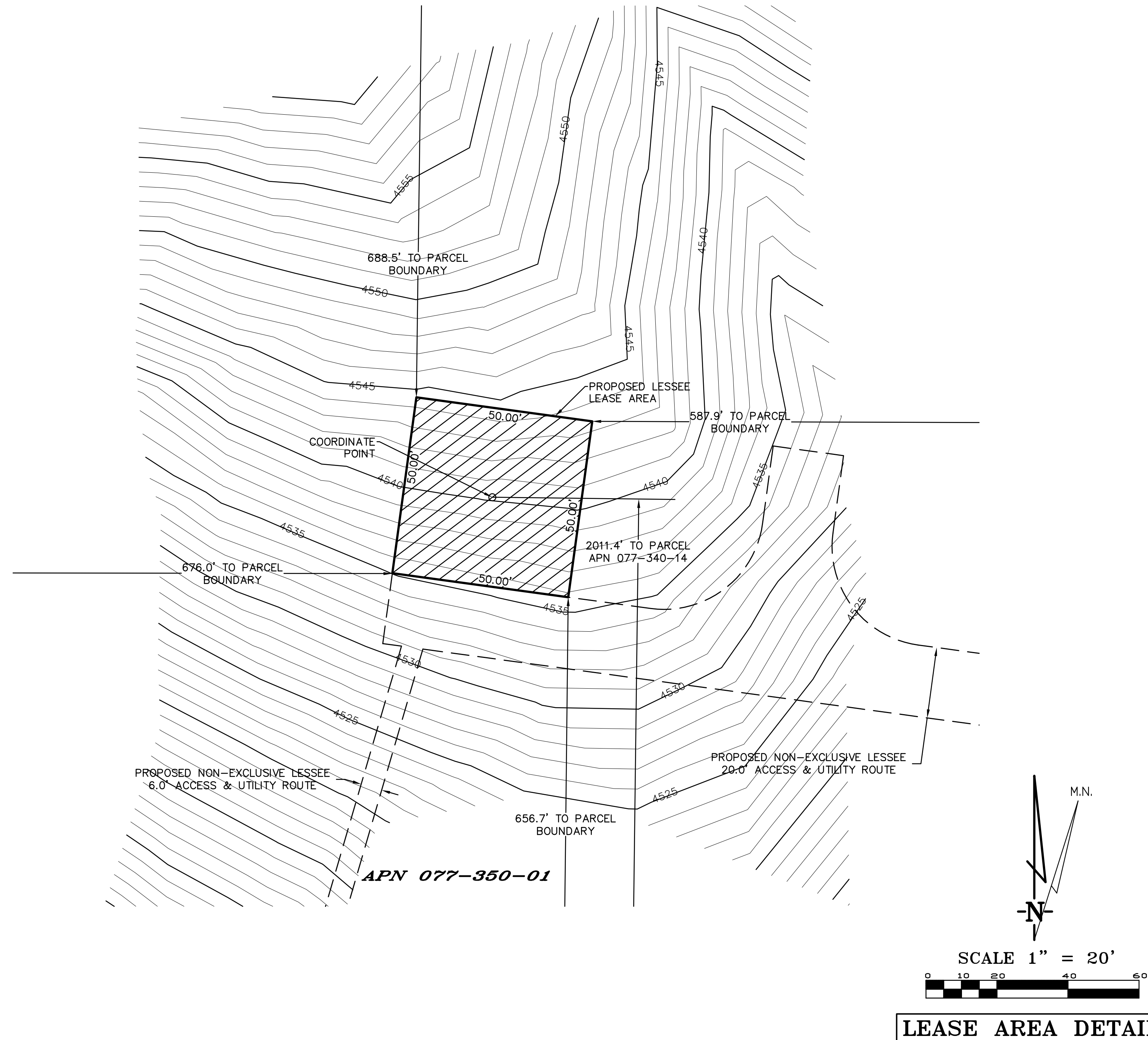


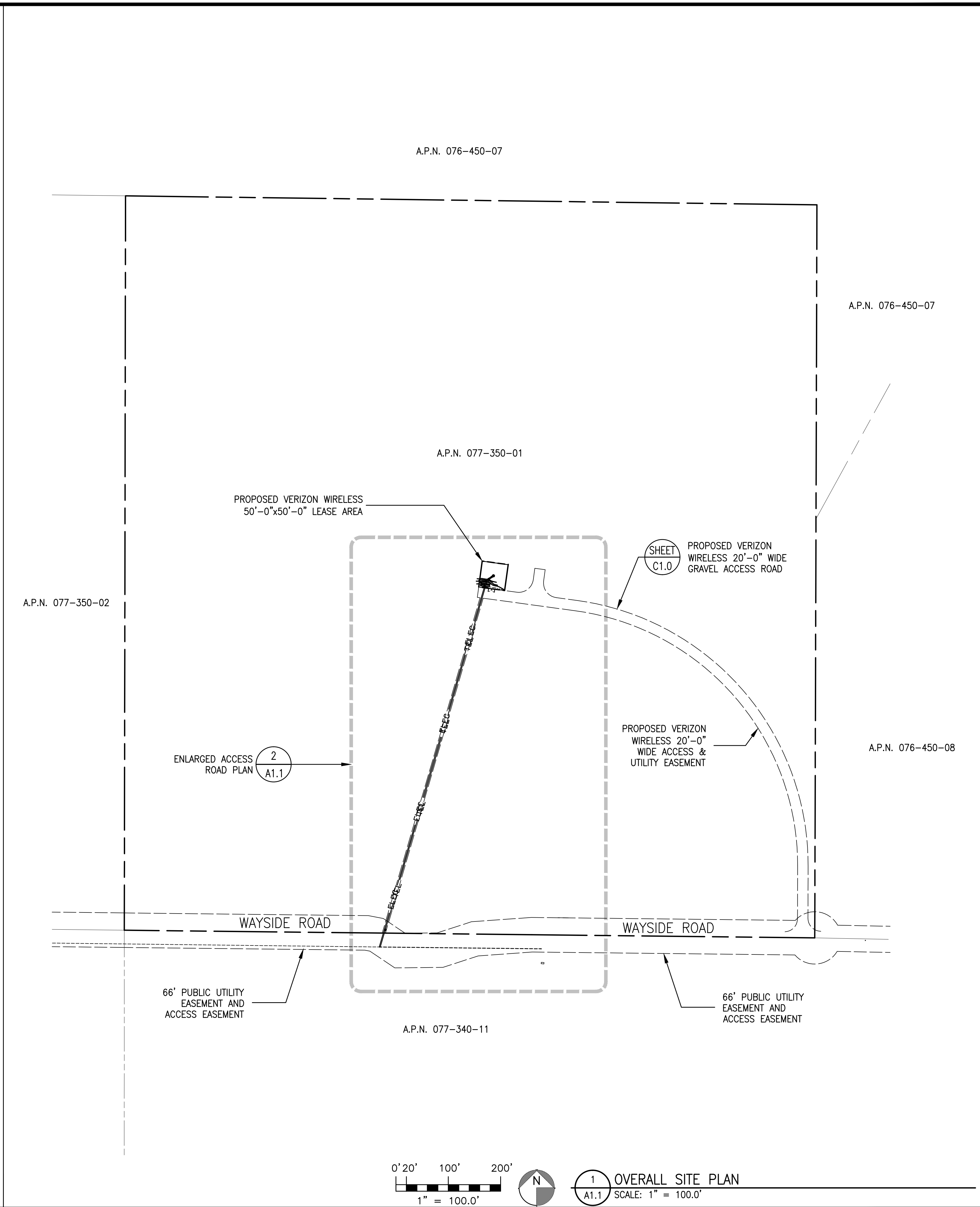
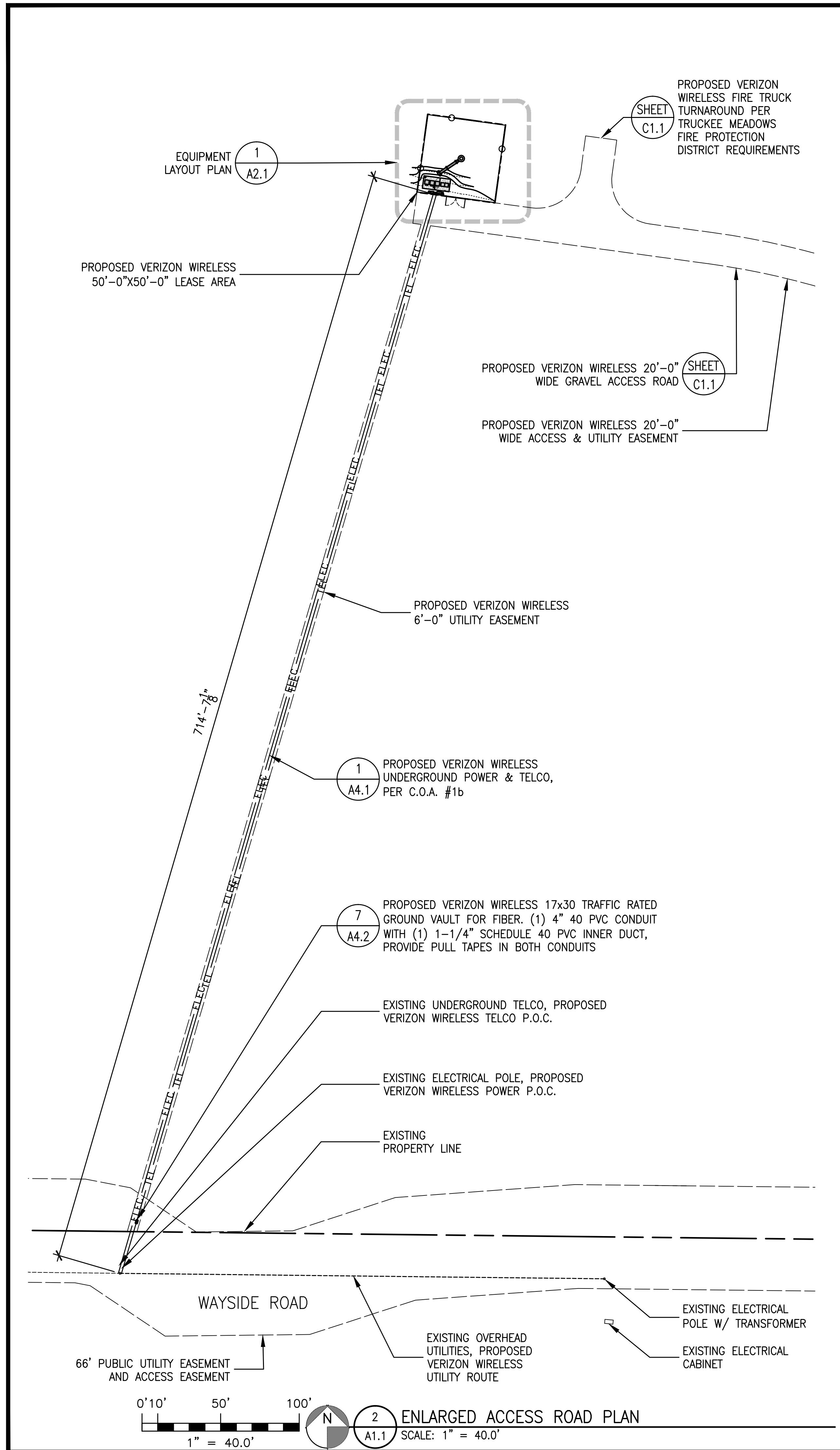
Rolling Thunder
5205 Wayside Road
Reno, NV 89510

**PLOT PLAN AND
SITE TOPOGRAPHY**

REVISIONS	REV	DATE	DESCRIPTION
	05-05-16		Preliminary Drawing
	06-20-16		rev. esmt.
	07-18-16		VZW to Lessee
	04-17-17		rev. esmts.
	07-24-17		redlines

Sheet
C-1





Manuel S. Tsilias, Architect
1520 River Park Drive, Sacramento, CA 95815
916-505-8811

COMPLETE
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ROLLING THUNDER
5205 WAYSIDE ROAD
RENO, NV 89510

verizon

SHEET TITLE:
OVERALL SITE PLAN, ENLARGED ACCESS ROAD PLAN

MANUEL S. TSILIAS
REGISTERED
No. 7295
EXPIRES: 12/31/17
ARCHITECT
STATE OF NEVADA

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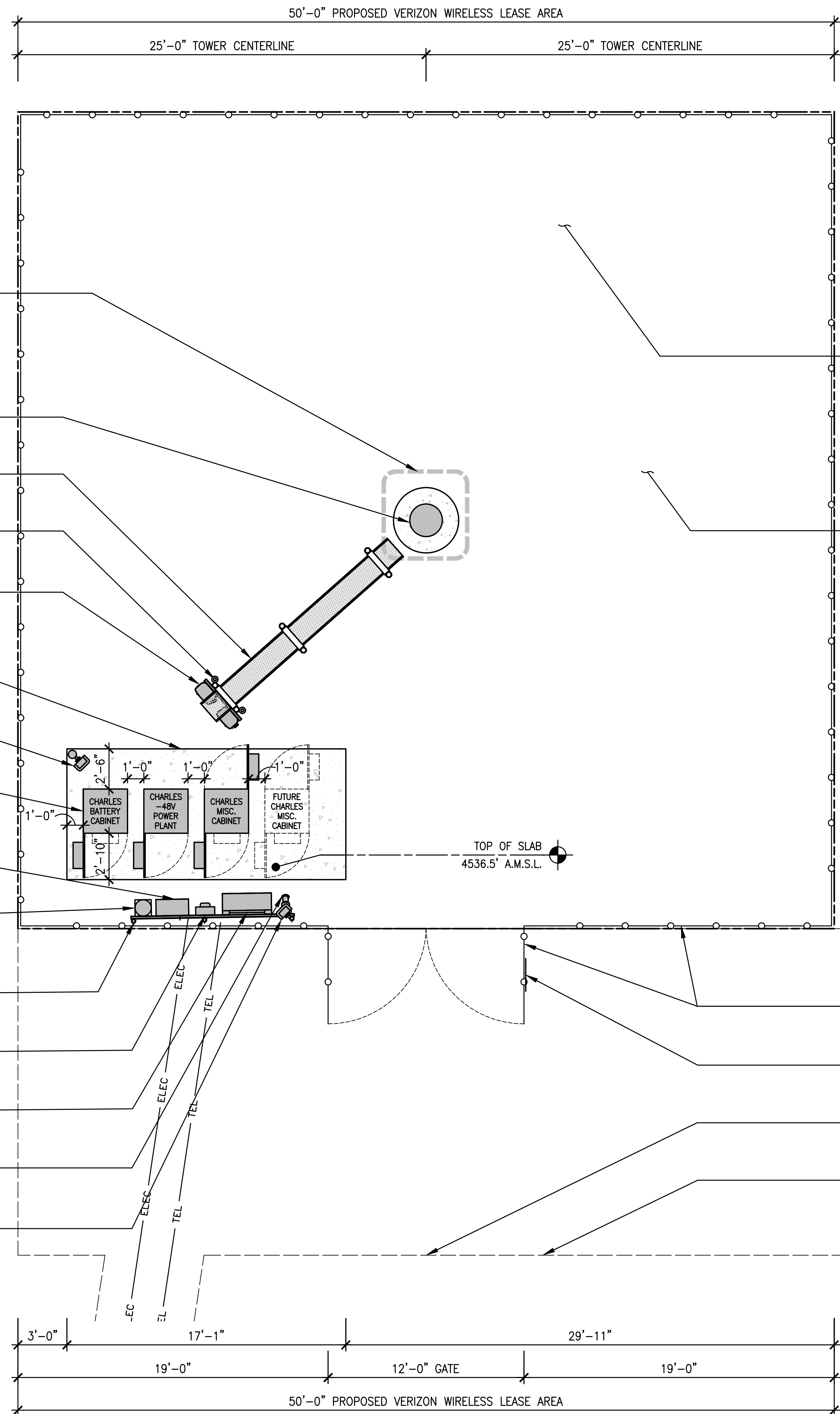
Revisions:

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Scale: AS NOTED
Date: 07/24/17

Job No. 162.1800

A1.1



ANTENNA LAYOUT PLAN (1) A2.2

PROPOSED VERIZON WIRELESS 150'-0" TALL MONOPOLE (2) A4.1

PROPOSED VERIZON WIRELESS ICE BRIDGE (6) A4.1

(2) PROPOSED VERIZON WIRELESS GPS ANTENNAS (6) A4.1

PROPOSED VERIZON WIRELESS SURGE PROTECTORS MOUNTED TO ICE BRIDGE (1) S1.1

PROPOSED 8'-0"x17'-1" VERIZON WIRELESS CONCRETE EQUIPMENT PAD (11) A4.1

PROPOSED VERIZON WIRELESS DOWNWARD FACING LED WORKLIGHT (7) A4.1

PROPOSED VERIZON WIRELESS OUTDOOR EQUIPMENT CABINETS (12) A4.1

PROPOSED VERIZON WIRELESS TELCO BOX (5) A4.1

PROPOSED VERIZON WIRELESS PORTABLE FIRE EXTINGUISHER ON UTILITY H-FRAME. INSTALL IN WEATHERPROOF CABINET & LABEL. THE EXTINGUISHER SHALL BE RATED 4A:80B:C OR AS REQUIRED BY LOCAL FIRE AUTHORITY (12) A4.1

PROPOSED VERIZON WIRELESS UTILITY H-FRAME (12) A4.1

PROPOSED VERIZON WIRELESS 200A SERVICE METER (12) A4.1

PROPOSED VERIZON WIRELESS INTERSECT PANEL (12) A4.1

PROPOSED VERIZON WIRELESS 200A GENERATOR RECEPTACLE (10) A4.1

PROPOSED VERIZON WIRELESS DOWNWARD FACING LED WORKLIGHT (10) A4.1

(SHEET) C1.0 SEE CIVIL ENGINEERING PLANS FOR SITE GRADING

(3) A4.1 3/4" CRUSHED STONE BASE AT LEASE AREA

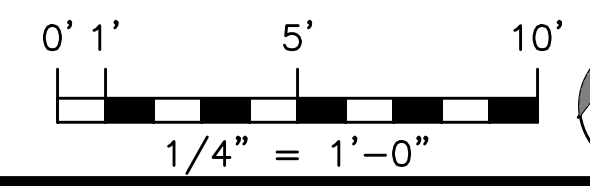
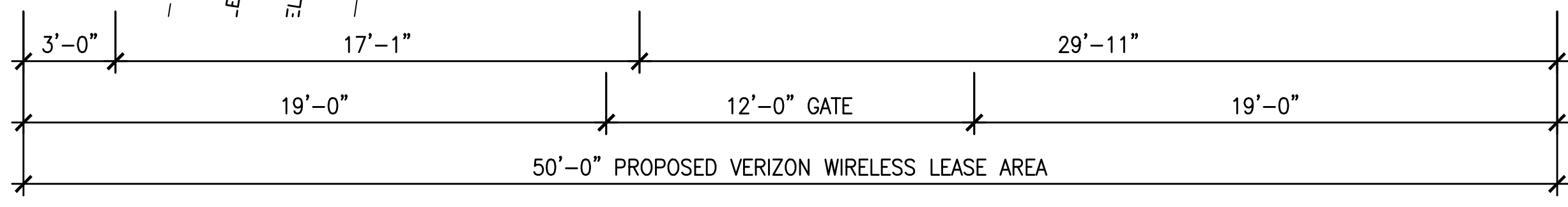
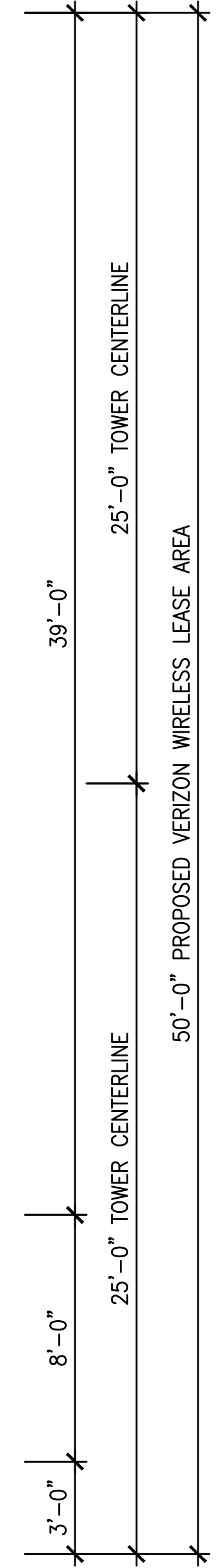
PER C.O.A. #1j:
 SHOULD ANY PREHISTORIC OR HISTORIC REMAINS/ARTIFACTS BE DISCOVERED DURING SITE DEVELOPMENT, WORK SHALL TEMPORARILY BE HALTED AT THE SPECIFIC SITE AND THE STATE HISTORIC PRESERVATION OFFICE OF THE DEPARTMENT OF MUSEUMS, LIBRARY AND ARTS SHALL BE NOTIFIED TO RECORD AND PHOTOGRAPH THE SITE. THE PERIOD OF TEMPORARY DELAY SHALL BE LIMITED TO A MAXIMUM OF TWO WORKING DAYS FROM THE DATE OF NOTIFICATION.

(4) A4.1 PROPOSED VERIZON WIRELESS 6'-0" TALL CHAIN LINK FENCE W/BARBED WIRE & 12'-0" WIDE ACCESS GATE

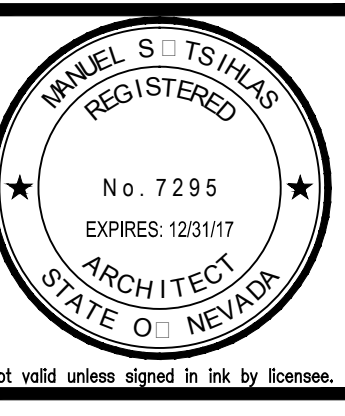
(8) A4.1 PROPOSED VERIZON WIRELESS SITE IDENTIFICATION SIGN MOUNTED ON ACCESS GATE

PROPOSED VERIZON WIRELESS 20'-0" WIDE ACCESS AND UTILITY EASEMENT

(SHEET) C1.0 PROPOSED VERIZON WIRELESS 20'-0" WIDE GRAVEL ACCESS ROAD



(1) A2.1 EQUIPMENT LAYOUT PLAN
 SCALE: 1/4" = 1'-0"



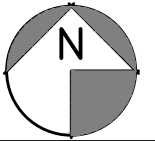
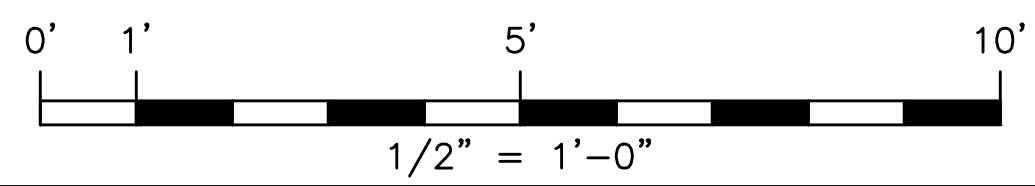
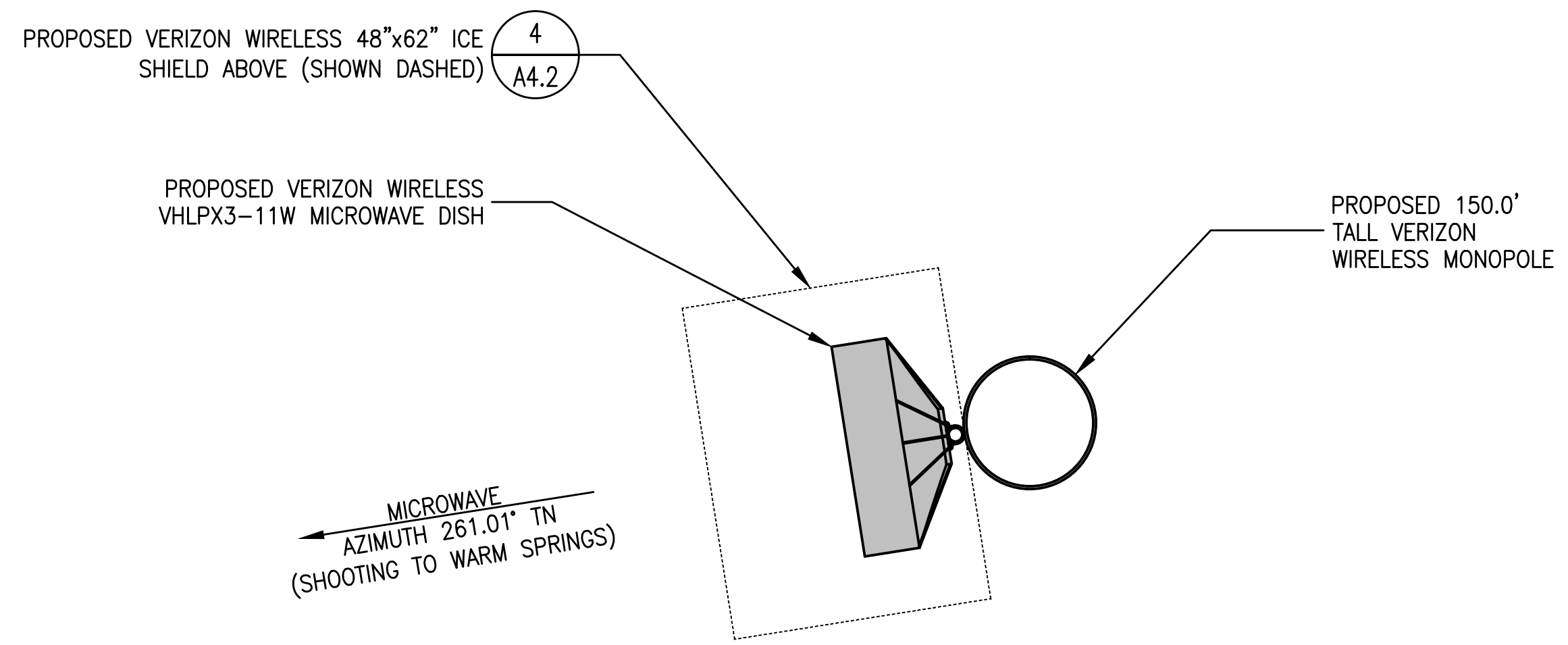
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 Checked By: TST
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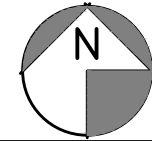
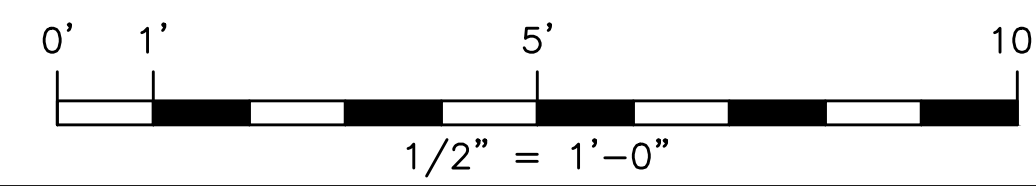
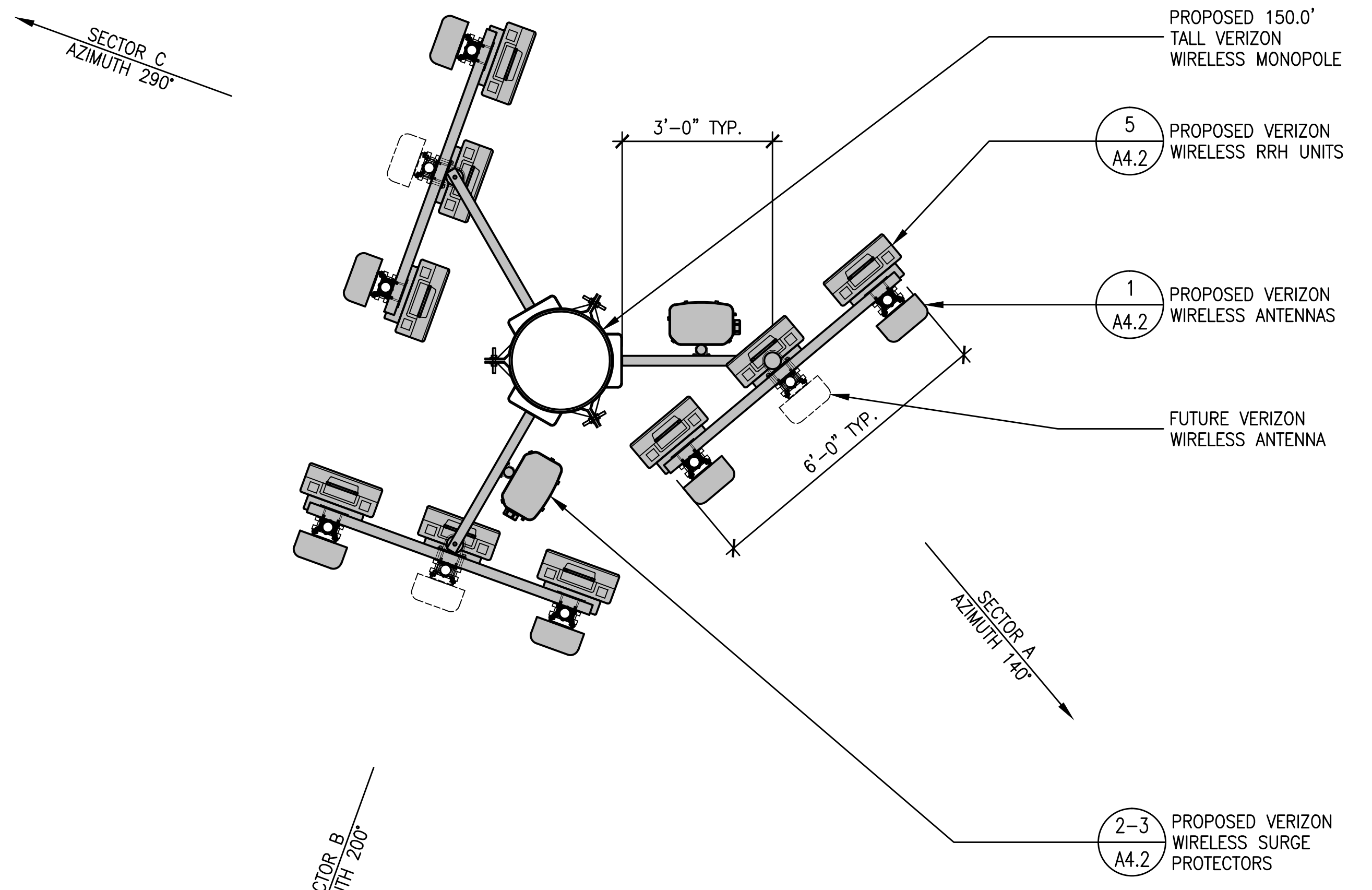
A2.1



2 MICROWAVE LAYOUT PLAN AT 50.0' A.G.L.
A2.2 SCALE: 1/2" = 1'-0"

PROPOSED EQUIPMENT SCHEDULE					
EQUIPMENT	DESCRIPTION	QUANTITY			TOTAL
		SECTOR A	SECTOR B	SECTOR C	
ANTENNA	SBNHH-1D45C OR EQUIVALENT	2	2	2	6
MICROWAVE	VHLPX3-11W OR EQUIVALENT	1			1
RRH	RRUS11 W/A2 OR EQUIVALENT	1	1	1	3
RRH	RRUS12 W/A2 OR EQUIVALENT	1	1	1	3
RRH	RRUS32 OR EQUIVALENT	1	1	1	3
SURGE PROTECTOR/HYBRID	RAYCAP DC3315 / HYBRID TRUNK CABLE	2/2			2/2
RET CABLE	5/16" RET CABLE OR N/A	0			0

FUTURE EQUIPMENT SCHEDULE					
EQUIPMENT	DESCRIPTION	QUANTITY			TOTAL
		SECTOR A	SECTOR B	SECTOR C	
ANTENNA	TO BE DETERMINED	1	1	1	3



1 ANTENNA LAYOUT PLAN AT 146.0' A.G.L.
A2.2 SCALE: 1/2" = 1'-0"

Manuel S. Tsilias, Architect
1520 River Park Drive, Sacramento, CA 95815
916-505-8811

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RENO, NV 89510

ANTENNA LAYOUT PLAN

SHEET TITLE:

