

Community Services Department
Planning and Development
ADMINISTRATIVE PERMIT APPLICATION
(Care for the Infirm see page 9)



Community Services Department
Planning and Development
1001 E. Ninth St., Bldg. A
Reno, NV 89520

Telephone: 775.328.3600

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Development staff at 775.328.3600.

Project Information		Staff Assigned Case No.: _____	
Project Name: METAL STORAGE BUILDING POWING FAMILY TRUST			
Project Description: CONSTRUCT A PREFAB STOR. BUILDING			
Project Address: 265 BRIDGE STREET, VERDI, NV. 89439			
Project Area (acres or square feet):			
Project Location (with point of reference to major cross streets AND area locator): LOCATED MIDDLE OF LOT 3 (KATZ ADD.) REPLACING OLD GARAGE AND OUT BUILDINGS I 88' FROM BRIDGE STREET.			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
038-072-19	1.51 AC		
Section(s)/Township/Range: PTN. SW 1/4 OF SEC. 8, T. 19 N - R. 18 E			
Indicate any previous Washoe County approvals associated with this application: Case No. (s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: POWING FAMILY TRUST		Name: PAUL LUKSZA OITRD	
Address: 25 NIGHTOWL DR. RENO NV. Zip: 89523		Address: 1890 MCCLOUD AVE. RENO NV, Zip: 89512	
Phone: ∅ Fax: ∅		Phone: 828-8791 Fax:	
Email: ∅		Email: paul@renoresidential.com	
Cell: 722-3041 Other:		Cell: 252-8450 Other:	
Contact Person:		Contact Person: PAUL LUKSZA	
Applicant/Developer:		Other Persons to be Contacted:	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone:		Phone:	
Fax:		Fax:	
Email:		Email:	
Cell:		Cell:	
Other:		Other:	
Contact Person:		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Property Owner Affidavit

Applicant Name: *Sheila Powering*

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
COUNTY OF WASHOE)

Sheila Powering Trustee Powering Family Trust
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Development.

(A separate Affidavit must be provided by each property owner named in the title report.)

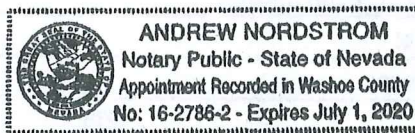
Assessor Parcel Number(s): _____

Printed Name *Sheila Powering*
Signed *Sheila Powering*
Address *25 Peapack Dr*

Subscribed and sworn to before me this
20 day of March, 2017.

[Signature]
Notary Public in and for said county and state
My commission expires: 7/1/2020

(Notary Stamp)



*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

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Project Description:			
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Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
Section(s)/Township/Range:			
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone:		Phone:	
Fax:		Fax:	
Email:		Email:	
Cell:		Cell:	
Other:		Other:	
Contact Person:		Contact Person:	
Applicant/Developer:		Other Persons to be Contacted:	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone:		Phone:	
Fax:		Fax:	
Email:		Email:	
Cell:		Cell:	
Other:		Other:	
Contact Person:		Contact Person:	
For Office Use Only			
Date Received:		Initial:	
County Commission District:		Planning Area:	
CAB(s):		Master Plan Designation(s):	
		Regulatory Zoning(s):	

4. What is the intended phasing schedule for the construction and completion of the project?

STARTING JUNE 2017 AND FINISHING NOV 2017

5. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

NONE, THERE ARE SEVERAL OF THIS TYPE
MT'L. BUILDINGS IN THE AREA.

6. What are the anticipated beneficial aspects or effects your project will have on adjacent properties and the community?

IT WILL GET RID OF OLD STRUCTURES AND
PARKED TRAILER. THEY'LL BE HOUSED IN THIS
NEW BUILDING. (CLEANS UP LOT)

7. What will you do to minimize the anticipated negative impacts or effects your project will have on adjacent properties?

WE WILL USE NATURAL COLORS AND PLANT
TREES TO SOFTEN STRUCTURE SIDES. BLDG.
WILL BE LIGHT GRAY WITH A CHARCOAL
ROOF

Administrative Permit Application Supplemental Information

(All required information may be separately attached)

Chapter 110 of the Washoe County Code is commonly known as the Development Code. Specific references to administrative permits may be found in Article 808, Administrative Permits.

1. What is the type of project or use being requested?

PREFAB MT'L. BUILDING FOR FAMILY STORAGE
AND HOBBY WORKSHOP.

2. What currently developed portions of the property or existing structures are going to be used with this permit?

LOCATED IN CENTER OF 1.5 AC. LOT REPLACING
OLD GARAGE AND OUT BUILDINGS

3. What improvements (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.) will have to be constructed or installed and what is the projected time frame for the completion of each?

NONE

8. Please describe operational parameters and/or voluntary conditions of approval to be imposed on the administrative permit to address community impacts.

STRICTLY USED FOR STORAGE WITH A SPACE FOR FAMILY HOBBIES

9. How many improved parking spaces, both on-site and off-site, are available or will be provided? (Please indicate on site plan.)

NONE

10. What types of landscaping (e.g. shrubs, trees, fencing, painting scheme, etc.) are proposed? (Please indicate location on site plan.)

ADDING THREE TREES ALONG WEST SIDE OF BUILDING, NEW AND EXISTING TREES SHOW ON SITE PLAN.

11. What type of signs and lighting will be provided? On a separate sheet, show a depiction (height, width, construction materials, colors, illumination methods, lighting intensity, base landscaping, etc.) of each sign and the typical lighting standards. (Please indicate location of signs and lights on site plan.)

NONE

12. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the administrative permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
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13. Utilities:

a. Sewer Service	N/A
b. Water Service	N/A

For most uses, the Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required:

c. Permit #		acre-feet per year	
d. Certificate #		acre-feet per year	
e. Surface Claim #		acre-feet per year	
f. Other, #		acre-feet per year	

i. Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources):



**NOTICE OF TAXES
WASHOE COUNTY, NEVADA**

TAMMI DAVIS TREASURER
tax@washoecounty.us
Annual - Real

2016083351
www.washoecounty.us/treas
PHONE 775-328-2510
FAX 775-328-2500
04/17/2017 8:38 am

OFFICE LOCATION:
1001 E NINTH ST-BLDG D RM140
RENO, NV

TAX YEAR	PIN	NAME	PROPERTY LOCATION AND DESCRIPTION
2016	03807210	POWNING FAMILY TRUST	285 BRIDGE ST SUBDIVISIONNAME KATZ ADDITION UNOFFICIAL TOWNSHIP 19 SECTION 8 LOT BLOCK RANGE 18
AREA	TAX RATE	POWNING TRUSTEE, GREGORY V & SHEILA A	
4011	3.2402000000		
ASSESSED VALUATION			EXEMPTION VALUES
LAND VALUE		37,800	EXEMPTION VALUE
IMPROVEMENT VALUE		14,577	0.00
TOTAL ASSESSED VALUE			52,377

2016 ACCOUNT SUMMARY

GROSS AD VALOREM TAX	1,897.14
ABATEMENT AMOUNT	-475.79
ABATEMENT APPLIED LIMITS INCREASE TO 0.2%	
RECAPTURE TAX	0.00
NET AD VALOREM TAX	1,221.35
EXEMPTION AMOUNT	0.00
SPECIAL ASSESSMENTS	0.58
PENALTIES	0.00
FEES	0.00
INTEREST	0.00
TOTAL AMOUNT BILLED	1,221.93
LESS PAYMENTS APPLIED	1,221.93
BALANCE REMAINING	0.00
PRIOR YEAR DELINQUENCIES	0.00
TOTAL BALANCE OWING	\$0.00
Amount good through 04/17/2017	

2016 BILLING DETAIL

TAXING AGENCY	RATE	AMOUNT	SPEC. ASSESSMENTS	RATE	AMOUNT
STATE OF NEVADA	0.170000000	84.08	TRUCKEE CANYON WATER BASIN		0.68
TRUCKEE MEADOWS FIRE DIST	0.540000000	203.55			
SCHOOL DEBT	0.388500000	146.43			
SCHOOL GENERAL	0.750000000	282.70			
COUNTY GENERAL	1.326800000	500.13			
COUNTY DEBT	0.034900000	13.16			
ANIMAL SHELTER OP	0.030000000	11.30			

IF PROPERTY IS PROTECTED BY BANKRUPTCY, THIS IS FOR YOUR INFORMATION. DO NOT CONSIDER THIS AS AN ATTEMPT TO COLLECT.

PAYMENTS RECEIVED WILL BE APPLIED TO THE OLDEST CHARGES FIRST.
TO AVOID LATE CHARGES, PAYMENTS MUST BE POSTMARKED BY THE DUE DATE.
ALL DELINQUENT AMOUNTS ARE DUE IMMEDIATELY.

PLEASE INCLUDE APPROPRIATE STUBS
WITH PAYMENT TO ASSURE PROPER
CREDIT.

