

Golden Mesa South

Special Use Permit Application

Prepared For:

Moonlight Hills Estates, LLC
5390 Bellazza Court
Reno, NV 89519

Prepared By:



681 Edison Way
Reno, NV 89502
775-771-5554

December, 2016

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Project Requests

This application is for a **Special Use Permit** for:

- A) Construction of a sewage lift station (utility improvement)

Golden Mesa South is located just north of Golden Valley Road and just west of Estates Drive. The proposed lift station is located near the northeast corner of Golden Valley Road and Estates Road. The project site will utilize a small portion of APN 552-100-01 as shown in Figure 1 (below).

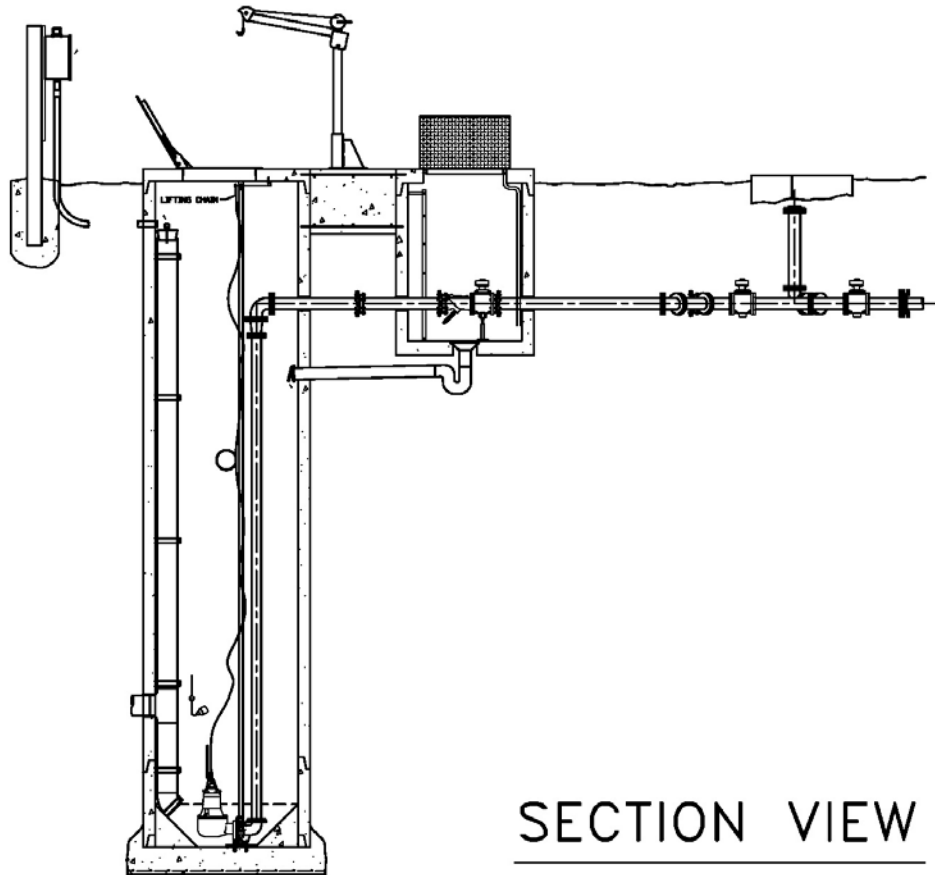


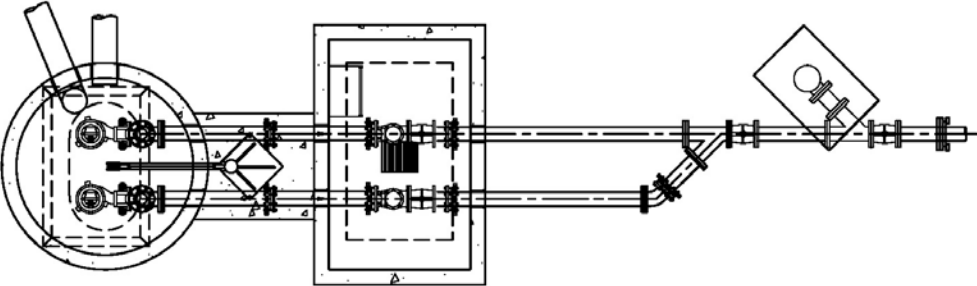
Project History

R&K Homes requested and obtained approval for a Tentative Map, case number TM05-015 to develop a 59-lot single family common open space development on 35.16 acres. (APN 552-100-01). A Special Use Permit for construction of a lift station was concurrently applied for under SW05-016. The entitlements were approved and have since both expired.

Project Description

The proposed project is a self-contained sewage lift station to serve the proposed Golden Mesa North and future Golden Mesa South residential developments. The pump station will be a submersible two pump system capable of serving the proposed developments with capability to serve some of the existing residential neighbors should that become necessary. Subsurface emergency will be provided as required by Washoe County and back-up power will be provided via an emergency generator. The lift station site will be fenced to prevent unauthorized access and landscaping will be provided around the site perimeter. See attached preliminary design report and sectional/plan view below.





PLAN VIEW

APPENDIX "A"

DEVELOPMENT APPLICATION



Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Development staff at 775.328.3600.