MANUEL S. TSILIAS
REGISTERED ARCHITECT
No. 7295
EXPIRES: 12/31/17
STATE OF NEVADA

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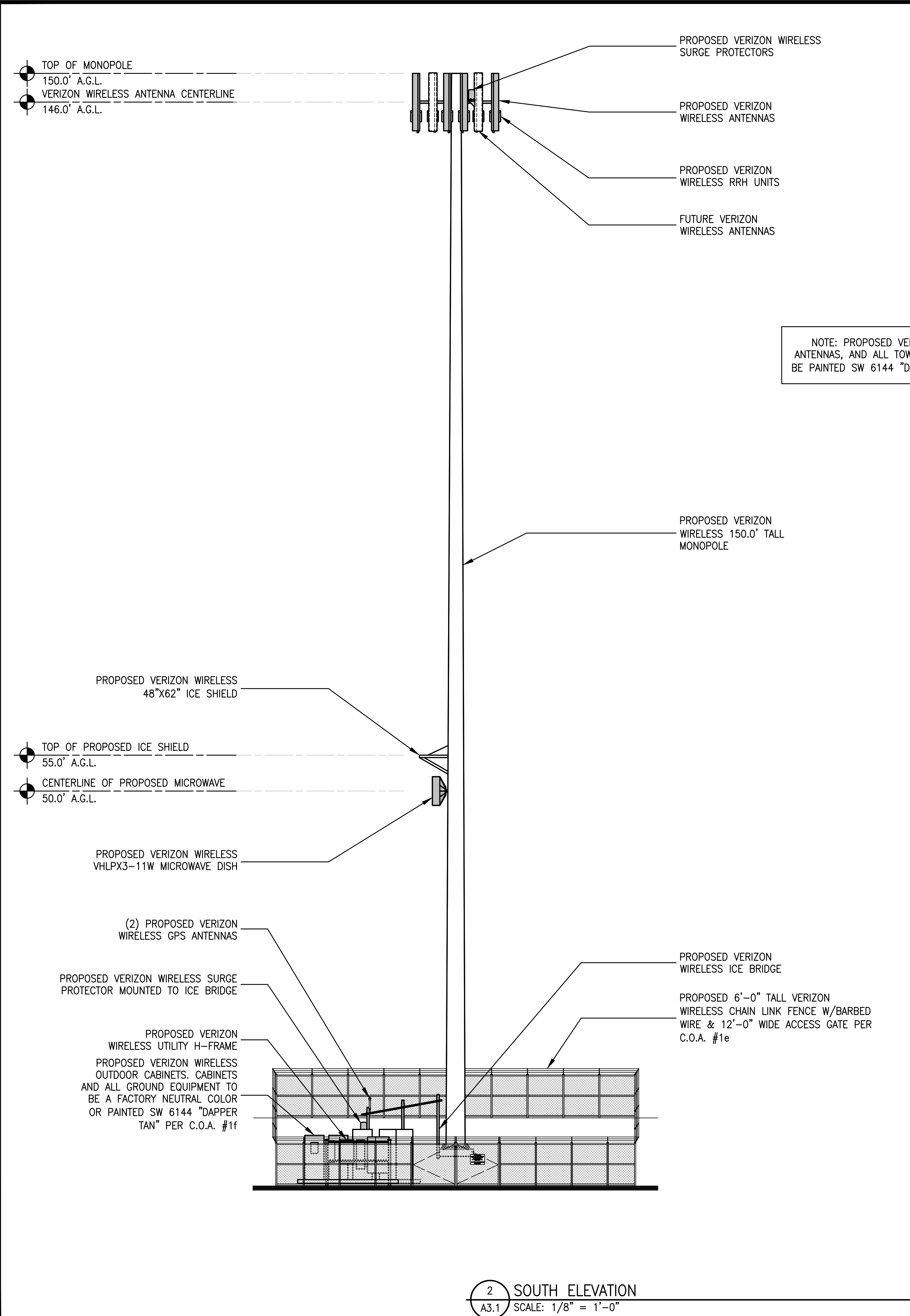
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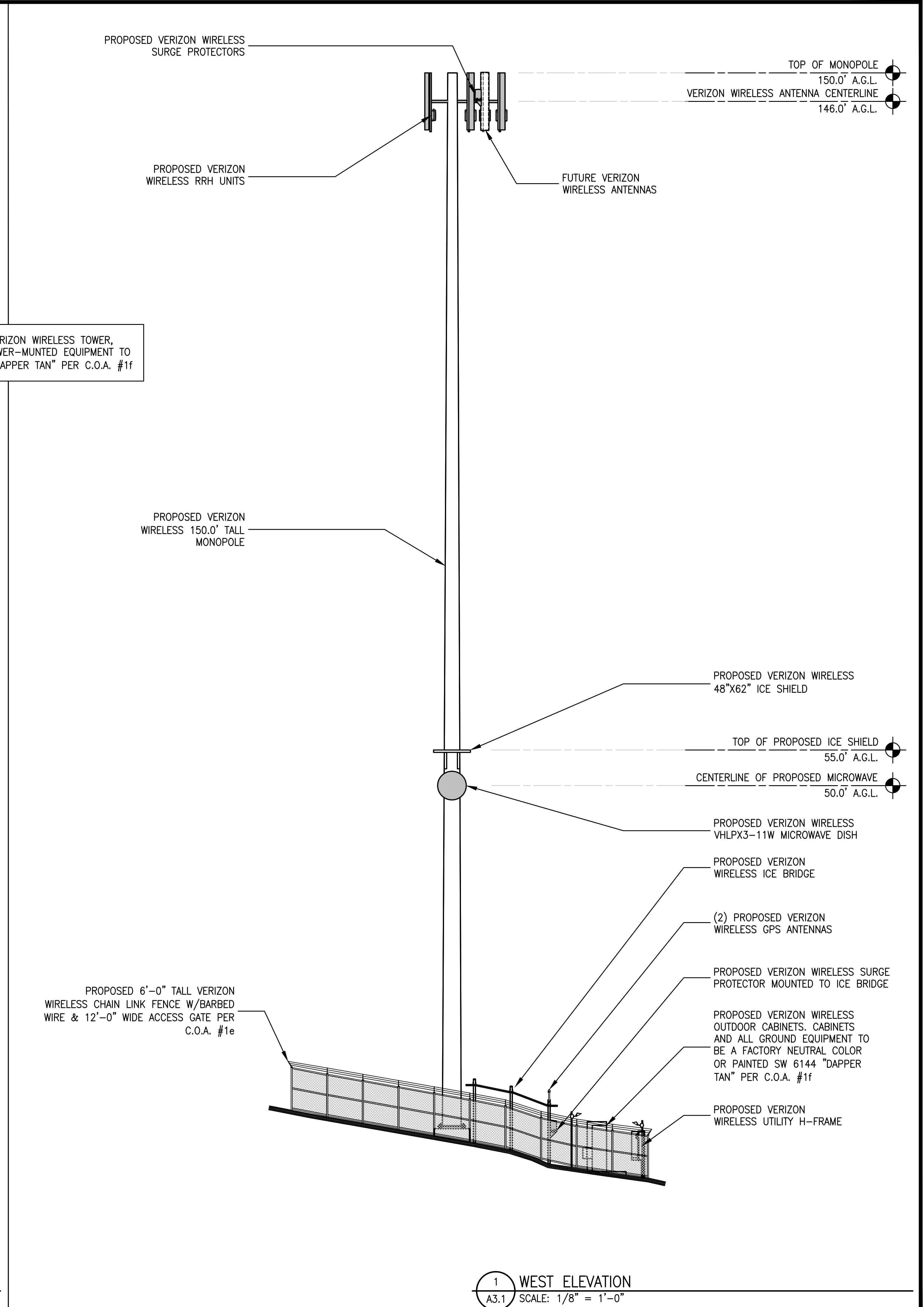
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Job No. 162.1800

A2.2



2 SOUTH ELEVATION
A3.1 SCALE: 1/8" = 1'-0"



1 WEST ELEVATION
A3.1 SCALE: 1/8" = 1'-0"

Manuel S. Tsirlas, Architect
1520 River Park Drive, Sacramento, CA 95815
916-505-3811

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5205 WAYSIDE ROAD
RENO, NV 89510

PROJECT ELEVATIONS

SHEET TITLE:

MANUEL S. TSIRLAS
REGISTERED
No. 7295
EXPIRES: 12/31/17
ARCHITECT
STATE OF NEVADA

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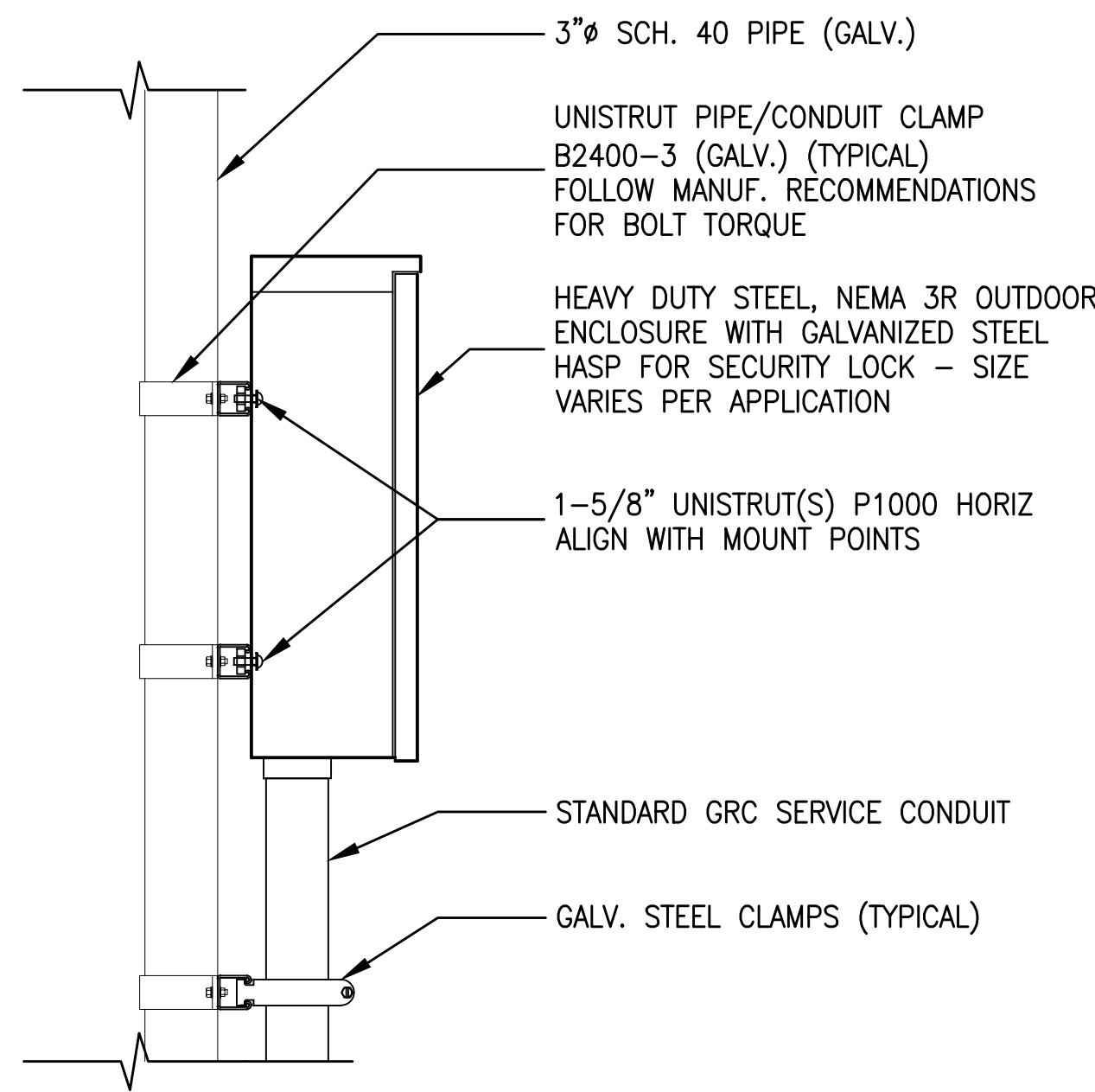
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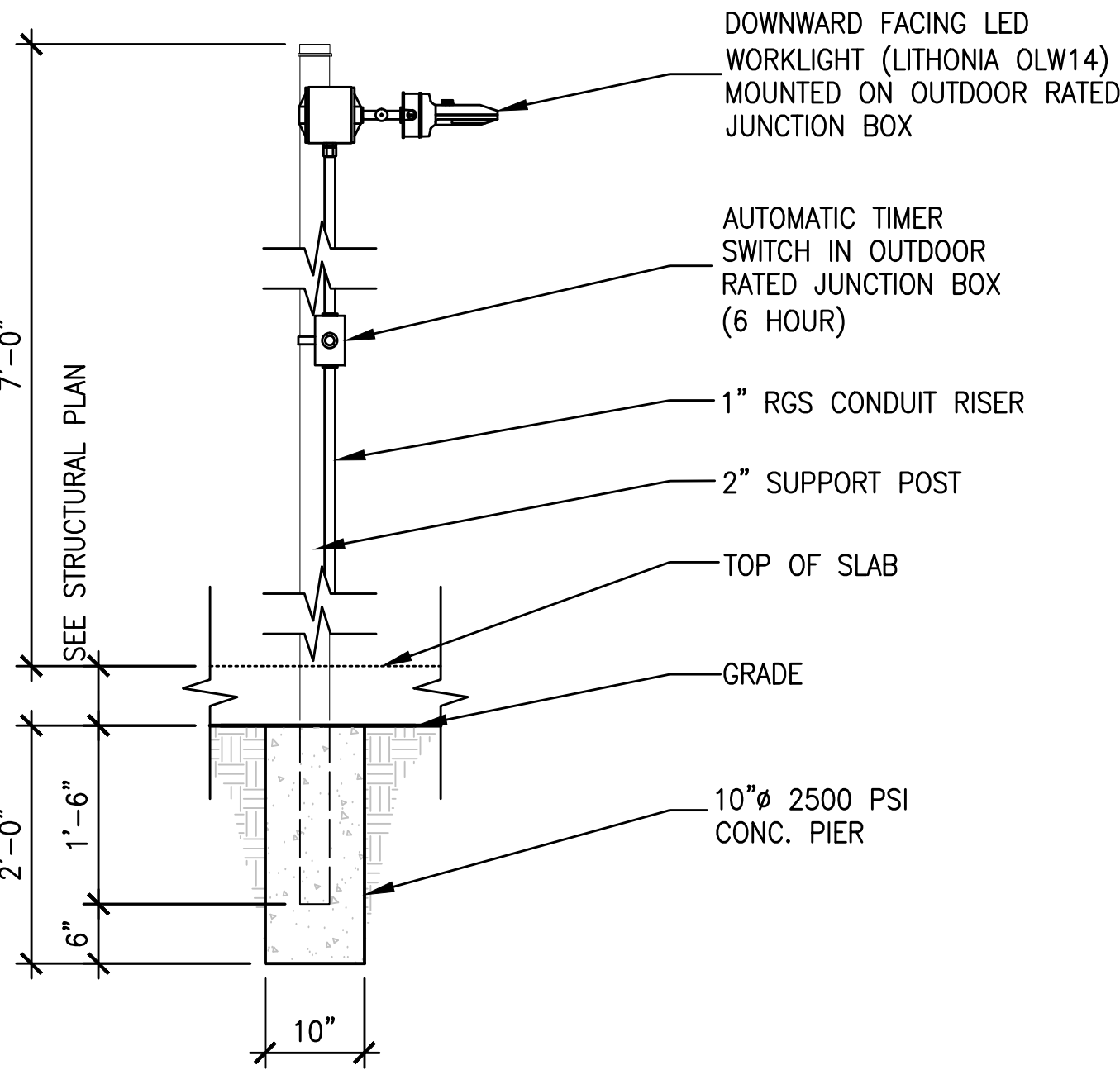
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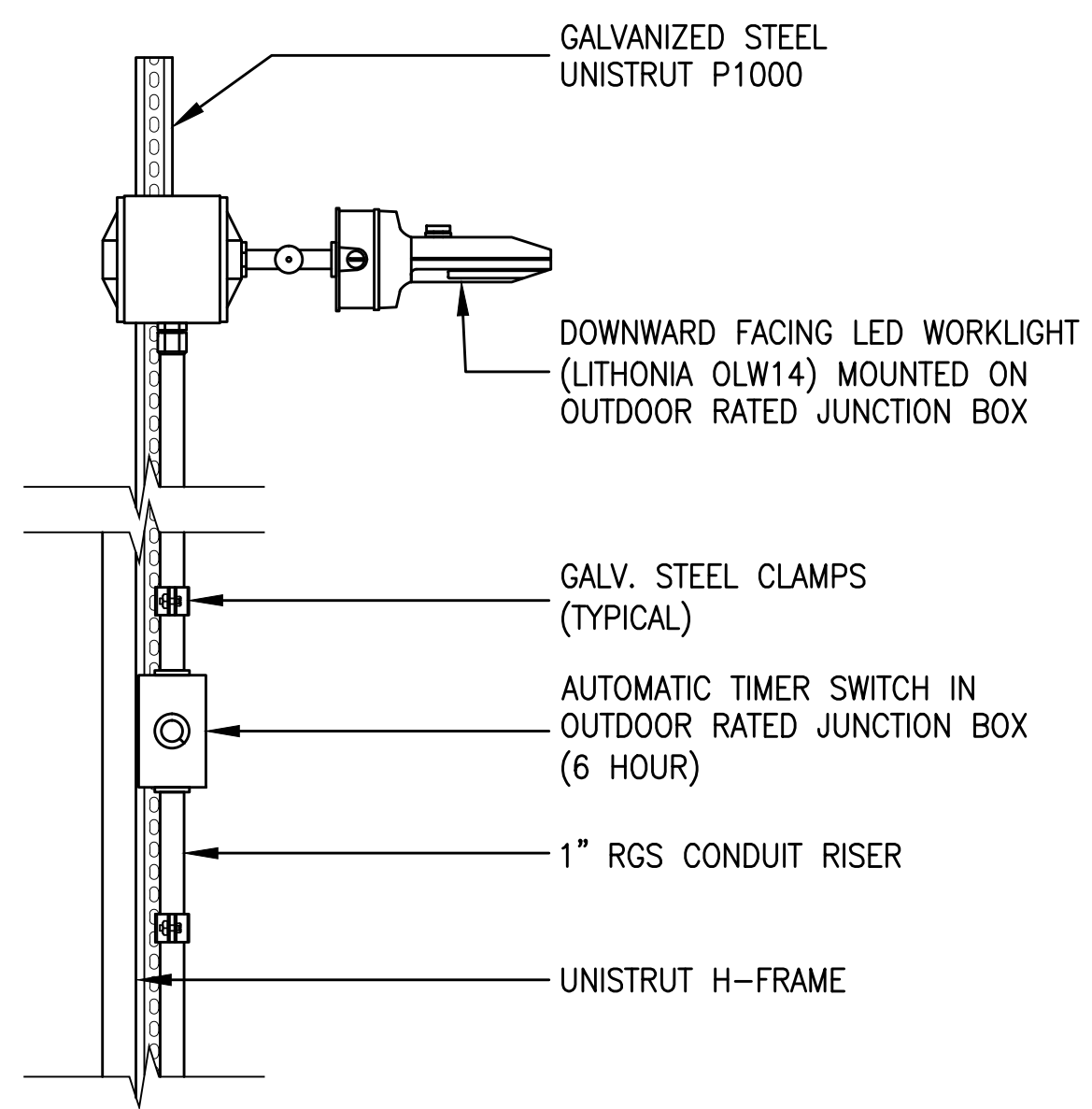
A3.1



12 UTILITY BOX MOUNTING DETAIL
A4.1 SCALE: 1-1/2" = 1'-0"



11 WORKLIGHT DETAIL
A4.1 SCALE: NO SCALE



10 WORKLIGHT DETAIL
A4.1 SCALE: 1-1/2" = 1'-0"

9 NOT USED
A4.1 SCALE: 1/2" = 1'-0"

SITE ID# 382432
5205 WAYSIDE ROAD
RENO, NV 89510

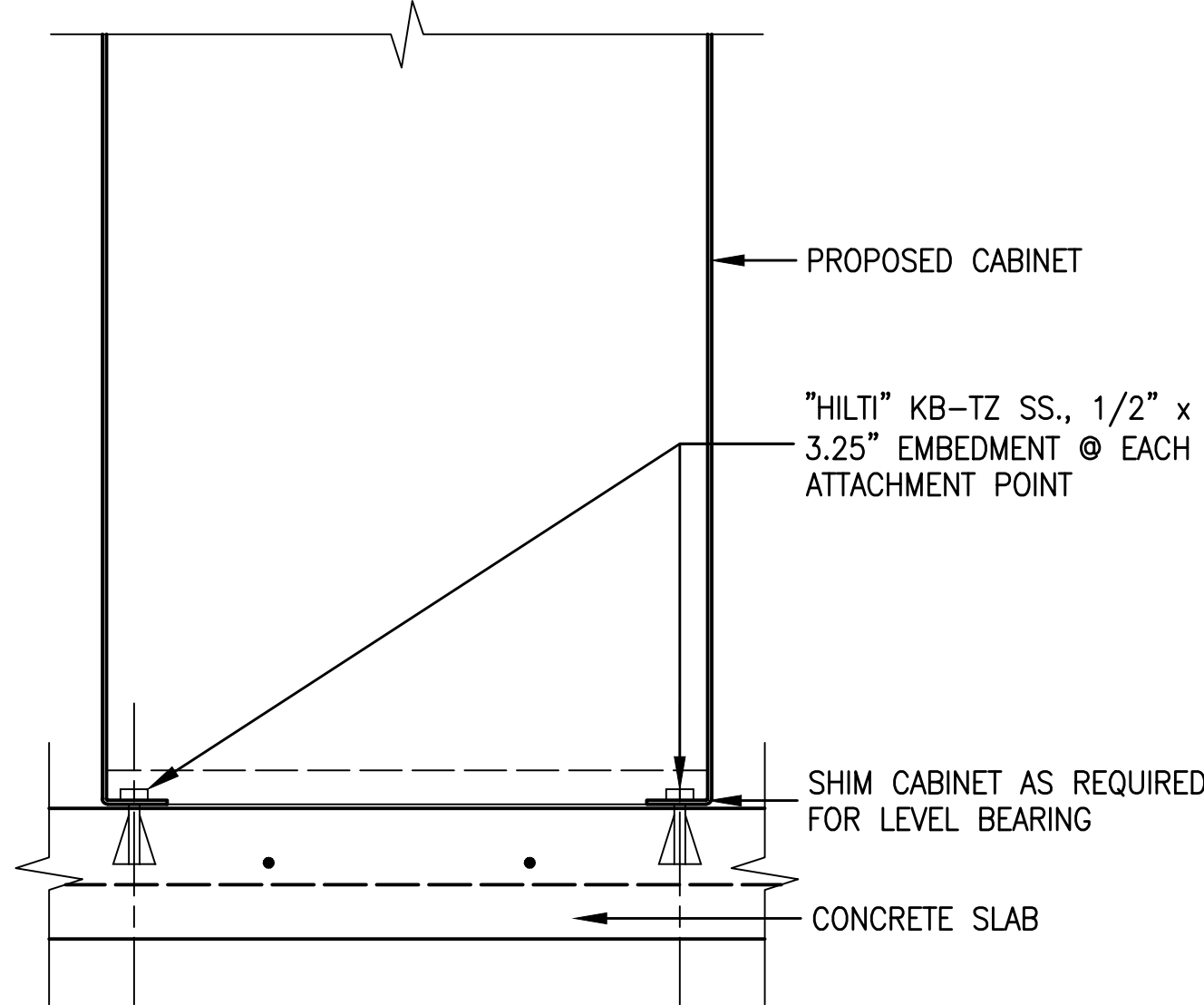
FOR LEASE INFORMATION CALL
1-XXX-XX-XXXX
FOR 24 HOUR EMERGENCY SERVICE CALL
1-XXX-XXX-XXXX

2" HIGH → FCC TOWER REGISTRATION NO.
XXXXXXXX

NOTE: GENERAL CONTRACTOR TO VERIFY PHONE
NUMBERS AND REGISTRATION NUMBERS W/
VERIZON WIRELESS PRIOR TO FABRICATION

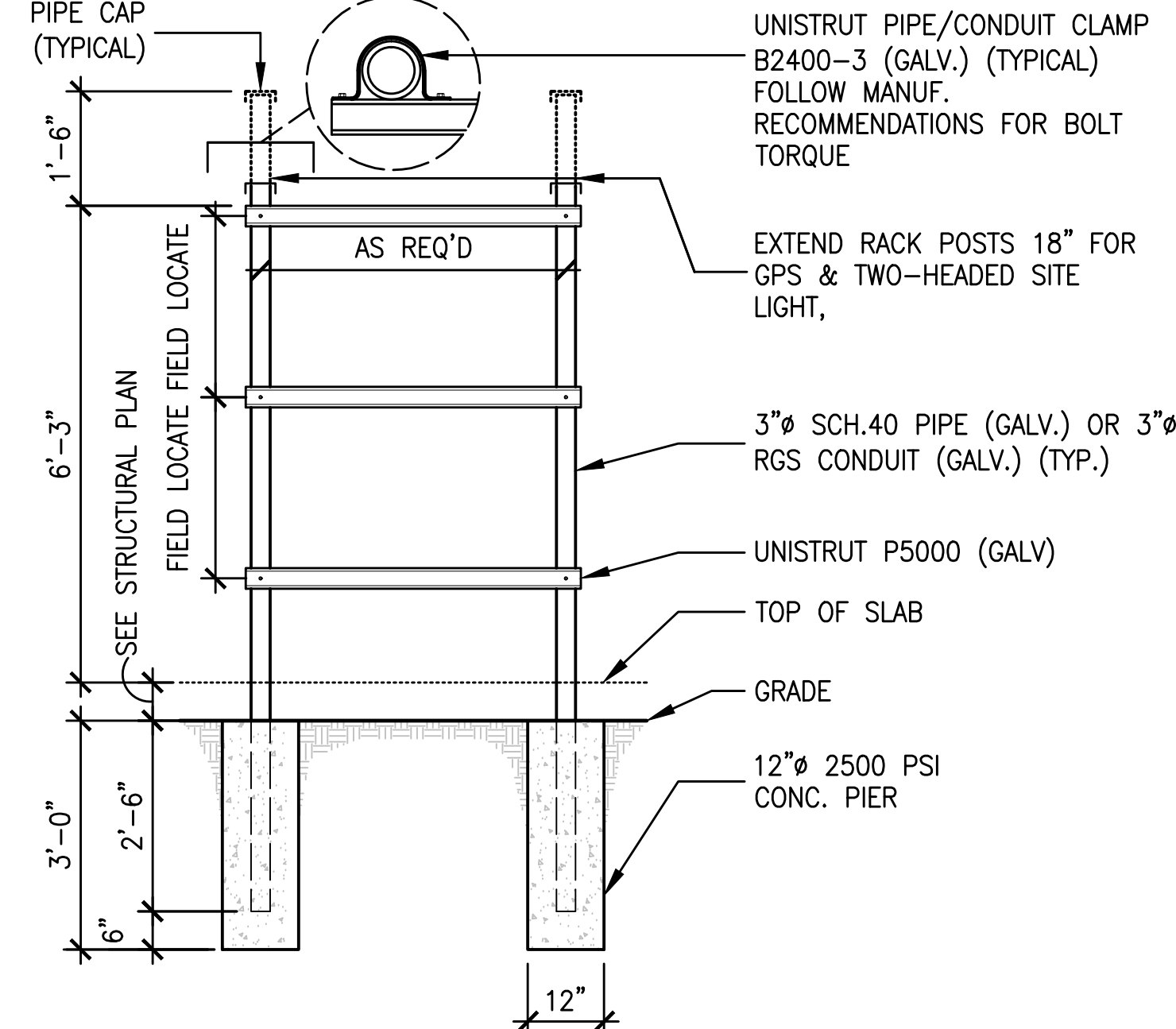
24" WIDE X 18" HIGH

8 SITE ID & CONTACT SIGNAGE
A4.1 SCALE: NONE

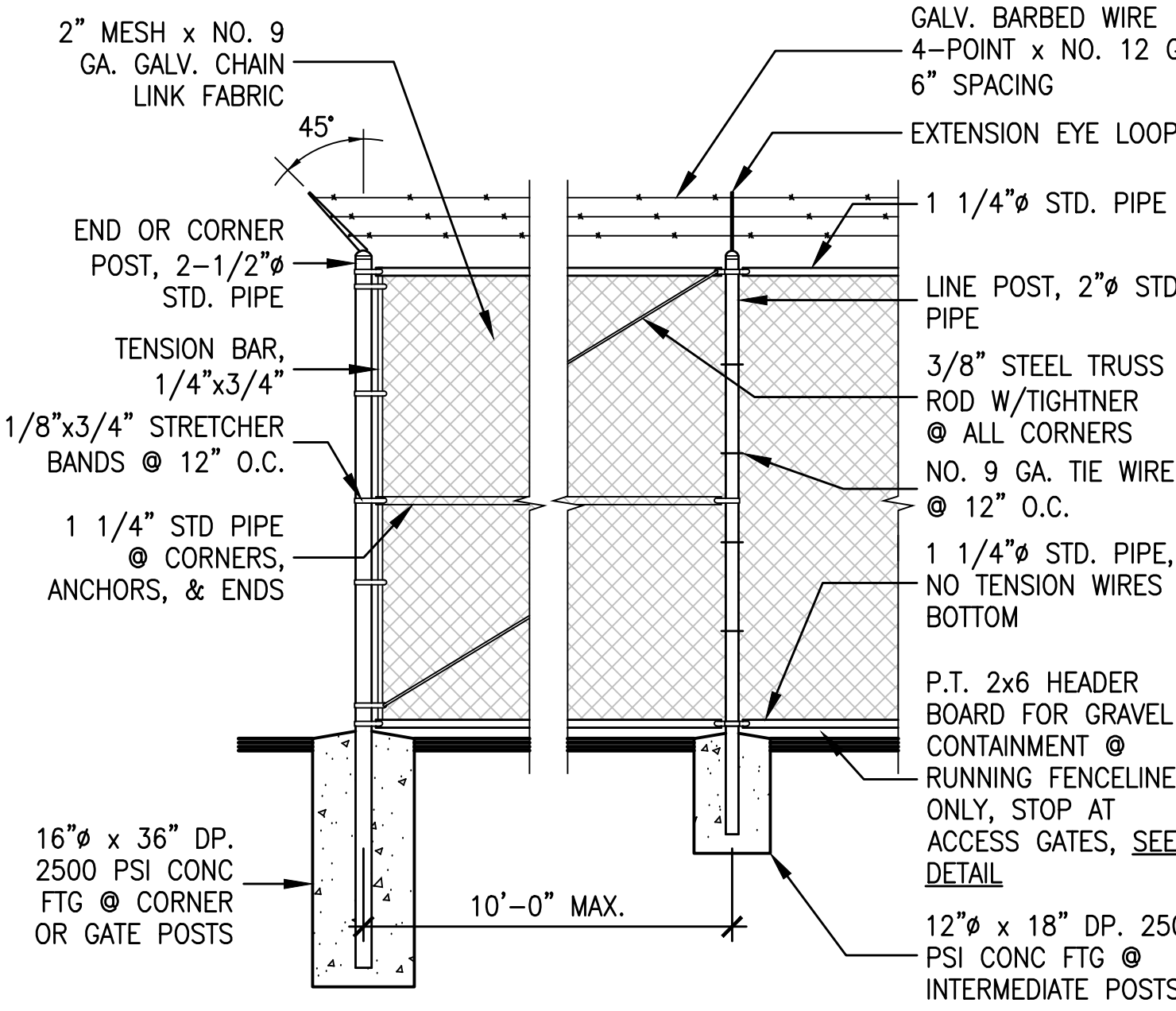


7 CABINET ANCHORAGE DETAIL
A4.1 SCALE: 1-1/2" = 1'-0"

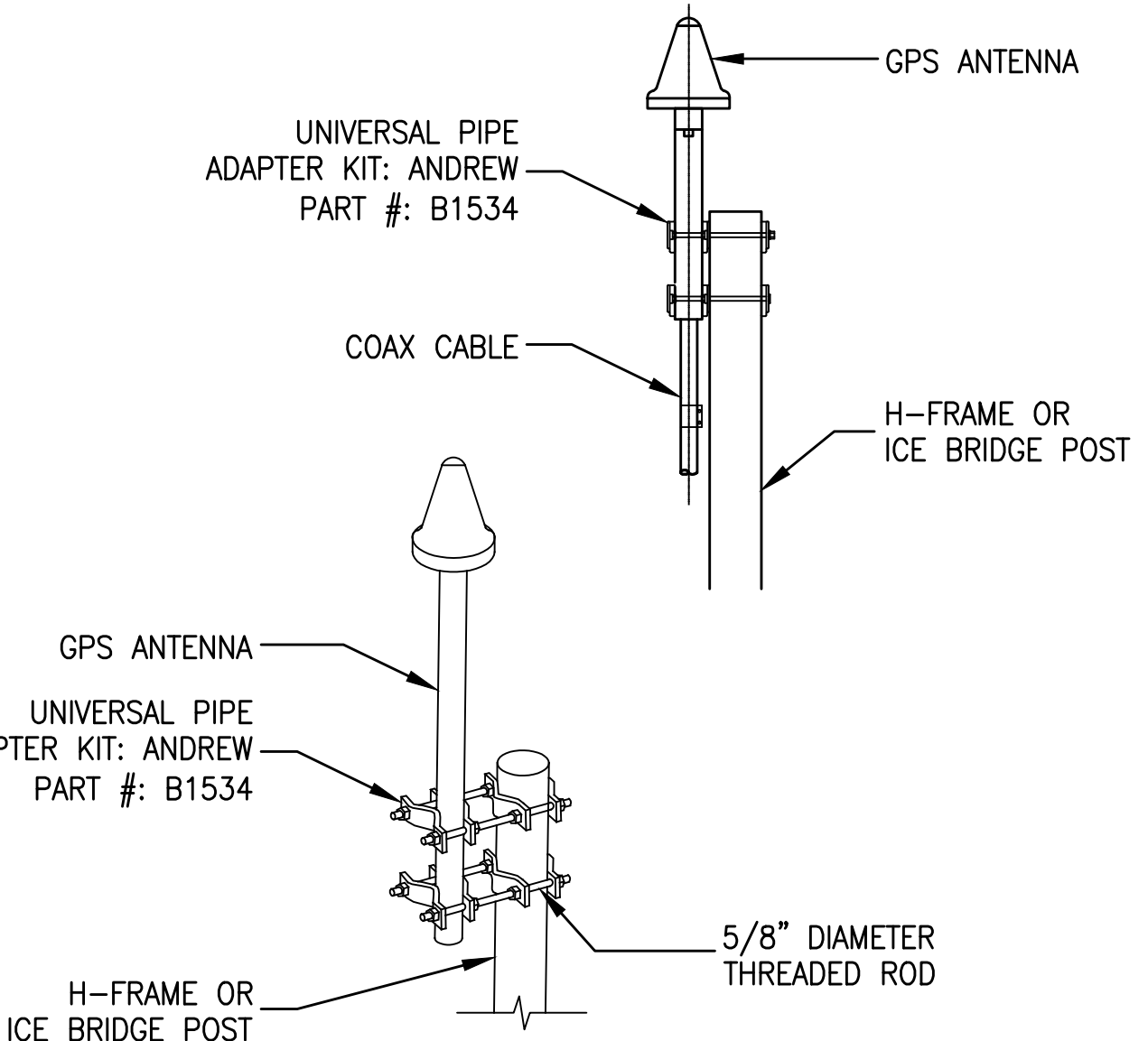
6 GPS ANTENNA MOUNTING DETAIL
A4.1 SCALE: 1-1/2" = 1'-0"