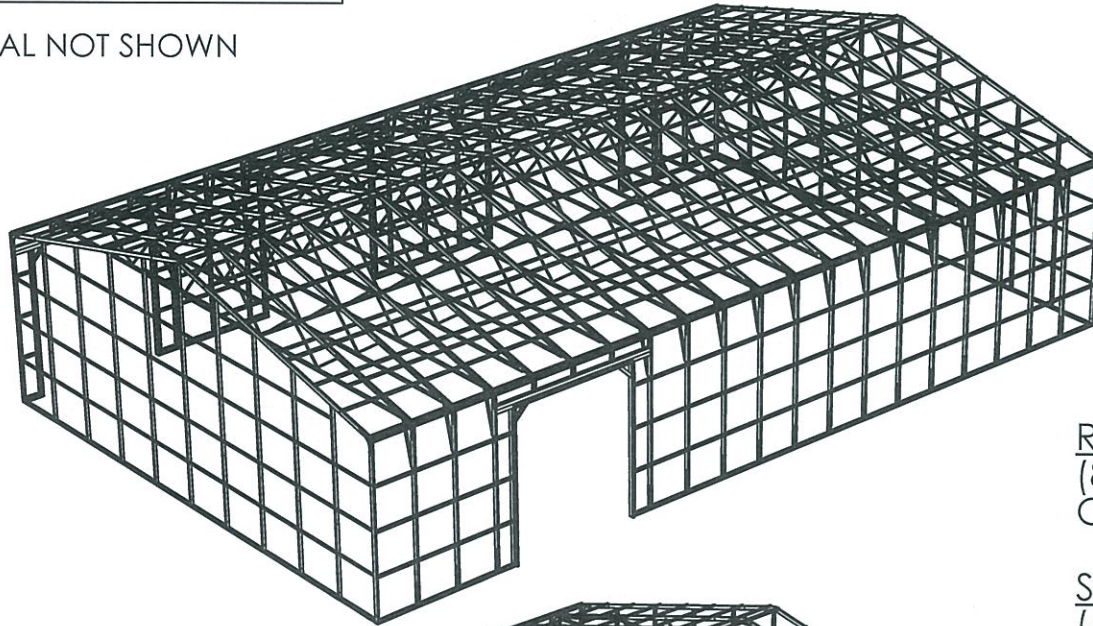
03807210
POWNING FAMILY TRUST
25 NIGHTOWL DR
RENO NV 89523

MAKE REMITTANCES PAYABLE TO:
WASHOE COUNTY TREASURER
P O BOX 30039
RENO NV 89520-3039

SEE REVERSE FOR INFORMATION.

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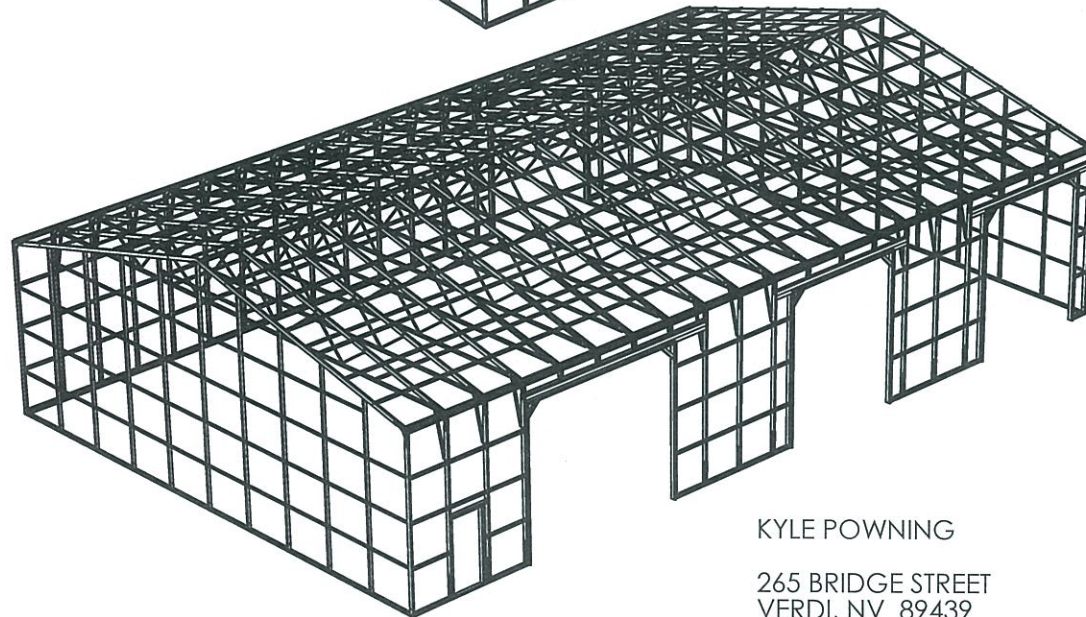
A
SHEET METAL NOT SHOWN



04/13/2017

ROOF HAT CHANNEL:
(8) RUNS PER SIDE AT 42 15/16"
ON CENTER SPACING

SIDE HAT CHANNEL:
(5) RUNS PER SIDE AT 46 11/16"
ON CENTER SPACING



DESIGN CRITERIA:

STRUCTURE SIZE: 50' X 80'-2" X 16'
ON CENTER SPACING: 4'
SHEET METAL: 26GA, 80KSI, STEEL
OCCUPANCY GROUP: U

WIND LOAD: Vult 130MPH, V3S, EXPOSURE (C)
WIND IMPORTANCE FACTOR: 1
ROOF SNOW LOAD: 23PSF
GROUND SNOW LOAD: 30PSF
SEISMIC CATEGORY: D2

CODE COMPLIANCE: 2012 NORTHERN NEVADA CODE

KYLE POWNING
265 BRIDGE STREET
VERDI, NV 89439

D
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PROJECT: VERSATUBE SUMMIT BUILDING

TITLE: 50' X 80'-2" X 16' SUMMIT, (3) 12'X14' & (1) 16'X14' EAVE SIDE
OPENING, WALK DOOR, DOUBLE FINK, 48" KNEE BRACES, BPR BRKTS

DWG NO: VXC4508016044ESDWD-R P1

DRAWN BY: E. BARTGES

DATE: 3/24/17

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MATERIALS:

SIDE POSTS, RAFTERS, PEAKS:
2" X 4" 14GA. 50 KSI STEEL, ASTM A500-A

END WALL COMPONENTS:
2" X 3" 15 GA 1018 STEEL, 60 KSI, ASTM A500-B

TRUSS BRACE COLLAR TIE:
2" X 2" 15GA, 50 KSI STEEL, ASTM A500-A

OUTER TRUSS BRACE WEB MEMBERS:
1" X 1" 16GA, 50 KSI STEEL, ASTM A500-A

**INNER TRUSS BRACE WEB MEMBER,
KNEE BRACES, NAILER TUBES;**
1 1/2" X 1 1/2" 18 GA, 1010 STEEL, 50 KSI, ASTM A500-A

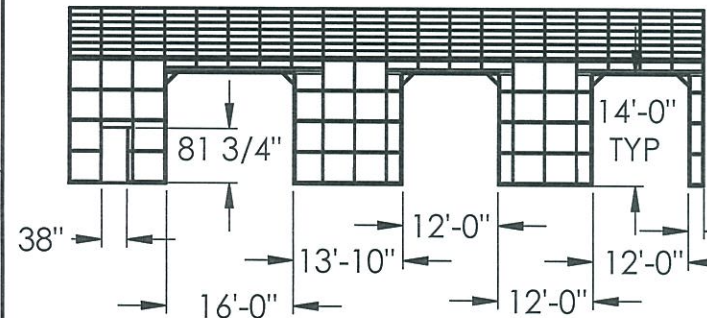
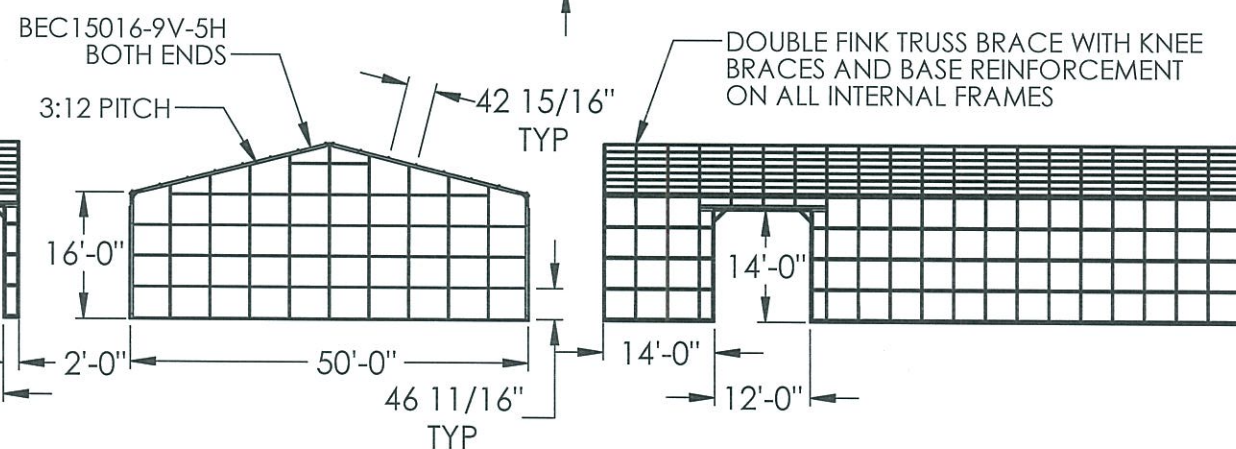
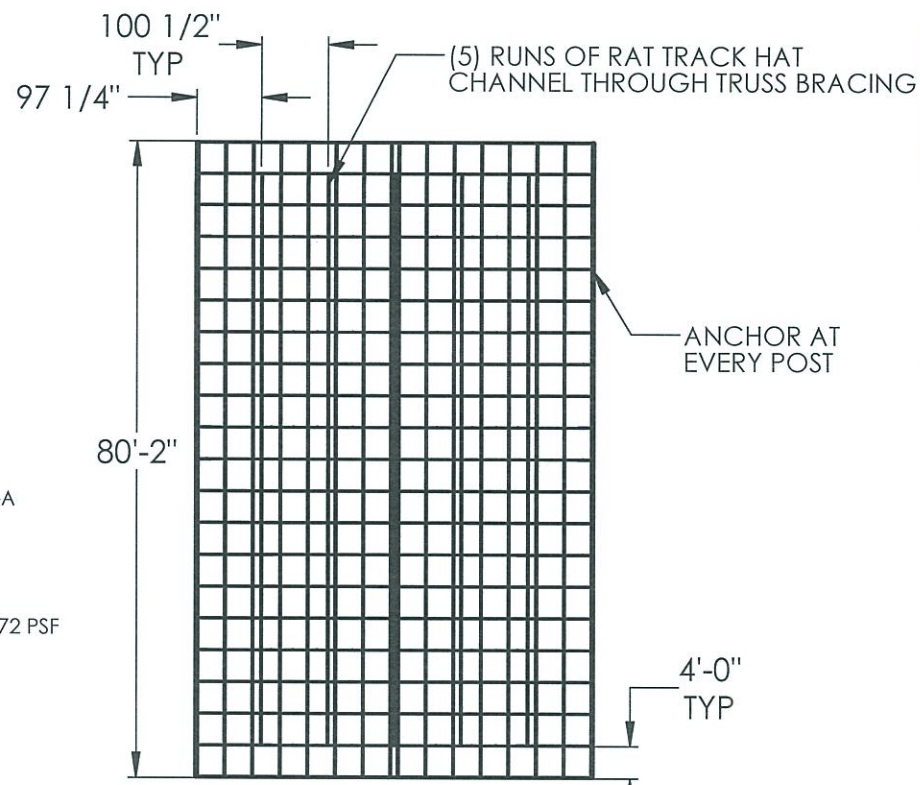
HAT CHANNEL: 18GA, 50 KSI STEEL, ASTM A500-A

BRACKETS:
BK-30, BK-31, BK-60, BK-61: 14GA, 50 KSI STEEL, ASTM A500-A
BK-10, 700-BK10, BK-65: 12GA, 50 KSI STEEL, ASTM A500-A
BK-BPR-24: 16GA, 50 KSI STEEL, ASTM A500-A
700-BK40: 18GA, 50KSI STEEL, ASTM A500-A

SHEET METAL: 26 GA. 80 KSI STEEL
ALLOWABLE WIND PRESSURE LOAD ON 3.89' CENTERS: 37.72 PSF
ALLOWABLE GRAVITY LOAD ON 3.58' CENTERS: 34.33 PSF
PANELS ARE CLASS (A) FIRE RATED.



04/13/2017
SHEET (METAL) NOT SHOWN



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PROJECT: VERSATUBE SUMMIT BUILDING
TITLE: 50' X 80'-2" X 16' SUMMIT, (3) 12'X14' & (1) 16'X14' EAVE SIDE OPENING, WALK DOOR, DOUBLE FINK, 48" KNEE BRACES, BPR BRKTS
DWG NO: VXC4508016044ESDWD-R P2
DRAWN BY: E. BARTGES
DATE: 3/24/17

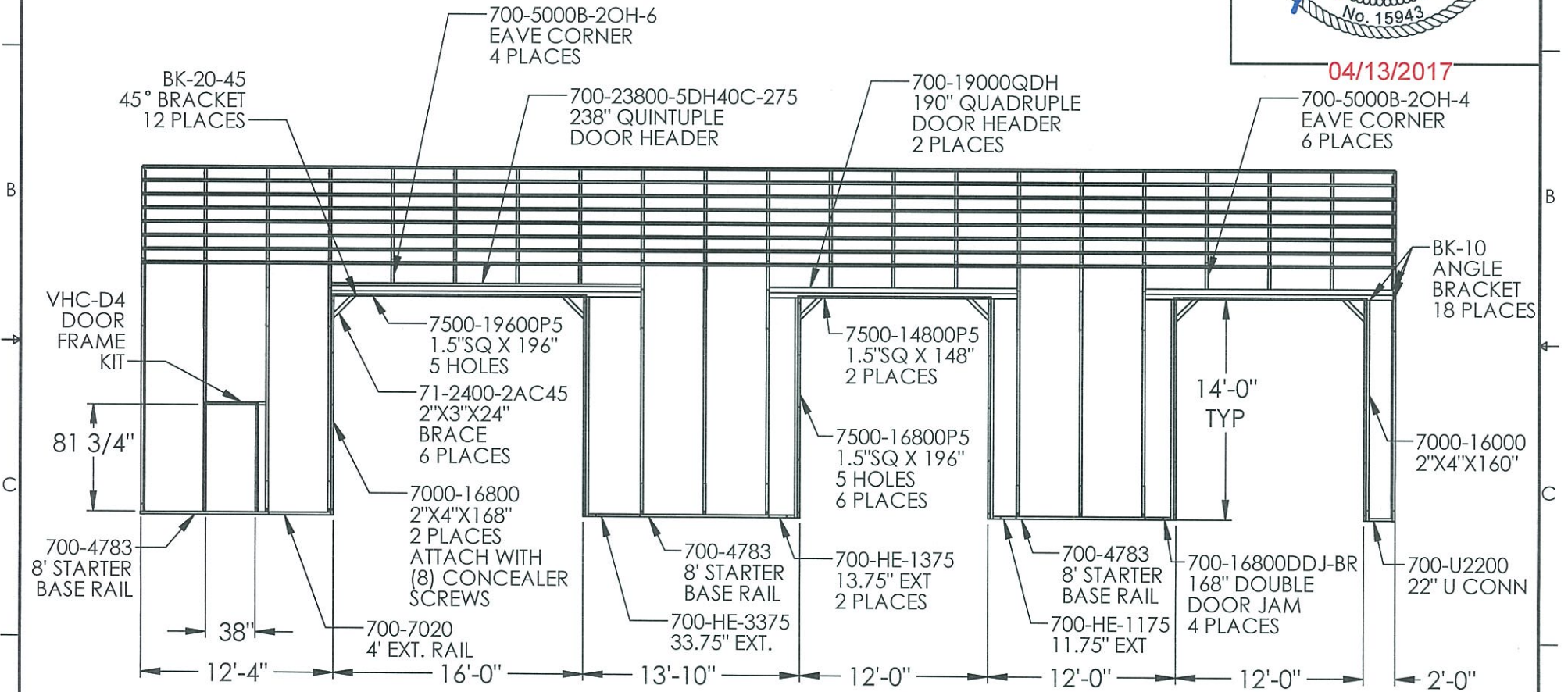
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SIDE HAT CHANNEL NOT SHOWN