Project Information		Staff Assigned Case No.: _____	
Project Name:			
Project Description:			
Project Address:			
Project Area (acres or square feet):			
Project Location (with point of reference to major cross streets AND area locator):			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
Section(s)/Township/Range:			
Indicate any previous Washoe County approvals associated with this application:			
Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name:		Name:	
Address:		Address:	
Reno, NV	Zip:	Reno, NV	Zip:
Phone:	Fax:	Phone:	Fax:
Email:		Email:	
Cell:	Other:	Cell:	Other:
Contact Person:		Contact Person:	
Applicant/Developer:		Other Persons to be Contacted:	
Name:		Name:	
Address:		Address:	
	Zip:	Reno, NV	Zip:
Phone:	Fax:	Phone:	Fax:
Email:		Email:	
Cell:	Other:	Cell:	Other:
Contact Person:		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Special Use Permit Application Supplemental Information

(All required information may be separately attached)

Chapter 110 of the Washoe County Code is commonly known as the Development Code. Specific references to special use permits may be found in Article 810, Special Use Permits.

1. What is the type of project being requested?

Special use permit requested is for a sewage lift station to support the Golden Mesa North and South developments. This is a utility improvement.

2. What currently developed portions of the property or existing structures are going to be used with this permit?

Currently there are no improvements on the subject site. The proposed lift station is needed to develop the Golden Mesa North subdivision (WTM16-002) and future Golden Mesa South subdivision (APN 552-100-01).

3. What improvements (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.) will have to be constructed or installed and what is the projected time frame for the completion of each?

The lift station will be constructed concurrently with the Golden Mesa North subdivision improvements. The lift station improvements will include sanitary sewer piping, underground wet well and pumps, electronic controls, sewer force main, associated piping, access road, and security fencing. See preliminary site plan.

4. What is the intended phasing schedule for the construction and completion of the project?

The lift station will be completed prior to any home occupancy.

5. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

Existing ground topography requires placement of the lift station near the low point of the surrounding area in order to serve the Golden Mesa North and South projects.

6. What are the anticipated beneficial aspects or effects your project will have on adjacent properties and the community?

Althought the lift station is for the benefit of the Golden Mesa North and South developments it can be upsized to accomodate flows from neighboring existing residential homes should there become a need to remove them from septic systems.

7. What will you do to minimize the anticipated negative impacts or effects your project will have on adjacent properties?

Most of the lift station improvements are subsurface. The site will be fenced and screened with landscaping.

8. Please describe operational parameters and/or voluntary conditions of approval to be imposed on the project special use permit to address community impacts:

There are no operational parameters and/or voluntary conditions of approval imposed on the proposed lift station.

9. How many improved parking spaces, both on-site and off-site, are available or will be provided? (Please indicate on site plan.)

No improved parking is required for the proposed lift station. On-site space will be provided for the maintenance vehicle.

10. What types of landscaping (e.g. shrubs, trees, fencing, painting scheme, etc.) are proposed? (Please indicate location on site plan.)

The proposed lift station will be screened using evergreen trees and shrubs.

11. What type of signs and lighting will be provided? On a separate sheet, show a depiction (height, width, construction materials, colors, illumination methods, lighting intensity, base landscaping, etc.) of each sign and the typical lighting standards. (Please indicate location of signs and lights on site plan.)

No signage is proposed for this utility improvement. On-site lighting is very minimal and is only activated by maintenance personel when required.

12. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the special use permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input type="checkbox"/> No
------------------------------	-----------------------------

13. Utilities:

a. Sewer Service	
b. Electrical Service	
c. Telephone Service	
d. LPG or Natural Gas Service	
e. Solid Waste Disposal Service	
f. Cable Television Service	
g. Water Service	

For most uses, the Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required:

h. Permit #		acre-feet per year	
i. Certificate #		acre-feet per year	
j. Surface Claim #		acre-feet per year	
k. Other #		acre-feet per year	

- l. Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources):

No water rights are required for the proposed lift station. Water rights will be required for the surrounding landscaping. Required water rights will be obtained and dedicated by the developer.

14. Community Services (provided and nearest facility):

a. Fire Station	
b. Health Care Facility	
c. Elementary School	
d. Middle School	
e. High School	
f. Parks	
g. Library	
h. Citifare Bus Stop	

PROPERTY TAX INFORMATION



WASHOE COUNTY TREASURER

PO BOX 30039
 RENO, NV 89520-3039
 775-328-2510

Received By: fgregory Receipt Number: U16.15889
 Location: Treasurer's Office Receipt Year: 2016
 Session: fgreg-0-12212016 Date Received: 12/21/2016

PAYMENT RECEIPT

Type	Description	Balance	Net Tax	Interest	Fees Penalties	Current Due	Current Paid	Balance Remaining
Real	Bill Number: 297293 Bill Year: 2015 PIN: 55210001 Primary Owner: MOONLIGHT HILLS ESTATES LLC Property Addr: E GOLDEN VALLEY RD Property Desc: Section 11 Township 20 Range 19 SubdivisionName_UNSPECIFIED	2,823.76	2,233.87	251.32	338.57	2,823.76	2,823.76	0.00
Real	Bill Number: 2016122197 Bill Year: 2016 PIN: 55210001 Primary Owner: MOONLIGHT HILLS ESTATES LLC Property Addr: E GOLDEN VALLEY RD Property Desc: Section 11 Township 20 Range 19 SubdivisionName_UNSPECIFIED	2,399.34	1,754.59	0.00	85.17	1,839.76	1,839.76	559.58
Totals:		5,223.10	3,988.46	251.32	423.74	4,663.52	4,663.52	559.58