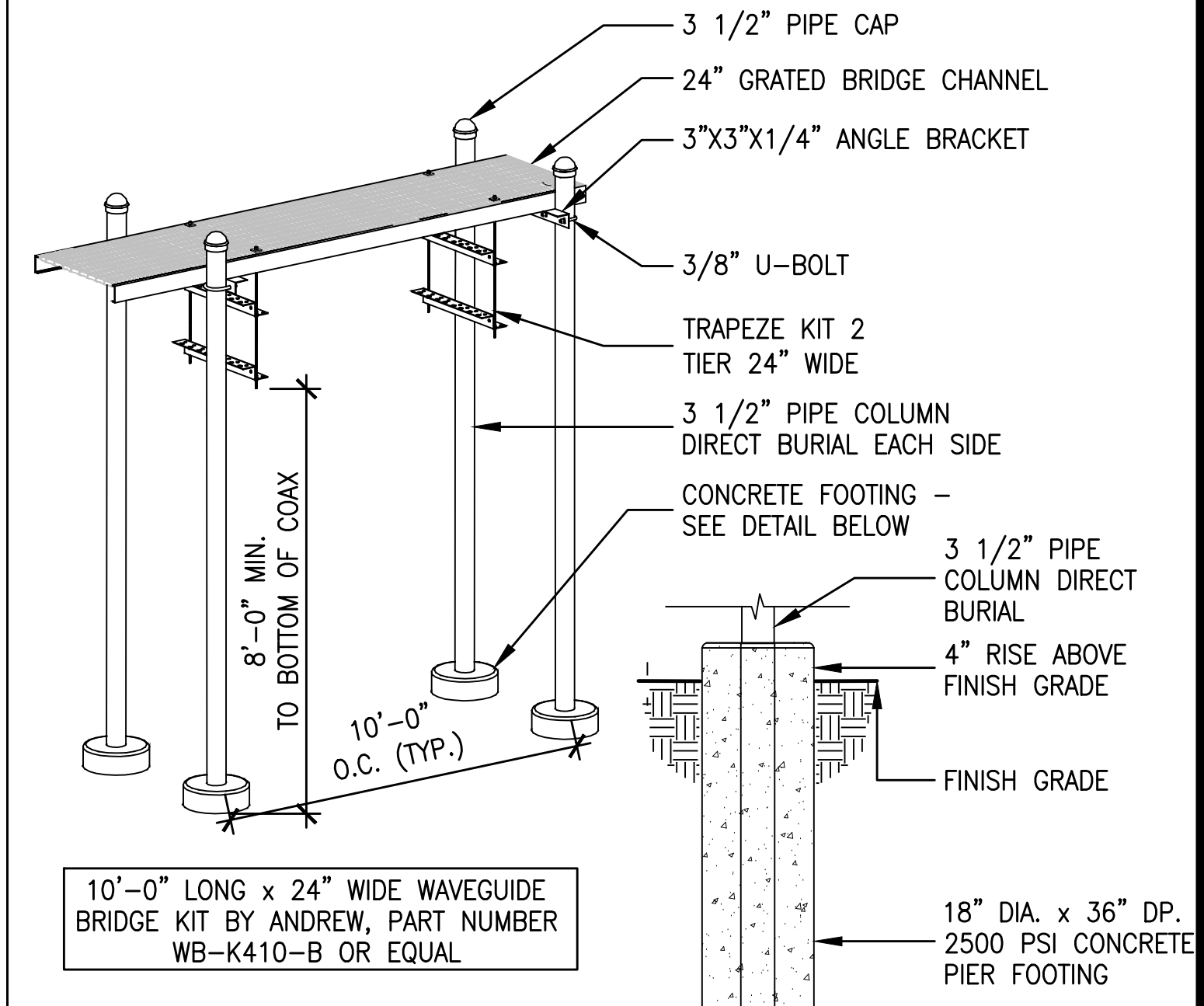
5 H-FRAME DETAIL
A4.1 SCALE: 1/2" = 1'-0"



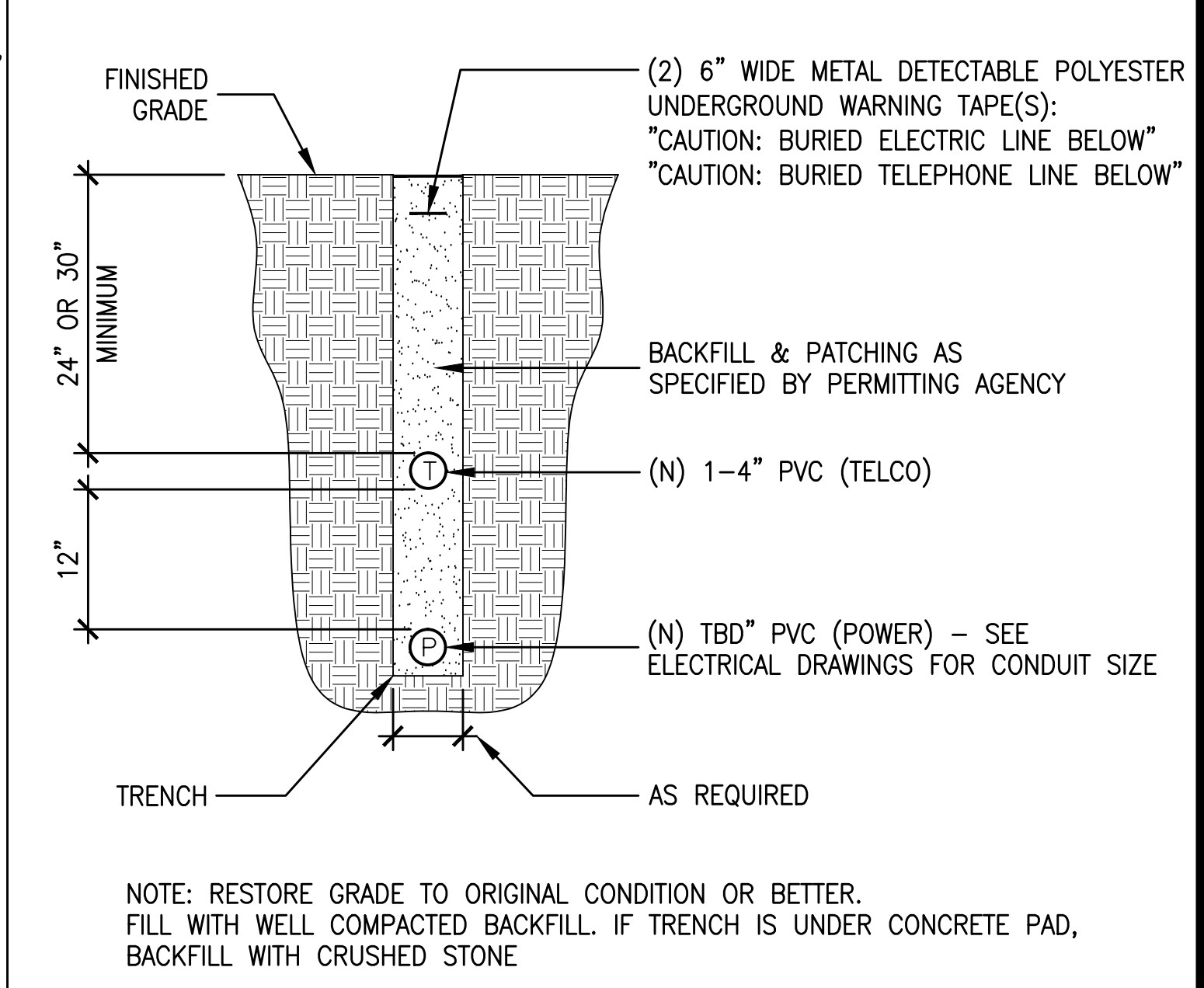
4 TYPICAL CHAIN LINK FENCE W/ BARBED WIRE
A4.1 SCALE: 1/2" = 1'-0"



3 SITE GRADING DETAIL
A4.1 SCALE: 1/2" = 1'-0"



2 ICE BRIDGE DETAIL
A4.1 SCALE: NONE



1 JOINT POWER/TELCO TRENCH DETAIL
A4.1 SCALE: NONE

Manuel S. Tsilias, Architect
1520 River Park Drive, Sacramento, CA 95815
916-505-8811

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CONSTRUCTION DETAILS

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MANUEL S. TSILIAS
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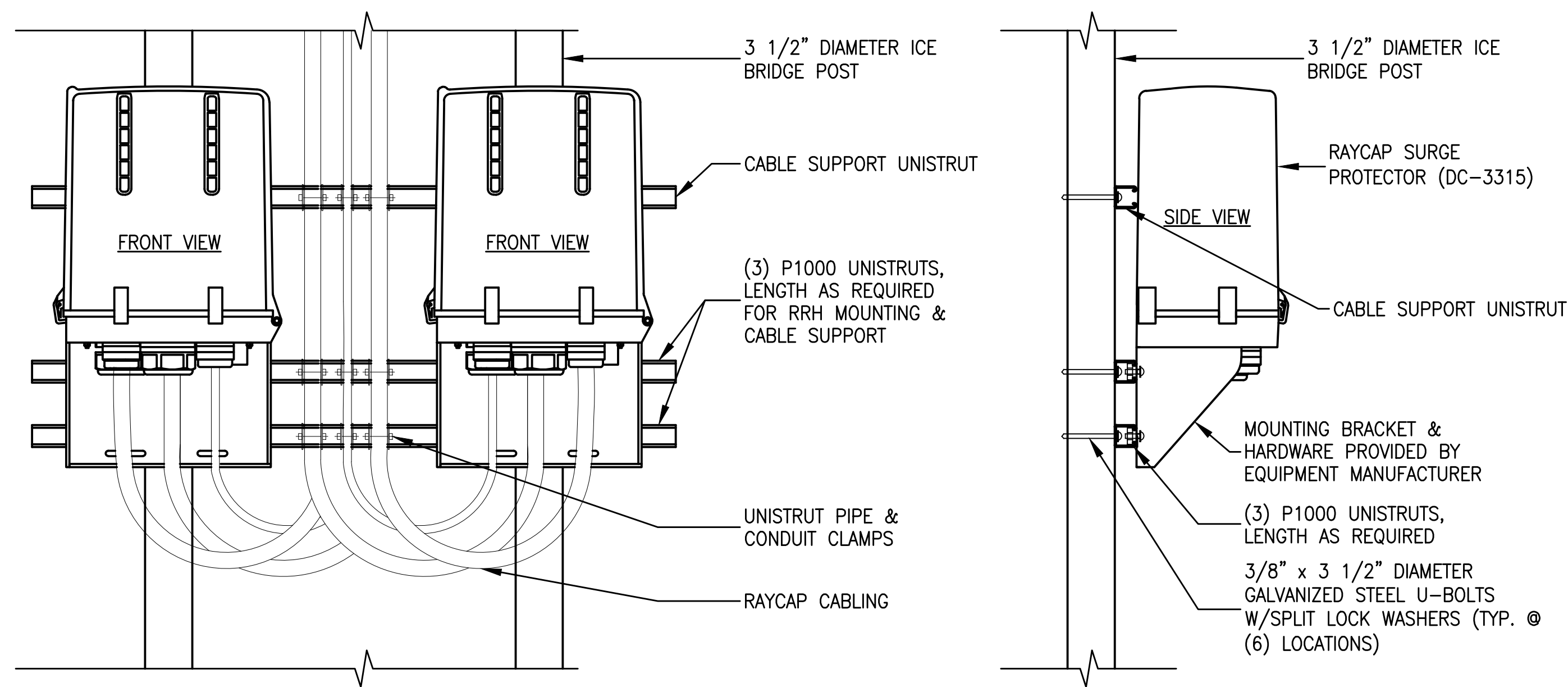
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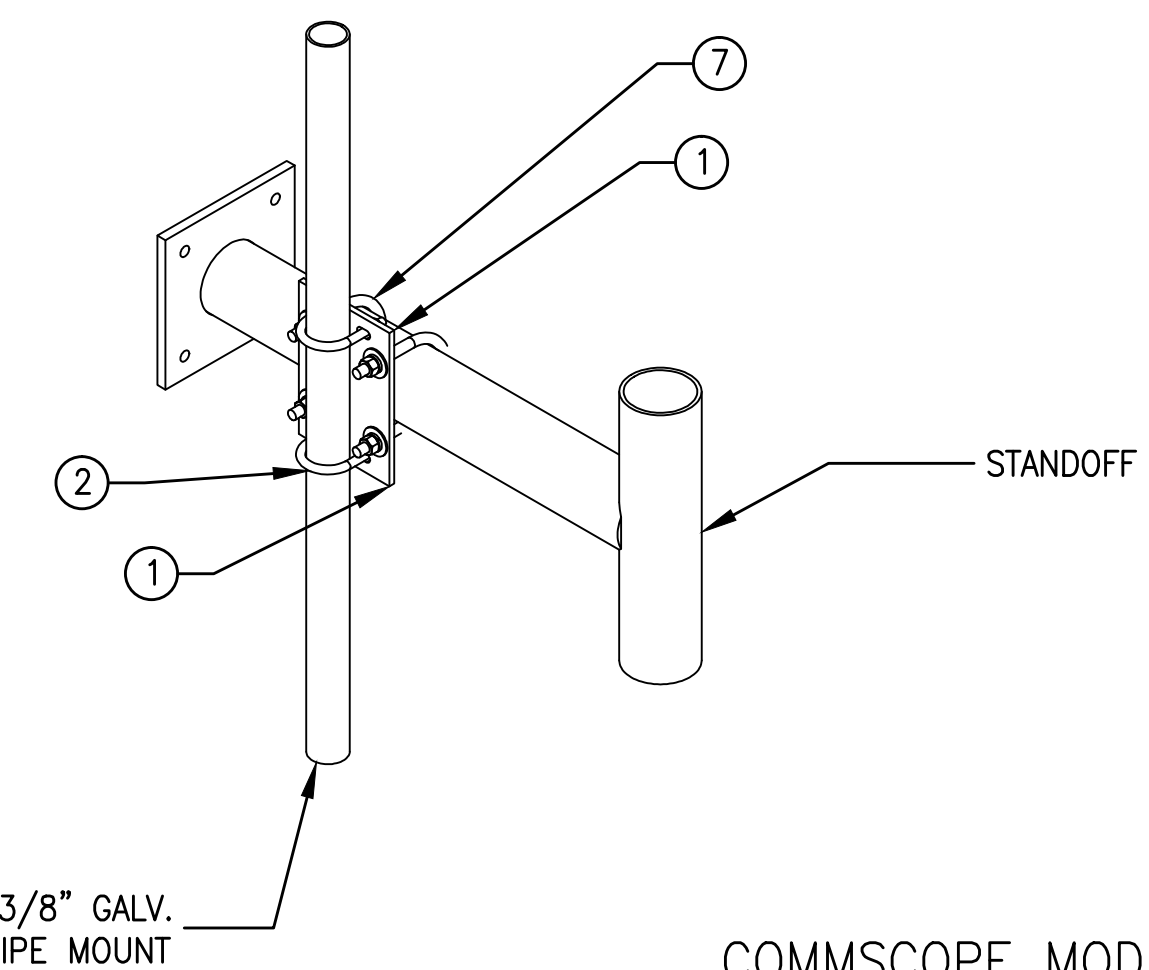
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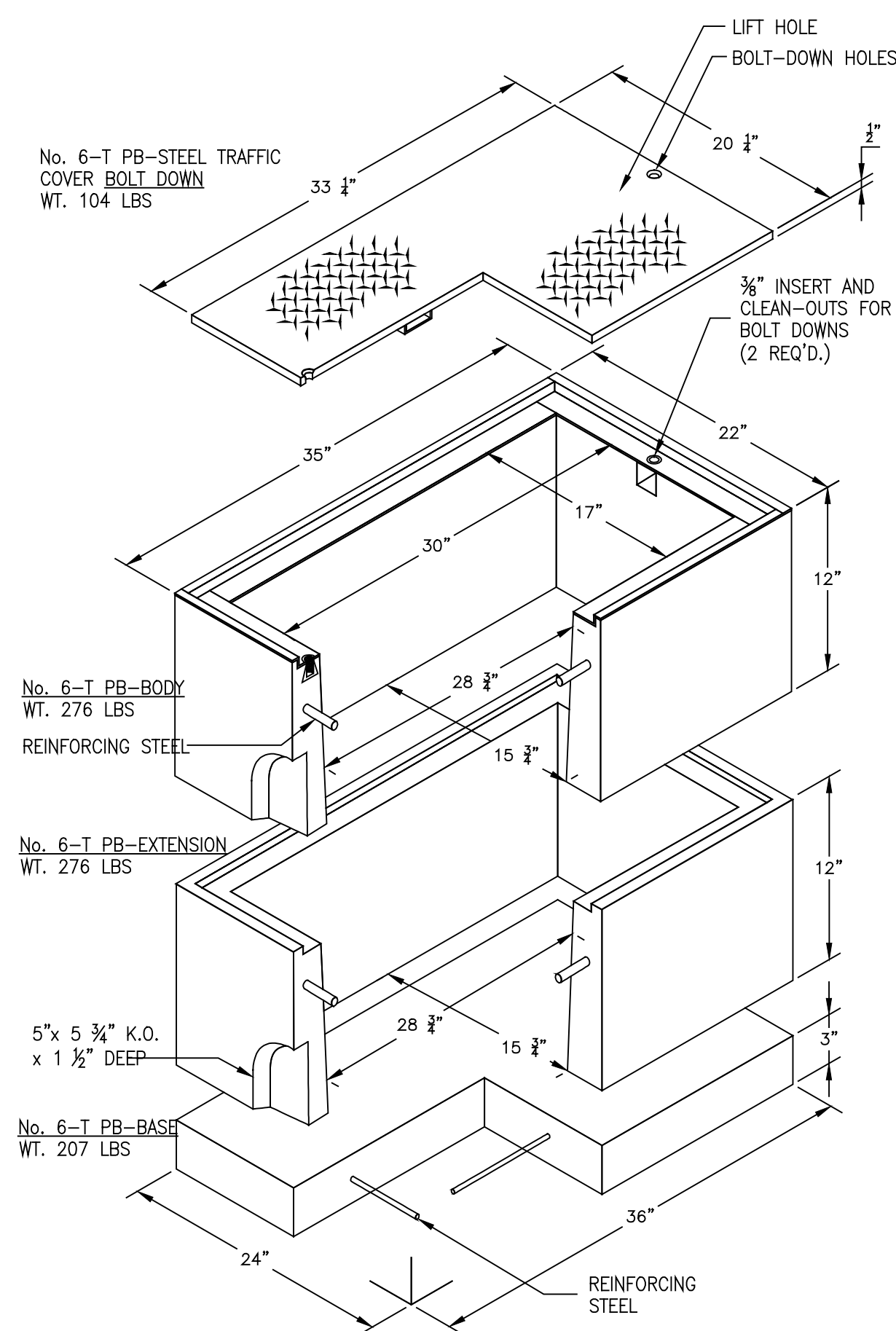


6 RAYCAP SURGE PROTECTOR @ EQUIP. DC-3315
A4.2 SCALE: 1-1/2" = 1'-0"

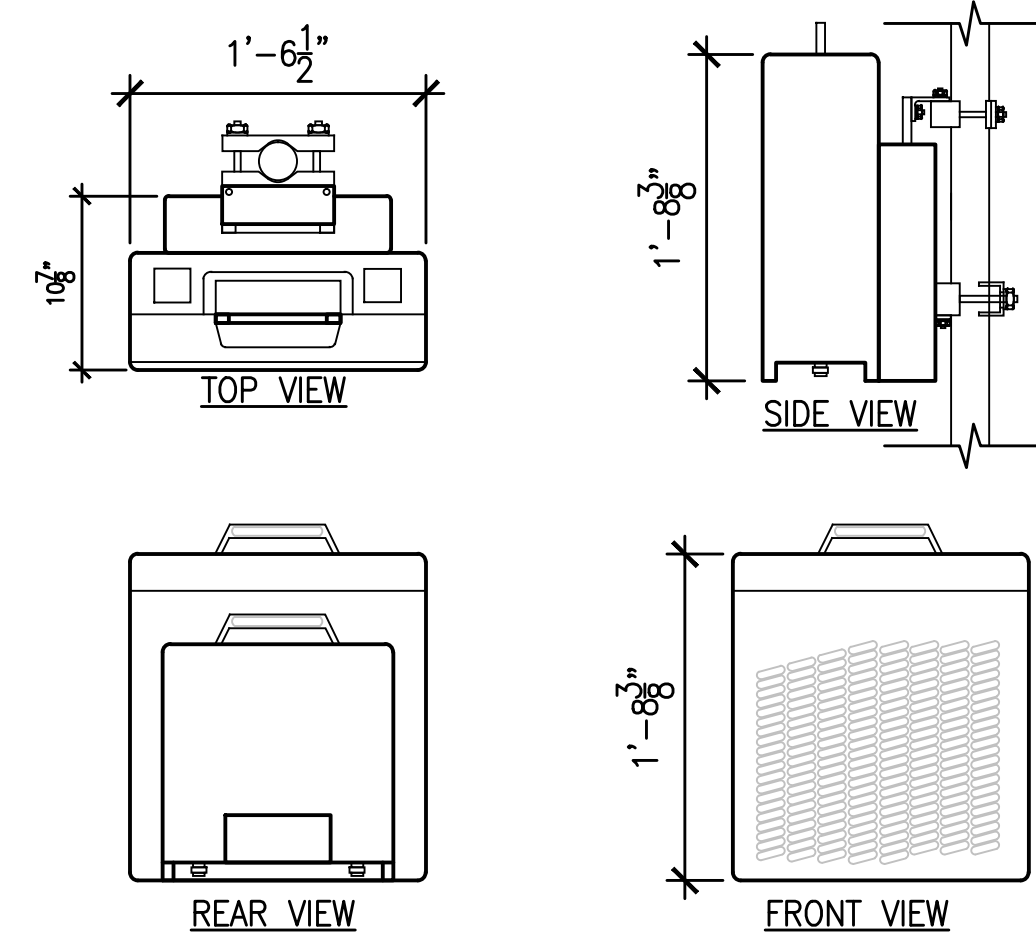
ITEM	PART NO.	DESCRIPTION	QTY.	WEIGHT
1	XP2040.01	CROSSOVER PLATE 2-3/8" O.D. TO 4-1/2" O.D.	2	7.13 LBS
2	QUB-4240	1/2" X 2-1/2" X 4" GALV U-BOLT	2	1.44 LBS
3	MT-381-8	5/8" X 8" GALV THREADED ROD	4	0.69 LBS
4	GWF-05	5/8" GALV FLAT WASHER	12	0.06 LBS
5	GVL-05	5/8" GALV LIDCK WASHER	12	0.09 LBS
6	GN-05	5/8" GALV HEX NUT	12	0.04 LBS
7	QUB-5456	5/8" X 4-5/8" X 6-1/2" GALV U-BOLT	2	1.86 LBS



3 STAND-OFF ARM PIPE MOUNT DETAIL # XP-197-S
A4.2 SCALE: 1-1/2" = 1'-0"



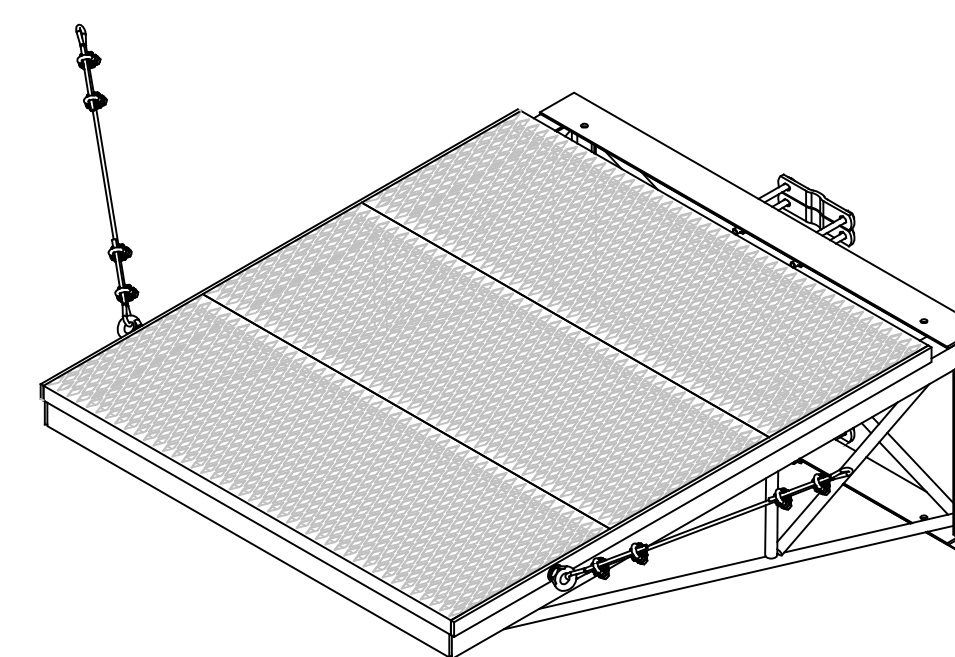
7 17"x30" TRAFFIC RATED PULL BOX (STATE SPEC 6-T)
A4.2 SCALE: 1/4" = 1'-0"



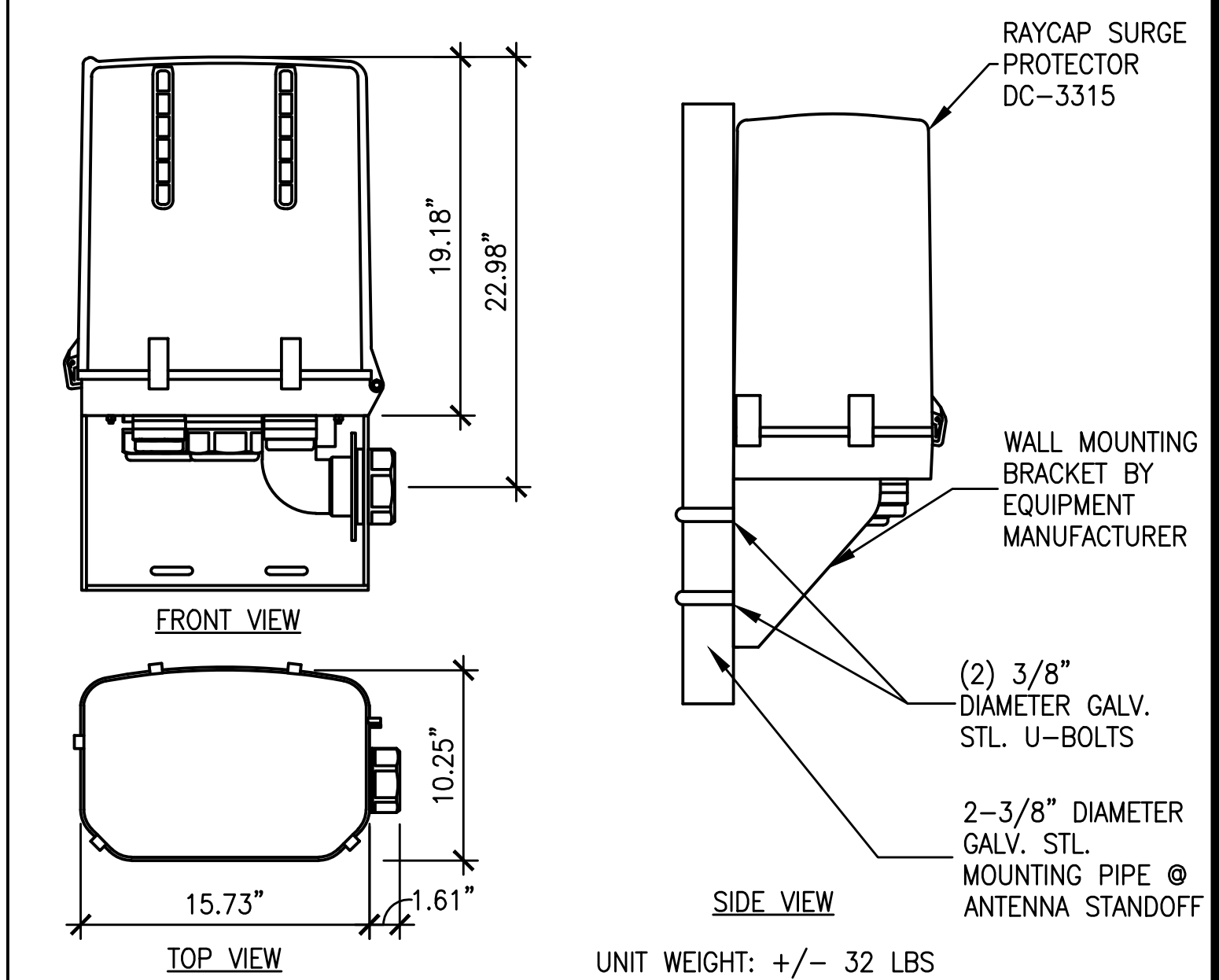
RRUS12 W/RRUS A2 BACKPACK NOTES:
TO ENSURE ADEQUATE AIRFLOW BETWEEN UNITS:
- ALLOW A MINIMUM OF 15.75" VERTICAL SEPARATION BETWEEN RRH'S.
- ALLOW A MINIMUM OF 19.68" VERTICAL SEPARATION BETWEEN RRH AND ANTENNA.
- ALLOW A MINIMUM OF 7.87" HORIZONTAL SEPARATION BETWEEN RRH'S AND BETWEEN RRH'S AND ANTENNA.
- THE MINIMUM DISTANCE FROM THE BOTTOM OF THE RRH TO THE FLOOR IS 11.8".
- MOUNTING BRACKETS & HARDWARE PROVIDED BY MANUFACTURER