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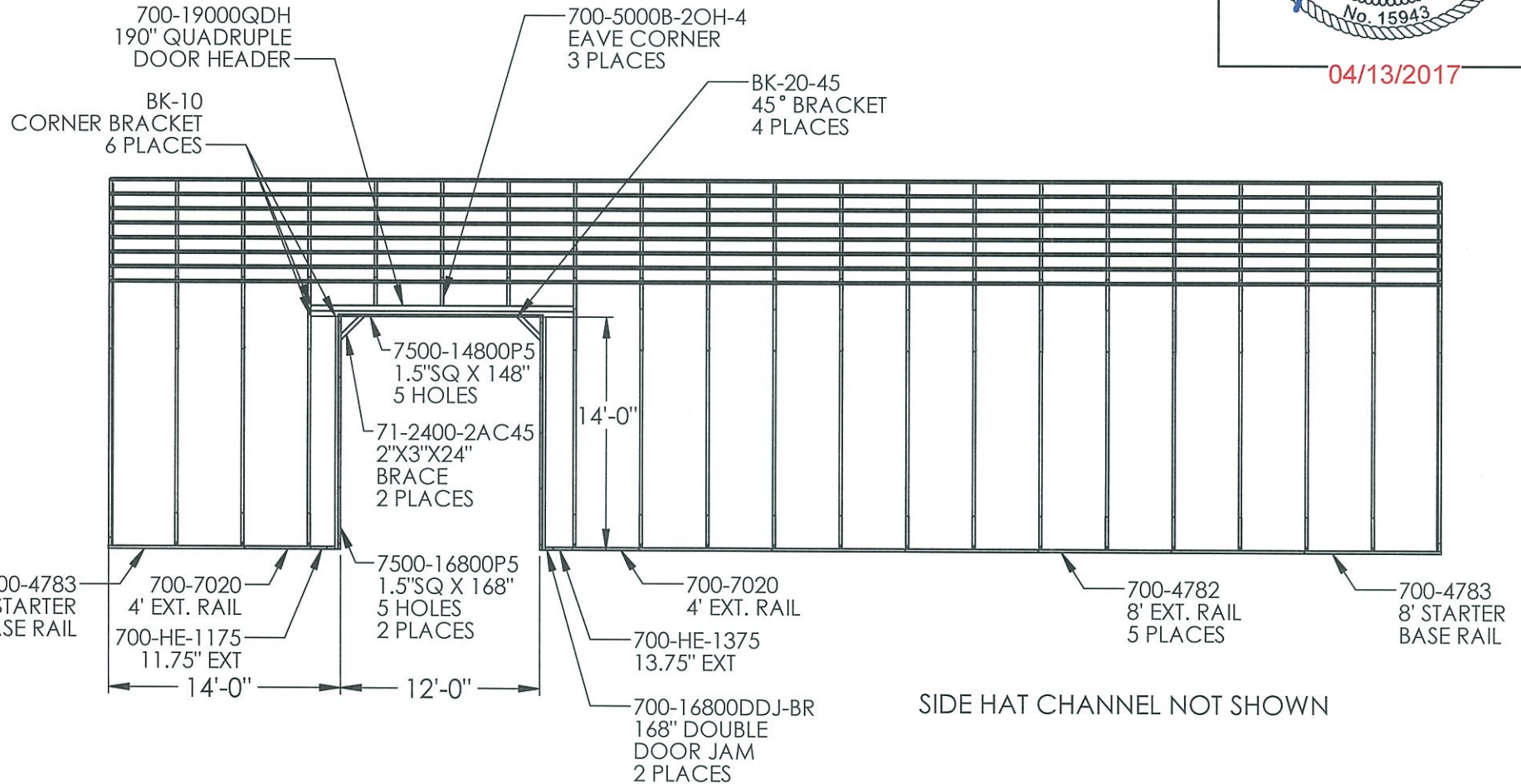
PROJECT:	VERSATUBE SUMMIT BUILDING
TITLE:	50' X 80'-2" X 16' SUMMIT, (3)12'X14' & (1)16'X14' EAVE SIDE OPENING, WALK DOOR, DOUBLE FINK, 48" KNEE BRACES, BPR BRKTS
DWG NO:	VXC4508016044ESDWD-R LH SIDE DETAIL
DRAWN BY:	E. BARTGES
DATE:	3/24/17

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OPENING, WALK DOOR, DOUBLE FINK, 48" KNEE BRACES, BPR BRKTS

DWG NO: VXC4508016044ESDWD-R RH SIDE DETAIL

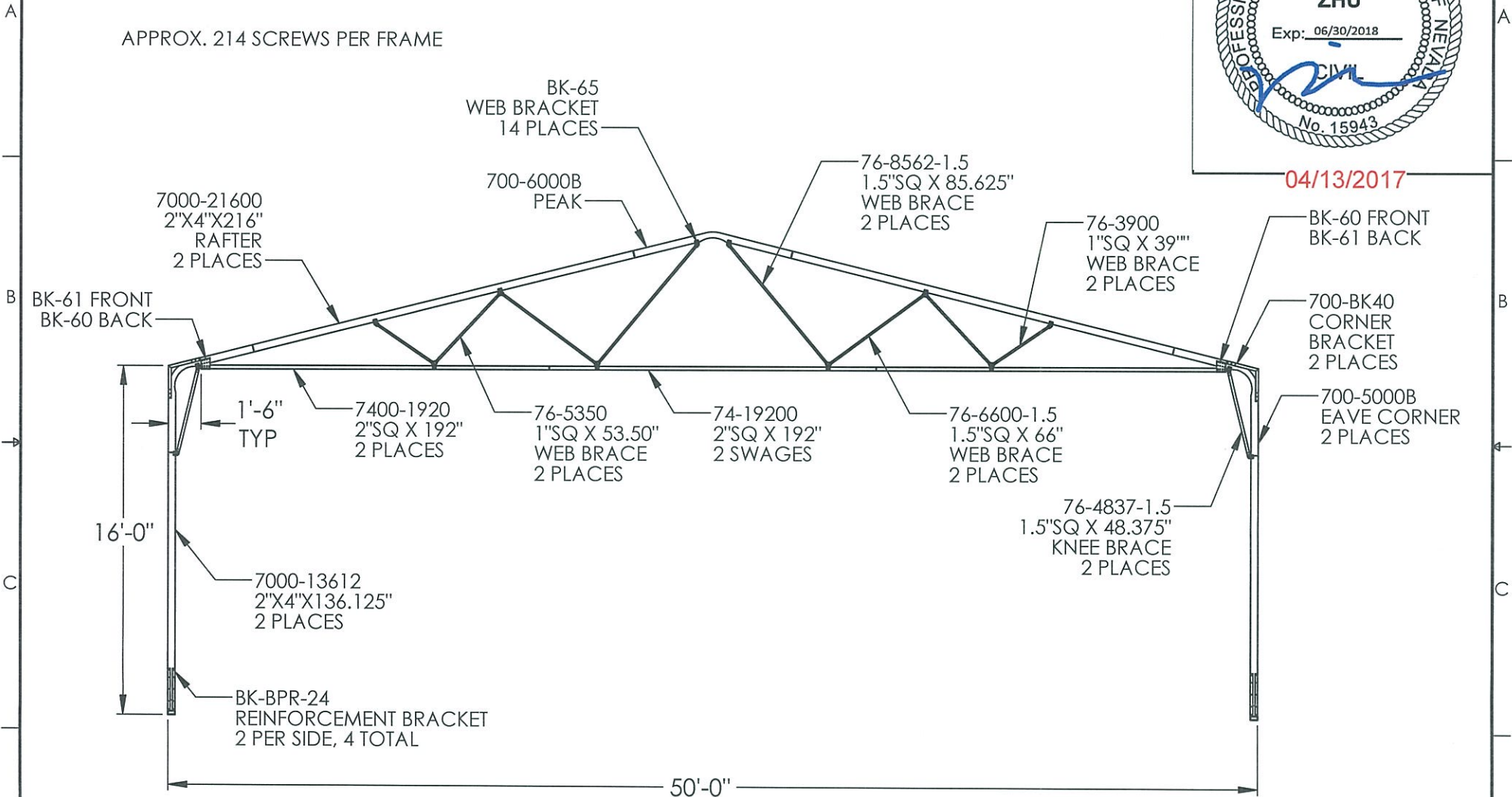
DRAWN BY: E. BARTGES

DATE: 3/24/17

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PROJECT: VERSATUBE ROOF WALL SECTION

TITLE: 50' X 16' ROOF WALL SECTION, DOUBLE FINK, 1.5"SQ X 48" KNEE BRACES, BP-BPR-24

DWG NO: 50X16 RWS TBDF 1.5X48KB BK-BPR-24 FOR BR

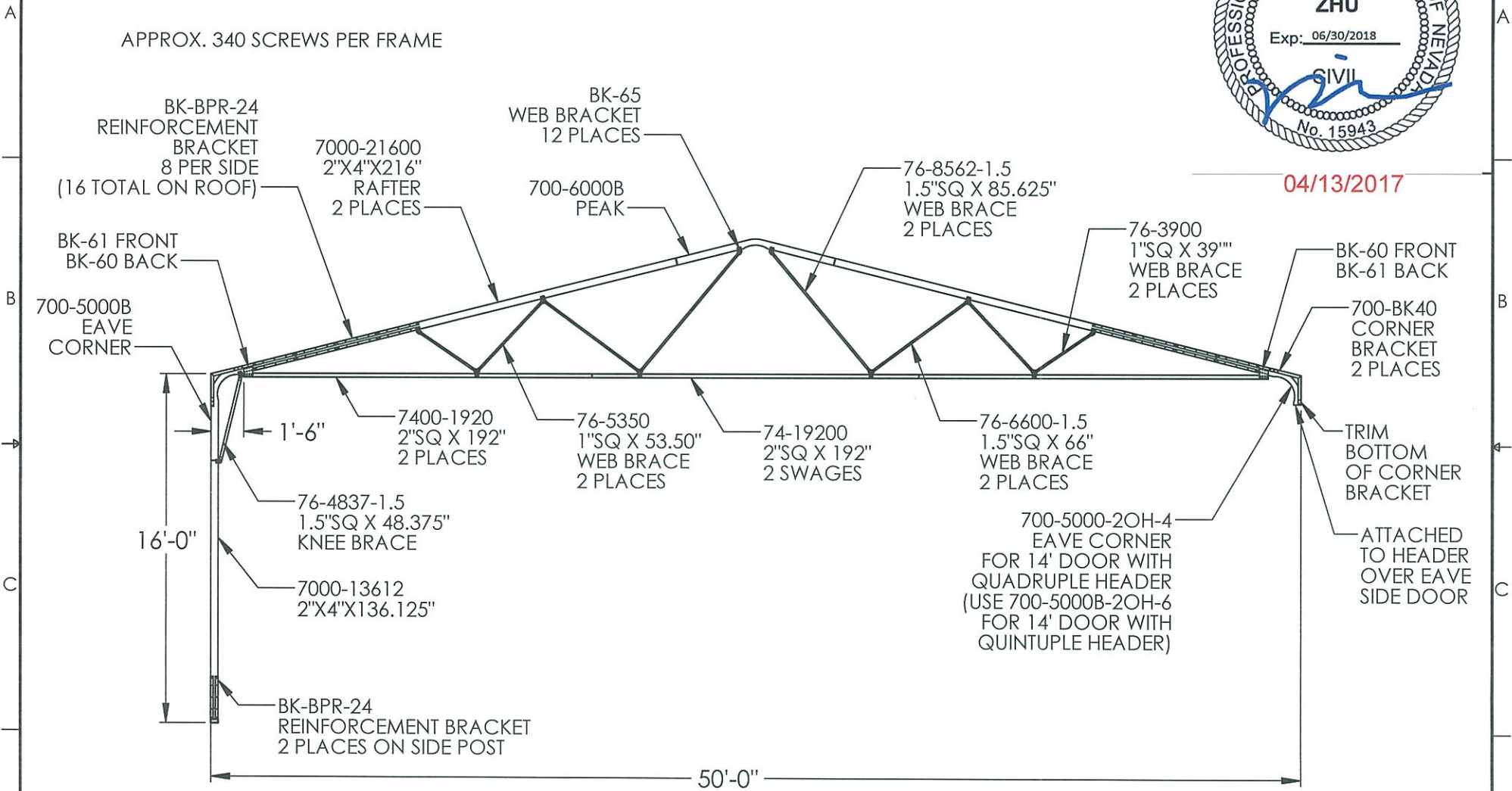
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PROJECT: VERSATUBE ROOF WALL SECTION