Tender Information:	Charge Summary:		
Check #10/1104	4,663.52	Real	4,663.52
Total Tendered	4,663.52	Total Charges	4,663.52

WASHOE COUNTY TREASURER PO BOX 30039 RENO, NV 89520-3039

W. C. T. O. 28
 DEC 21 2016
PAID

By Whom Paid:

MOONLIGHT HILLS ESTATES LLC
 5390 BELLAZZA CT
 RENO NV 89519

BALANCE REMAINING	559.58
CHARGES	4,663.52
PAID	4,663.52
CHANGE	0.00

ASSESSOR'S MAP

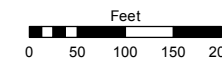


Assessor's Map Number

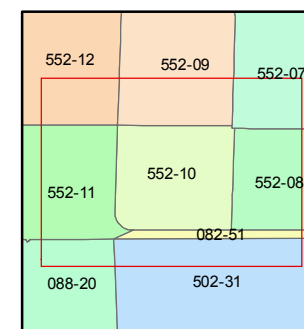
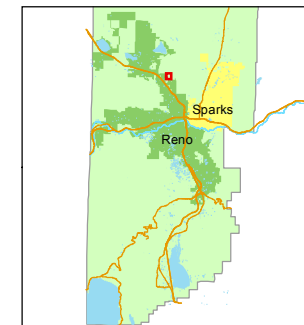
552-10

STATE OF NEVADA
WASHOE COUNTY
ASSESSOR'S OFFICE
Michael E. Clark, Assessor

1001 East Ninth Street
Building D
Reno, Nevada 89512
(775) 328-2231



1 inch = 200 feet



created by: JMO 05/10/2016

last updated: _____

area previously shown on map(s)

88-15

NOTE: This map was prepared for the use of the Washoe County Assessor for assessment and illustrative purposes only. It does not represent a survey of the premises. No liability is assumed as to the sufficiency or accuracy of the data delineated hereon.

ROAD
ESTATES

RAIN DANCE WAY

DEER FOOT LANE

SITE

552-100-01
35.16 ac.

PORTION OF THE S 1/2 OF
SECTION 11, T20N - R19E

EAST GOLDEN VALLEY ROAD

10 11
15 14

1250.00

00'00"

APPENDIX "B"

REPORTS and PLAN SETS



GOLDEN MESA – SEWER LIFT STATION

RE: Design Report

Date: July 27, 2006

To: Susan Hood, Washoe County Utilities
Ken Hendrix, R&K Homes
Clint Thiesse, P.E. Summit Engineering

From: Gary K. Guzelis, P.E.

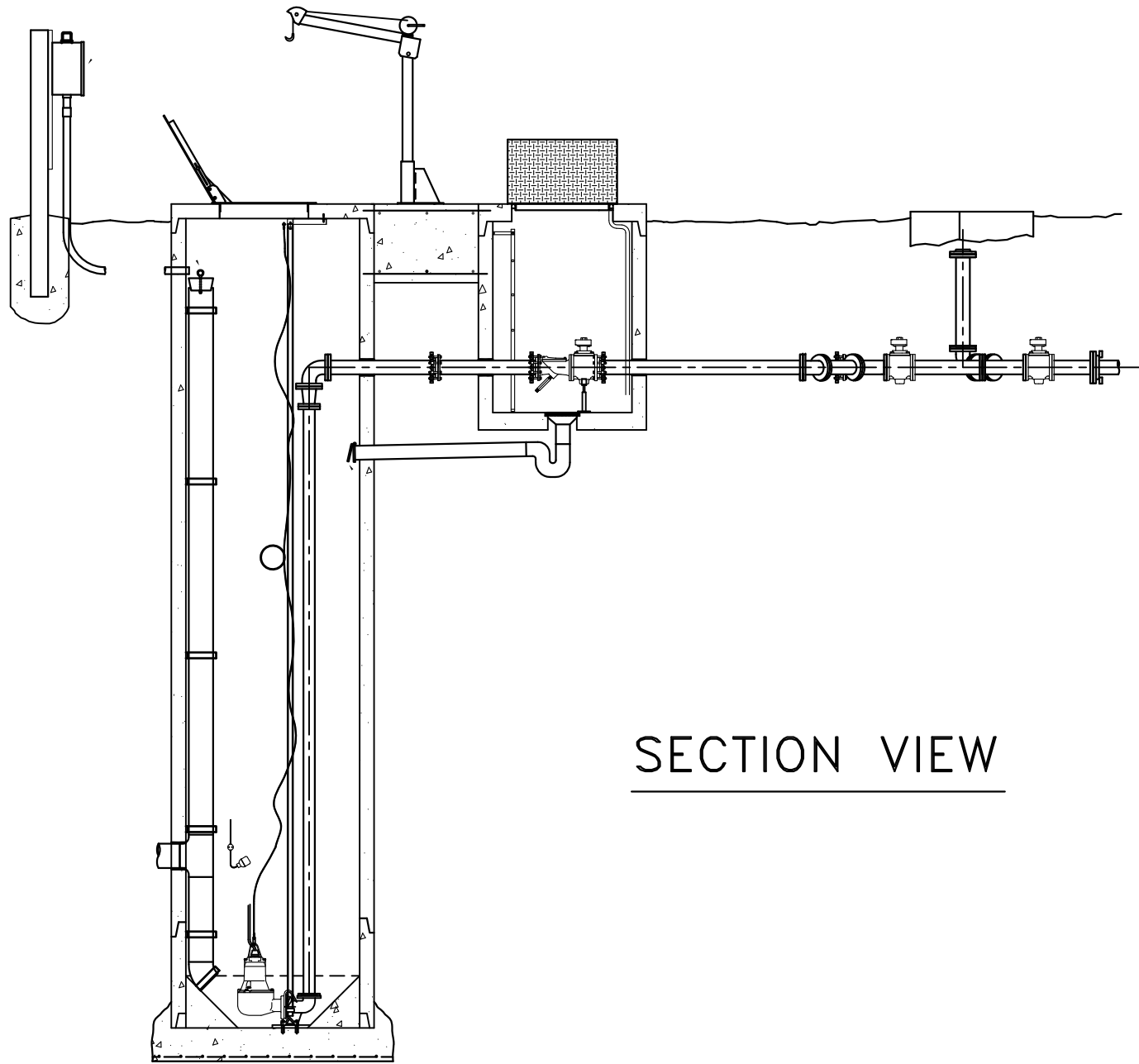
This Design Report is being submitted for your review, comment and approval. This Design Report relates to the engineering for the sewer lift station for the Golden Mesa Development.