5 RRUS12 W/A2 BACKPACK DETAIL
A4.2 SCALE: 1" = 1'-0"

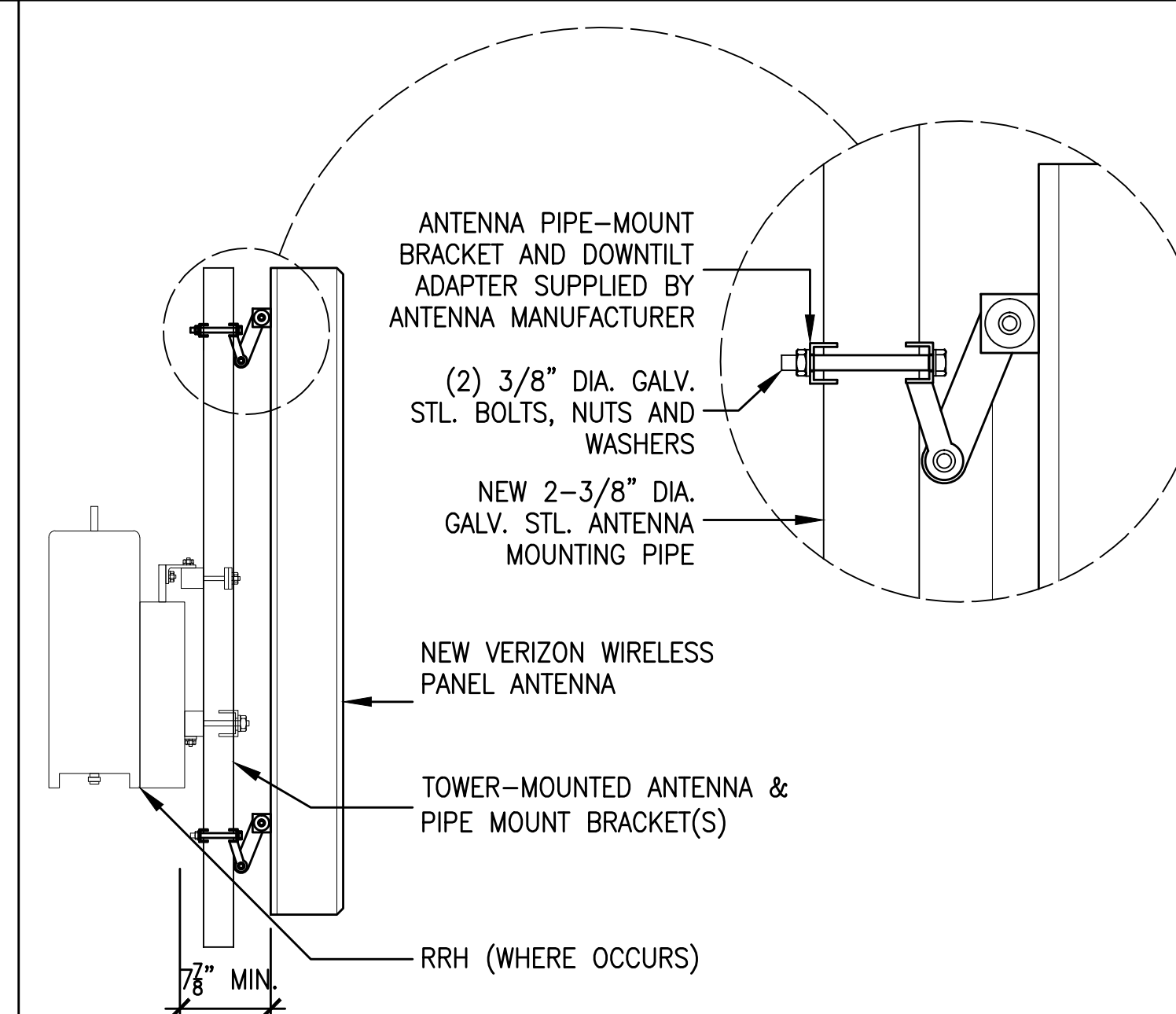
SITEPRO PART #	ICE SHIELD	SIZE
ISMD4	4'	48"x62"



4 ICE SHIELD FOR MICROWAVE
A4.2 SCALE: 3/4" = 1'-0"



2 RAYCAP SURGE @ ANTENNAS DC-3315
A4.2 SCALE: 1-1/2" = 1'-0"



1 TYPICAL ANTENNA MOUNT DETAIL
A4.2 SCALE: 1" = 1'-0"

8 NOT USED
A4.2 SCALE: NONE

Manuel S. Tshilas, Architect
1520 River Park Drive, Sacramento, CA 95815
916-505-8811

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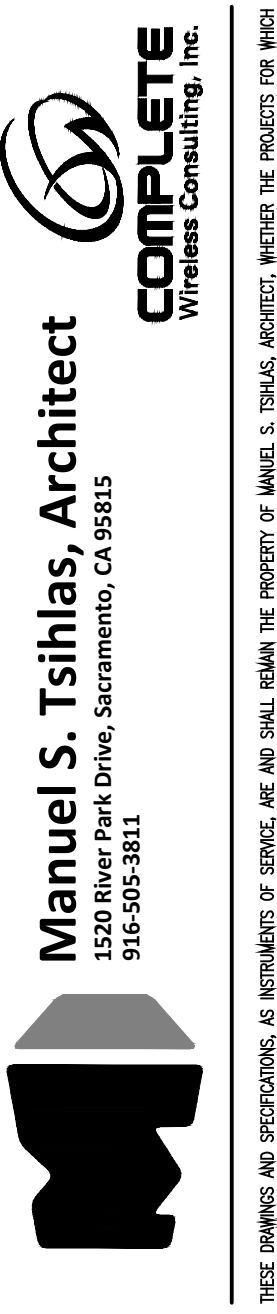
A4.2

VERIZON WIRELESS COAX COLOR CODE (REV 5)

MINE LINE & JUMPERS BELOW:				
ALPHA	MAIN/JUMPER ALPHA 850	MAIN/JUMPER ALPHA LTE	MAIN/JUMPER ALPHA PCS	MAIN/JUMPER ALPHA AWS
LINE 1	YR	PPYR	PYR	PYRP
LINE 2	YG	PPYG	PYG	PYGP
BETA	MAIN/JUMPER BETA 850	MAIN/JUMPER BETA LTE	MAIN/JUMPER BETA PCS	MAIN/JUMPER BETA AWS
LINE 1	BR	PPBR	PBR	PBRP
LINE 2	BG	PPBG	PBG	PBGP
GAMMA	MAIN/JUMPER GAMMA 850	MAIN/JUMPER GAMMA LTE	MAIN/JUMPER GAMMA PCS	MAIN/JUMPER GAMMA AWS
LINE 1	OR	PPOR	POR	PORP
LINE 2	OG	PPOG	POG	POGP
RRU/A2/TRIPLEXER/DIPEXER BELOW:				
	PCS A-2/LTE _4 WAY/RX	LTE A-2/LTE _4 WAY/RX	AWS A-2/LTE _4 WAY/RX	850 LTE _(FUTURE)
LINE 1	ALPHA 1__PYRW	ALPHA 1__PPYRW	ALPHA 1__PYRPW	ALPHA 1__PPPYG
LINE 2	ALPHA 2__PYGW	ALPHA 2__PPYGW	ALPHA 2__PYGPW	ALPHA 2__PPPYG
LINE 1	BETA 1__PBRW	BETA 1__PPBRW	BETA 1__PBRPW	BETA 1__PPPB
LINE 2	BETA 2__PBGW	BETA 2__PPBGW	BETA 2__PBGPW	BETA 2__PPPB
LINE 1	GAMMA 1__PORW	GAMMA 1__PPORW	GAMMA 1__PORPW	GAMMA 1__PPPOR
LINE 2	GAMMA 2__POGW	GAMMA 2__PPOGW	GAMMA 2__POGPW	GAMMA 2__PPPOG
	DIPLEXERS/TRIPLEXERS #1 SET (ANY FREQ)	DIPLEXERS/TRIPLEXERS #2 SET (ANY FREQ)	DIPLEXERS/TRIPLEXERS #3 SET (ANY FREQ)	TBD
LINE 1	ALPHA 1__YY	ALPHA 1__YYR	ALPHA 1__YYG	
LINE 2	ALPHA 2__YYY	ALPHA 2__YYYR	ALPHA 2__YYG	
LINE 1	BETA 1__BB	BETA 1__BBR	BETA 1__BBG	
LINE 2	BETA 2__BBB	BETA 2__BBBR	BETA 2__BBG	
LINE 1	GAMMA 1__OO	GAMMA 1__OOR	GAMMA 1__OOG	
LINE 2	GAMMA 2__OOO	GAMMA 2__OOR	GAMMA 2__OOG	
	COMBINERS PCS/AWS (HIGH BAND)	COMBINERS LTE (LOW BAND)	TBD	TBD
LINE 1	ALPHA 1__PYY	ALPHA 1__PPYY		
LINE 2	ALPHA 2__PYYY	ALPHA 2__PPYY		
LINE 1	BETA 1__PBB	BETA 1__PPBB		
LINE 2	BETA 2__PBBB	BETA 2__PPBBB		
LINE 1	GAMMA 1__POO	GAMMA 1__PPOO		
LINE 2	GAMMA 2__POOO	GAMMA 2__PPOOO		

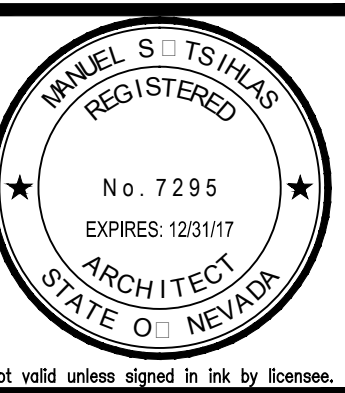
RAYCAP INSTALL GUIDE FOR 1-3 SECTOR SITES (REV 6)

RAYCAP #1 FIBER CONNECTIONS (1 - 3 SECTOR SITE)						
UPPER POSITION	7	8	9	10	11	12
FIBER CONNECTION	OPEN	OPEN	OPEN	AWS - A2 ALPHA 2	AWS - A2 BETA 2	AWS GAMMA 1
VZW COLOR CODE	OPEN	OPEN	OPEN	BR/P/Y/P/W	BR/P/B/P/W	BR/P/O/P/W
LOWER POSITION	1	2	3	4	5	6
FIBER CONNECTION	700 ALPHA 1	700 BETA 1	700 GAMMA 1	AWS ALPHA 1	AWS BETA 1	AWS GAMMA 1
FIBER COLOR CODE	BR/P/P/Y	BR/P/P/B	BR/P/P/O	BR/P/Y/P	BR/P/B/P	BR/P/O/P
POWER COLOR CODE	R/P/P/Y	R/P/P/B	R/P/P/O	R/P/Y/P	R/P/B/P	R/P/O/P
RAYCAP #2 FIBER CONNECTIONS (1- 3 SECTOR SITE)						
UPPER POSITION	7	8	9	10	11	12
FIBER CONNECTION	OPEN	OPEN	OPEN	OPEN	OPEN	OPEN
VZW COLOR CODE	OPEN	OPEN	OPEN	OPEN	OPEN	OPEN
LOWER POSITION	1	2	3	4	5	6
FIBER CONNECTION	PCS ALPHA 1	PCS BETA 1	PCS GAMMA 1	850 ALPHA 1	850 BETA 1	850 GAMMA 1
FIBER COLOR CODE	BR/P/Y	BR/P/B	BR/P/O	BR/P/P/P/Y	BR/P/P/P/B	BR/P/P/P/O
POWER COLOR CODE	R/P/Y	R/P/B	R/P/O	R/P/P/P/Y	R/P/P/P/B	R/P/P/P/O



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SHEET TITLE:
RAYCAP CONNECTION GUIDE/ ANTENNA COLOR CODE TABLE



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STRUCTURAL NOTES

GENERAL STRUCTURAL NOTES

1. ALL NEW WORK SHALL BE IN CONFORMANCE WITH THE 2012 INTERNATIONAL BUILDING CODE
2. FOUNDATION DESIGN PRESSURES PER IBC:
DL + LL = 1,500 PSF
DL + LL + LATERAL = 2,000 PSF
3. FOOTINGS SHALL BEAR ON FIRM UNDISTURBED NATIVE SOILS OR ENGINEERED FILL AT OR EXCEEDING DEPTHS SHOWN ON THE DRAWINGS AND IN ACCORDANCE WITH CHAPTER 18 OF THE 2016 CBC
4. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, PROPERTY LINES, ETC. ON THE JOB
5. CONTRACTOR SHALL NOTIFY THE ARCHITECT WHERE A CONFLICT OCCURS ON ANY OF THE CONTRACT DRAWINGS OR DOCUMENTS. CONTRACTOR IS NOT TO ORDER MATERIAL OR CONSTRUCT ANY PORTION OF THE STRUCTURE THAT IS IN CONFLICT UNTIL CONFLICT IS RESOLVED WITH THE AFFECTED PARTIES

CONCRETE NOTES

1. CONCRETE CONSTRUCTION SHALL CONFORM TO ACI-318.
2. CONCRETE FOR SHELTER FOUNDATIONS, EQUIPMENT & GENERATOR SLABS:
MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS WITH A 4" MAXIMUM SLUMP.
3. CONCRETE FOR FENCE POSTS, H-FRAME POSTS, STOOPS & MISC:
MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS WITH A 4" MAXIMUM SLUMP.
4. REFER TO TOWER DESIGNER FOUNDATION DRAWINGS FOR CONCRETE SPECIFICATIONS FOR TOWER FOUNDATIONS
5. ALL REINFORCING SHALL CONFORM TO ASTM A615, GRADE 60.
6. LAP ALL REINFORCING 40 BAR DIAMETERS (24" MINIMUM) UNLESS NOTED OTHERWISE ON DRAWINGS.
7. MAINTAIN MINIMUM 3" COVER AT ALL REINFORCING STEEL UNLESS NOTED OTHERWISE.

STEEL NOTES

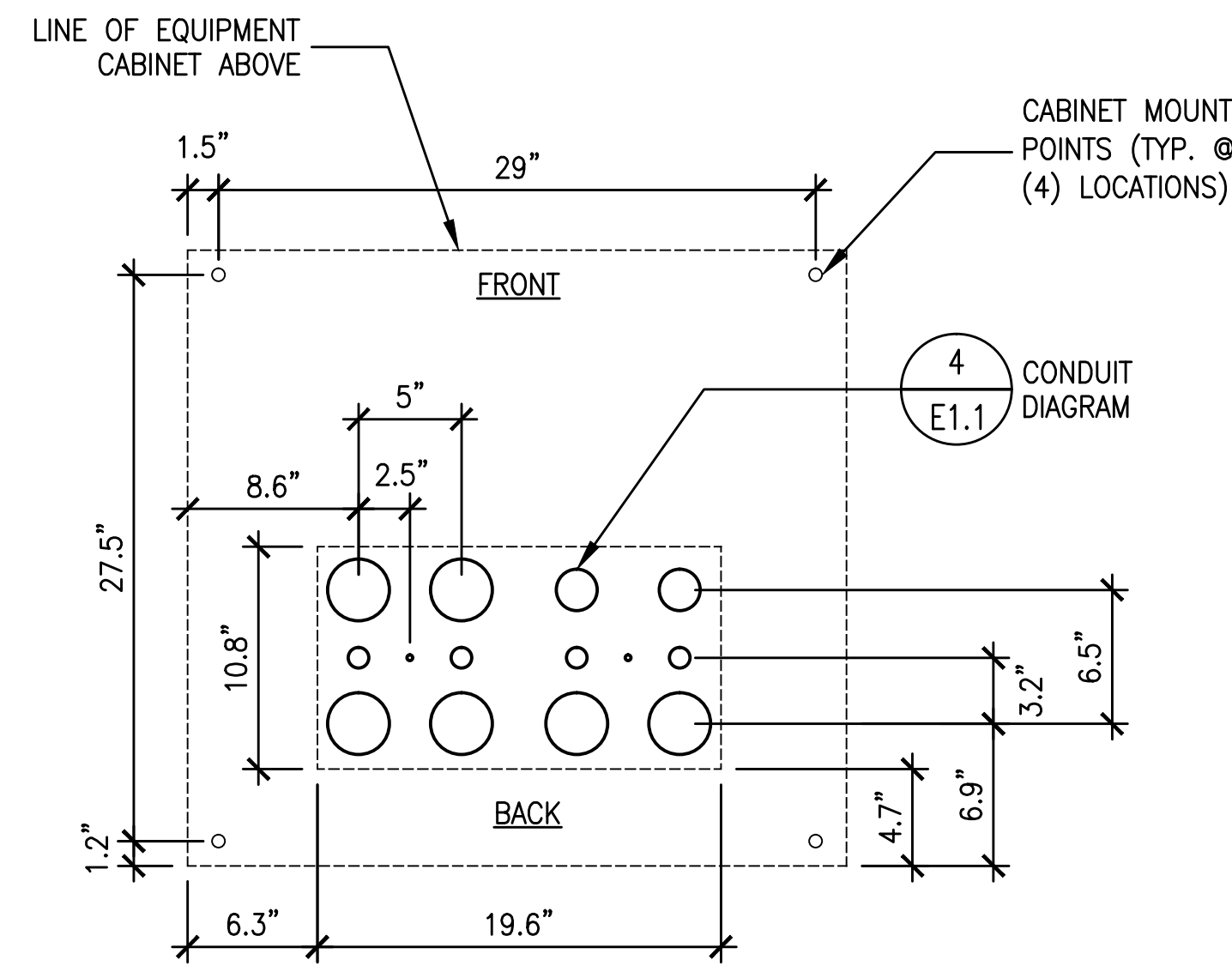
1. FABRICATION, ERECTION AND MATERIALS SHALL CONFORM WITH THE AISC SPECIFICATIONS AND THE 2016 CBC
2. MATERIALS:

W SHAPES	ASTM A-992, GRADE 50
C SHAPES, L SHAPES & PLATES	ASTM A-36
RECTANGULAR HSS	ASTM A-500, GRADE B
PIPES	ASTM A-53, GRADE B
MACHINE BOLTS & U-BOLTS	ASTM A-307, GRADE A
HIGH STRENGTH BOLTS	ASTM A-325, TYPE 1
ANCHOR BOLTS	ASTM F-1554, GRADE 36
HEAVY HEX NUTS	ASTM A563A
WASHERS	ASTM F436
HIGH STRENGTH THREADED ROD	ASTM F-1554, GRADE 105
3. ALL JOINTS TO BE INSTALLED SNUG-TIGHT PER THE AISC/RCSC SPECIFICATION FOR STRUCTURAL JOINTS USING HIGH-STRENGTH BOLTS 2009 EDITION
4. USE STANDARD AISC GAGE AND PITCH FOR BOLTS EXCEPT AS NOTED
5. HOLES FOR BOLTS SHALL BE SAME DIAMETER AS BOLT PLUS 1/16"
6. WELDING SHALL CONFORM TO AWS D1.1 LATEST EDITION. USE E70XX SERIES ELECTRODES AS REQUIRED FOR INTENDED USE
7. FINISHES:
ALL EXTERIOR STEEL AND HARDWARE TO BE HOT DIP GALVANIZED PER THE FOLLOWING STANDARDS:

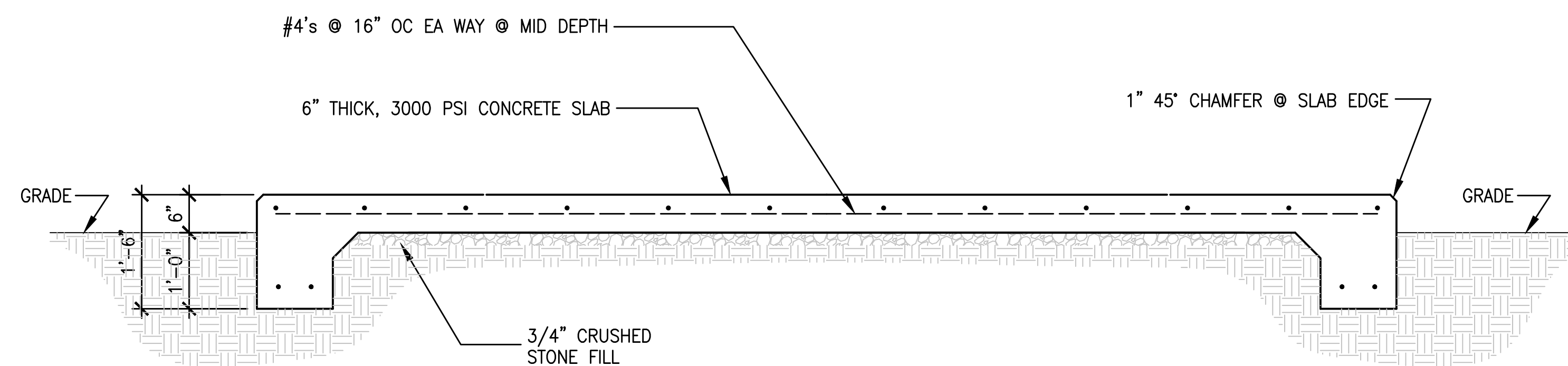
STRUCTURAL SHAPES	ASTM A-123
HARDWARE & FASTENERS	ASTM A-153

POST-INSTALLED CONCRETE ANCHORS:

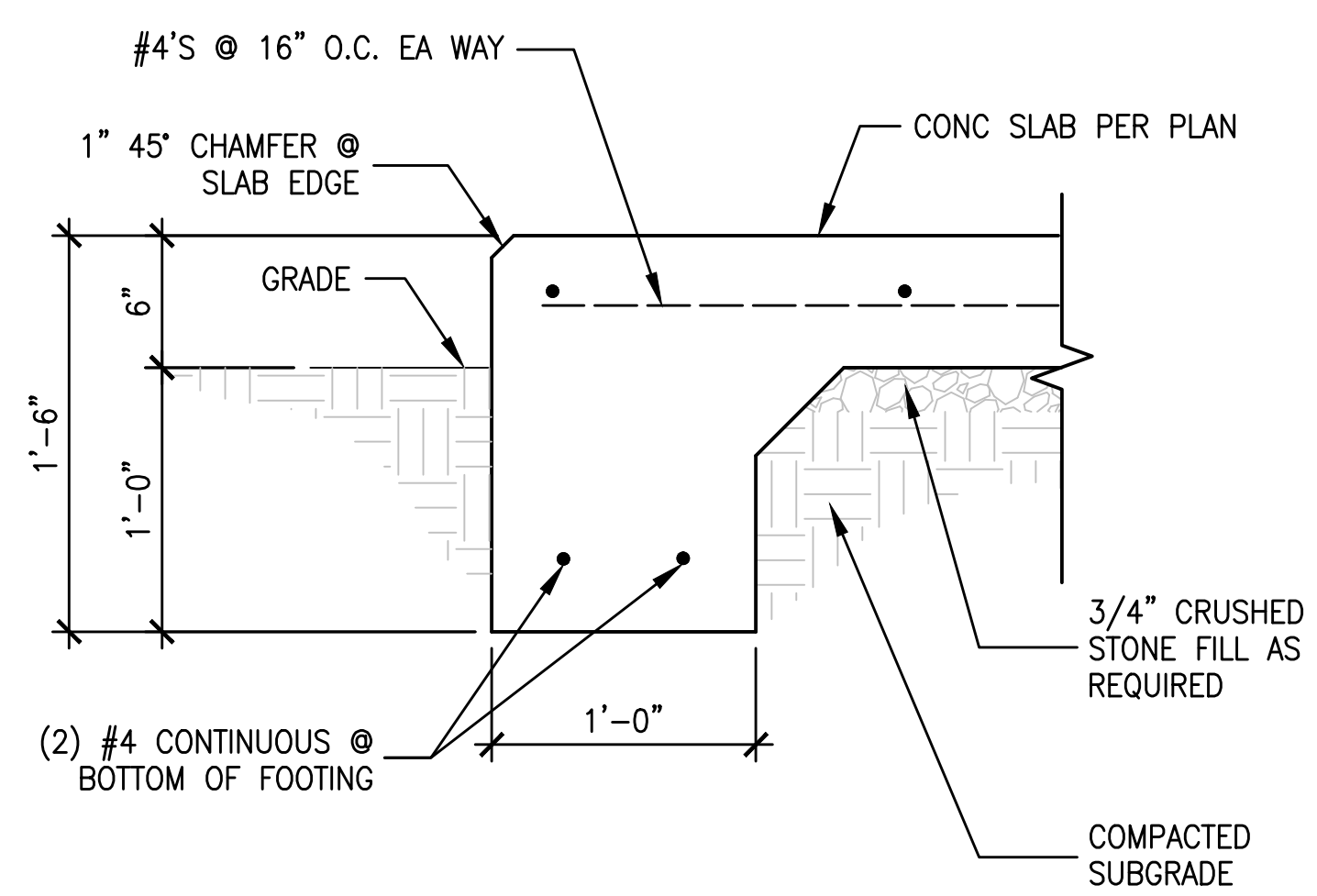
1. UNLESS NOTED OTHERWISE, ALL POST-INSTALLED CONCRETE ANCHORS SHALL BE "HILTI" KB-TZ STAINLESS STEEL. DIAMETER AND EMBEDMENT DEPTH AS SPECIFIED ON THE DRAWINGS
2. INSTALL ANCHORS PER MANUFACTURER'S PUBLISHED INSTRUCTIONS AND IN ACCORDANCE WITH ICC-ES REPORT ESR-1917
3. PERIODIC SPECIAL INSPECTION IS REQUIRED IN ACCORDANCE WITH 2016 CBC SECTION 1705.1.1 AND TABLE 1705.3, ITEM 4.



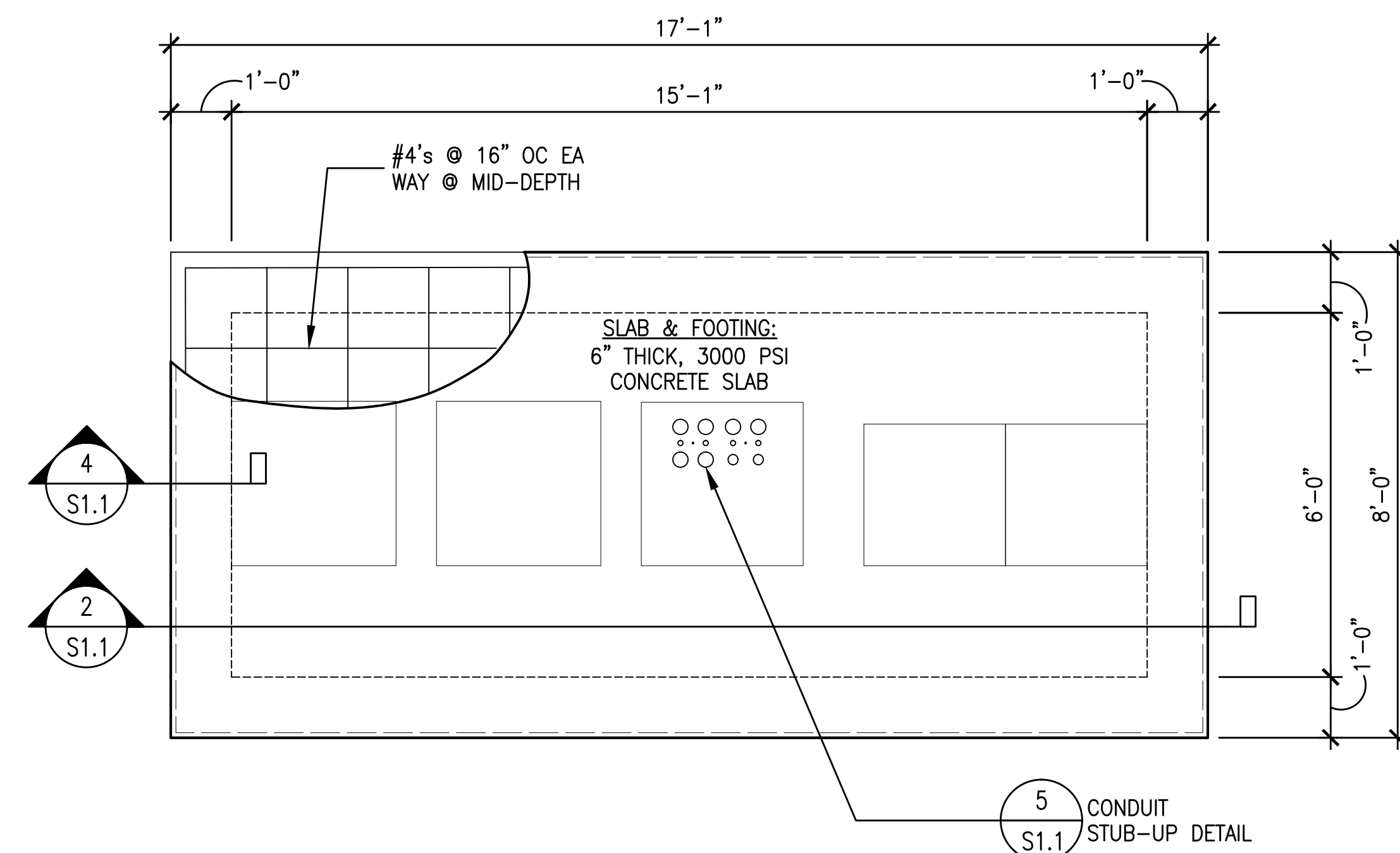
5 CONDUIT STUB UP DETAIL
S1.1 SCALE: 1-1/2" = 1'-0"



2 SECTION THRU CONCRETE SLAB
S1.1 SCALE: 3/4" = 1'-0"

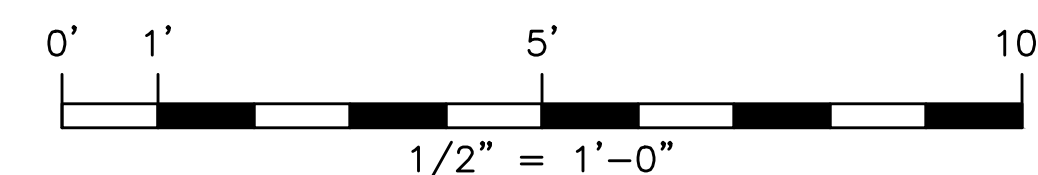


4 CONCRETE FOOTING DETAIL
S1.1 SCALE: 1-1/2" = 1'-0"



5 CONDUIT STUB-UP DETAIL
S1.1

3 NOT USED
S1.1 SCALE: 1/2" = 1'-0"



1 OVERALL EQUIPMENT SLAB PLAN
S1.1 SCALE: 1/2" = 1'-0"

Manuel S. Tsjihlas, Architect
1520 River Park Drive, Sacramento, CA 95815
916-505-8811