TITLE: 50' X 16' ROOF WALL SECTION, DOUBLE FINK, 1.5"SQ X 48" KNEE BRACES, BP-BPR-24, PARTIAL FRAME FOR 14' EAVE SIDE DOOR

DWG NO: 50X16 RWS TBDF 1.5X48KB BK-BPR-24 14FT ESD

DRAWN BY: E. BARTGES

DATE: 3/24/17

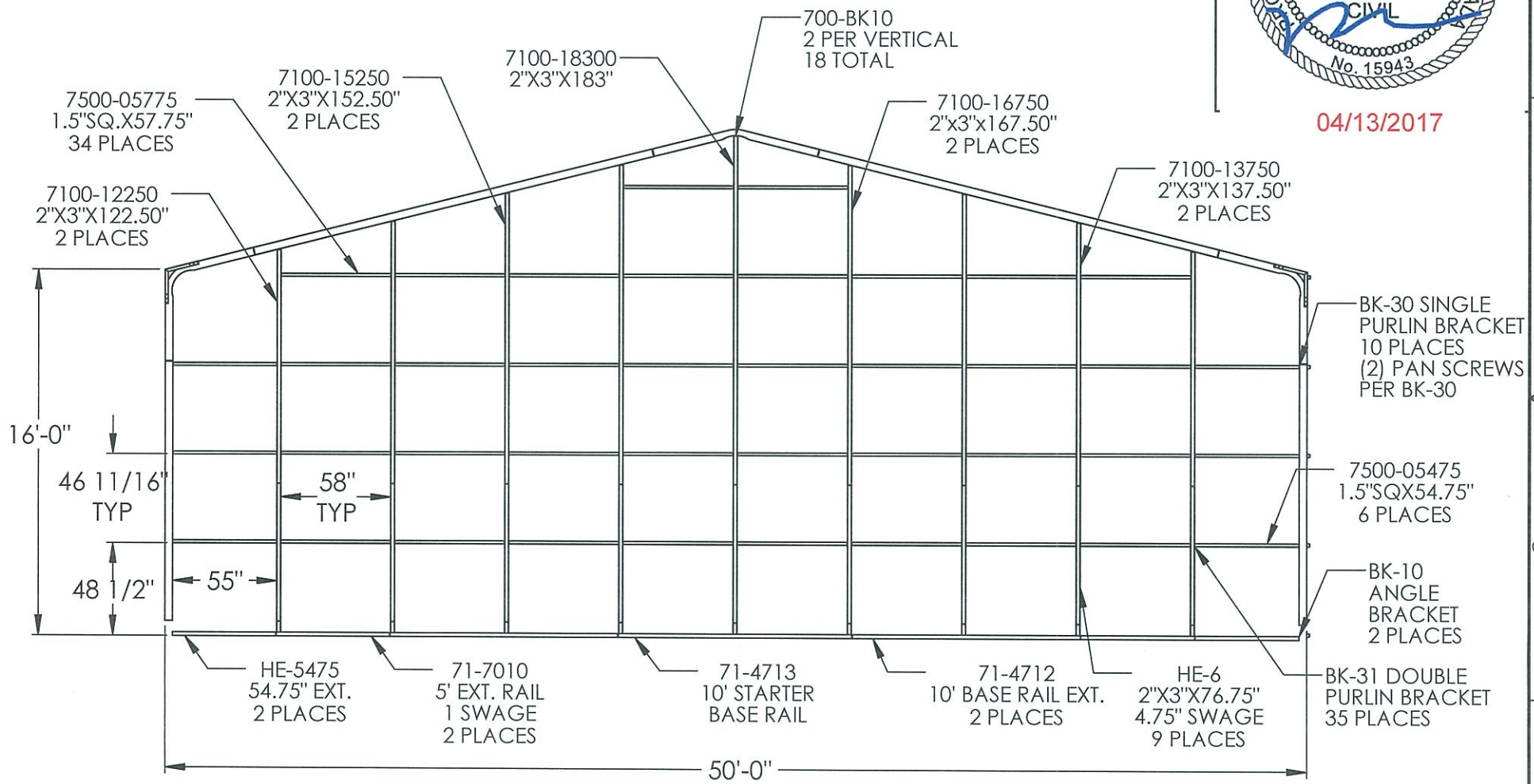
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04/13/2017

- (7)71-9999, 70PC BAG OF SCREWS
- (22)71-9999-PAN, PANCAKE SCREWS
- (9)ANC-7, CONCRETE WEDGE ANCHOR
- (1)71-SQ-DB, SQUARE DRILL BIT



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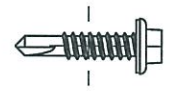
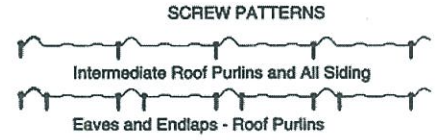
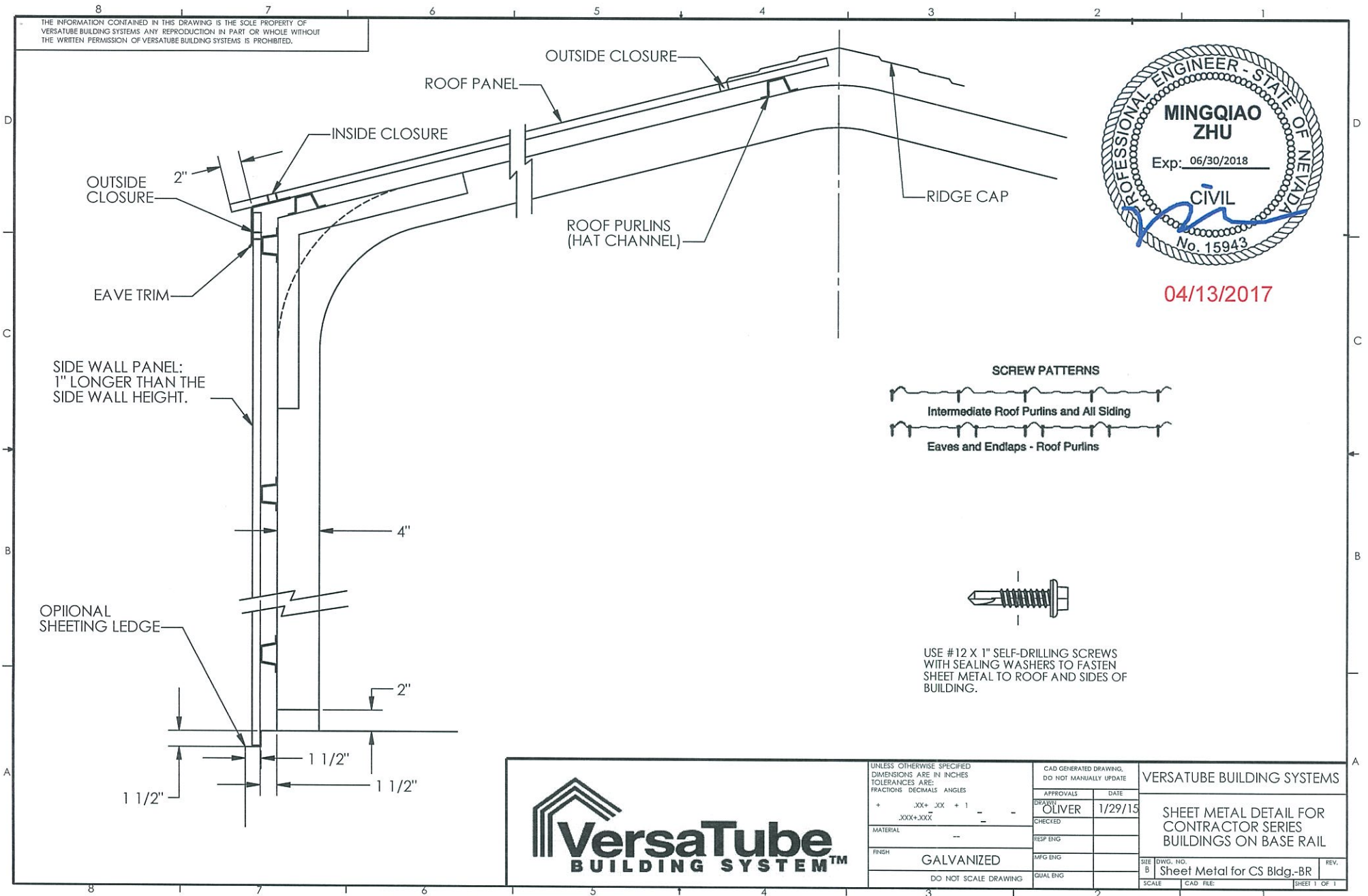