Design requirements:

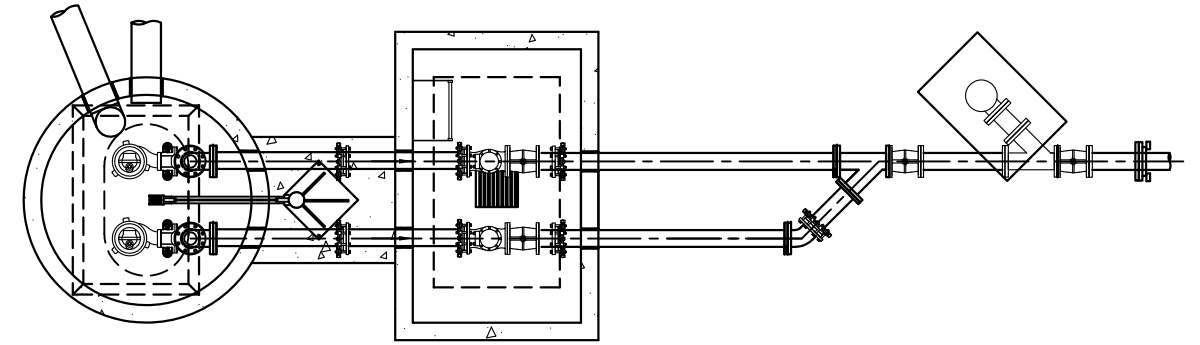
1. *Peak hour flow rate of 162,750 gallons per day (113 gpm) was used for sizing the pumps and wet well. The peak flow was determined by using 350 gallons per day contribution from each dwelling unit per capita and 3 capita per dwelling unit. City of Reno*
2. *Based on the above peak flow rate, two 2.7 HP Gorman-Rupp pumps have been selected. The pumps were selected to operate at approximately 180 gpm @ 21' of head. One pump alone will be capable of pumping the peak flow rate with the second pump being on standby. The particular pumps selected come with impellers at full trim and are not upgradeable. The selected pumps will be capable of delivering capacity for 91 additional homes. Future upgrades beyond the additional 91 homes would require pump replacement which is estimated at \$2500.00 per pump in today's dollars.*
3. *The wet well will consist of a 60" diameter manhole modified to accept the duplex pumps, level sensors and piping. The depth of the wet well will be approximately 24'. The interior of the wet well will be epoxy coated to help protect against deterioration of the concrete. Transducers will be used for level sensing with a redundant high water alarm float for emergency.*
4. *Emergency storage is required by the County and was sized to contain 2 hours of peak design flow estimated at a volume of 13,500 gallons. Emergency storage will be accomplished using 15,000 gallon precast*

concrete storage tank. Surface storage is not recommended due to the limited space and close proximity to the adjoining residences.

5. *The force main will be 4"HDPE, inside diameter of 3.95" and a dimension ratio of 17. The force main is approximately 218' in length.*
6. *Back-up power will be required for the lift station and will be provided by a stand-by generator preliminarily sized at 50 KW. A 100 amp panel and 3 phase power will be required.*
7. *The site will need to be completely fenced to prevent unauthorized access to the lift station.*
8. *Pump cycle time @ peak flow with a 1.5' on to off level will be 7.2 minutes. (Reference attached supporting data).*