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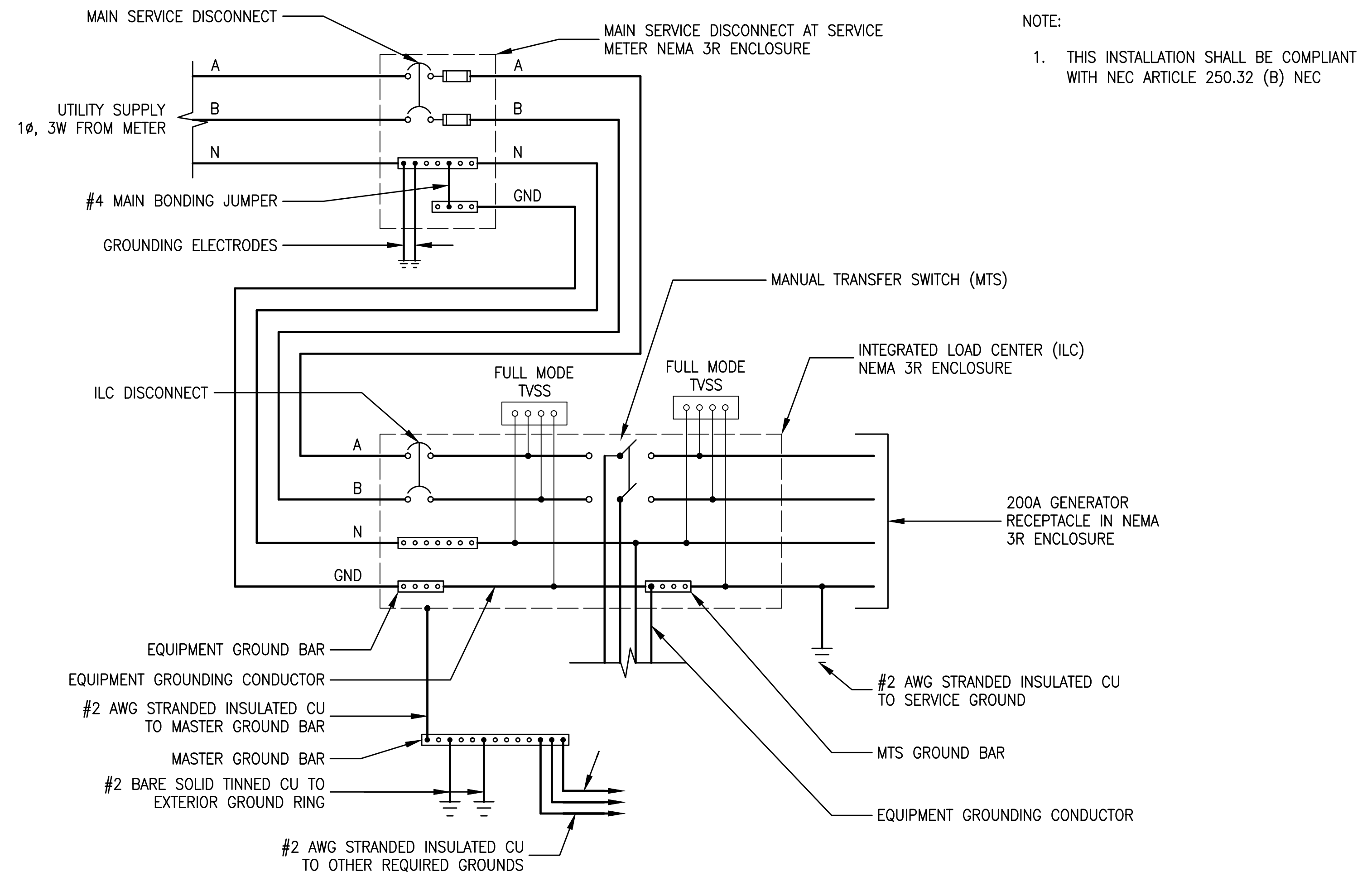
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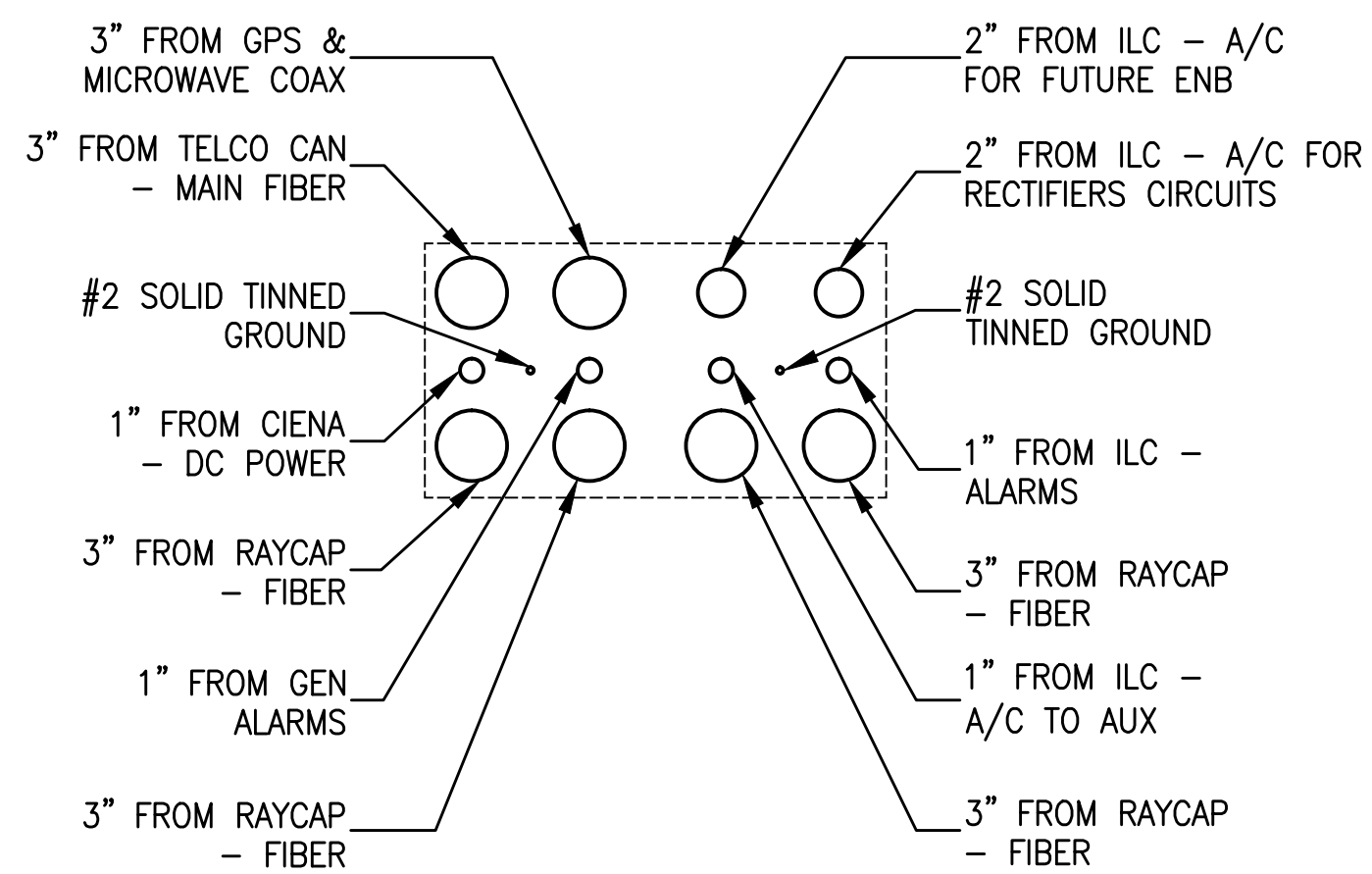
S1.1

PANEL CIRCUIT AND LOAD SCHEDULE										DESIGNATION: PANEL "VERIZON"											
LOAD DESCRIPTION	QTY	UNIT VA	LOAD PER PHASE (VA)		Continuous Load	TRIP	POLES	WIRE	AIC	WIRE TYPE	WIRE TYPE	AIC	WIRE	POLES	TRIP	Continuous Load	LOAD PER PHASE (VA)		UNIT VA	QTY	DESCRIPTION
			A	B													A	B			
1			0	0						THWN	Verify	12	1	20		1200	1200	1		MISC CAB	2
3			0	0						THWN	Verify	12	1	20		180	180	1		EXTERIOR GFCI RECEPTACLE	4
5			0	0						THWN	Verify	12	1	20		36	18	2		EXTERIOR LIGHTS	6
7			0	0						THWN	Verify	12	1	20		180	180	1		TELCO PANEL	8
9			0	0												0	0				10
11			0	0												0	0				12
13	48V PLANT RECEPTACLE	1	180	180			20	1	12	Verify	THWN										14
15	48V PLANT RECT #1	1	1600	1600			20	2	10	Verify	THWN					1600	1600	1		48V PLANT RECT #5	16
17	48V PLANT RECT #1	1	1600	1600			20	2	10	Verify	THWN					1600	1600	1		48V PLANT RECT #6	18
19	48V PLANT RECT #2	1	1600	1600			20	2	10	Verify	THWN					1600	1600	1		48V PLANT RECT #7	20
21	48V PLANT RECT #2	1	1600	1600			20	2	10	Verify	THWN					1600	1600	1		48V PLANT RECT #8	22
23	48V PLANT RECT #3	1	1600	1600			20	2	10	Verify	THWN					1600	1600	1			24
25	48V PLANT RECT #3	1	1600	1600			20	2	10	Verify	THWN					1600	1600	1			26
27	48V PLANT RECT #4	1	1600	1600			20	2	10	Verify	THWN					1600	1600	1			28
29	48V PLANT RECT #4	1	1600	1600			20	2	10	Verify	THWN					1600	1600	1			30
Subtotal Continuous			6400	6400												7600	6400			Subtotal Continuous	
Subtotal Non-Continuous			180	0												36	360			Subtotal Non-Continuous	
Voltage: 120/240 1 ph 3w			AIC: VERIFY WITH SERVICING UTILITY										Total KVA Continuous X 1.25 =		33.50						
Bus: 200 amps			Main: BREAKER										Total KVA Non-Continuous =		0.58						
Enclosure: NEMA 3R Outdoor			Mount: Surface										TOTAL KVA =		34.08						
													Total Amperage =		141.98						

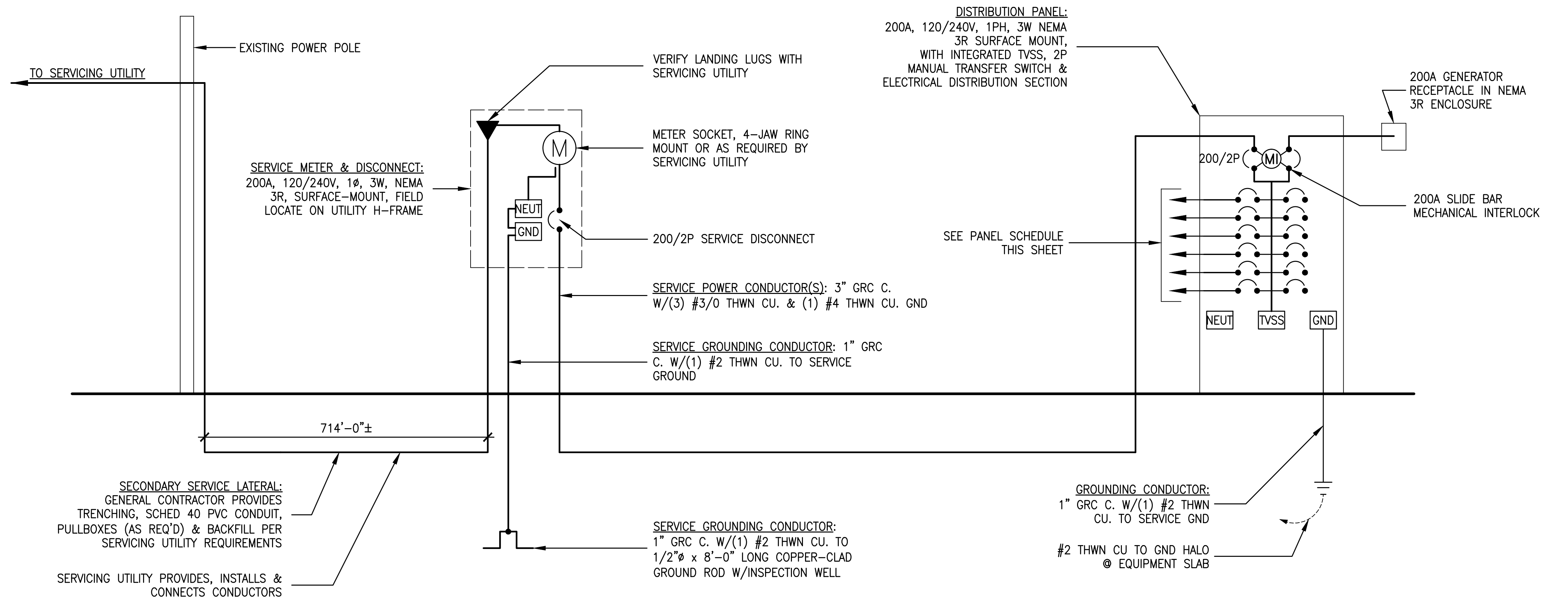
3 PANEL SCHEDULE
E1.1 SCALE: NO SCALE



2 UTILITY SERVICE ONE-LINE DIAGRAM
E1.1 SCALE: NONE



4 MISC. CABINET CONDUIT DIAGRAM
E1.1 SCALE: 1-1/2" = 1'-0"



1 ELECTRICAL ONE-LINE DIAGRAM
E1.1 SCALE: NONE

NOTE:
* THIS DIAGRAM IS BASED ON A 200A, 120/240V 1φ SERVICE.
* ALL ABOVE GROUND CONDUITS SHALL BE GRC, UNDERGROUND CONDUITS SHALL BE SCHED. 40 PVC, PROVIDE WATER TIGHT COUPLINGS BELOW GRADE.

NOTE: ALL ABOVE GROUND CONDUITS SHALL BE GRC, UNDERGROUND CONDUITS SHALL BE SCHED. 40 PVC, PROVIDE WATER TIGHT COUPLINGS BELOW GRADE.

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1520 River Park Drive, Sacramento, CA 95815
916-505-8811

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ELECTRICAL DETAILS

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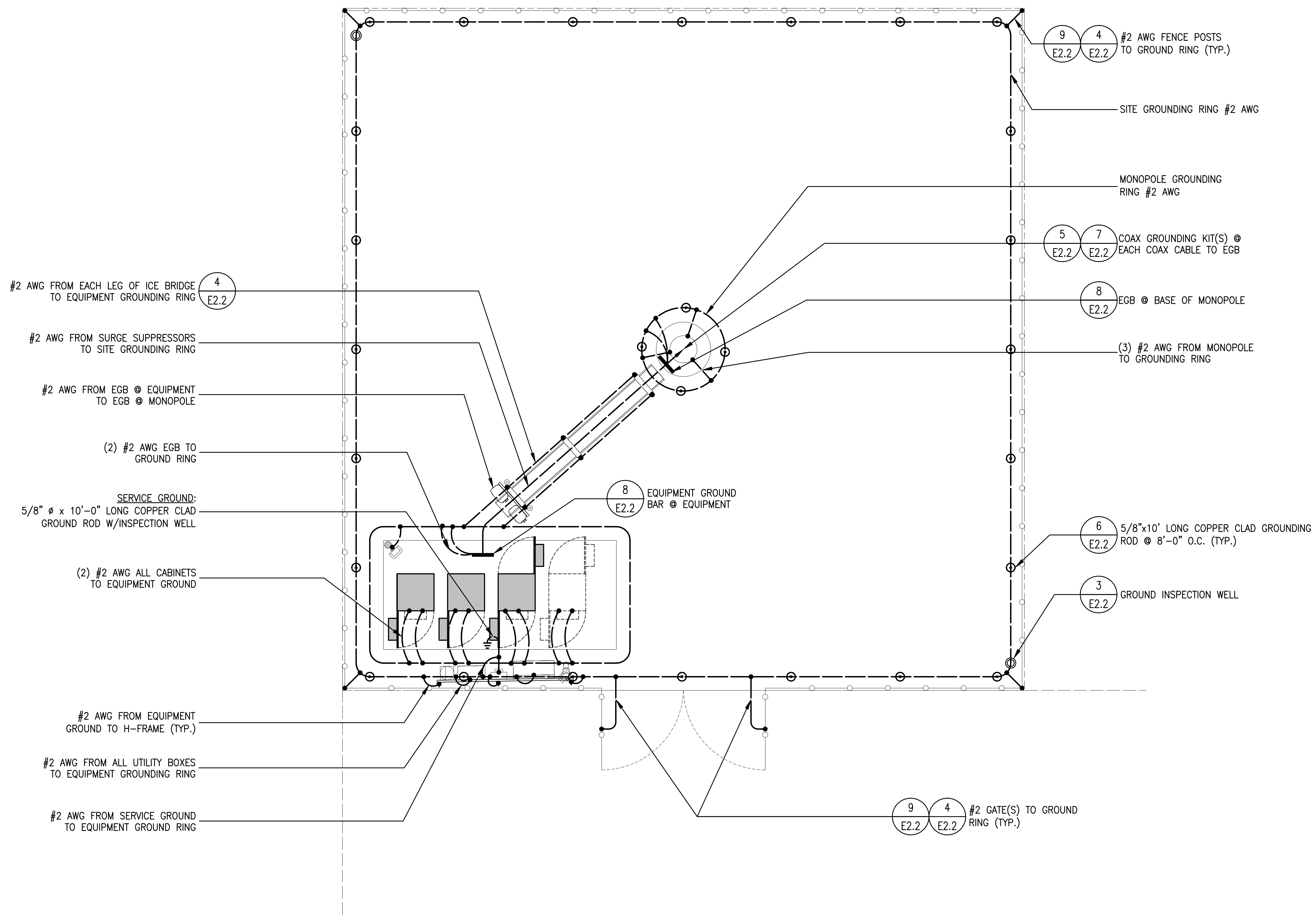
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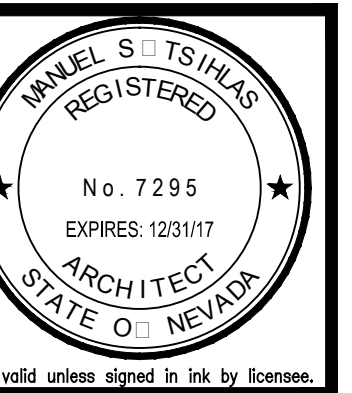
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E1.1



NOTES:
 #1 NO CADWELDS TO ANY GROUND BARS
 #2 RUN 2/0 GREEN INSULATED GROUND FROM THE COAX GROUND BAR TO THE MASTER GROUND BAR
 #3 CONNECT LEAD 20 FROM THE GROUND BAR INSIDE THE ILC PANEL TO THE MASTER GROUND BAR
 #4 BE SURE NEUTRAL & GROUND ARE NOT BONDED IN THE GENERATOR
 #5 GROUND ALL METAL ENCLOSURES TO THE HALO, INCLUDING LOUVERS, ALARM BLOCK, ETC.
 #6 PLASTIC TY-RAPS ARE NOT TO BE USED ON ANY GROUND ATTACHMENTS BUT ONLY WAX STRING

1
 E2.1
 SCALE: 1/4" = 1'-0"



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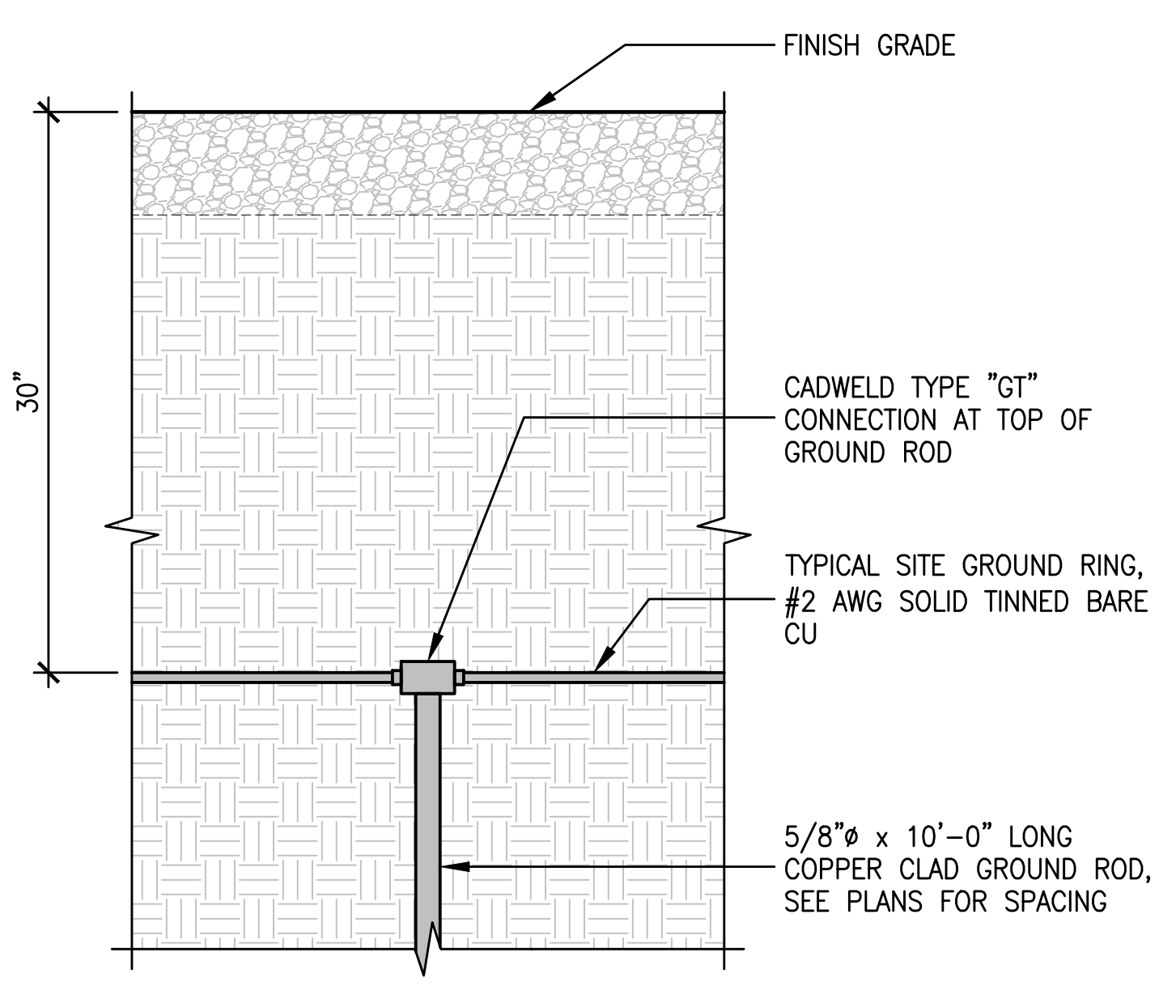
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 Date: 07/24/17

Job No. 162.1800

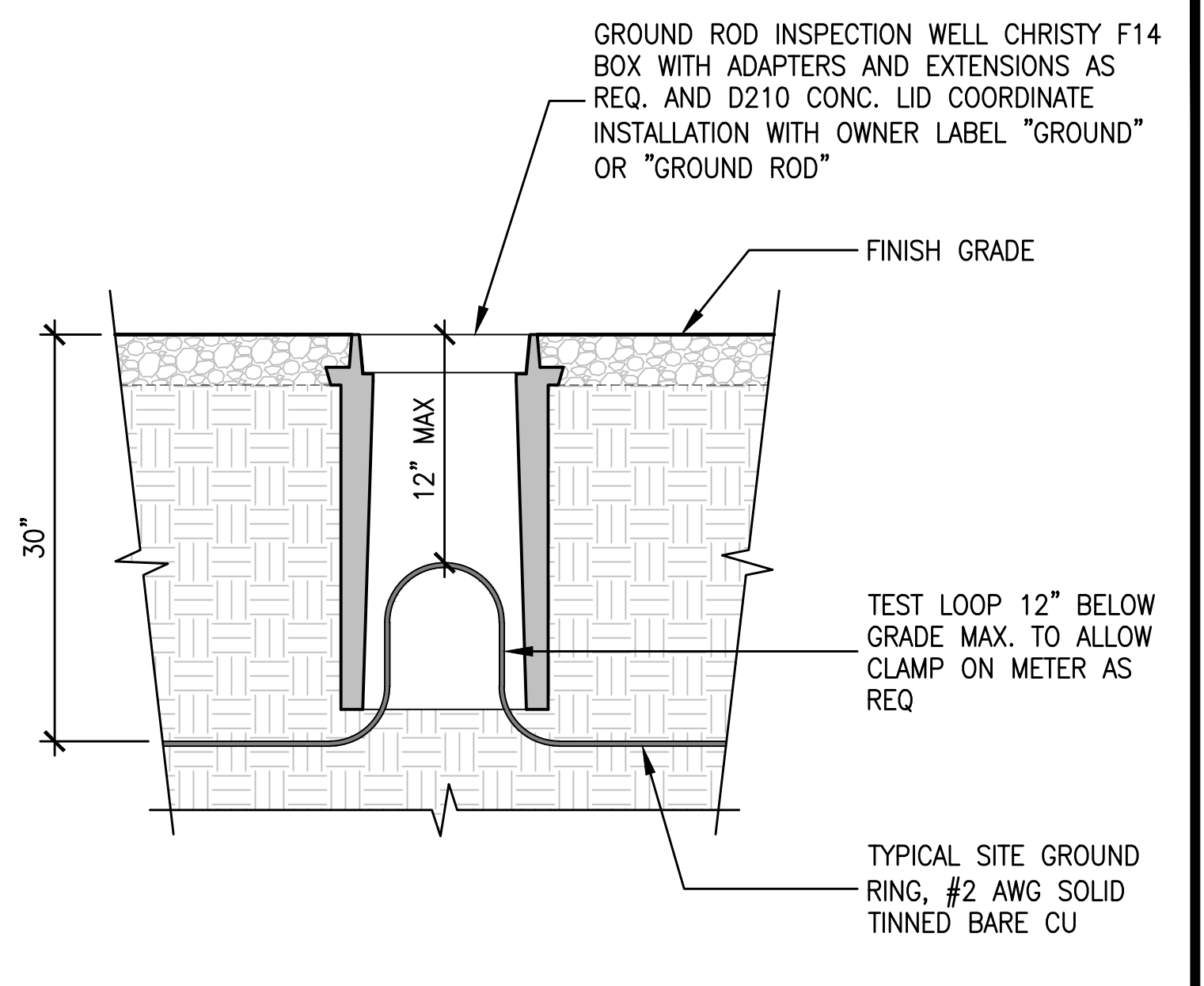
E2.1

GROUNDING NOTES

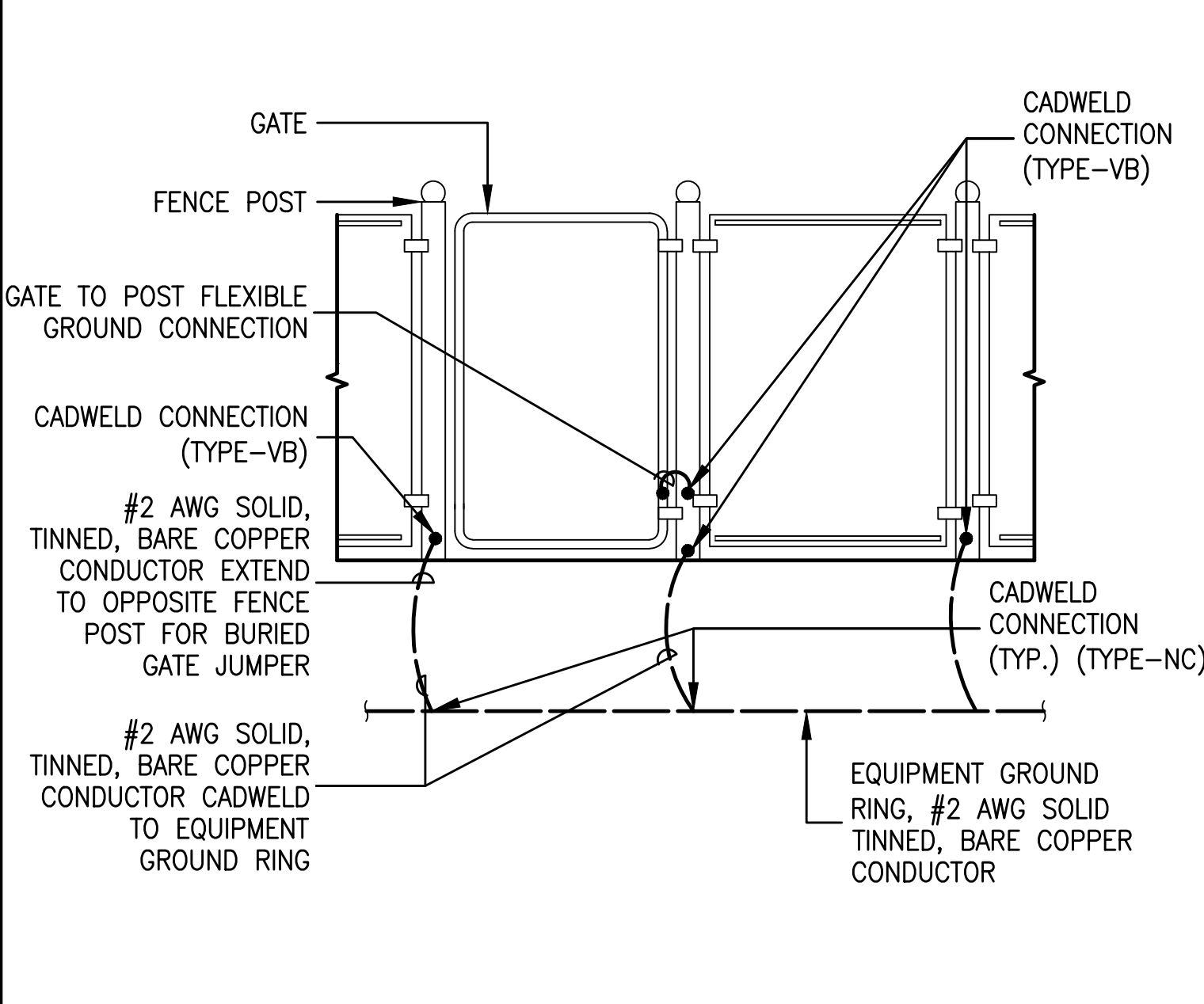
- GROUNDING SHALL COMPLY WITH NEC ART. 250.
- GROUND COAXIAL CABLE SHIELDS MINIMUM AT BOTH ENDS USING MANUFACTURER'S COAX CABLE GROUNDING KITS SUPPLIED BY PBMS.
- USE #2 COPPER STRANDED WIRE WITH GREEN COLOR INSULATION FOR ABOVE GRADE GROUNDING (UNLESS OTHERWISE SPECIFIED) AND #2 SOLID TINNED BARE COPPER WIRE FOR BELOW GRADE GROUNDING AS INDICATED ON THE DRAWING.
- ALL GROUND CONNECTIONS TO BE BURNDY HYGROUND COMPRESSION TYPE CONNECTORS OR CADWELD EXOTHERMIC WELD. DO NOT ALLOW BARE COPPER WIRE TO BE IN CONTACT WITH GALVANIZED STEEL.
- ROUTE GROUNDING CONDUCTORS ALONG THE SHORTEST AND STRAIGHTEST PATH POSSIBLE, EXCEPT AS OTHERWISE INDICATED. GROUNDING LEADS SHOULD NEVER BE BENT AT RIGHT ANGLE. ALWAYS MAKE AT LEAST 12" RADIUS BENDS. #6 WIRE CAN BE BENT AT 6" RADIUS WHEN NECESSARY.
- BOND ANY METAL OBJECTS WITHIN 7 FEET OF PBMS EQUIPMENT OR CABINET TO THE MASTER GROUND BAR.
- CONNECTIONS TO MGB SHALL BE ARRANGED IN THREE MAIN GROUPS: SURGE PRODUCERS (COAXIAL CABLE GROUND KITS, TELCO AND POWER PEDESTAL GROUND OR SURGE PROTECTOR); SURGE ABSORBERS (GROUNDING ELECTRODE RING OR BUILDING STEEL); NON-SURGING OBJECTS (EGB GROUND IN BTS)
- CONNECTIONS TO GROUND BARS SHALL BE MADE WITH TWO HOLE COMPRESSION TYPE COPPER LUGS AND NO-OX OR EQUIVALENT PLACED BETWEEN CONNECTOR AND GROUND BAR.
- THE GROUND ELECTRODE SYSTEM SHALL CONSIST OF DRIVEN GROUND RODS UNIFORMLY SPACED AROUND CELL SITE. THE GROUND RODS SHALL BE 5/8"x8'-0" COPPER CLAD STEEL. THE RODS SHALL BE INTERCONNECTED WITH #2 SOLID TINNED COPPER GROUND WIRE BURIED A MINIMUM 2'-1/2' BELOW THE SURFACE OF THE SOIL.
- ALL UNDERGROUND ELECTRODES SHALL BE BONDED TO STEEL REINFORCING EMBEDDED IN THE CONCRETE SLAB AND CONCRETE MONOPOLE FOUNDATION.
- MUST APPLY BUTYL & ELECTRICAL TAPE OVER COLD SHRINK AT ALL LOCATIONS. FOR WEATHER PROOFING OVER GROUND KITS. MORE BUTYL TAPE MAY NEED TO BE APPLIED THAN WHAT IS PROVIDED WITH THE MFR. KIT.
- TEST COMPLETED GROUND SYSTEM AND RECORD RESULTS FOR PROJECT CLOSE-OUT DOCUMENTATION.