PROJECT:	VERSATUBE BACK ENCLOSURE
TITLE:	50' X 16' BACK ENCLOSURE, 9 VERTICALS, GIRTS
DWG NO:	BEC15016-9V-5H
DRAWN BY:	E. BARTGES
DATE:	3/24/17

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04/13/2017



USE #12 X 1" SELF-DRILLING SCREWS WITH SEALING WASHERS TO FASTEN SHEET METAL TO ROOF AND SIDES OF BUILDING.



UNLESS OTHERWISE SPECIFIED DIMENSIONS ARE IN INCHES TOLERANCES ARE: FRACTIONS DECIMALS ANGLES + .XX+ .XX + 1 - - .XXX+.XXX	CAD GENERATED DRAWING, DO NOT MANUALLY UPDATE		VERSATUBE BUILDING SYSTEMS	
	APPROVALS DRAWN: OLIVER CHECKED:	DATE 1/29/15	SHEET METAL DETAIL FOR CONTRACTOR SERIES BUILDINGS ON BASE RAIL	
	MATERIAL: -- FINISH: GALVANIZED	RESP ENG: MFG ENG:		
	DO NOT SCALE DRAWING	QUAL ENG:	SHEET: B DWG. NO.: SCALE:	REV. NO.: CAD FILE:

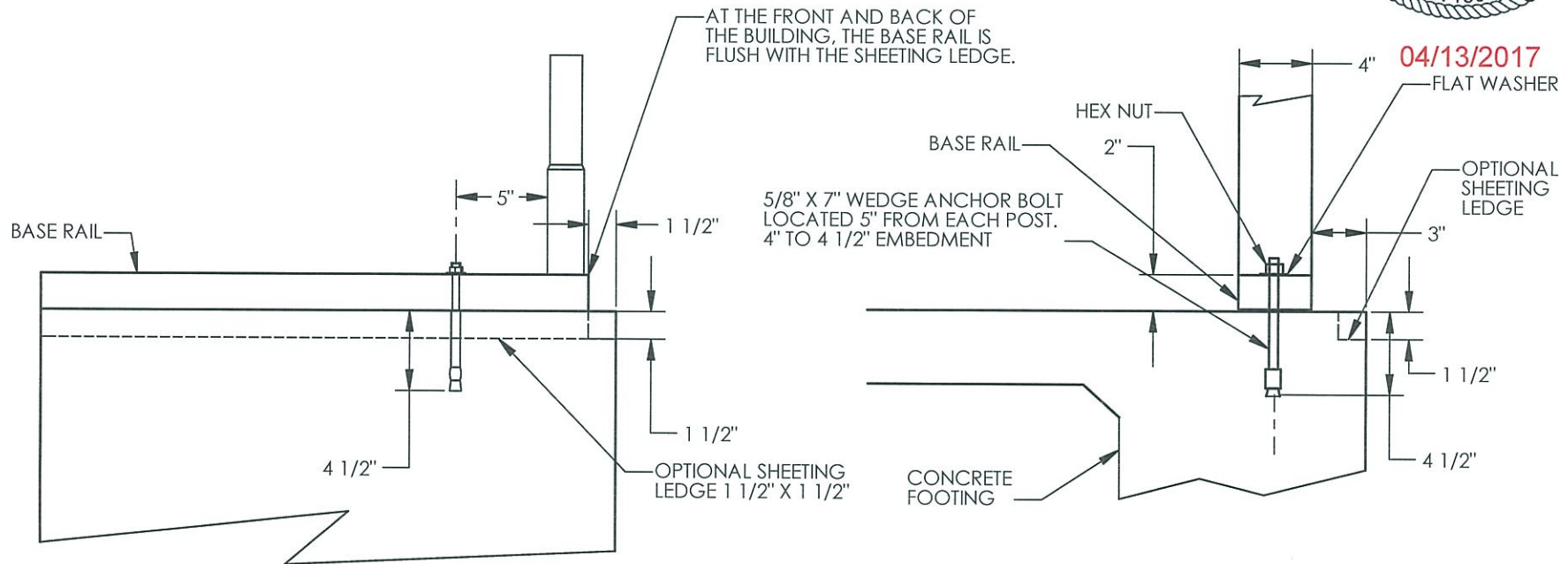
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INSTALLATION: USING HAMMER DRILL AND A 5/8" CONCRETE DRILL BIT, DRILL A HOLE INTO THE CONCRETE 5" TO 5 1/2" DEEP. PLACE THE FLAT WASHER ON THE BOLT AND INSTALL THE NUT UNTIL ABOUT 2 THREADS ARE EXPOSED ABOVE THE NUT. TAP THE ANCHOR THROUGH THE BASE RAIL INTO THE HOLE UNTIL THE WASHER TOUCHES THE TOP OF THE BASE RAIL. NOW, TIGHTEN THE NUT TO SET THE ANCHOR. DO NOT OVER TIGHTEN AND CRUSH THE TUBE.

ANCHOR HOLD DOWN FORCE 3,285 LBS.
ES REPORT: ESR-2818



WEDGE ANCHOR DETAIL

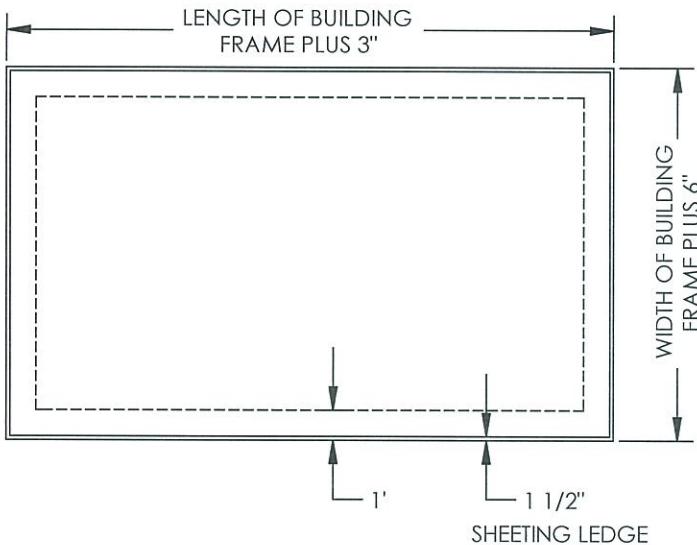


SIDE VIEW

END VIEW

UNLESS OTHERWISE SPECIFIED DIMENSIONS ARE IN INCHES TOLERANCES ARE: FRACTIONS DECIMALS ANGLES		CAD GENERATED DRAWING. DO NOT MANUALLY UPDATE		VERSATUBE BUILDING SYSTEMS	
+ .XX+ .XX + 1 - -	DRAWN STRICKER	APPROVALS	DATE	5/8 x 7" WEDGE ANCHOR FOR 2x4" BUILDINGS WITH BASE RAILS, 4" SLAB WITH FOOTING	
.XXX+.XXX	CHECKED		6/19/12		
MATERIAL	RESP ENG				
FINISH	MFG ENG			SHEET NO. B	DWG. NO. WEDGE ANCHOR DETAIL CS BR
DO NOT SCALE DRAWING	QUAL ENG			SCALE	CAD FILE: SHEET 1 OF 1

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REQUIRED FOUNDATION/SLAB SIZE FOR VERTICALLY SHEETED GARAGES WITH HAT CHANNEL SIDE WALL GIRTS

NOTE: ALL VERSATUBE FULLY ENCLOSED GARAGES ARE 2" LONGER THAN ADVERTISED.

DIMENSIONS ARE OUTSIDE TO OUTSIDE OF SLAB. THE SLAB OUT TO OUT DIMENSIONS MUST BE 6" WIDER AND 3" LONGER THAN THE BUILDING SIZE.