SECTION VIEW

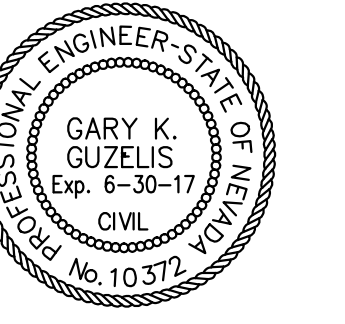


PLAN VIEW



681 EDISON WAY - RENO, NEVADA 89502
PH 775-771-5554 / FX 775-856-3951

GOLDEN MESA LIFT STATION

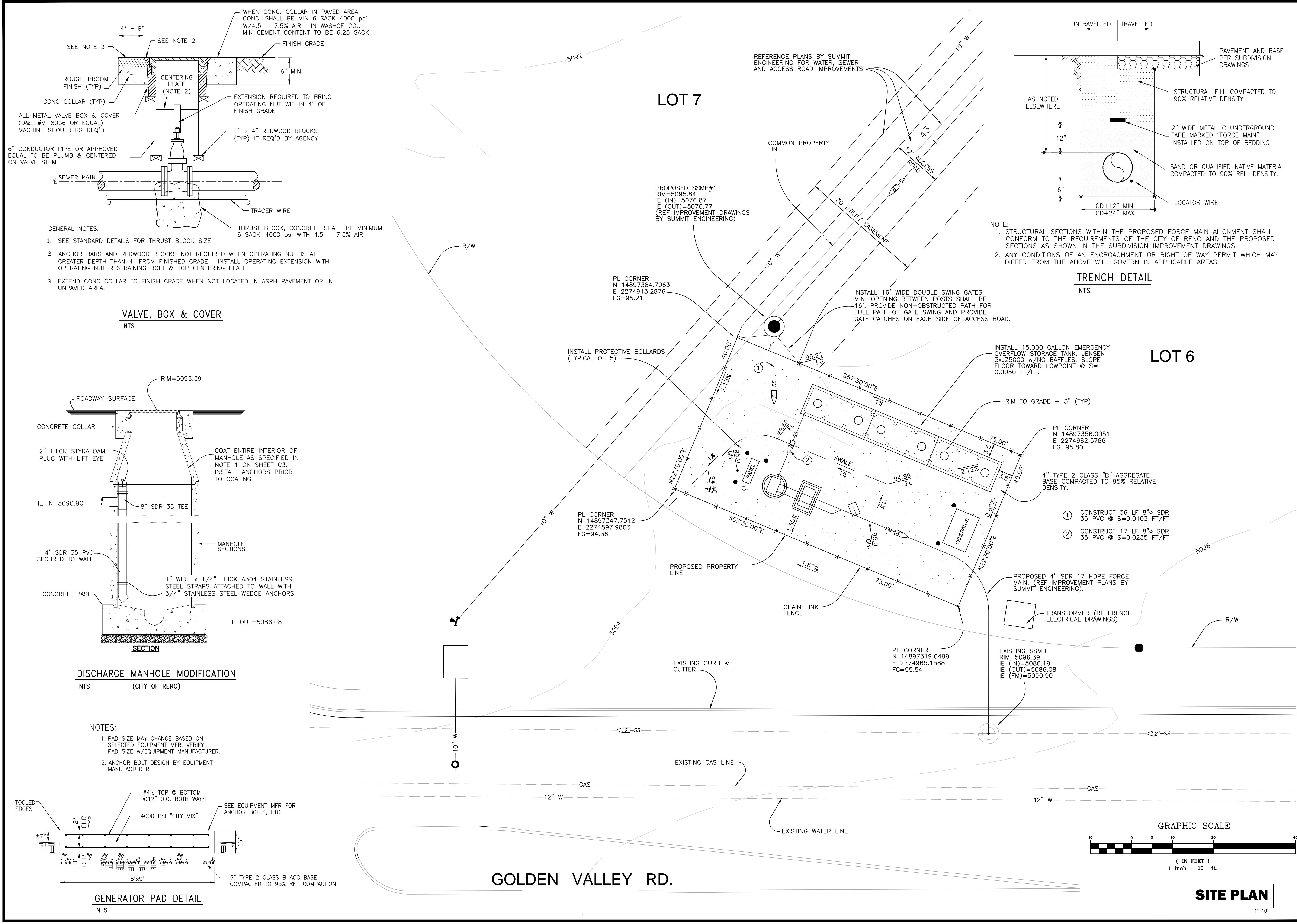