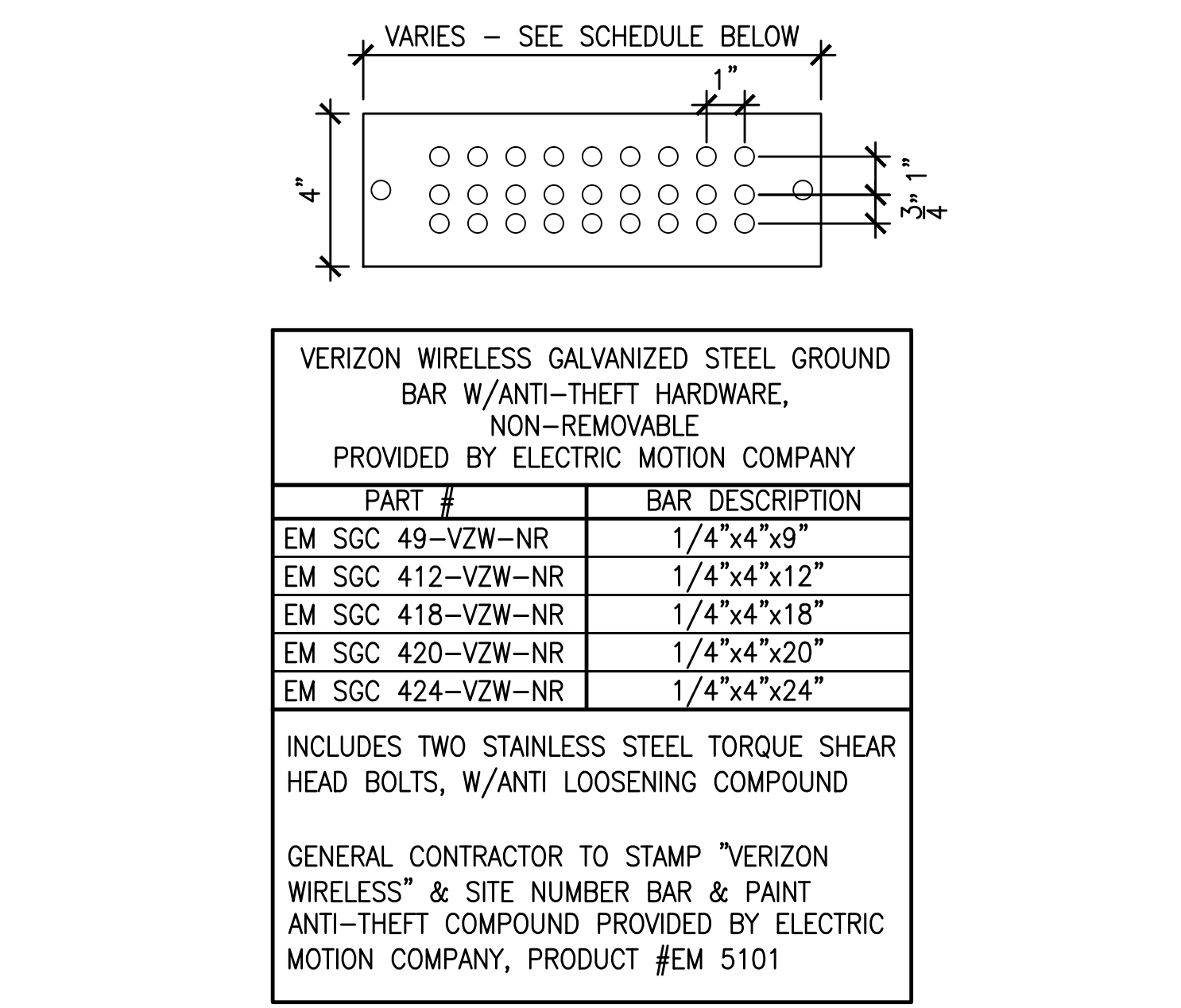
6 TYPICAL GROUND ROD
E2.2 SCALE: 3" = 1'-0"



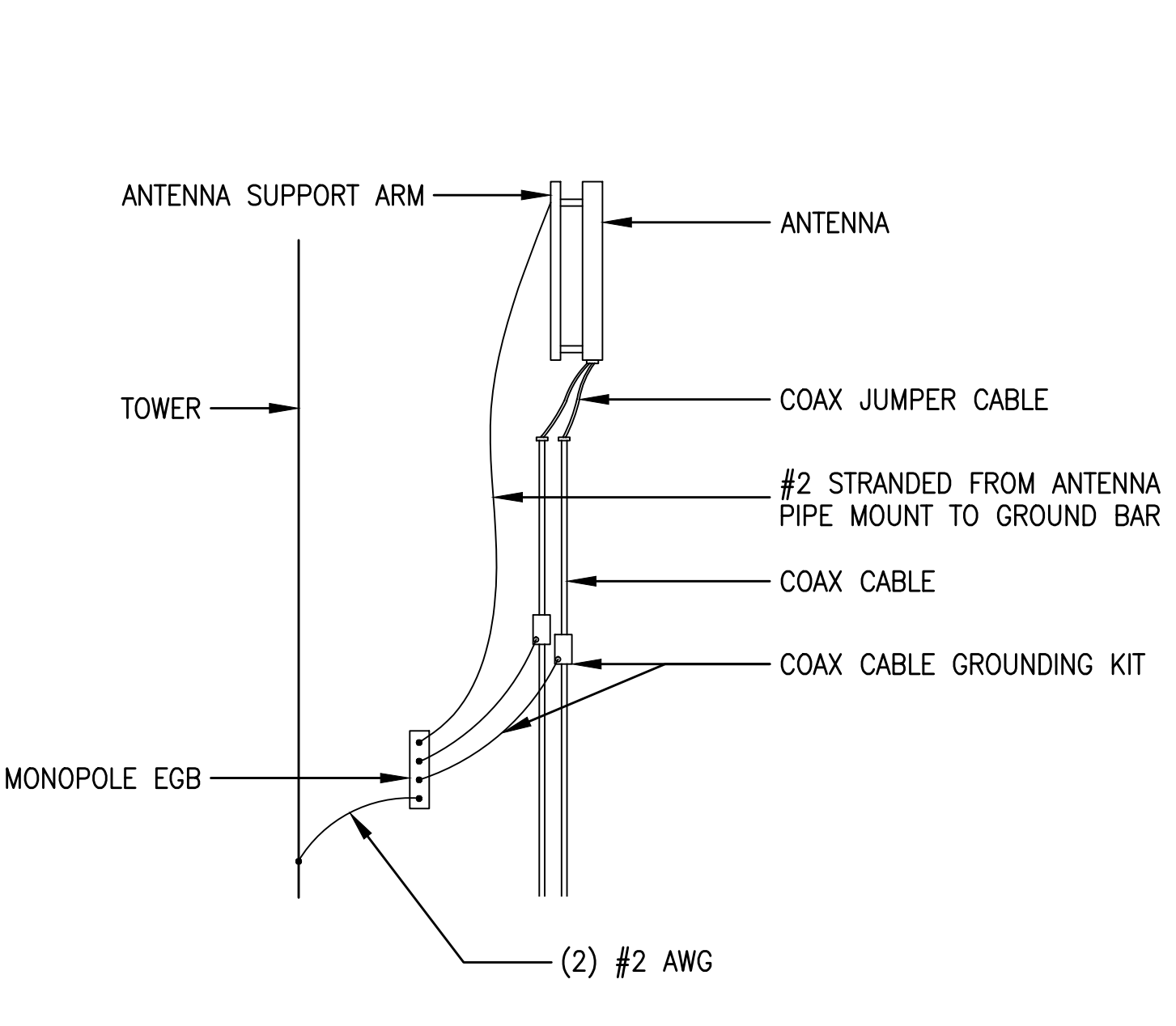
3 TYPICAL GROUND RING & INSPECTION WELL DETAIL
E2.2 SCALE: 1-1/2" = 1'-0"



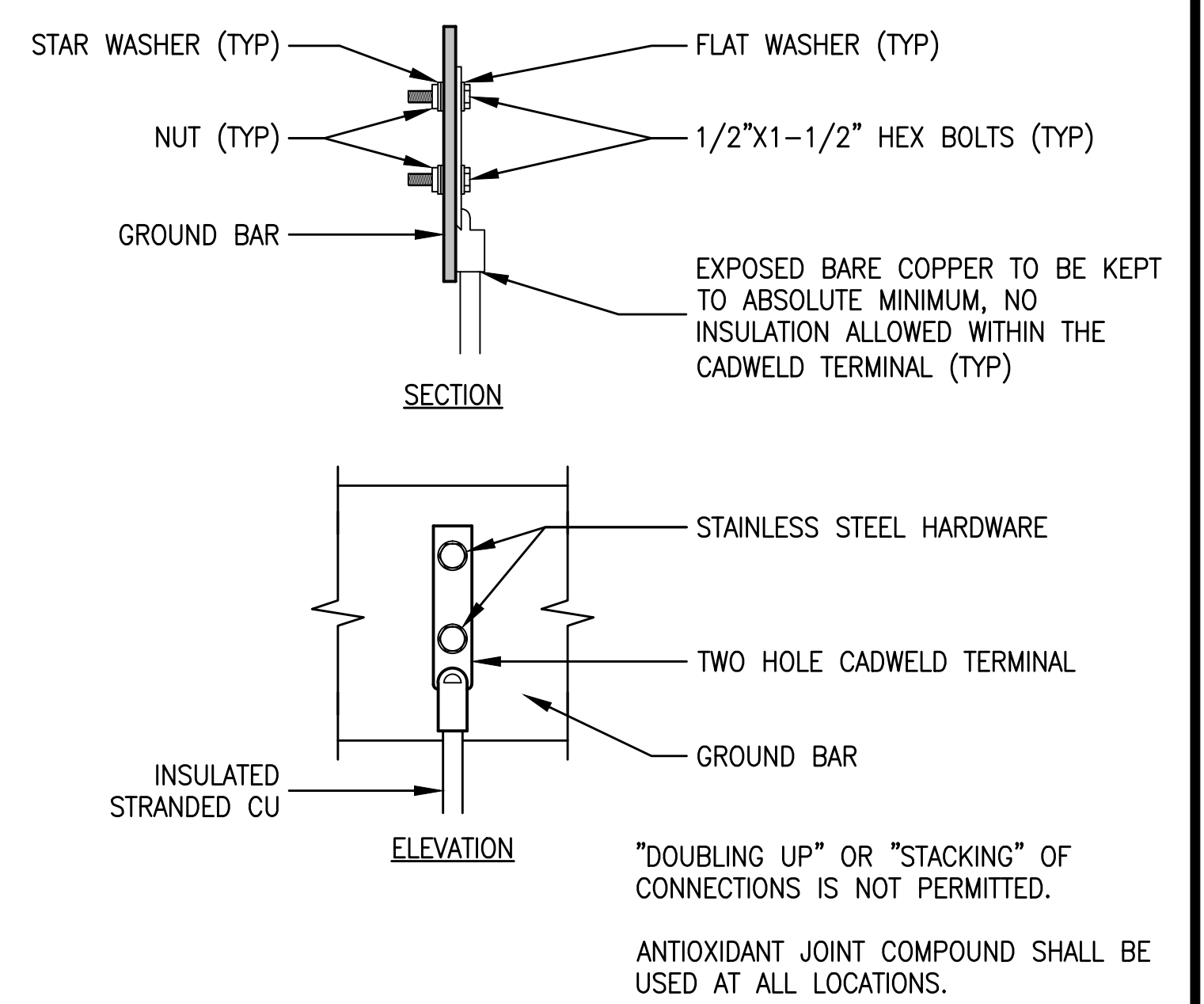
9 FENCE GROUNDING DETAIL
E2.2 SCALE: NONE



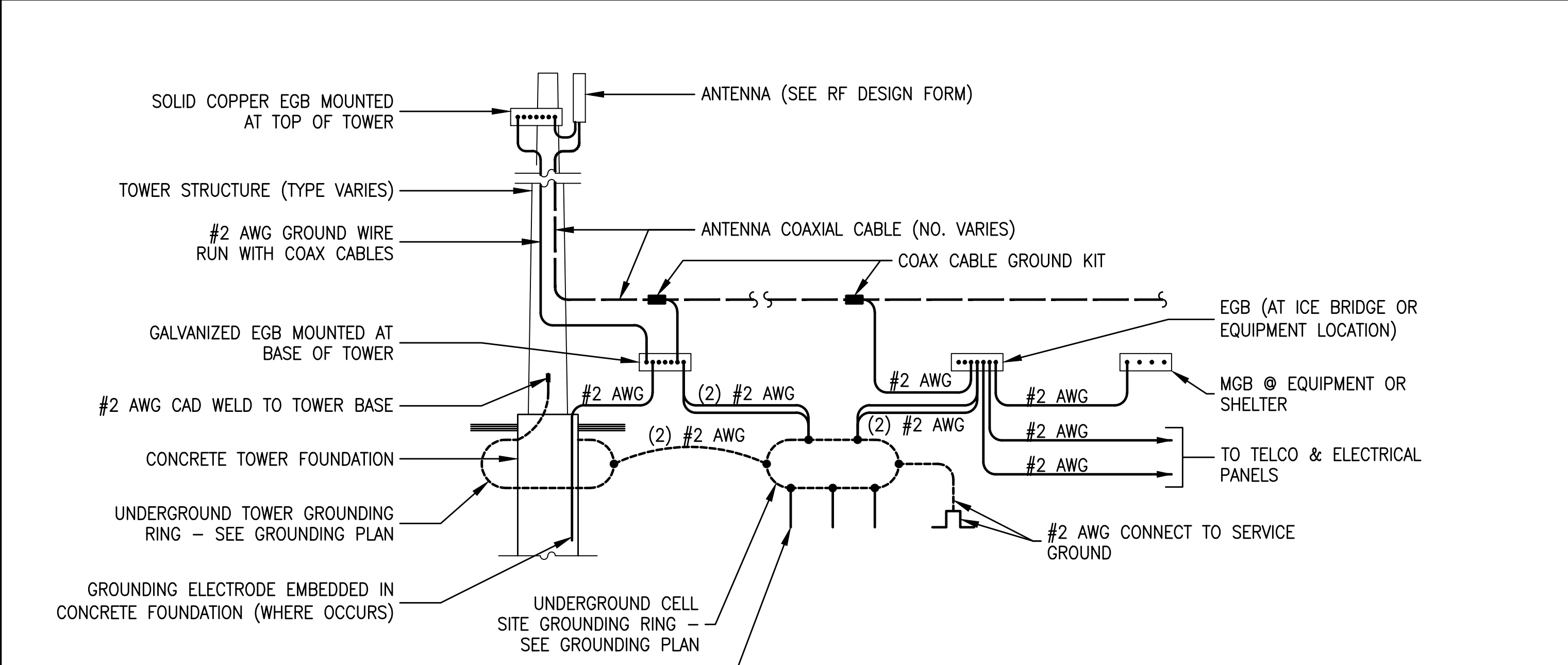
8 GROUND BAR DETAIL
E2.2 SCALE: NONE



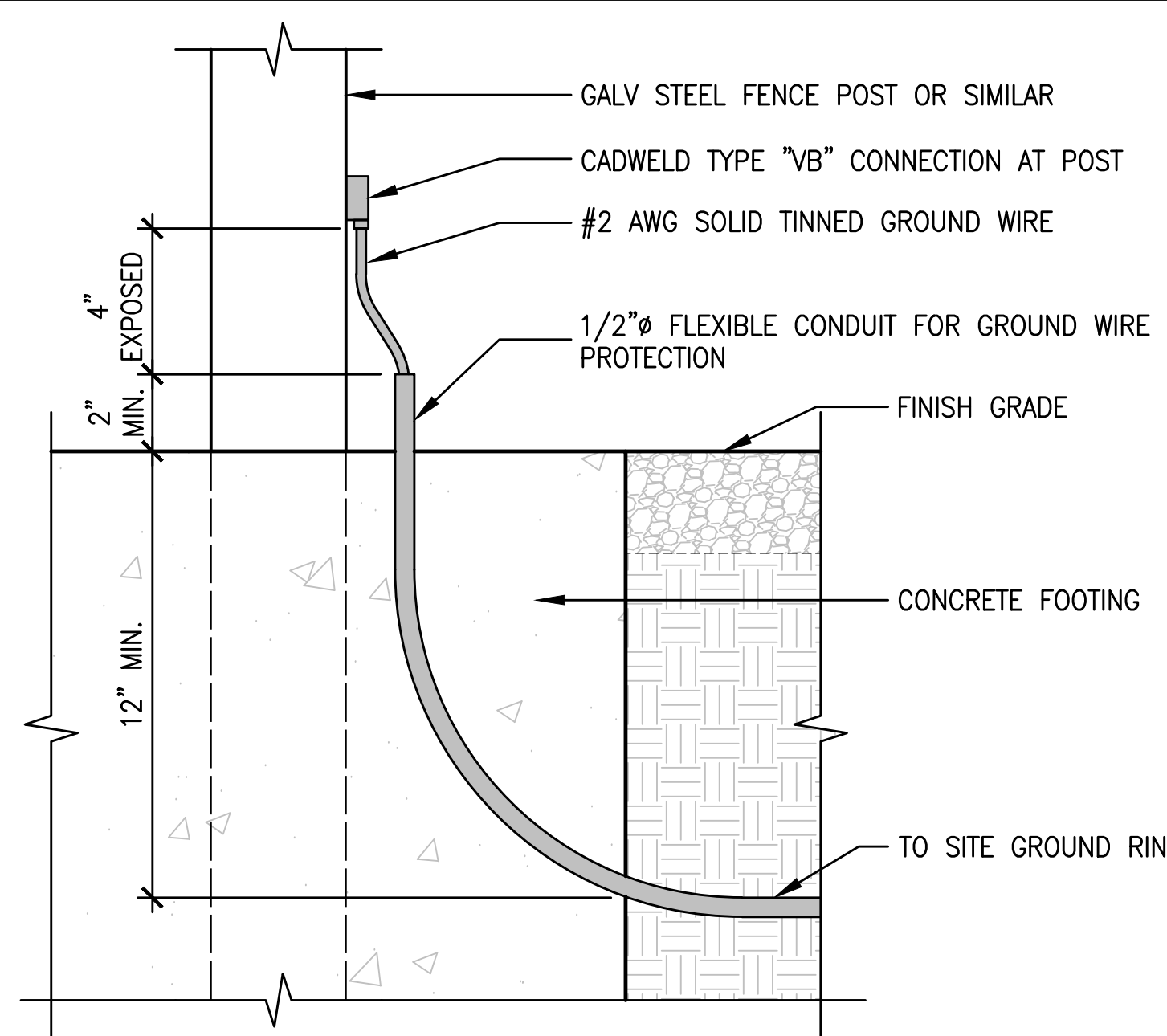
5 COAX CONNECTION & GROUNDING DETAIL
E2.2 SCALE: NONE



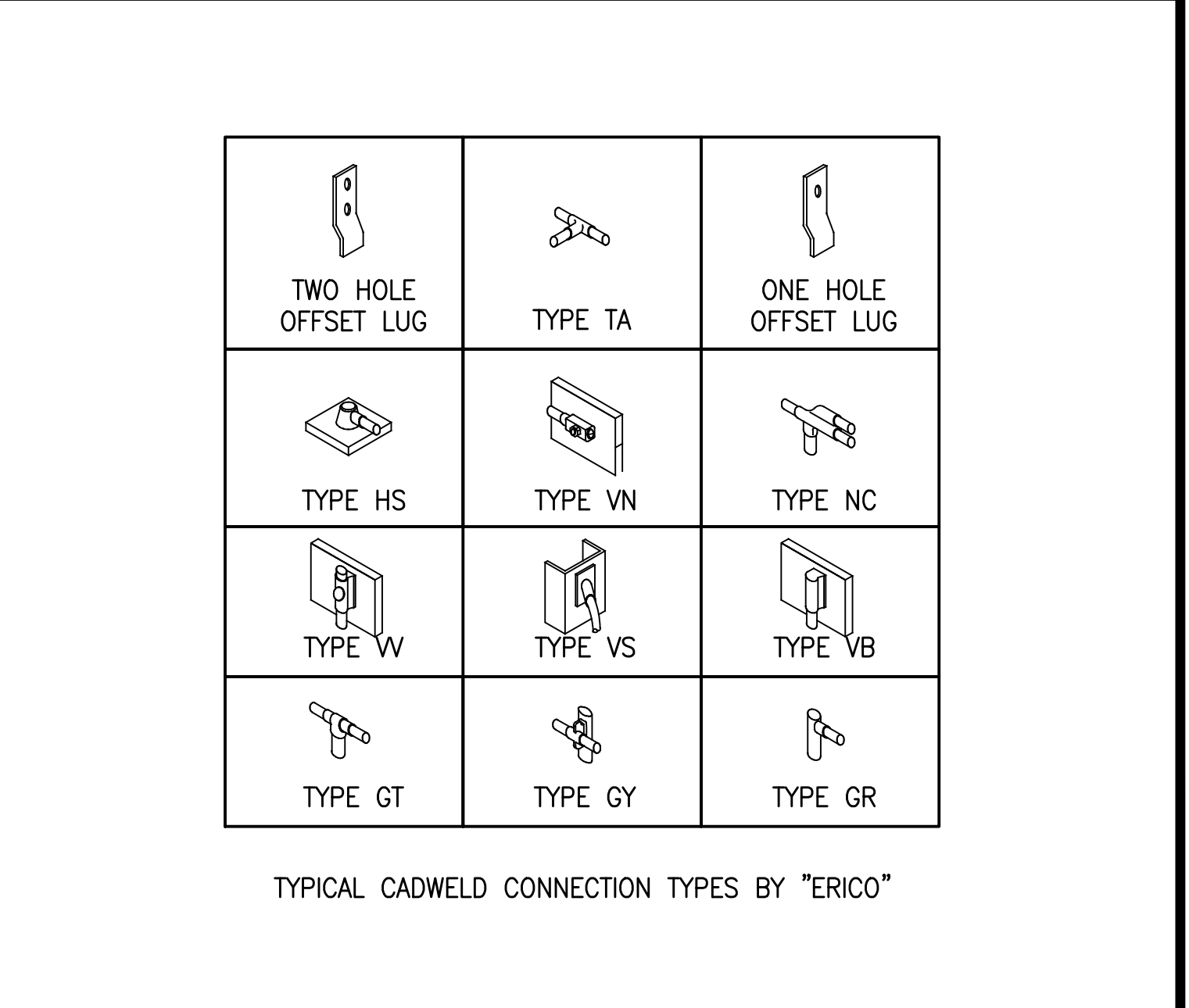
2 TYPICAL GROUND BAR CONNECTIONS
E2.2 SCALE: NONE



7 TYPICAL GROUNDING RISER DIAGRAM
E2.2 SCALE: NONE



4 POST GROUNDING DETAIL
E2.2 SCALE: 3" = 1'-0"



1 GROUNDING CONNECTION DETAIL
E2.2 SCALE: NONE

Manuel S. Tsilias, Architect
1520 River Park Drive, Sacramento, CA 95815
916-505-8811

COMPLETE
Wireless Consulting, Inc.

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verizon

ROLLING THUNDER
5205 WAYSIDE ROAD
RENO, NV 89510

GROUNDING DETAILS

SHEET TITLE:

MANUEL S. TSILIAS
REGISTERED
No. 7295
EXPIRES: 12/31/17
ARCHITECT
STATE OF NEVADA

Not valid unless signed in ink by licensee.

Revisions:

△ --	
△ --	
△ --	
△ --	
△ --	

File:162.1800_E22.dwg
Drawn By: JCE
Checked By: TST
Scale: AS NOTED
Date: 07/24/17

Job No. 162.1800

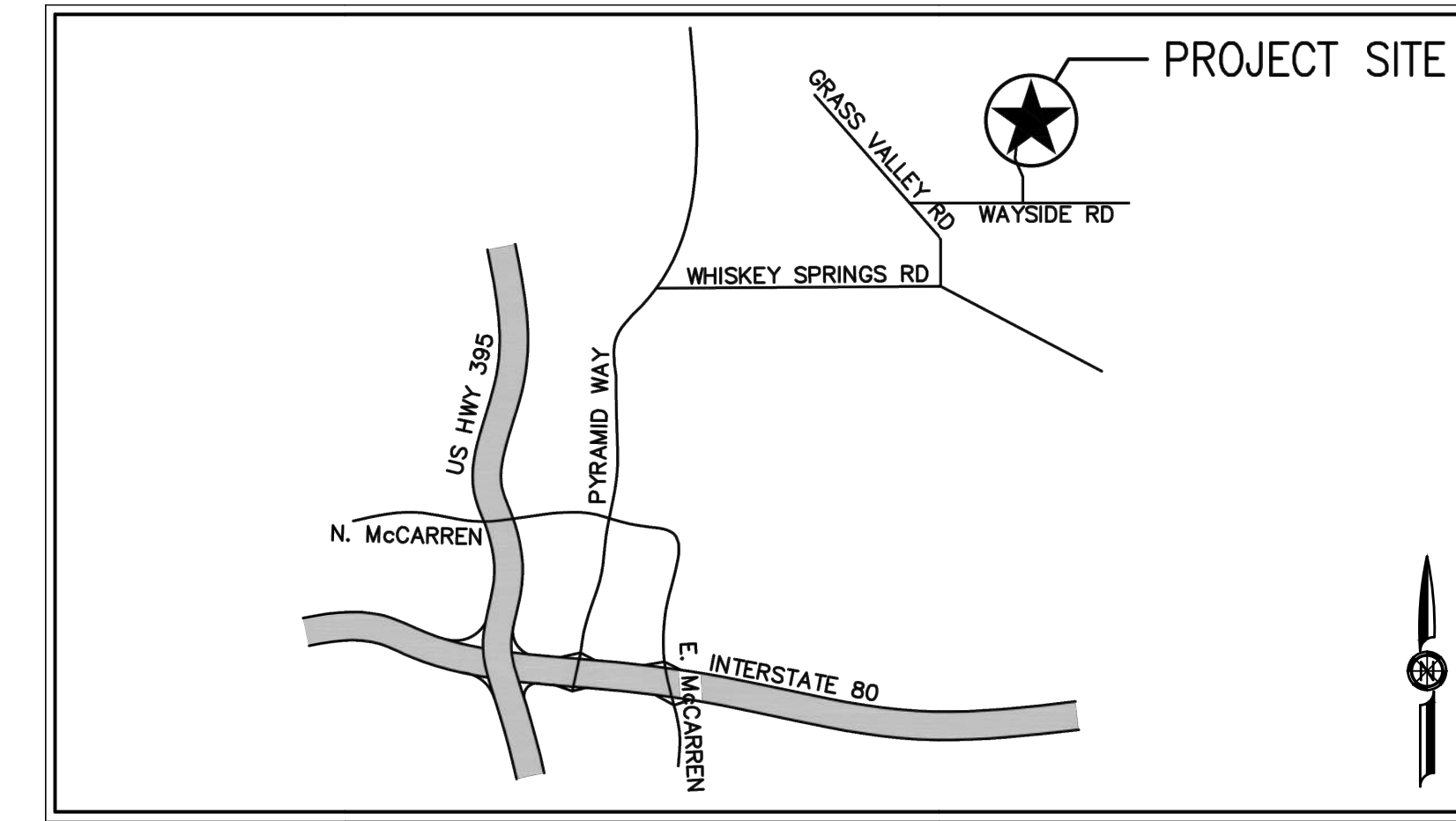
E2.2

GENERAL CONSTRUCTION NOTES:

- ALL GRADING SHALL CONFORM TO WASHOE COUNTY GRADING STANDARDS CODE SECTION 110.438.
- FOR SITE PREPARATION, SUITABLE FILL MATERIAL, GRADING AND EARTHWORK ACTIVITIES, FOUNDATION SETBACKS AND OTHER GEOTECHNICAL RECOMMENDATIONS, REFER TO GEOTECHNICAL INVESTIGATION REPORT PREPARED BY MID PACIFIC ENGINEERING, INC., TITLED ROLLING THUNDER, LOCATION 382432 DATED MAY 12, 2017. CONTACT TODD KAMISKY, PE AT 916-927-7000.
- SURFACES RECEIVING FILL TO BE SCARIFIED TO A DEPTH OF EIGHT INCHES, UNIFORMLY MOISTURE CONDITIONED TO BETWEEN 0 AND 5 PERCENT ABOVE OPTIMUM MOISTURE CONTENT, AND COMPACTED TO AT LEAST 90 PERCENT RELATIVE COMPACTION PER ASTM D1557. SUBGRADE AREAS TO BE SURFACED WITH GRAVEL TO BE UNIFORMLY MOISTURE CONDITIONED BETWEEN 1 AND 3 PERCENT ABOVE OPTIMUM MOISTURE CONTENT, AND COMPACTED TO AT LEAST 95 PERCENT RELATIVE COMPACTION. IN THE EVENT THE EXPOSED SUBGRADE CONSISTS OF UNDISTURBED ON-SITE ROCK, SCARIFICATION AND COMPACTION MAY BE OMITTED IF APPROVED BY THE PROJECT GEOTECHNICAL ENGINEER.
- WITHIN AREAS GRUBBED OR OTHERWISE DISTURBED BELOW AN APPROXIMATE DEPTH OF 12 INCHES, IN-PLACE SCARIFICATION AND COMPACTION MAY NOT BE ADEQUATE TO DENSIFY ALL DISTURBED SOIL. THEREFORE, OVER-EXCAVATION OF THE DISTURBED SOIL, SCARIFICATION AND COMPACTION OF THE EXPOSED SUBGRADE, AND REPLACEMENT WITH ENGINEERED FILL MAY BE REQUIRED IN THESE AREAS.
- IF GRADING IS PERFORMED DURING RAINY SEASON (WINTER OR SPRING MONTHS) OR AFTER SIGNIFICANT PRECIPITATION OR IRRIGATION, AND OVER-OPTIMUM SOIL CONDITIONS ARE ENCOUNTERED, THE PROJECT GEOTECHNICAL ENGINEER IS TO BE CONSULTED TO REVIEW CONDITIONS AND PROVIDE TREATMENT RECOMMENDATIONS.

SURVEY NOTE:

SEE TOPOGRAPHIC SURVEY SHEETS C-1 AND C-2 FOR GEOGRAPHIC COORDINATES, BASIS OF BEARINGS, AND BENCHMARKS.