**EXAMPLE:
20'W X 40'-2"L X 10'H BUILDING WOULD HAVE A SLAB DIMENSION OF 20'-6"W X 40'-5"L.**

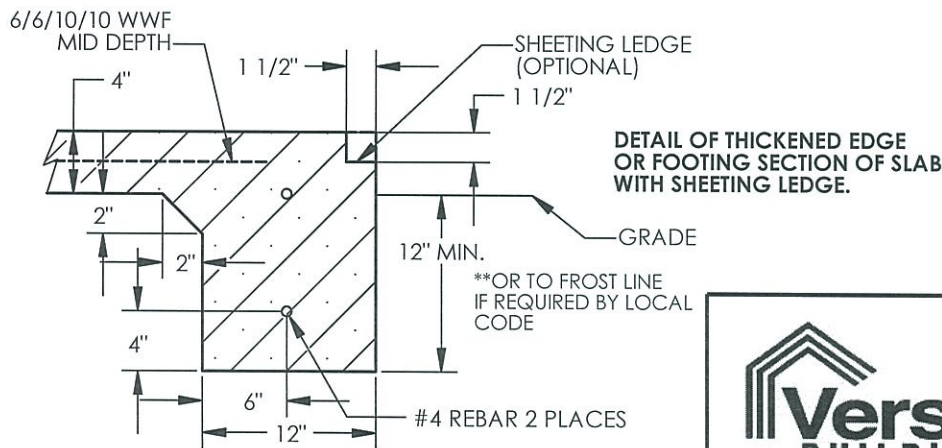
FOR FURTHER QUESTIONS OR CONCERNS ABOUT BUILDING OR SLAB LENGTH, CONTACT A PRODUCT & DESIGN ENGINEER AT VERSATUBE TOLL FREE AT 1-800-900-7222.



04/13/2017

GENERAL NOTES:

1. MAXIMUM ALLOWABLE SOIL BEARING PRESSURE IS AS FOLLOWS: 1000 PSF MINIMUM. OWNER TO VERIFY THAT SOIL IS STABLE AND COMPACTED TO A MINIMUM OF 90% RELATIVE OPTIMUM VALUE.
2. MAXIMUM SIZE AGGREGATE SHALL BE AS FOLLOWS: 1" DIA.
3. MINIMUM COMPRESSIVE STRENGTH OF CONCRETE AT 28 DAYS SHALL BE AS FOLLOWS: 2500 PSI
4. PLACE REINFORCEMENTS AT MID THICKNESS FOR SLABS ON THE GROUND.
5. ALL SPLICES IN CONTINUOUS REINFORCEMENT OR REINFORCING AS USED IN WALLS, FOOTINGS, ETC. SHALL HAVE A MINIMUM LAP OF 40 DIAMETERS. SPLICES IN ADJACENT BARS SHALL NOT BE LESS THAN 4'-0" APART. VERTICAL WALL BARS SHALL BE SPLICED AT OR NEAR FLOOR LINES. BARS MAY BE WIRED TOGETHER AT SPLICES OR LAPS EXCEPT FOR TOP REINF. OF BEAM AND SLABS, OR WHERE SPECIFICALLY DETAILED TO BE SEPARATED.
6. CONCRETE SHALL NOT BE DROPPED THROUGH REINF. STEEL AS IN WALLS SO AS TO CAUSE SEGREGATION OF AGGREGATES. IN SUCH CASE, HOPPERS AND VERTICAL CHUTES OR TRUNKS SHALL BE USED. CHUTES OR TRUNKS SHALL BE OF VARIABLE LENGTHS SO THAT FREE UNCONFINED FALL OF CONCRETE SHALL NOT EXCEED FIVE (5) FEET AND SUFFICIENT NUMBER SHALL BE USED TO INSURE THE CONCRETE BEING LEVEL AT ALL TIMES.

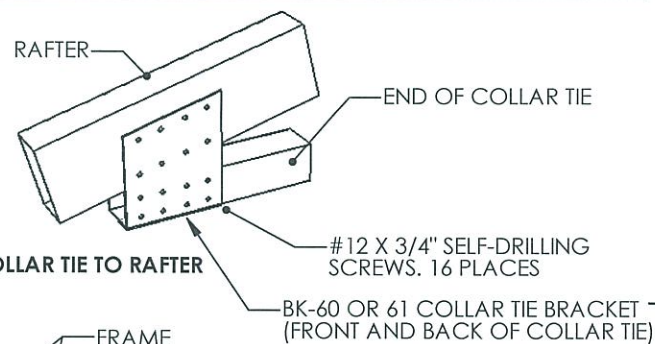
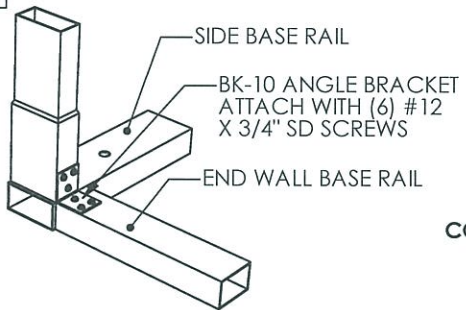
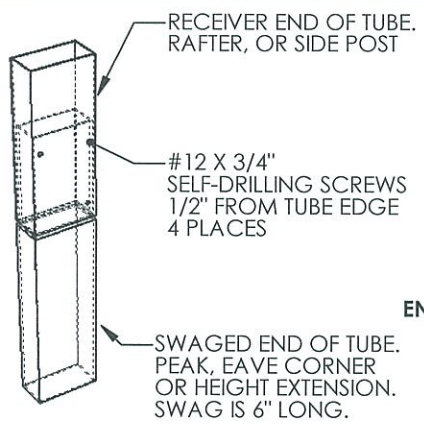


UNLESS OTHERWISE SPECIFIED DIMENSIONS ARE IN INCHES TOLERANCES ARE: FRACTIONS DECIMALS ANGLES + .XX ± .XX + 1 - - XXX+XXX	CAD GENERATED DRAWING, DO NOT MANUALLY UPDATE		VERSATUBE BUILDING SYSTEMS	
	APPROVALS	DATE	MONOSLAB FOUNDATION FOR VB BUILDINGS WITH HAT CHANNEL ON SIDES AND VERSATUBE GIRTS ON FRONT & BACK	
	DRAWN STRICKER	12/13/12	SITE DWG. NO. B VB FOUNDATION HC	
	CHECKED		SCALE	CAD FILE: SHEET 1 OF 1
MATERIAL 2,500 PSI CONCRETE	RESP ENG			REV.
FINISH	MFG ENG			
DO NOT SCALE DRAWING		QUAL ENG		

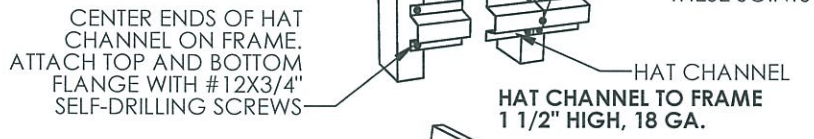
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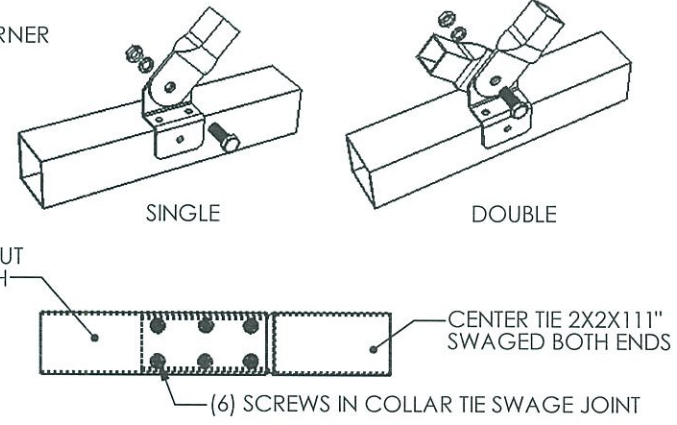
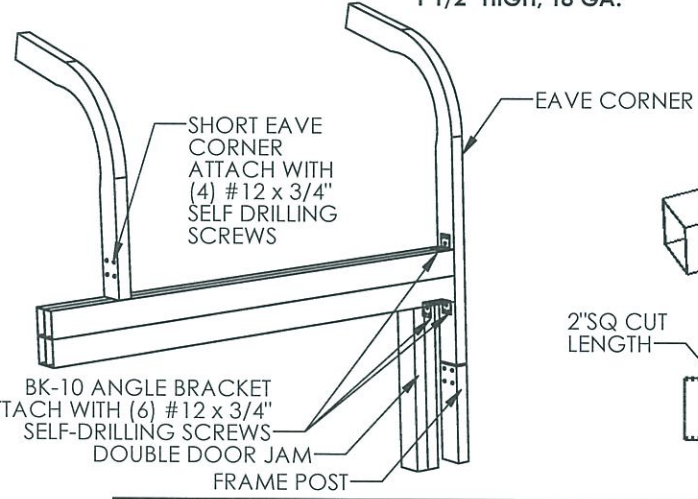
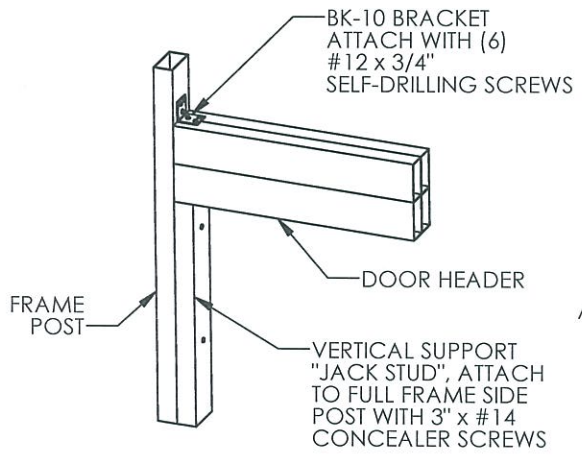
04/13/2017



SWAGE JOINT DETAIL (TYPICAL)
 RAFTER TO PEAK AND EAVE CORNER, SIDE POST TO HEIGHT EXTENSION AND EAVE CORNER, DOOR HEADER TO EAVE CORNER



WEB BRACE AND COLLAR TIE CONNECTIONS
 ATTACH BK-65 BRACE BRACKET TO RAFTER, PEAK, EAVE CORNER OR COLLAR TIE WITH (3) #12 X 3/4" SELF-DRILLING SCREWS. FASTEN THE FLATTENED AND PIERCED END OF WEB (ANGLE) BRACES TO BRACKET WITH 3/8" X 1 1/4" HEX BOLT, 3/8" SPLIT LOCK WASHER AND HEX NUT.
 NOTE: DO NOT TIGHTEN BOLT JOINT UNTIL BRACKETS ARE ALL IN PLACE.



EAVE SIDE DOOR QUADRUPLE HEADER TUBE TO VERTICAL POST



UNLESS OTHERWISE SPECIFIED DIMENSIONS ARE IN INCHES TOLERANCES ARE: FRACTIONS DECIMALS ANGLES		CAD GENERATED DRAWING, DO NOT MANUALLY UPDATE		VERSATUBE BUILDING SYSTEMS	
+ .XX+ .XX + 1 - -		APPROVALS DATE		ASSEMBLY DETAILS BUILDING WITH 2" X 4" FRAME EAVE CORNER, WEB TRUSS, ES DOOR, FOR BASE RAIL	
.XXX+.XXX		DRAWN OLIVER 4/22/16		SHEET 1 OF 1	
MATERIAL --		CHECKED		REV.	
FINISH GALVANIZED		RESP ENG		DWG. NO. Assembly Details ES Door BR	
DO NOT SCALE DRAWING		MFG ENG		SCALE	
		QUAL ENG		CAD FILE	

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700-BK10 BRACKET BOTH SIDES OF POST

VIEW FROM INSIDE OF BUILDING

END WALL RAFTER, PEAK OR EAVE CORNER 2"X4"X14GA.

#12X3/4" SD SCREWS 8 PLACES

FRONT OR BACK WALL VERTICAL 2"X3"X15GA.

MAIN BUILDING DETAIL OF FRONT OR BACK (GABLE END) VERTICAL TO RAFTER, PEAK OR EAVE CORNER

FRAME 2"X4"X14GA MAIN BUILDING 2"X3"X15GA LEAN-TO
HAT CHANNEL 18 GA.

BUTT CONTINUING HAT CHANNEL. USE (4) SCREWS AT THESE JOINTS

CENTER ENDS OF HAT CHANNEL ON FRAME. ATTACH TOP & BOTTOM FLANGE WITH #12X3/4" SD SCREWS

HAT CHANNEL PURLIN TO FRAME

2"X4"X14GA. EAVE CORNER

700-BK40 CORNER BRACKET

#12X3/4" SD SCREWS 6 PER SIDE

CORNER BRACKET TO EAVE CORNERS

VERTICAL 2"X3"X15GA
BK-10 BRACKET BOTH SIDES ATTACH WITH (6) #12X3/4" SD SCREWS
DOOR HEADER 2"X3"X15GA

GABLE END DOOR HEADER VERTICAL TO RAFTER

END WALL VERTICAL 2"X3"X15GA.

BK-10 BRACKET ATTACH WITH (6) #12X3/4" SD SCREWS
HEADER 2"X3"X15GA.

3"X#14 CONCEALER SCREW EVERY (2) FEET

GABLE END DOOR HEADER TO VERTICAL POST
HEADER VERTICAL SUPPORT 2"X3"X15GA

CENTER VERTICAL 2"X3"X15GA
BK-10 BRACKET BOTH SIDES ATTACH WITH (6) #12X3/4" SD SCREWS
DOOR HEADER 2"X3"X15GA

GABLE END DOOR HEADER CENTER VERTICAL DETAIL

2"X4"X14GA MAIN BUILDING 2"X3"X15GA LEAN-TO
(2) #12X3/4" SD SCREWS
NEXT BASE RAIL
BASE RAIL

BASE RAIL CONNECTION DETAIL



04/13/2017

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PROJECT: VERSATUBE BUILDING DETAILS

TITLE: ASSEMBLY DETAILS FOR 2X4 SUMMIT WITH WEB TRUSS

DWG NO: ASSEMBLY DETAILS SUMMIT P2

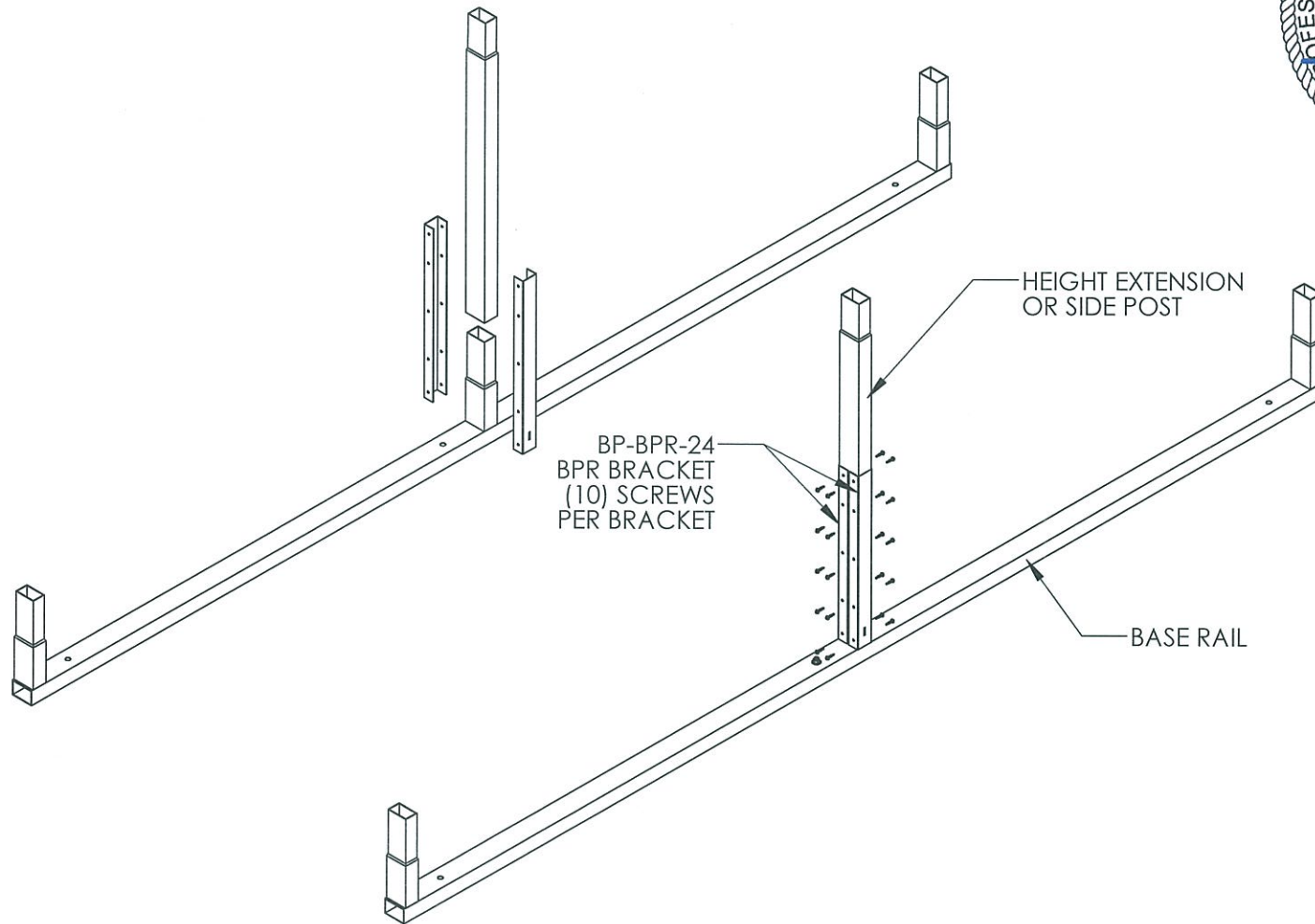
DRAWN BY: M. OLIVER

DATE: 7/17/15

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APPROVAL.

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PROJECT: VERSATUBE BUILDING SYSTEMS

TITLE: BPR BRACKET ASSEMBLY

DWG NO: BK-BPR-24 ASSEMBLY

DRAWN BY: R. HUTCHINS

DATE: 11/11/16