**SEWAGE LIFT STATION
GOLDEN MESA SOUTH
SITE PLAN**
WASHOE COUNTY, NEVADA

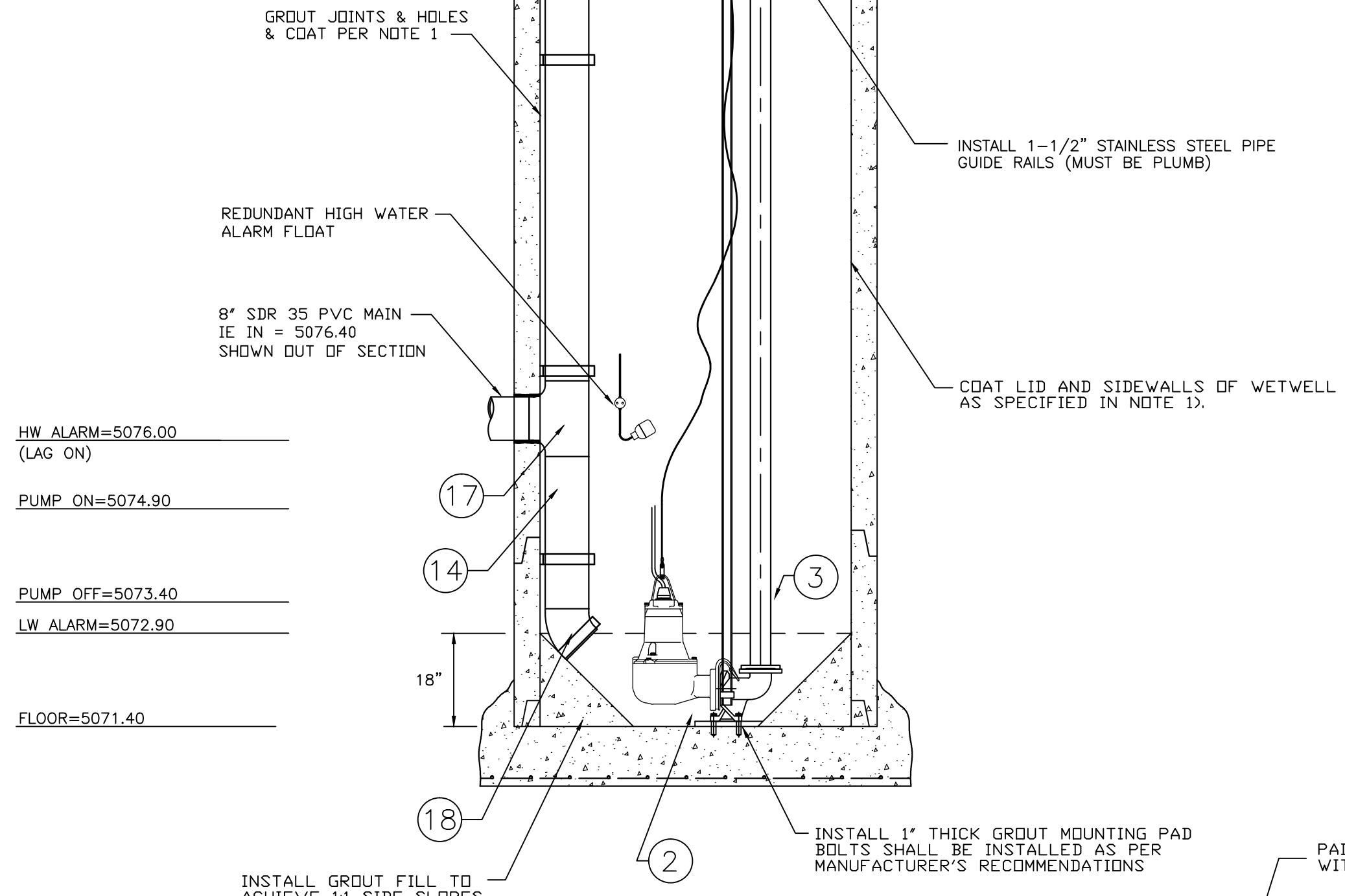
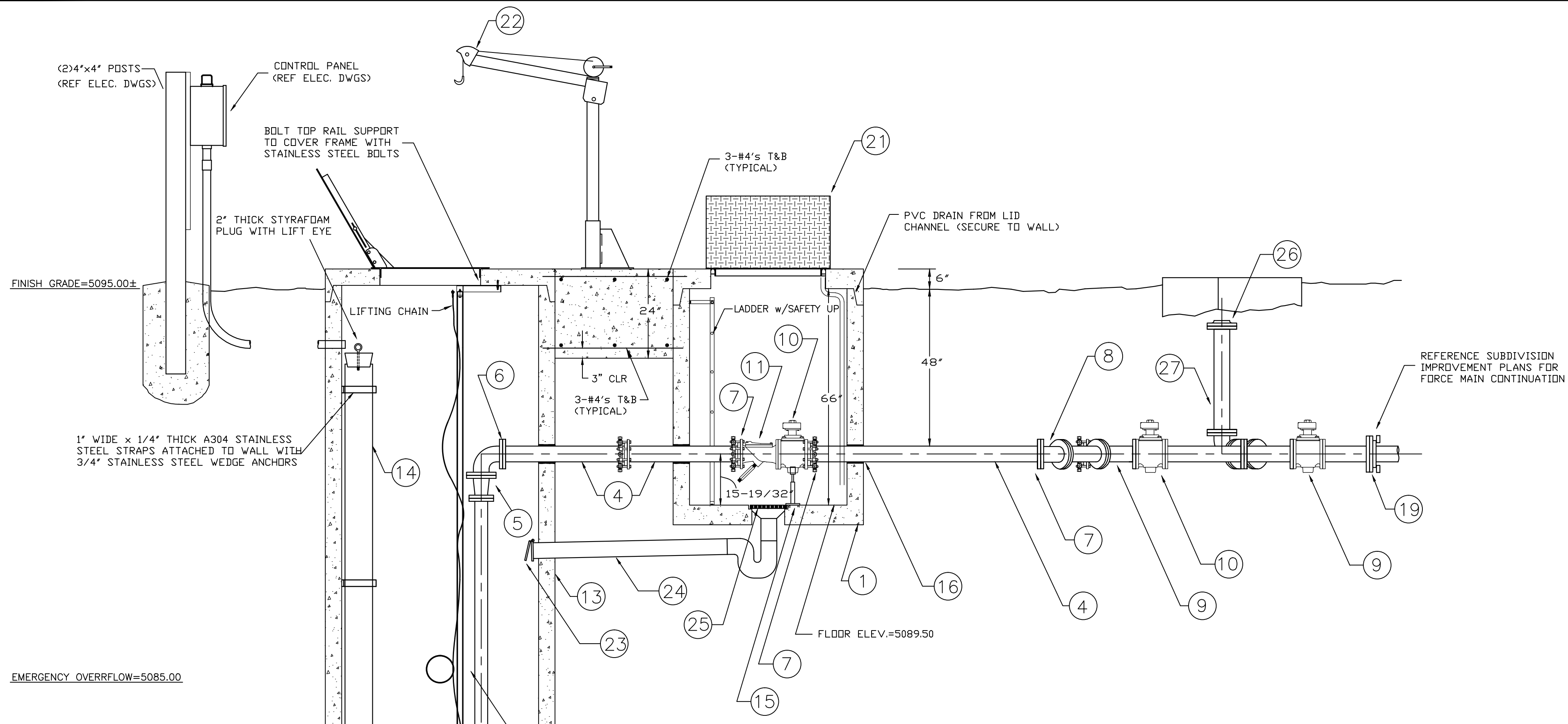
revisions