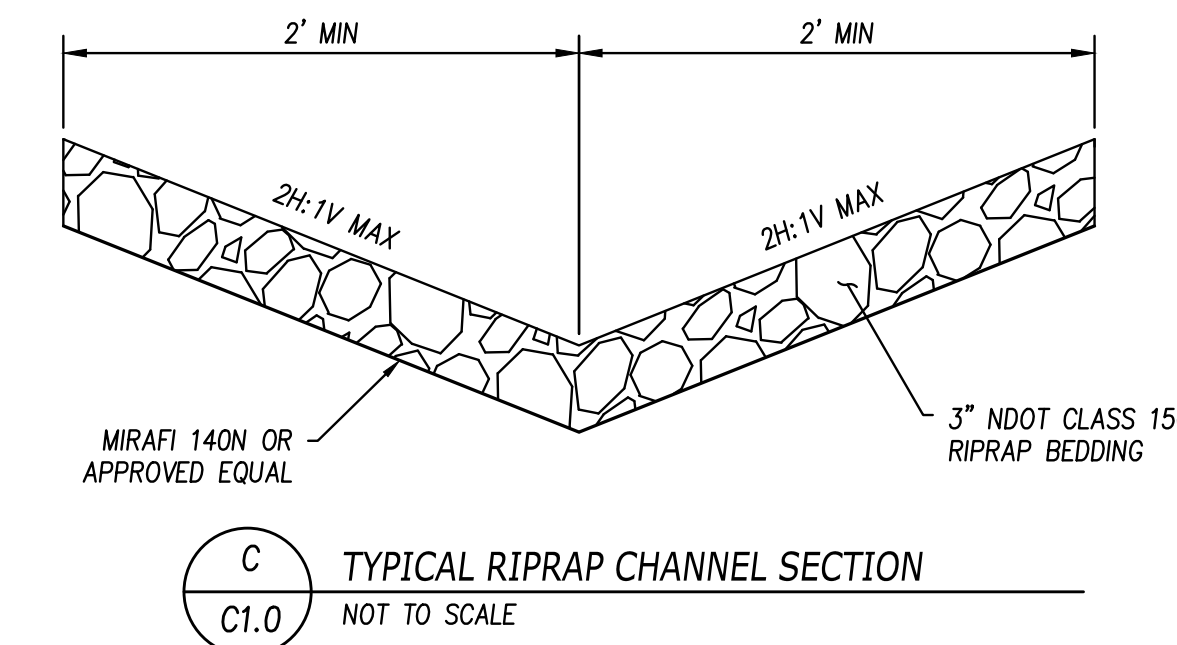
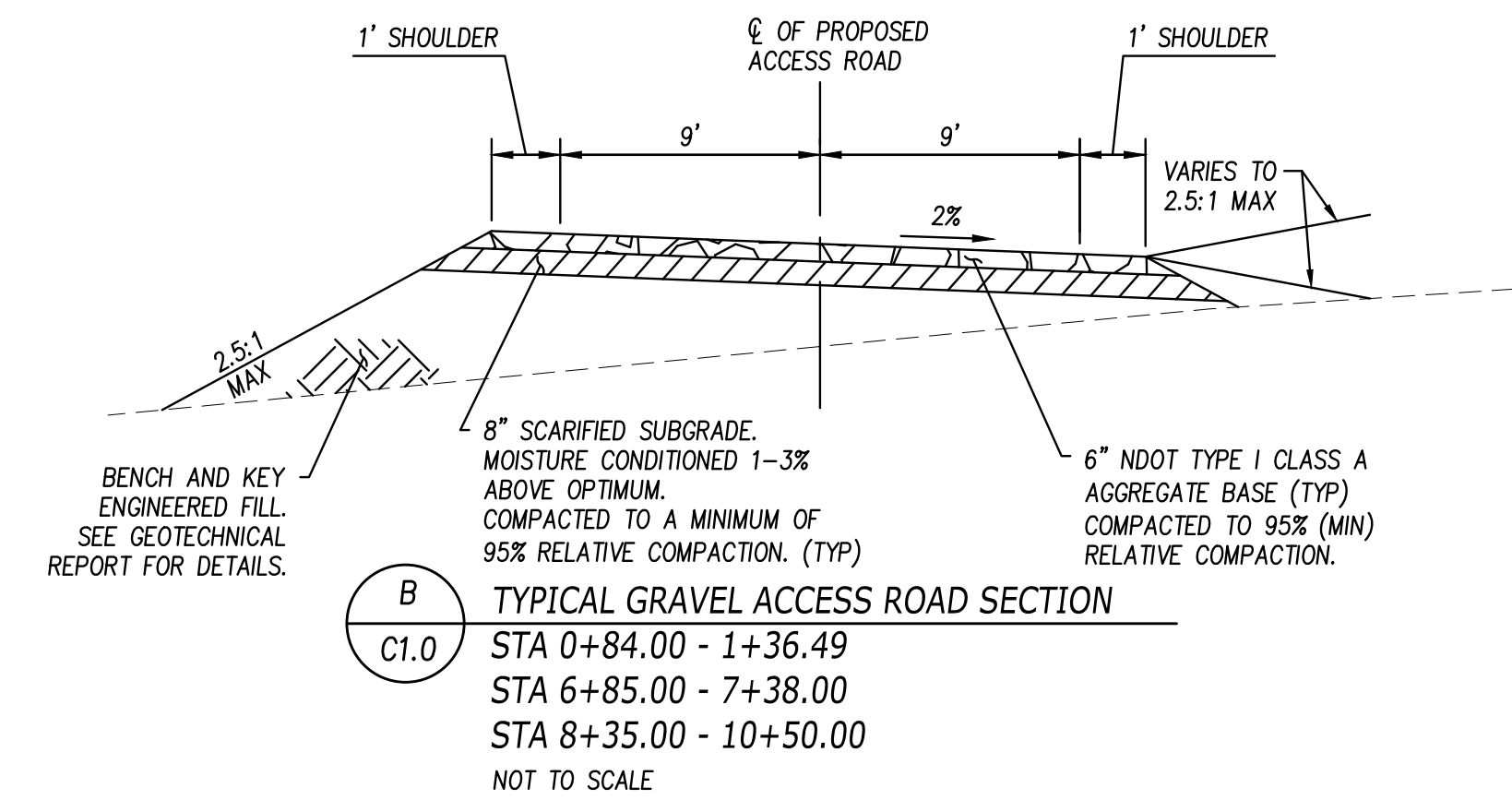
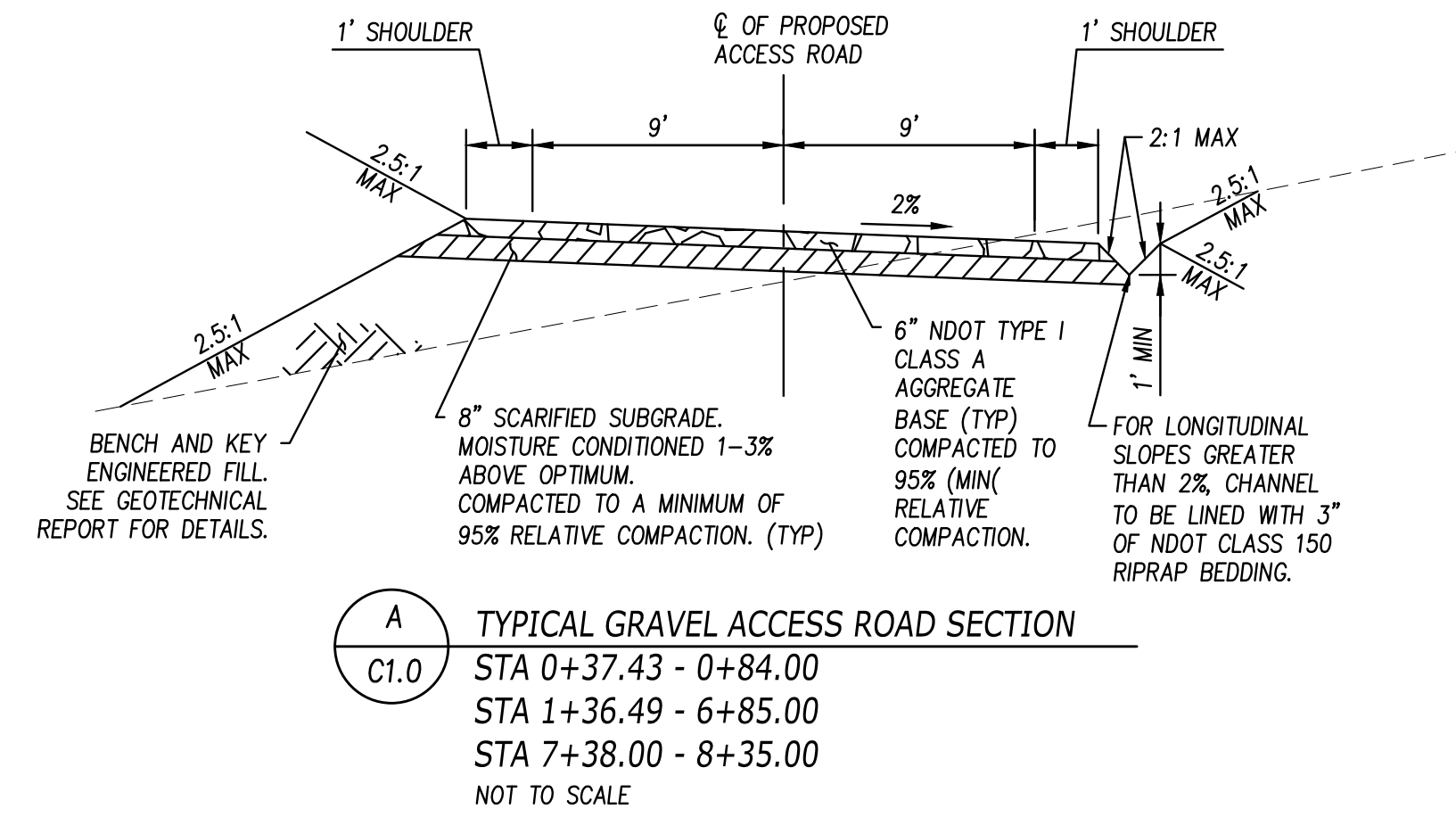


VICINITY MAP
NOT TO SCALE

EARTHWORK SUMMARY (CY)			
	CUT	FILL	NET (CUT-FILL)
RAW SURFACE GRADING	2686.55	3170.01	-483.46
SECTION GRADING ADJUSTMENTS			
LEASE AREA (3" GRAVEL)	22.95		22.95
RIPRAP CHANNEL	41.21		41.21
ACCESS ROUTE/TURNAROUND (6" AGG BASE)	413.64		413.64
TOWER FOUNDATION (2' CONC FOOTING)	50.07		50.07
TOTAL	3214.43	3170.01	44.42

(CUT/EXPORT)

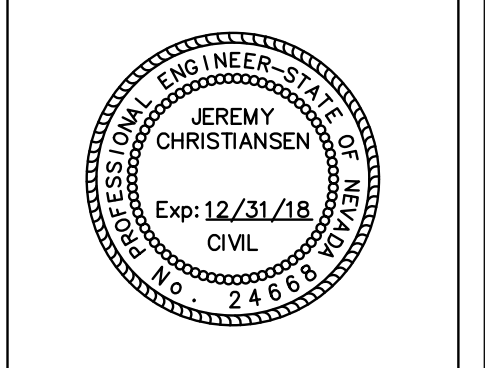
DISTURBED AREA = 1.46 ACRES



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ROLLING THUNDER
5205 WAYSIDE ROAD
RENO, NV 89510
APN: 077-350-01

PROJECT #: 217019

SCALE: NTS

DATE: 07/21/2017

APPROVALS	
DESIGNED BY:	JDC
DRAWN BY:	WY
CHECKED BY:	JDC/SL

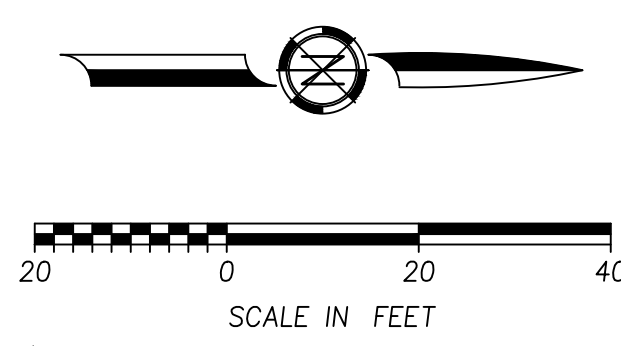
SHEET TITLE
GENERAL NOTES AND ACCESS ROAD TYPICAL SECTIONS

SHEET NUMBER
C1.0

Log Name: 2017 - 11:57 am
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XREFS: 217019-00-RB | 217019-00-TOPO | 217019-00-SITE | 217019-00-SITE

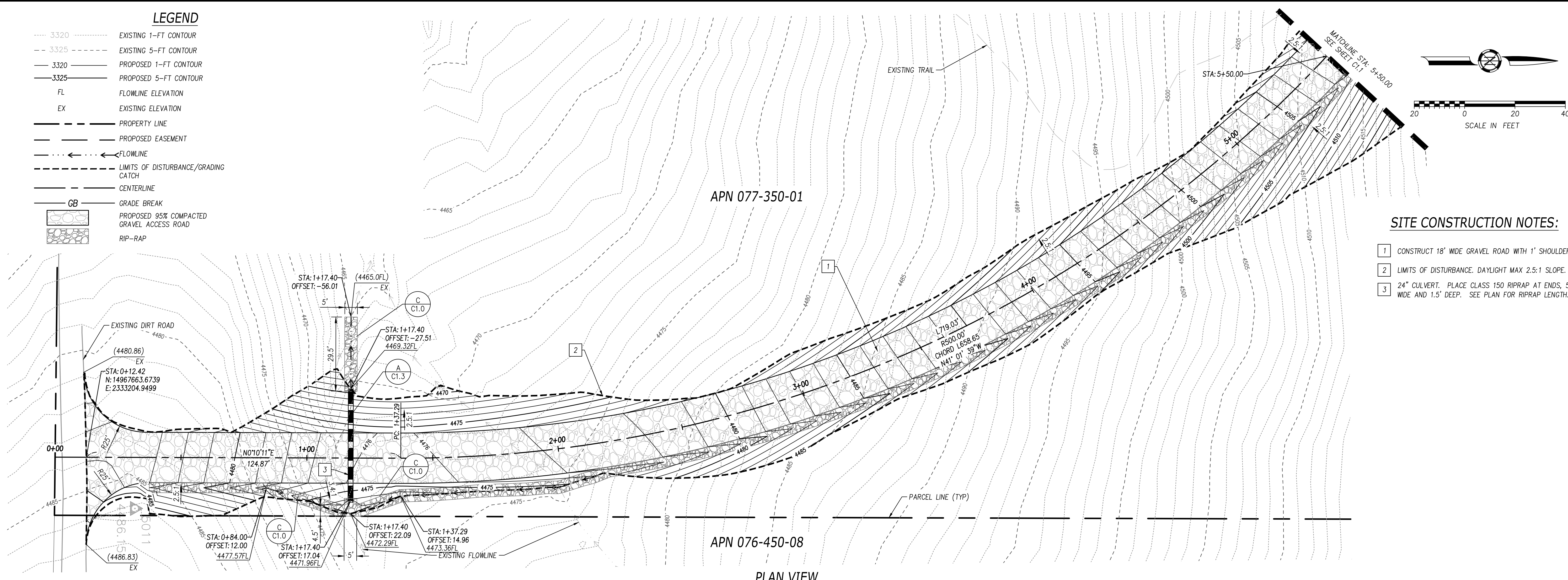
LEGEND

- 3320 --- EXISTING 1-FT CONTOUR
- - - 3325 - - - EXISTING 5-FT CONTOUR
- 3320 --- PROPOSED 1-FT CONTOUR
- - - 3325 - - - PROPOSED 5-FT CONTOUR
- FL FLOWLINE ELEVATION
- EX EXISTING ELEVATION
- PROPERTY LINE
- PROPOSED EASEMENT
- FLOWLINE
- LIMITS OF DISTURBANCE/GRADING CATCH
- CENTERLINE
- GB GRADE BREAK
- PROPOSED 95% COMPACTED GRAVEL ACCESS ROAD
- RIP-RAP

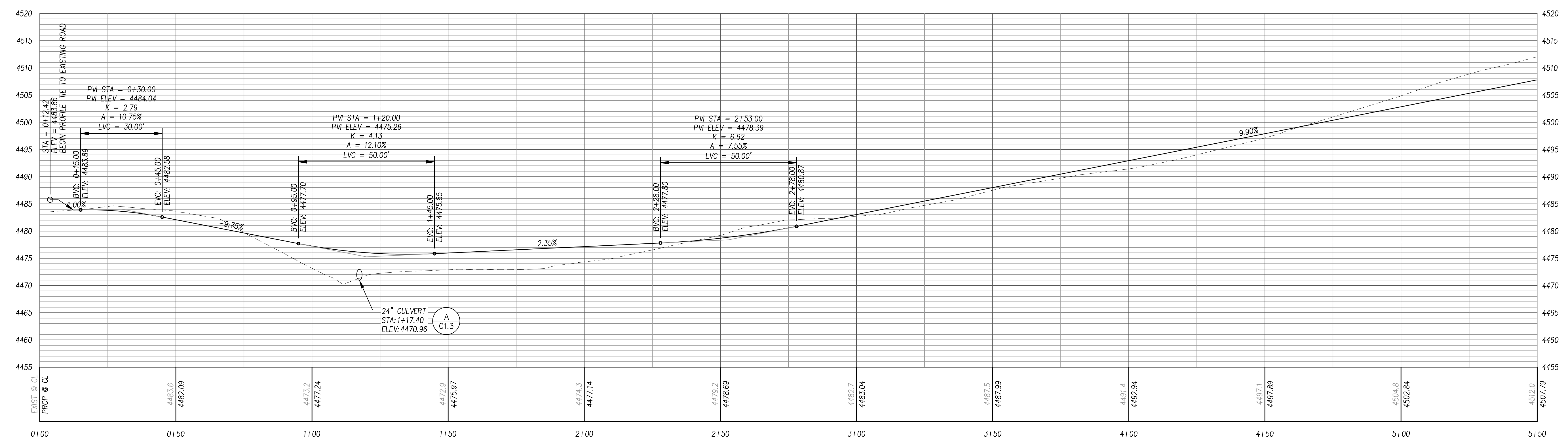


SITE CONSTRUCTION NOTES:

- 1 CONSTRUCT 18' WIDE GRAVEL ROAD WITH 1' SHOULDER.
- 2 LIMITS OF DISTURBANCE, DAYLIGHT MAX 2.5:1 SLOPE.
- 3 24" CULVERT. PLACE CLASS 150 RIPRAP AT ENDS, 5' WIDE AND 1.5' DEEP. SEE PLAN FOR RIPRAP LENGTH.



PLAN VIEW

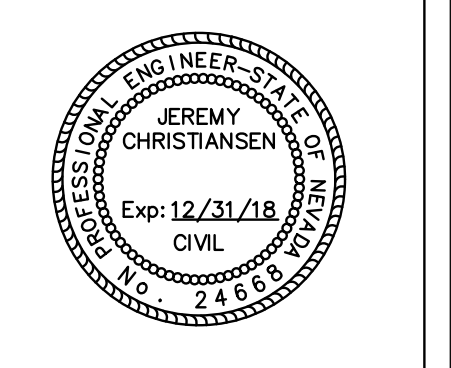


ACCESS ROAD PROFILE

HORIZONTAL SCALE: 1"=20'
VERTICAL SCALE: 1"=10'

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3		



ROLLING THUNDER
5205 WAYSIDE ROAD
RENO, NV 89510
APN: 077-350-01

PROJECT #: 217019

SCALE: 1"=20'

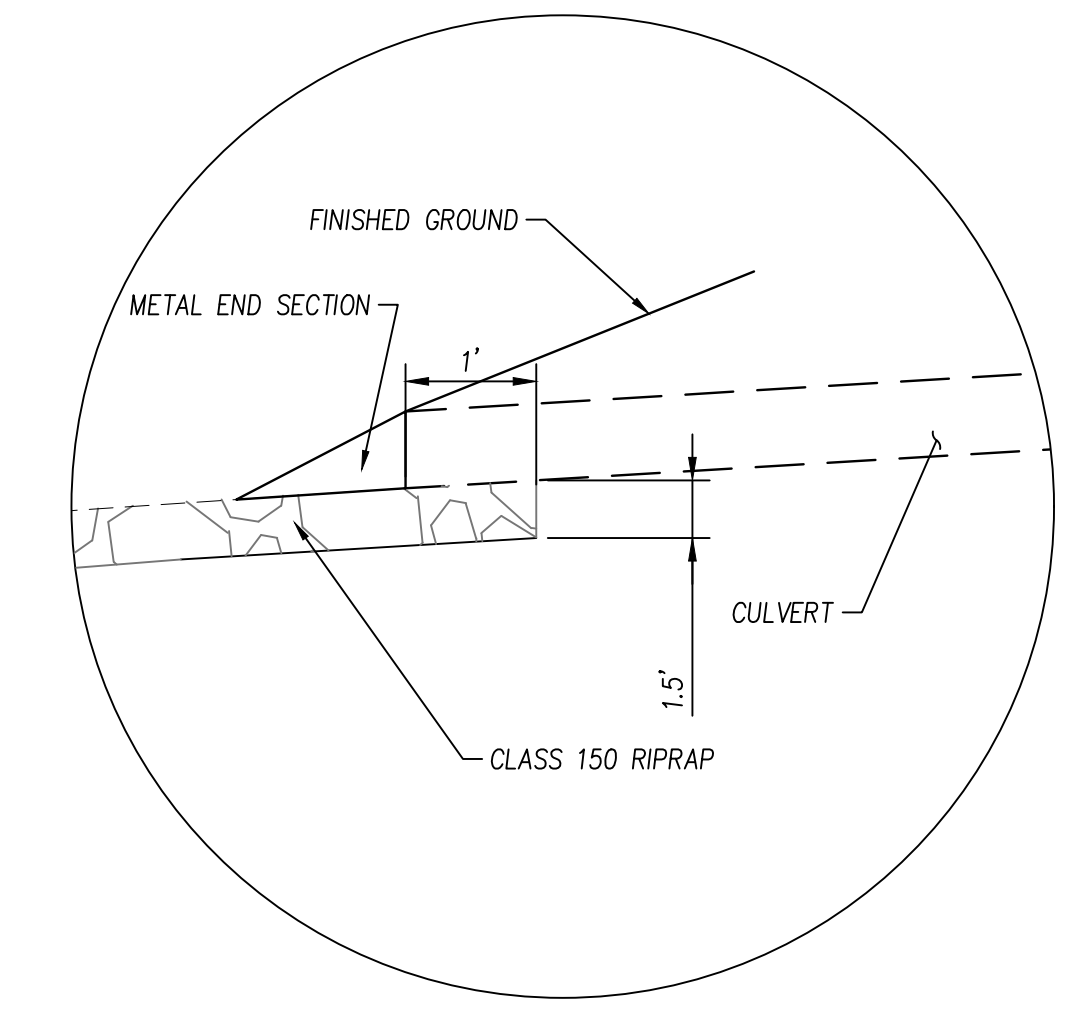
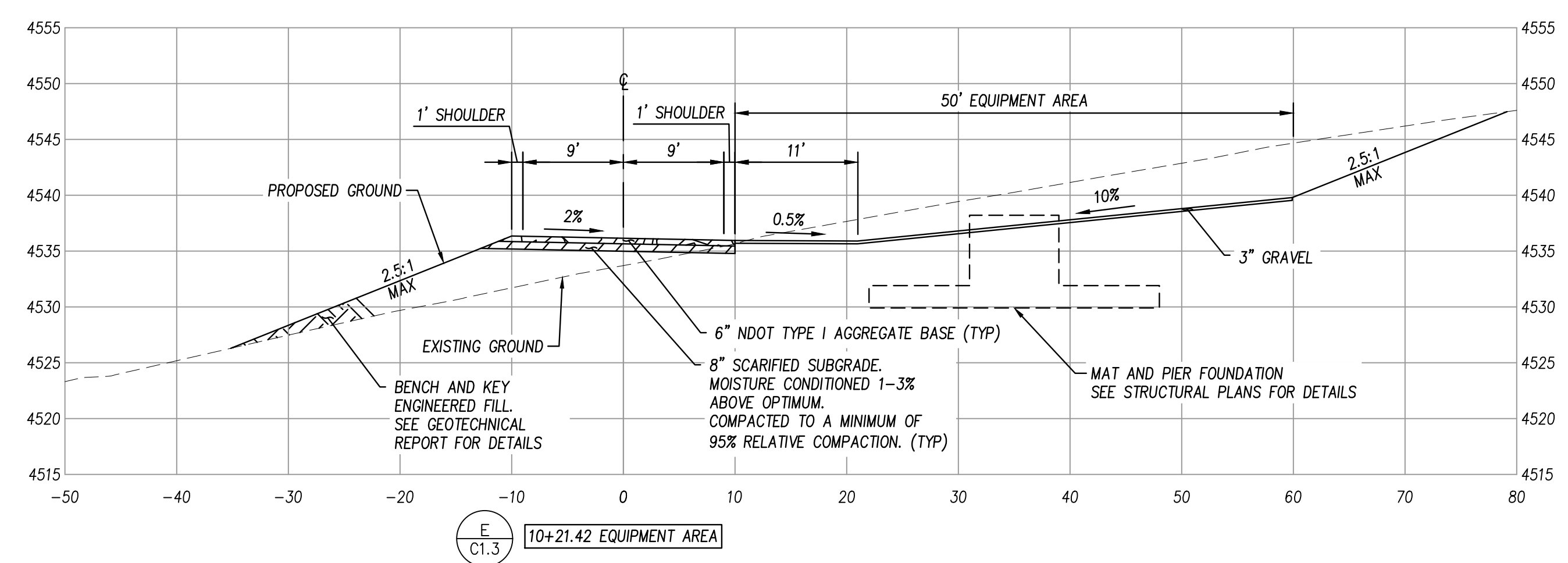
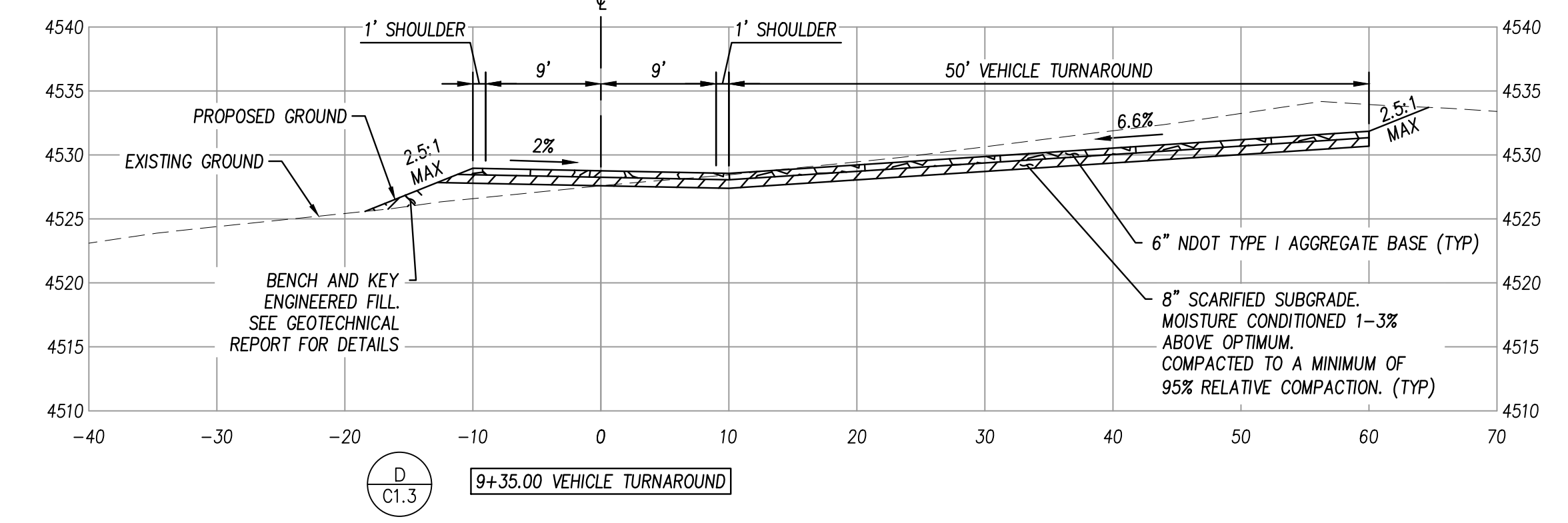
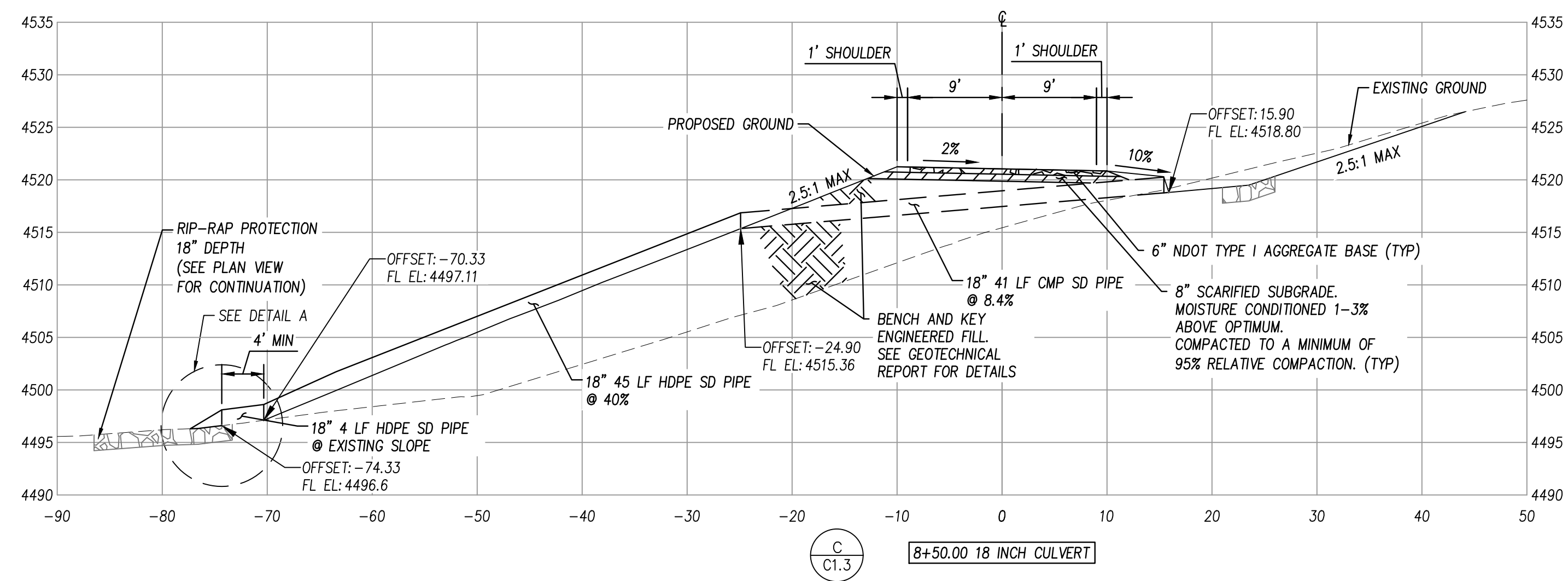
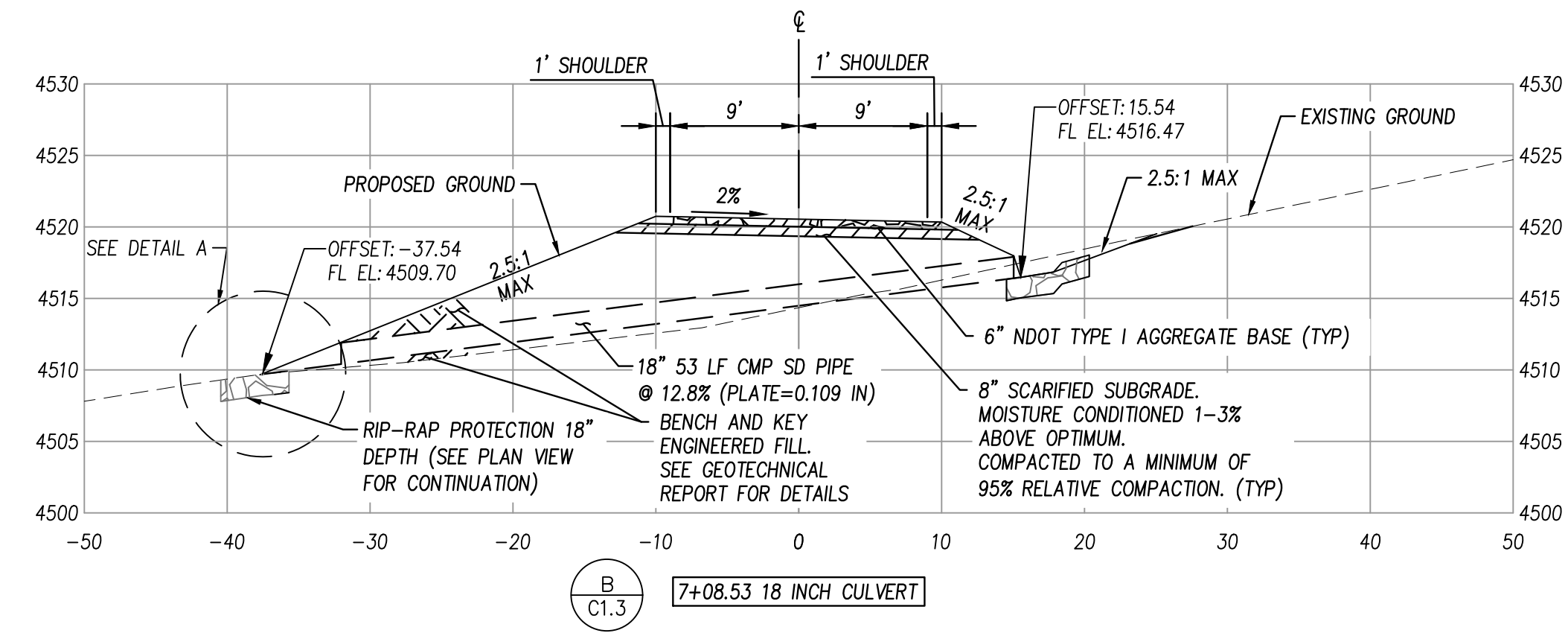
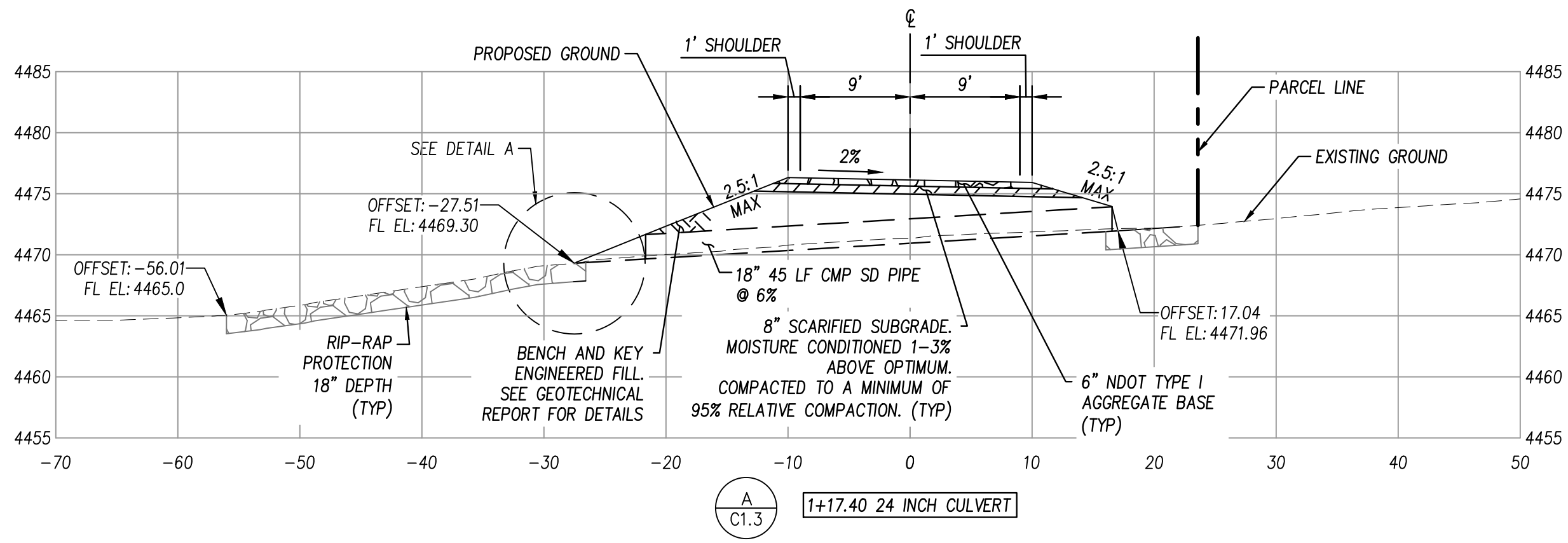
DATE: 07/21/2017

APPROVALS	
DESIGNED BY:	JDC
DRAWN BY:	WY
CHECKED BY:	JDC/SL

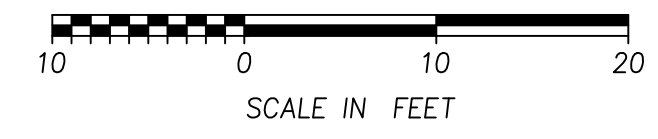
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ACCESS ROAD
PLAN AND PROFILE

SHEET NUMBER
C1.1

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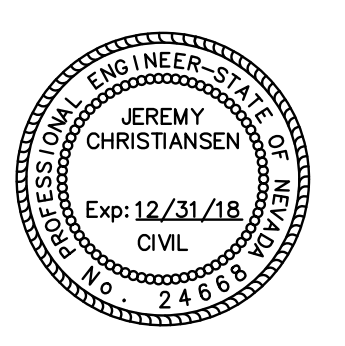
DETAIL A
NTS



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ROLLING THUNDER
5205 WAYSIDE ROAD
RENO, NV 89510
APN: 077-350-01

PROJECT #: 217019

SCALE: 1"=10'

DATE: 07/21/2017

APPROVALS	
DESIGNED BY:	JDC
DRAWN BY:	WY
CHECKED BY:	JDC/SL

SHEET TITLE
ACCESS ROAD
SECTIONS

SHEET NUMBER

C1.3

Log# Name: 2017 - 11-06 am
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Log Name: 2017 - 11-06 am
 File Name: U:\217019-MSR Rolling Thunder\CAD\Civil_C0\Production Drawings\217019-00-02.0-EROSION CONTROL.dwg
 XREFS: 217019-R-1B | 217019-R-SITE | 217019-R-DPO



LEGEND

- EXISTING 2-FT CONTOUR
- 4490 EXISTING 10-FT CONTOUR
- 4510 PROPOSED 2-FT CONTOUR
- 4510 PROPOSED 10-FT CONTOUR
- x-x- SEDIMENT LOG PER NDOT BMP STD SC-5
- - - LIMITS OF DISTURBANCE/GRADING CATCH
- >->- FLOWLINE
- [Pattern] RIP-RAP

EROSION AND SEDIMENT CONTROL NOTES:

- 1 CONSTRUCT TEMPORARY EROSION CONTROL - UTILIZE SEDIMENT LOGS PER NDOT BMP STD. SC-5. SEE DETAIL ON SHEET C2.1.
- 2 PROPOSED SITE CONCRETE WASTE MANAGEMENT AREA PER NDOT BMP STD. WM-6.
- 3 CONSTRUCT PERMANENT EROSION CONTROL - TRACKWALK AND INSTALL BIODEGRADABLE ROLLED EROSION CONTROL PRODUCT ON ALL SLOPES GREATER THAN 3H:1V. HYDROSEED WITH MIX MEETING WASHOE COUNTY STANDARDS. SEE NDOT BMP STD. SS-7.

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ROLLING THUNDER
5205 WAYSIDE ROAD
RENO, NV 89510
APN: 077-350-01

PROJECT #: 217019

SCALE: 1"=40'

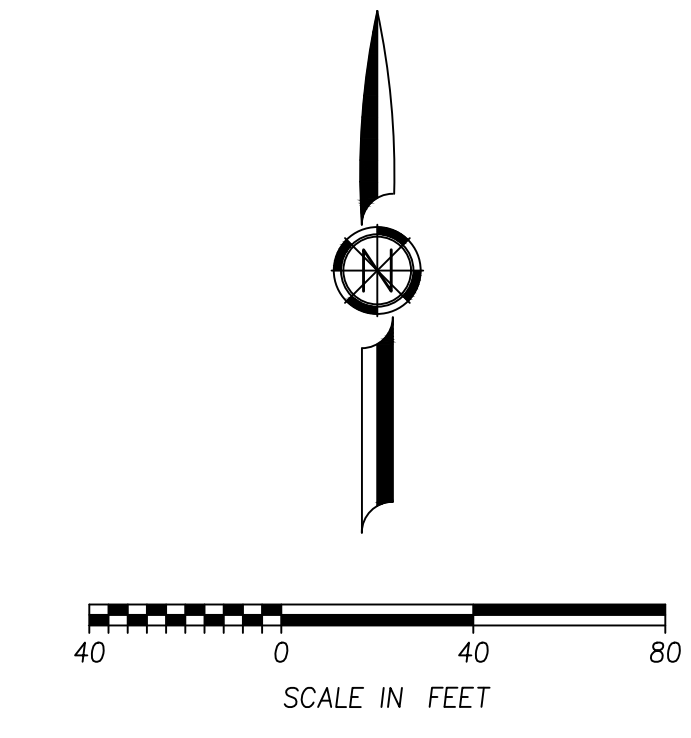
DATE: 07/21/2017

APPROVALS

DESIGNED BY:	JDC
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CHECKED BY:	JDC/SL

SHEET TITLE
 EROSION AND SEDIMENT CONTROL

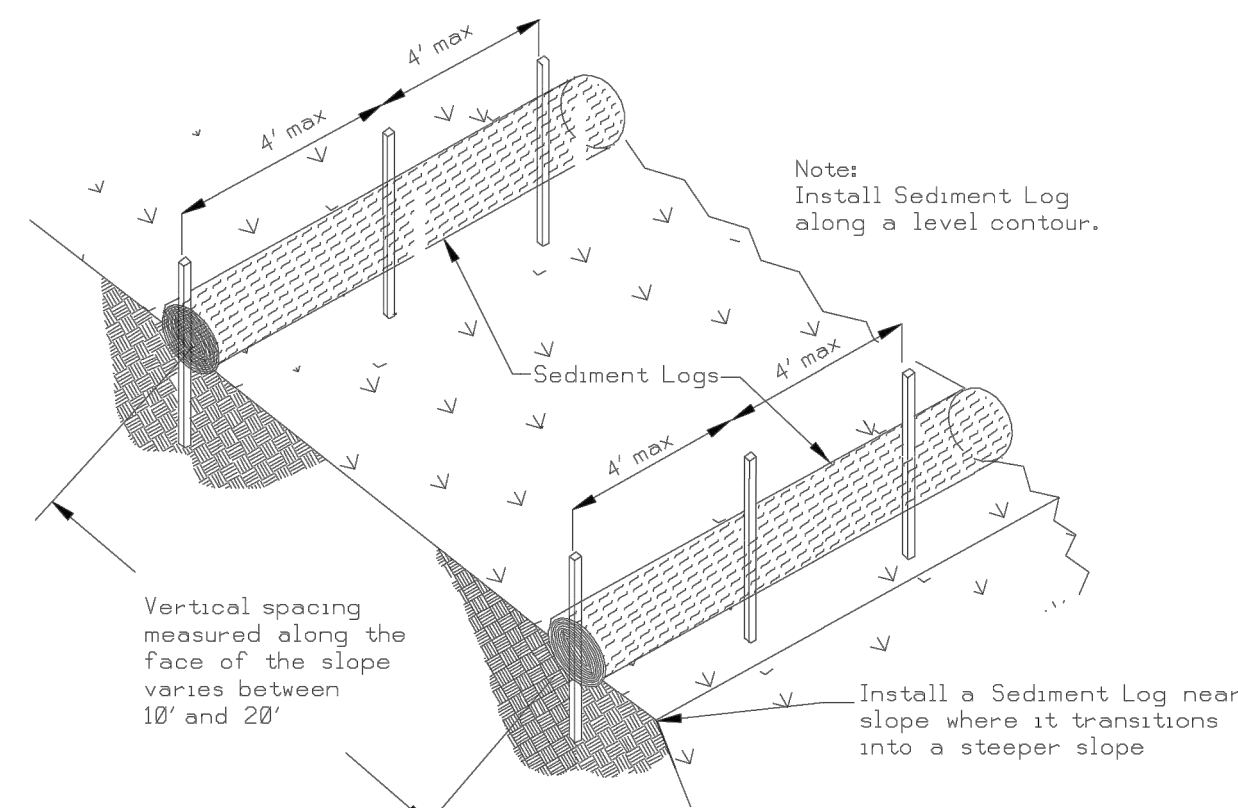
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C2.0



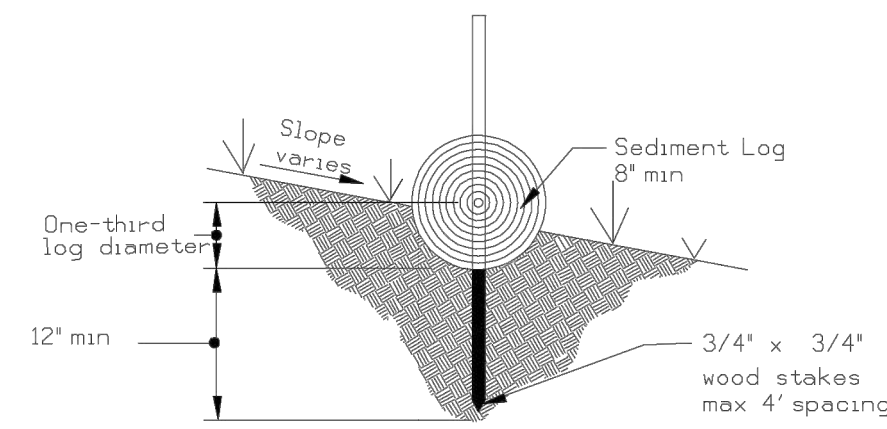
Sediment Logs

SC-5

Adapted from Caltrans Construction Site BMPs



TYPE 1 SEDIMENT LOG INSTALLATION
N.T.S.

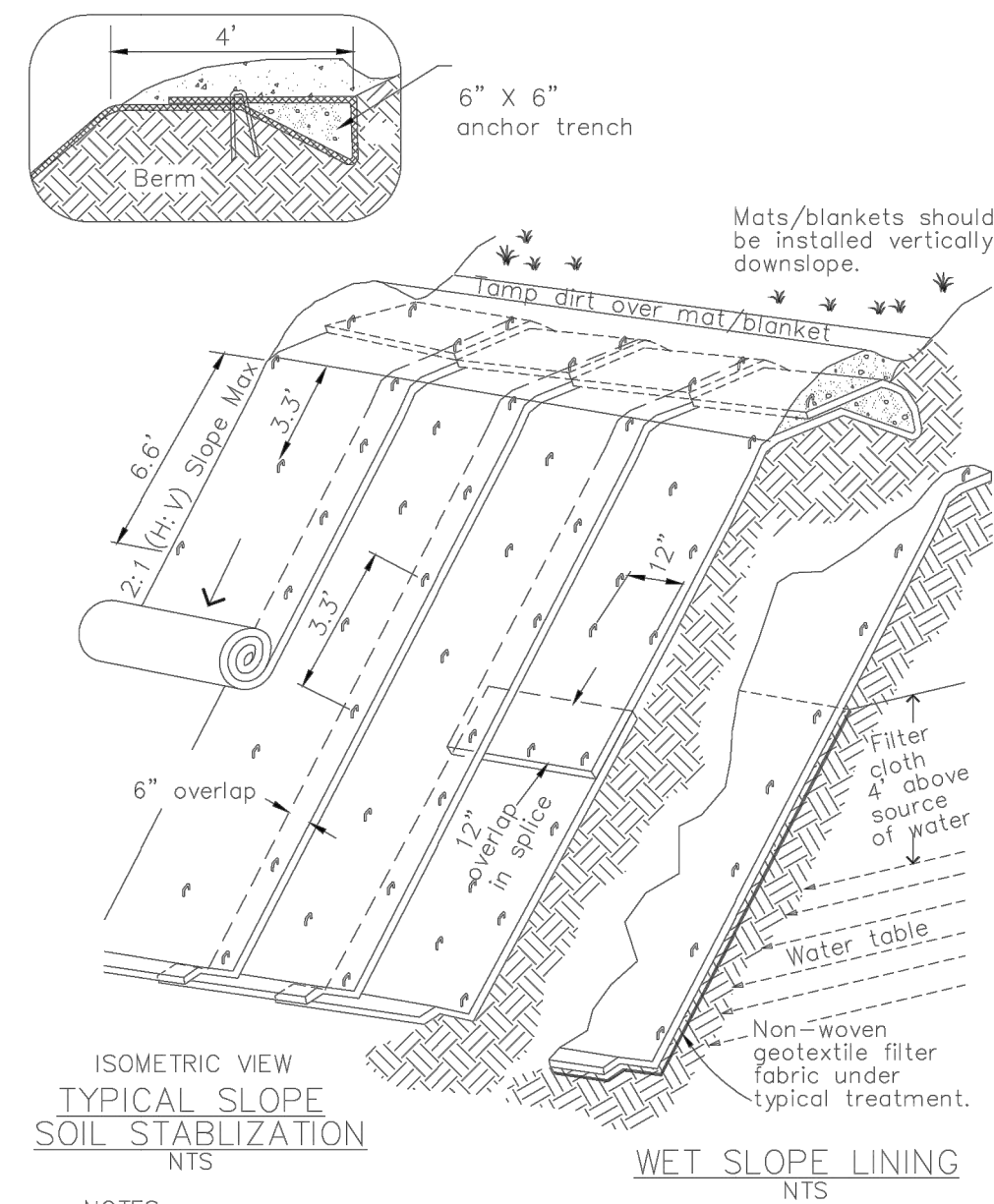


ENTRENCHMENT DETAIL
N.T.S.

SS-7

Geotextiles, Mats, Plastic Covers and Erosion Control Blankets

Adapted from Caltrans Construction Site BMPs



ISOMETRIC VIEW
TYPICAL SLOPE
SOIL STABILIZATION
N.T.S.

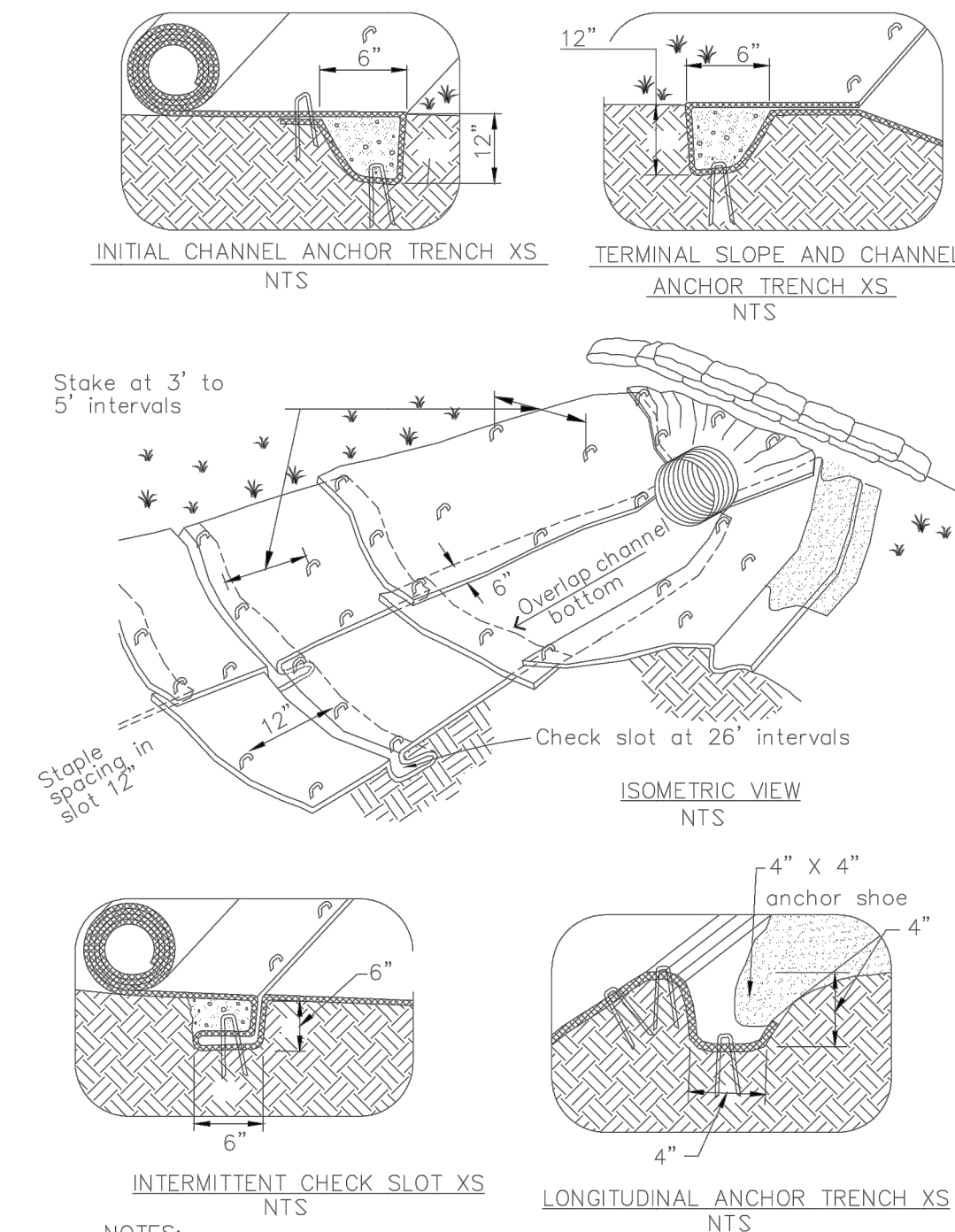
WET SLOPE LINING
N.T.S.

- NOTES:
1. Slope surface shall be free of rocks, clods, sticks and grass. Mats/blankets shall have good soil contact.
 2. Lay blankets loosely and stake or staple to maintain direct contact with the soil. Do not stretch.
 3. Install per manufacturer's recommendations

Geotextiles, Mats, Plastic Covers and Erosion Control Blankets

SS-7

Adapted from Caltrans Construction Site BMPs



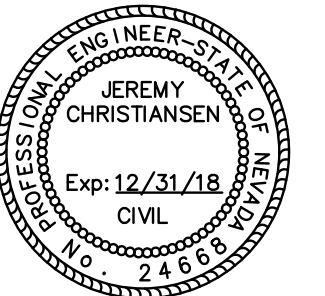
INTERMITTENT CHECK SLOT XS
N.T.S.

LONGITUDINAL ANCHOR TRENCH XS
N.T.S.

- NOTES:
1. Check slots to be constructed per manufacturer's specifications.
 2. Staking or stapling layout per manufacturer's specifications.
 3. Install per manufacturer's recommendations

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ROLLING THUNDER
5205 WAYSIDE ROAD
RENO, NV 89510
APN: 077-350-01

PROJECT #: 217019

SCALE: N/A

DATE: 07/21/2017

APPROVALS

DESIGNED BY:	JDC
DRAWN BY:	WY
CHECKED BY:	JDC/SL

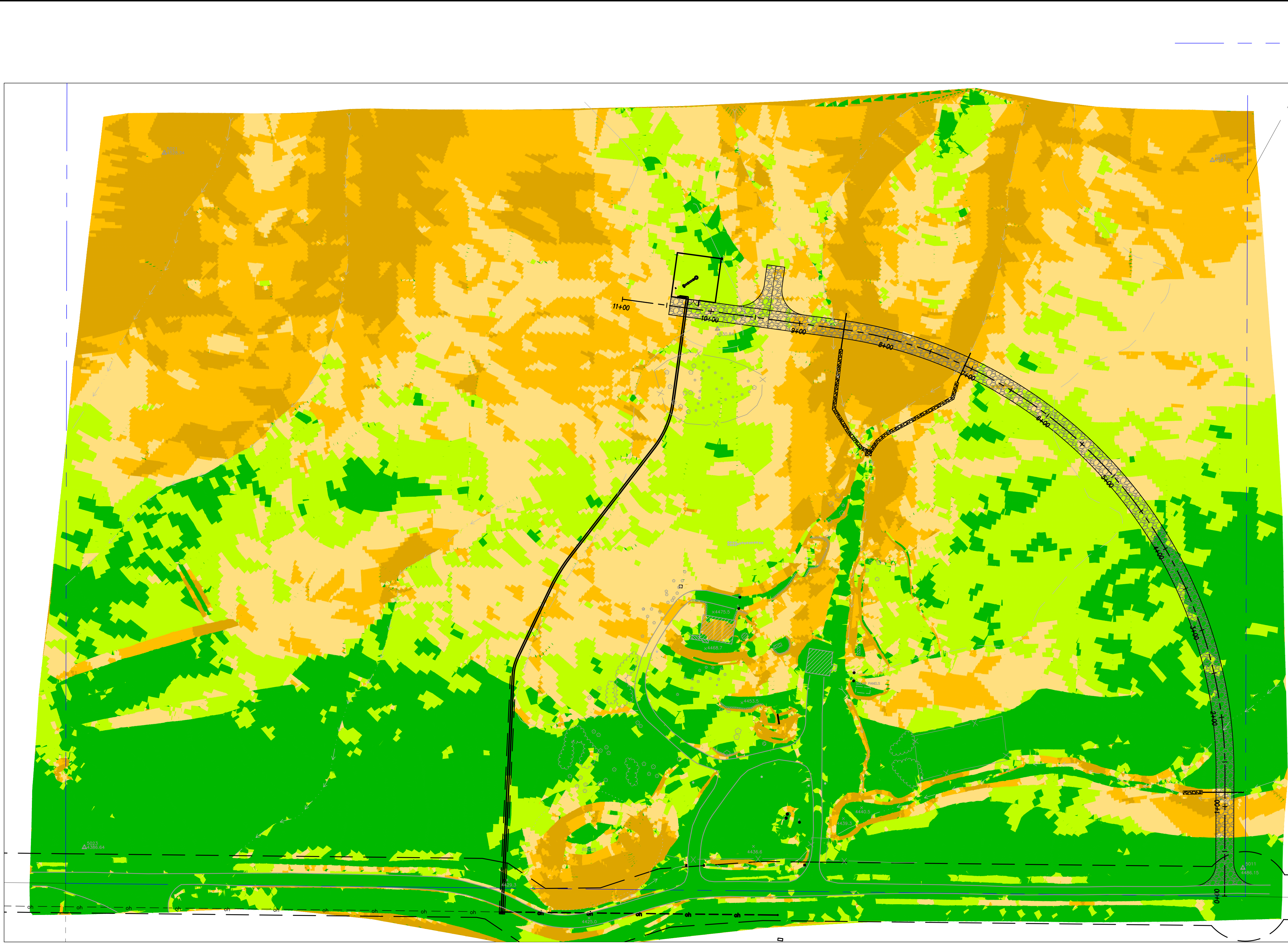
SHEET TITLE

EROSION AND SEDIMENT CONTROL

SHEET NUMBER

C2.1

Job Name: 217019-01-2017-07-07 9:55 am
 Plot Date: U:\217019-01-2017-07-07 9:55 am
 File Name: U:\217019-01-2017-07-07 9:55 am
 XREFS: 217019-01-2017-07-07 9:55 am



LEGEND

- PROPERTY LINE

- SLOPE %**

 - 0-15%
 - 15-20%
 - 20-25%
 - 25-30%
 - >30%

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ROLLING THUNDER
5205 WAYSIDE ROAD
RENO, NV 89510
APN: 077-350-01

PROJECT #: 217019

SCALE: 1"=50'

DATE: 07/06/2017

APPROVALS

DESIGNED BY:	JDC
DRAWN BY:	IWY
CHECKED BY:	JDC/SL

SHEET TITLE
EXISTING SLOPE EXHIBIT

SHEET NUMBER
EG

8K54 15P60610

DECLARATION OF VALUE

Instrument # _____

Full Value of Property Interest Conveyed	\$	<u>58000</u>
Less Assumed Liens & Encumbrances	-	<u>0</u>
Taxable Value (NRS 375.010)	\$	<u>58000</u>
Real Property Transfer Tax Due	\$	<u>87</u>

2262052

If exempt, state reason. NRS 375.090, Section _____ Explain:

INDIVIDUAL

Under penalty of perjury, I hereby declare that the above statements are correct.

Signature of Declarant

Name (Please Print)

Address

City State Zip

ESCROW HOLDER

Under penalty of perjury, I hereby declare that the above statements are correct to the best of my knowledge based upon the information available to me in the documents contained in the escrow file.

Chris Weatherill

Signature of Declarant

Chris Weatherill

Name (Please Print)

88698-KH

Escrow Number

FIRST CENTENNIAL TITLE CO.
P.O. BOX 10538
RENO, NEVADA 89510

City State Zip

A.P. No. 077-350-01
RPT \$67.00

No. 88698-KH

2262052

DEED

THIS INDENTURE WITNESSETH: That THOMAS DONAHUE, an unmarried man, in consideration of the sum of Ten Dollars (\$10.00), the receipt of which is hereby acknowledged, does hereby Grant, Bargain, Sell and convey to BRIAN M. AKRE and MARIA M. AKRE, husband and wife, as joint tenants with right of survivorship, whose address is: _____

8200 Offenhauser St., #122-C, Reno, NV. 89511, all that real property situate in the County of Washoe, State of Nevada, described as follows:

Parcel 33-3-1-8 as shown on Record of Survey map filed in the Office of the Washoe County Recorder, Washoe County, Nevada on November 10, 1976 under File No. 434698 and Division of Land Map filed in the Office of the Washoe County, Recorder, Washoe County, Nevada under File No. 434701 more particularly described as follows:

A portion of the Southeast 1/4 of Section 33, Township 23 North, Range 21 East, M.D.E.M., in the County of Washoe, State of Nevada, being more particularly described as follows:

Commencing at the Northwest corner of Section 33; thence South 89°01'05" East, 5,304.30 feet; thence South 00°10'11" West, 3,841.54 feet to the True Point of Beginning; thence South 00°10'11" West, 1,399.87 feet; thence North 89°21'10" West 1,319.24 feet; thence North 00°05'46" East, 1,402.15 feet; thence South 89°15'17" East, 1,321.07 feet to the True Point of Beginning.

TOGETHER WITH all and singular the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining.

DATED October 2, 1998.

Thomas Donahue
Thomas Donahue

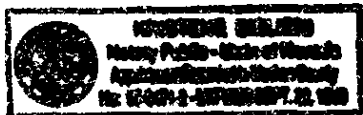
STATE OF NEVADA)
COUNTY OF WASHOE) ss

This instrument was acknowledged before me on Oct. 2, 1998, 1998, by THOMAS DONAHUE.

[Signature]
Notary Public

2262052

OCT - 9 1998
10:30 AM
OFFICIAL RECORDS
WASHOE COUNTY, NEV.
RECORD REQUESTED BY
FIRST CENTENNIAL
TITLE CO. OF NEVADA



COUNTY RECORDER
FILE 70-107-65

LAW OFFICES OF
OTTO & POPE
100 KENNEDY WAY
SUITE A
RENO, NEVADA 89501

BK541560611

Account Detail

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Washoe County Parcel Information

Parcel ID	Status	Last Update
07735001	Active	7/10/2017 2:09:40 AM
Current Owner: AKRE, BRIAN M & MARIA M		SITUS: 5205 WAYSIDE RD WCTY NV
PO BOX 7710 RENO, NV 89510		
Taxing District	Geo CD:	
Legal Description		
Range 21 Section 33 SubdivisionName _UNSPECIFIED Township 23		

Tax Bill (Click on desired tax year for due dates and further details)

Tax Year	Net Tax	Total Paid	Penalty/Fees	Interest	Balance Due
2017	\$1,593.10	\$0.00	\$0.00	\$0.00	\$1,593.10
2016	\$1,552.73	\$1,552.73	\$0.00	\$0.00	\$0.00
2015	\$1,549.63	\$1,549.63	\$0.00	\$0.00	\$0.00
2014	\$1,504.50	\$1,504.50	\$0.00	\$0.00	\$0.00
2013	\$1,460.68	\$1,460.68	\$0.00	\$0.00	\$0.00
Total					\$1,593.10

Important Payment Information

- ALERTS:** If your real property taxes are delinquent, the search results displayed may not reflect the correct amount owing. Please contact our office for the current amount due.
- For your convenience, online payment is available on this site. E-check payments are accepted without a fee. However, a service fee does apply for online credit card payments. See [Payment Information](#) for details.

Pay Online

Payments will be applied to the oldest charge first.

Select a payment option:

- Total Due \$1,593.10
 Oldest Due \$398.28
 Partial

[ADD TO CART](#)

\$0.00

Pay By Check

Please make checks payable to:
WASHOE COUNTY TREASURER

Mailing Address:
P.O. Box 30039
Reno, NV 89520-3039

Overnight Address:
1001 E. Ninth St., Ste D140
Reno, NV 89512-2845

 **Payment Information**

 **Special Assessment District**

 **Installment Date Information**

 **Assessment Information**