NO.	DESCRIPTION

drawn: GKG
checked: GKG
date: JANUARY 2017
scale: 1"=20'
project no:



N:\Axion Engineering\Projects\AER\Richard Nevils\Golden Mesa Lift Station SJP\GAIN\p10.dwg



SYSTEM CURVE	
FLOW	TDH
150 gpm	20'
200 gpm	21.8'
250 gpm	25'

DESIGN POINT	
FLOW	TDH
180 gpm	21'

NOTES:

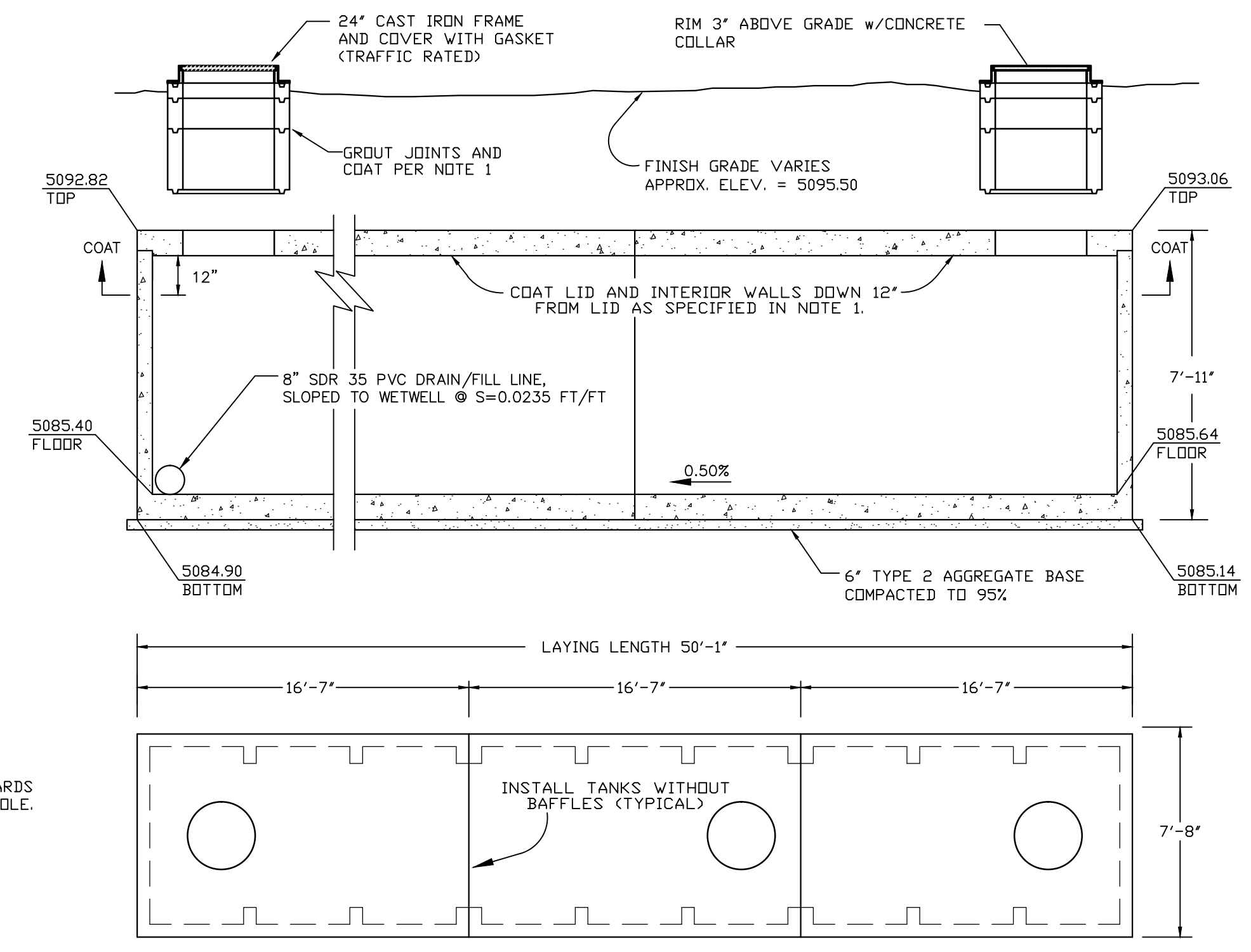
- 1) THE COATING SYSTEM SHALL BE A HIGH PERFORMANCE CHEMICALLY RESISTANT EPOXY. IT SHALL BE A SELF PRIMING, HIGH GLOSS, HIGH BUILD EPOXY MASTIC. THE CURED FILM SHALL PROVIDE A TOUGH, CLEANABLE, AND ABRASION RESISTANT SURFACE. THE SYSTEM SHALL BE SUITABLE FOR WASTEWATER IMMERSION AND RESISTANT TO HYDROGEN SULFIDE ATTACK. THE COATING SYSTEM SHALL BE A THREE COAT (6 MILS DFT PER COAT, 18 MILS TOTAL) SYSTEM UTILIZING CARBOLINE 890 OR ENGINEER APPROVED EQUAL. THE FINAL COAT COLOR SHALL BE SELECTED BY THE OWNER.
- 2) THE EXTERIOR OF THE WETWELL SHALL BE WATERPROOFED WITH PARASEAL GM HDPE/BENTONITE LINER OR ENGINEER APPROVED EQUAL. THE LINER SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS AND SHALL BE APPLIED AROUND THE ENTIRE STRUCTURE, INCLUDING THE MANHOLE BASE, TO WITHIN FOUR FEET OF PROPOSED FINISH GRADE.
- 3) FLOATS SHALL BE BLUEBOOK ROTO FLOAT NORMALLY OPEN INTERNALLY WEIGHTED FLOAT SWITCHES.
- 4) ASSURE DAVIT CRANE BASE IS MOUNTED IN PROPER LOCATION SO THAT HOOK IS OVER PUMP CHAIN.

SECTION VIEW
SCALE: 1/2"=1'-0"

PLAN VIEW
SCALE: 1/2"=1'-0"

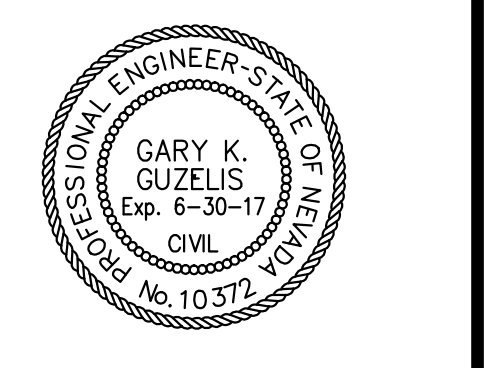
MATERIAL LIST		
ITEM No.	QTY.	DESCRIPTION
1	1	JENSEN PRECAST VAULT MODEL 4878-U WITH RISERS AS REQUIRED AND 30"x48" ALUMINUM TORSION ASSISTED NON-TRAFFIC RATED LID
2	2	GORMAN-RUPP JSV3C-E2.7 2.7HP, 3Ø, 480v, SUBMERSIBLE PUMP w/SS GUIDE RAILS, MOUNTING HARDWARE
3	* LF	3"Ø DUCTILE IRON FLG x FLG SPOOL
4	* LF	4"Ø DUCTILE IRON FLG x PE SPOOL
5	2	4"x3" DUCTILE IRON FLANGED CONCENTRIC REDUCER
6	3	4"Ø 90° DUCTILE IRON FLANGED ELBOW
7	7	4" EBAA IRON SERIES 2100 MEGAFLANGE ADAPTER
8	1	4"Ø 45° DUCTILE IRON FLANGED ELBOW
9	2	4"Ø DUCTILE IRON FLANGE WYE
10	4	4" FLANGE PLUG VALVE w/2" OPERATING NUT**
11	2	4" APCO SERIES 100R MODEL 104 SWING CHECK WITH BACKFLOW DEVICE
13	1	60"Ø PRECAST CONCRETE MANHOLE WITH FLAT TOP LID AND 30"x48" ALUMINUM TORSION ASSISTED LID.
14	* LF	8"Ø SDR 35 PVC
15	2	ADJUSTABLE PIPE SUPPORT, BOLTED TO FLOOR WITH MORTAR LEVELING PAD
16	8	EPOXY GROUT PIPE PENETRATION ANNULUS
17	1	8"Ø SDR 35 PVC TEE
18	1	8"Ø SDR 35 PVC 45° ELBOW
19	1	WELD ON FLANGE ADAPTOR FOR HDPE PIPE
20	* LF	4" SDR 17 HDPE
21	1	36"x60" ALUMINUM TORSION ASSISTED NON-TRAFFIC RATED LID
22	1	THERN 5123M1 PORTABLE DAVIT CRANE AND BASE
23	1	4" CAST IRON FLAPPER VALVE
24	* LF	4" DUCTILE IRON DRAIN WITH RUNNING TRAP
25	1	12" SQ. SLOTTED CAST IRON GRATE w/PENETRATION FOR 4" DRAIN
26	1	6" BLIND FLANGE INSTALLED 6" BELOW VAULT LID
27	* LF	6"Ø DUCTILE IRON FLG x FLG SPOOL

* LF = FIELD DETERMINE
** PROVIDE 18" KEY AND 84" KEY



15,000 GALLON EMERGENCY STORAGE TANK
NTS

LIFT STATION DETAILS



**SEWAGE LIFT STATION
GOLDEN MESA SOUTH
LIFT STATION DETAILS
WASHOE COUNTY, NEVADA**

revisions

No.	Description

drawn: GKG
checked: GKG
date: JANUARY 2017
scale: AS NOTED
project no: