



# Design Review Committee Staff Report

Meeting Date: April 14, 2016

Subject: Special Use Permit Case Number SW13-001  
Applicant: The Springs Evangelical Lutheran Church  
**Agenda Item Number: 6A**  
Summary: Review of design standards  
Prepared by: Roger Pelham, Senior Planner  
Washoe County Community Services Department  
Planning and Development Division  
Phone: 775.328.3622  
E-Mail: rpelham@washoecounty.us

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## Description

**Special Use Permit Case Number SW13-001** – Hearing, discussion and possible action to approve the landscaping and design plans for Special Use Permit Case Number SW13-001 involving the construct and operation of a Lutheran Church (Religious Assembly Use Type). The church building is proposed to be approximately 6000 square feet in size.

- Applicant/Property Owner: The Springs Lutheran Church, 150 Isidor Court, Sparks, NV 89441
- Location: The parcel is located between Pyramid Highway and Rockwell Boulevard approximately 1,100 feet north of its intersection with La Posada Drive. It is also located directly adjacent to and north of the SaveMart shopping center.
- Assessor's Parcel Number: 534-071-05
- Parcel Size: 2.62 Acres
- Master Plan Category: Suburban Residential
- Regulatory Zone: Low Density Suburban
- Area Plan: Spanish Springs
- Citizen Advisory Board: Spanish Springs
- Development Code: Article 810 Special Use Permits and Article 302 Allowed Uses
- Commission District: 4 – Commissioner Hartung
- Section/Township/Range: Section 35, T21N, R20E, MDM, Washoe County, NV

**DESIGN REVIEW COMMITTEE / LANDSCAPING REVIEW**

- f. Prior to any ground disturbing activity, the applicant shall submit a landscaping/architectural design plan to the Planning and Development Division for review and approval by the Design Review Committee. Said plan shall address, but not be limited to: type and color of building materials
- general architectural design
  - parking
  - parking lot circulation and striping
  - signage
  - exterior lighting
  - fencing
  - fencing materials for the northern property line shall be chain link with privacy slats.
  - trash enclosures
  - landscaping material (if plant material: type, size at time of planting, maturation size at full growth, period of time between planting and full growth)
  - landscaping location
  - landscaping irrigation system, and financial assurances that landscaping will be planted and maintained.
- g. A certification letter or series of letters by a registered landscape architect or other persons permitted to prepare landscaping and irrigation plans pursuant to N.R.S. 623A shall be submitted to and approved by the Planning & Development Division. The letter(s) shall certify that all applicable landscaping provisions of Articles [408, 410 and 412] of the Development Code have been met. Any landscaping plans and the letter shall be wet-stamped. The letter shall indicate any provisions of the code that the Director of the Planning and Development Division has waived.
- h. All landscaping shall be maintained in accordance with the provisions found in Section 110.412.75, Maintenance. A three-year maintenance plan shall be submitted by a licensed landscape architect registered in the State of Nevada to the Planning & Development Division, prior to a Certificate of Occupancy. The plan shall be wet-stamped.
- i. The side of the existing concrete-block wall on the southern property line, that faces the proposed church, shall be painted one solid, neutral-tone color to match the proposed church building.
- j. Any parking areas shown on the proposed plan shall be constructed prior to Certificate of Occupancy or final inspection for of the proposed church building.
- k. All exterior lighting shall be shielded such that light is emitted downward only.

Applicant/Property Owner: The Springs Evangelical Lutheran Church, Attn: Paul Cox, 150 Isidor Ct, Ste. 203, Sparks, NV 89441

Professional Consultant: Tectonics Design Group, Attn: Barrett Donovan, 10451 Double R Boulevard, Reno, NV 89521

# Design Review

## Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Development staff at 775.328.3600.

<b>Project Information</b>		Staff Assigned Case No.: _____	
Project Name: The Springs Lutheran Church			
Project Description: Construction of a new 6,000 square foot Lutheran Church on a 2.62 acre vacant parcel located on Rockwell Blvd north of LaPosada Drive.			
Project Address: 470 Rockwell Blvd			
Project Area (acres or square feet): 2.62 Acres			
Project Location (with point of reference to major cross streets AND area locator): Approximately 1,200 feet north of the centerline of LaPosada Drive & Rockwell Blvd in Spanish Springs.			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No(s):	Parcel Acreage:
534-071-05	2.62 ac.		
Section(s)/Township/Range: A portion of Section 35, T. 21 N. R. 20 E.			
Indicate any previous Washoe County approvals associated with this application: Case No.(s). SW13-001			
<b>Applicant Information</b> (attach additional sheets if necessary)			
<b>Property Owner:</b>		<b>Professional Consultant:</b>	
Name: Springs Evangelical Lutheran Church		Name: Tectonics Design Group	
Address: 150 Isidor Ct Suite 203		Address: 10451 Double R Blvd	
Sparks, NV	Zip: 89441	Reno, NV	Zip: 89521
Phone: (775) 425-2202	Fax: 775-425-2237	Phone: (775) 824-9988	Fax: 775-824-9986
Email: paul.village@sbcglobal.net		Email: barrett@tdg-inc.com	
Cell: (775) 622-7018	Other:	Cell: 775-473-9914	Other:
Contact Person: Paul Cox		Contact Person: Barrett Donovan	
<b>Applicant/Developer:</b>		<b>Other Persons to be Contacted:</b>	
Name: The Springs Lutheran Church		Name:	
Address: 150 Isidor Court		Address:	
Sparks, NV	Zip: 89441		Zip:
Phone: (775)425-2202	Fax: 775-425-2237	Phone:	Fax:
Email: paul.village@sbcglobal.net		Email:	
Cell: (775) 622-7018	Other:	Cell:	Other:
Contact Person: Paul Cox		Contact Person:	
<b>For Office Use Only</b>			
Date Received: 3/25/16	Initial: KM	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	



# Planning Commission Action Order

Amendment of Conditions Case Number AC15-006 for  
Special Use Permit Case Number SW13-001

Decision: **Approval with Amended Conditions**

Decision Date: February 2, 2016

Mailing/Filing Date: February 5, 2016

Property Owner: The Springs Lutheran Church  
150 Isidor Court, Suite 203  
Sparks, NV 89441

Assigned Planner: Roger Pelham, MPA, Senior Planner  
Washoe County Community Services Department  
Planning and Development Division  
Phone: 775.328.3622  
E-Mail: [rpelham@washoecounty.us](mailto:rpelham@washoecounty.us)

**Amendment of Conditions Case Number AC15-006 (The Springs Lutheran Church) –** Hearing, discussion, and possible action to approve a two-year extension of time to obtain all required building permits for the approved Special Use Permit (case number SW13-001) which allowed the construction and operation of a Lutheran Church (Religious Assembly Use Type). The church building is proposed to be approximately 6000 square feet in size.

- Applicant: The Springs Lutheran Church, 150 Isidor Court, Sparks, NV 89441
- Property Owner: The Springs Lutheran Church, 150 Isidor Court, Sparks, NV 89441
- Location: The parcel is located between Pyramid Highway and Rockwell Boulevard approximately 1,100 feet north of its intersection with La Posada Drive. It is also located directly adjacent and to, and north of the SaveMart shopping center.
- Assessor's Parcel No: 534-071-05
- Parcel Size: 2.62 Acres
- Master Plan Category: Suburban Residential
- Regulatory Zone: Low Density Suburban
- Area Plan: Spanish Springs
- Citizen Advisory Board: Spanish Springs
- Development Code: Article 810 Special Use Permits and Article 302 Allowed Uses
- Commission District: 4 – Commissioner Hartung
- Section/Township/Range: Section 35, Township 21 North, Range 20 East

Notice is hereby given that the Washoe County Planning Commission granted approval with amended conditions of the above referenced case number based on the findings in accordance with Washoe County Development Code Article 810, Special Use Permit. If no appeals have been filed within 10 calendar days after the Mailing/Filing date shown on this Action Order, the

To: The Springs Lutheran Church  
Subject: AC15-006  
Date: February 5, 2016  
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approval by the Washoe County Planning Commission is final. If filed, an appeal stays any further action on the permit until final resolution of the appeal. An appeal shall be filed in accordance with the provisions found in Article 912 of the Washoe County Development Code.

This decision is based on having made all four findings in accordance with Washoe County Development Code Section 110.810.30:

1. Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Spanish Springs Area Plan.
2. Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven.
3. Site Suitability. That the site is physically suitable for a church, and for the intensity of such a development.
4. Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.

This Action Order is issued subject to the attached amended conditions and Washoe County development standards. Please contact the planner assigned to your project at the above-referenced phone number within seven days of receipt of this Order to review the steps necessary to satisfy the Amended Conditions of Approval. Any business license, certificate of occupancy or final approval shall not be issued until all of the Amended Conditions of Approval (attached) are satisfied. Additionally, compliance shall be required with all federal, state and local statutes, ordinances and regulations applicable to the approved project.

**This Action Order does not authorize any development, to include building construction and grading, without the required permits from the Washoe County Building and Safety Division.**

Washoe County Community Services Department  
Planning and Development Division



Carl R. Webb, Jr., ACP  
Secretary to the Planning Commission

CRW/RP/ks

xc:

Applicant: The Springs Lutheran Church, Attn: Paul Cox, 150 Isidor Court, Suite 203, Sparks, NV 89441

To: The Springs Lutheran Church  
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Property Owner: The Springs Lutheran Church, Attn: Paul Cox, 150 Isidor Court, Suite 203, Sparks, NV 89441

Representative: Tectonics Design Group, Attn: Barrett Donovan, 10451 Double R Boulevard, Reno, NV 89521

Action Order xc: Nathan Edwards, District Attorney's Office; Keirsten Beck, Assessor's Office (CAAS); Josh Wilson, Assessor's Office; John Cella, Utilities; Leo Vesely, Engineering Division; Amy Ray, Truckee Meadows Fire Protection District; Regional Transportation Commission, Attn: Debra Goodwin; Spanish Springs Citizen Advisory Board, Chair.



# Amended Conditions of Approval

Amendment of Conditions Case Number AC15-006 for Special Use Permit Case Number SW13-001

The project approved under Amendment of Conditions Case Number AC15-006 for Special Use Permit Case Number SW13-001 shall be carried out in accordance with the Amended Conditions of Approval granted by the Planning Commission on February 2, 2016. Conditions of Approval are requirements placed on a permit or development by each reviewing agency. These Conditions of Approval may require submittal of documents, applications, fees, inspections, amendments to plans, and more. These conditions do not relieve the applicant of the obligation to obtain any other approvals and licenses from relevant authorities required under any other act or to abide by all other generally applicable Codes.

**Unless otherwise specified**, all conditions related to the approval of this Special Use Permit shall be met or financial assurance must be provided to satisfy the Conditions of Approval prior to issuance of a grading or building permit. The agency responsible for determining compliance with a specific condition shall determine whether the condition must be fully completed or whether the applicant shall be offered the option of providing financial assurance. All agreements, easements, or other documentation required by these conditions shall have a copy filed with the County Engineer and the Planning & Development Division.

Compliance with the Conditions of Approval related to this Special Use Permit is the responsibility of the applicant, his/her successor in interest, and all owners, assignees, and occupants of the property and their successors in interest. Failure to comply with any of the conditions imposed in the approval of the Special Use Permit may result in the initiation of revocation procedures.

Washoe County reserves the right to review and revise the Conditions of Approval related to this Special Use Permit should it be determined that a subsequent license or permit issued by Washoe County violates the intent of this approval.

For the purpose of conditions imposed by Washoe County, "may" is permissive and "shall" or "must" is mandatory.

Conditions of Approval are usually complied with at different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e., grading permits, building permits, etc.).
- Prior to obtaining a final inspection and/or a certificate of occupancy.
- Prior to the issuance of a business license or other permits/licenses.
- Some "Conditions of Approval" are referred to as "Operational Conditions". These conditions must be continually complied with for the life of the project or business.

**The Washoe County Commission oversees many of the reviewing agencies/departments with the exception of the following agencies.**

- **The DISTRICT BOARD OF HEALTH, through the Washoe County Health District, has jurisdiction over all public health matters in the Health District.**

**Any conditions set by the District Health Department must be appealed to the District Board of Health.**

FOLLOWING ARE CONDITIONS OF APPROVAL REQUIRED BY THE REVIEWING AGENCIES. EACH CONDITION MUST BE MET TO THE SATISFACTION OF THE ISSUING AGENCY.

**Washoe County Planning and Development Division**

1. The following conditions are requirements of the Planning & Development Division, which shall be responsible for determining compliance with these conditions.

**Contact Name** – Roger Pelham, 775.328.3622, rpelham@washoecounty.us

- a. The applicant shall demonstrate substantial conformance to the plans approved as part of this special use permit. The Planning & Development Division shall determine compliance with this condition.
- b. The applicant shall submit complete construction plans and building permits shall be issued within ~~two~~ four years from the date of approval by Washoe County. The applicant shall complete construction within the time specified by the building permits. Compliance with this condition shall be determined by the Planning & Development Division. [amended by Planning Commission on 2/2/2016]
- c. The applicant shall attach a copy of the action order approving this project to all administrative permit applications (including building permits) applied for as part of this special use permit.
- d. The required screening fence/wall on the north side of the project site shall be at least six feet in height and not greater than eight feet in height and shall be constructed of chain link fencing with slats. The color of the wall shall match the proposed church building. The required screening wall shall extend the entire length of the common property line.
- e. A note shall be placed on all construction drawings and grading plans stating:

**NOTE**

Should any prehistoric or historic remains/artifacts be discovered during site development, work shall temporarily be halted at the specific site and the State Historic Preservation Office of the Department of Museums, Library and Arts shall be notified to record and photograph the site. The period of temporary delay shall be limited to a maximum of two (2) working days from the date of notification.

- f. Prior to any ground disturbing activity, the applicant shall submit a landscaping/architectural design plan to the Planning & Development Division for review and approval by the Design Review Committee. Said plan shall address, but not be limited to:
  - type and color of building materials

- general architectural design
  - parking
  - parking lot circulation and striping
  - signage
  - exterior lighting
  - fencing
  - fencing materials for the northern property line shall be chain link with privacy slats.
  - trash enclosures
  - landscaping material (if plant material: type, size at time of planting, maturation size at full growth, period of time between planting and full growth)
  - landscaping location
  - landscaping irrigation system, and financial assurances that landscaping will be planted and maintained.
- g. A certification letter or series of letters by a registered landscape architect or other persons permitted to prepare landscaping and irrigation plans pursuant to N.R.S. 623A shall be submitted to and approved by the Planning & Development Division. The letter(s) shall certify that all applicable landscaping provisions of Articles [408, 410 and 412] of the Development Code have been met. Any landscaping plans and the letter shall be wet-stamped. The letter shall indicate any provisions of the code that the Director of the Planning and Development Division has waived.
- h. All landscaping shall be maintained in accordance with the provisions found in Section 110.412.75, Maintenance. A three-year maintenance plan shall be submitted by a licensed landscape architect registered in the State of Nevada to the Planning & Development Division, prior to a Certificate of Occupancy. The plan shall be wet-stamped.
- i. The side of the existing concrete-block wall on the southern property line, that faces the proposed church, shall be painted one solid, neutral-tone color to match the proposed church building.
- j. Any parking areas shown on the proposed plan shall be constructed prior to Certificate of Occupancy or final inspection for of the proposed church building.
- k. All exterior lighting shall be shielded such that light is emitted downward only.
- l. The following **Operational Conditions** shall be required for the life of the development:
1. This special use permit shall remain in effect until or unless it is revoked or is inactive for one year.
  2. Failure to comply with the Conditions of Approval shall render this approval null and void. Compliance with this condition shall be determined by the Planning & Development Division.
  3. The applicant and any successors shall direct any potential purchaser/operator of the site and/or the special use permit to meet with

the Planning & Development Division to review Conditions of Approval prior to the final sale of the site and/or the special use permit. Any subsequent purchaser/operator of the site and/or the special use permit shall notify the Planning & Development Division of the name, address, telephone number, and contact person of the new purchaser/operator within 30 days of the final sale.

**Washoe County Engineering and Capital Projects Division**

2. The following conditions are requirements of the Engineering and Capital Projects Division, which shall be responsible for determining compliance with these conditions.

**Contact Name** – John Cella, 755.954.4656, [jcella@washoecounty.us](mailto:jcella@washoecounty.us)

- a. The applicant shall dedicate necessary water rights prior to issuance of the building permit. The dedication of water rights shall be in accordance with Article 422, the Spanish Springs Area Plan. Water rights must be in good standing with the State of Nevada Division of Water Resources and the point of diversion, place and manner of use must be acceptable to the DWR.
  - b. Landscape plans shall be submitted to the Community Services Department (CSD) for review of the additional Water Rights to be dedicated.
  - c. All fees shall be paid in accordance with Washoe County Ordinance prior to release of building permit.
  - d. Improvement plans shall be submitted and approved by CSD prior to issuance of building permit. They shall be in compliance with Washoe County Design Standards, NAC445A, and be designed by a Professional Engineer licensed to practice in the State of Nevada.
  - e. CSD approved improvement plans shall be used for the new water and sewer services, and CSD will be responsible for the inspection of the new water and sewer services.
3. The following conditions are requirements of the Engineering and Capital Projects Division, which shall be responsible for determining compliance with these conditions.

**Contact Name** – Leo Vesely, 755.325.8032, [lvesely@washoecounty.us](mailto:lvesely@washoecounty.us)

- a. A complete set of construction improvement drawings, including an on-site grading plan, shall be submitted when applying for a building/grading permit. Grading shall comply with best management practices (BMP's) and shall include detailed plans for grading, site drainage, erosion control (including BMP locations and installation details), slope stabilization, and mosquito abatement. Placement or removal of any excavated materials shall be indicated on the grading plan. Silts shall be controlled on-site and not allowed onto adjacent property.
- b. A hydrology/hydraulic report prepared by a registered engineer shall be submitted to the Engineering Division for review and approval. The report shall include the locations, points of entry and discharge, flow rates and flood limits of all 5- and 100-year storm flows impacting both the site and offsite areas and the methods for handling those flows. The report shall include all storm drain pipe

- and ditch sizing calculations and a discussion of and mitigation measures for any impacts on existing offsite drainage facilities and properties.
- c. Any increase in storm water runoff resulting from the development of the site shall be detained on site to the satisfaction of the County Engineer.
  - d. The owner/ applicant shall obtain from the Nevada Division of Environmental Protection a Stormwater Discharge Permit for construction and submit a copy to the Engineering Division prior to issuance of a grading permit.
  - e. The owner/applicant shall complete and submit the Construction Permit Submittal Checklist, the Performance Standards Compliance Checklist and pay the Construction Stormwater Inspection Fee prior to obtaining a grading permit. The County Engineer shall determine compliance with this condition.
  - f. A grading bond of \$2,000/acre of disturbed area shall be provided to the Engineering Division prior to issuance of a grading permit.
  - g. The applicant/owner shall provide pretreatment for petrochemicals and silt for all storm drainage from the site to the satisfaction of the County Engineer.
  - h. All disturbed areas left undeveloped for more than 30 days shall be treated with a dust palliative. Disturbed areas left undeveloped for more than 45 days shall be revegetated. Methods and seed mix must be approved by the County Engineer with technical assistance from the Washoe-Storey Conservation District.

#### **Washoe County Health District**

4. The following conditions are requirements of the Health District, which shall be responsible for determining compliance with these conditions. The District Board of Health has jurisdiction over all public health matters in the Health District. Any conditions set by the Health District must be appealed to the District Board of Health.

**Contact Name** – Charlene Albee, 775.784.7211, calbee@wsahoeconomy.us

- a. An Air Quality Dust Control permit is required prior to approval of construction permits.

#### **Truckee Meadows Fire Protection District**

5. The following conditions are requirements of the Truckee Meadows Fire Protection District, which shall be responsible for determining compliance with these conditions.

**Contact Name** – Amy Ray, 775.326.6005, aray@tmfpd.us

- a. This project shall meet all the requirements of Washoe County Code Chapter 60.
- b. Access to the building and property shall be in accordance with Washoe County Code Chapter 60. Modifications to the current site plan may be required to meet required access to the building and property.
- c. Water for fire suppression and an automatic fire suppression and alarm system shall be provided for the building in accordance with Washoe County Code

Chapter 60. Fire hydrant, FDC and PIV locations shall be approved by TMFPD prior to installation.

**\*\*\* End of Conditions \*\*\***

Property Owner Affidavit

Applicant Name: The Springs Lutheran Church

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA )  
COUNTY OF WASHOE )

I, Allen C Coluris Council President  
(please print name)

being duly sworn, depose and say that I am the owner\* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Development.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 534-071-05

Printed Name Allen C Coluris

Signed [Signature]

Address 150 BLOOR CT, SPARKS NV

Subscribed and sworn to before me this 24 day of March, 2016

[Signature]  
Notary Public in and for said county and state

My commission expires: 1-12-19



\*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of recorded document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

# The Springs Lutheran Church

470 Rockwell Boulevard  
Sparks, Nevada

Copyright: All drawings herein are the property of Tectonics Design Group and may not be reproduced or used in any capacity without the written authorization of Tectonics Design Group.

Drawn: M.J.T.  
Designed: M.J.T.  
Checked/Stamped: BARRETT M. DONOVAN, S.E.

Stamp: PERMIT SET

**DESIGN TEAM**

**Client:**  
THE SPRINGS LUTHERAN CHURCH  
150 Isidor Court  
Sparks, NV 89441  
(775) 354-2800  
Attn: David Ingram

**Contractor:**  
Solum Construction  
405 Marsh Avenue  
Reno, NV 89509  
775-200-6333  
Attn: Casey Solum

**Architect:**  
TECTONICS DESIGN GROUP  
10451 Double R Blvd  
Reno, Nevada 89521  
(775) 824-9988 Fax: (775) 824-9986  
Attn: Mike Thomson

**Civil Engineer:**  
C&M ENGINEERING AND DESIGN, LTD  
9498 Double R Blvd, Suite B  
Reno, Nevada 89521  
(775) 856-3312  
Attn: Lisa Menante

**Structural Engineer:**  
TECTONICS DESIGN GROUP  
10451 Double R Blvd  
Reno, Nevada 89521  
(775) 824-9988 Fax: (775) 824-9986  
Attn: Barrett Donovan

**Landscape Architect:**  
L.A. STUDIO NEVADA  
1109 West Moana Lane  
Reno, Nevada 89509  
(775) 323-2223  
Attn: Ryan Hansen

**Geotechnical Engineer:**  
BLACK EAGLE CONSULTING, INC.  
1345 Capital Boulevard, Suite A  
Reno, Nevada 89502  
(775) 359-6600 Fax: (775) 359-7766  
Attn: Vimal Vimalaraj

**Mechanical:**  
ETCHEMENDY ENGINEERING INC.  
19597 Double R Blvd  
Reno, Nevada 89521  
(775) 853-1131 Fax: (775) 852-2352  
Attn: Brandon Etchemendy

**Plumbing:**  
ETCHEMENDY ENGINEERING INC.  
19597 Double R Blvd  
Reno, Nevada 89521  
(775) 853-1131 Fax: (775) 852-2352  
Attn: Brandon Etchemendy

**Electrical:**  
JP ENGINEERING, LLC  
10597 Double R Blvd  
Reno, Nevada 89521  
(775) 852-2337  
Attn: Mark Tatro

**PROJECT INFORMATION**

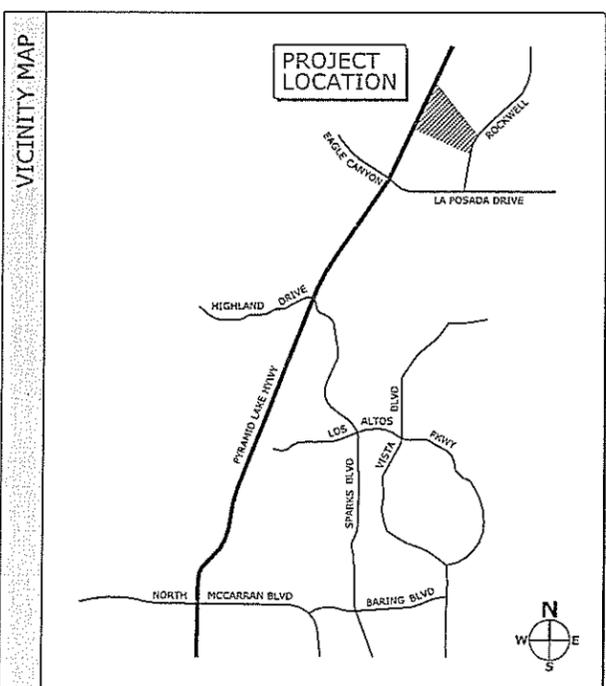
ADDRESS: 470 ROCKWELL BLVD  
APN: 534-071-05  
JURISDICTION: WASHOE COUNTY, NEVADA  
PARCEL ZONING: LDS  
LOCAL CODES: 2012 NORTHERN NEVADA AMENDMENTS  
APPLICABLE CODES: 2012 INTERNATIONAL BUILDING CODE  
2011 NATIONAL ELECTRICAL CODE  
2012 UNIFORM MECHANICAL CODE  
2009 INTERNATIONAL ENERGY CONSERVATION CODE

THIS PERMIT INVOLVES THE CONSTRUCTION OF A 6,593 SQUARE FOOT CHURCH. SITE WORK UNDER A SEPARATE PERMIT.

OCCUPANCY OF BUILDING: A-3  
CONSTRUCTION TYPE: TYPE VB  
ALLOWABLE BUILDING AREA: 16,000 SF  
(WITH FIRE SPRINKLER INCREASE)  
PROPOSED BUILDING AREA: 6,593 SF  
FIRE SPRINKLER SYSTEM: YES  
(SPRINKLER SYSTEM UNDER SEPARATE PERMIT)

EGRESS AND TRAVEL DISTANCES - SEE SHEETS A2.7 AND A2.8  
PARKING CALCULATION - SEE SHEET A1.1

**DEFERRED SUBMITTALS:**  
FIRE SPRINKLER SYSTEM AND PRE-ENGINEERED ROOF TRUSSES.



**DRAWING INDEX**

DRAWING	DESCRIPTION
PS.1	PROJECT SHEET, DRAWING INDEX, DESIGN TEAM, VICINITY MAP
<b>CIVIL</b>	
	CIVIL WORK UNDER SEPARATE PERMIT - NO. 15-0859 (REFERENCE DRAWINGS ONLY)
CI	TITLE SHEET
Q	GENERAL NOTES
C3	SITE PLAN
C4	GRADING PLAN
C5	UTILITY PLAN
C6	DETAILS
C7	DETAILS/AUTOTURN
C8	DETAILS/GEOTECHNICAL
W1	TMWA W1 NOTES AND PLAN
W2	TMWA W2 DETAILS
W3	TMWA W3 DETAILS
<b>LANDSCAPE</b>	
L1	LANDSCAPE PLAN
L2	IRRIGATION PLAN
L3	MULCH PLAN
L4	LANDSCAPE DETAILS - SPECS
L5	IRRIGATION DETAILS
<b>ARCHITECTURAL</b>	
A0.1	GENERAL NOTES
A0.2	GENERAL NOTES, ABBREVIATIONS AND SYMBOLS
A1.1	SITE PLAN
A2.1	GROUND LEVEL FLOOR PLAN
A2.2	MECHANICAL MEZZANINE LEVEL FLOOR PLAN
A2.3	ROOF PLAN
A2.4	GROUND LEVEL REFLECTED CEILING PLAN
A2.5	MECHANICAL MEZZANINE LEVEL REFLECTED CEILING PLAN
A2.6	ENLARGED FLOOR PLANS
A2.7	GROUND LEVEL EXITING PLAN
A2.8	MECHANICAL MEZZANINE LEVEL EXITING PLAN
A3.1	EXTERIOR ELEVATIONS - SOUTH AND EAST
A3.2	EXTERIOR ELEVATIONS - NORTH AND WEST
A4.1	BUILDING SECTIONS
A4.2	BUILDING SECTIONS
A4.3	BUILDING SECTIONS
A5.1	SCHEDULES, DOOR & WINDOW TYPES
A7.1	DETAILS
A7.2	DETAILS
A9.1	INTERIOR ELEVATIONS
<b>STRUCTURAL</b>	
S0.1	GENERAL NOTES AND DESIGN CRITERIA
S2.1	FOUNDATION PLAN
S2.1A	SLAB LAYOUT AND FRAMING PLAN
S2.2	MEZZANINE FRAMING PLAN
S2.3	ROOF FRAMING PLAN
S2.4	STEEPLE FRAMING PLAN
S3.1	BUILDING SECTIONS
S3.2	BUILDING SECTIONS
S5.1	CONCRETE AND EARTHWORK DETAILS
S6.1	FRAMING DETAILS
S6.2	FRAMING DETAILS
S6.3	FRAMING DETAILS

DRAWING	DESCRIPTION
EC1.1	ENERGY COMPLIANCE DOCUMENTATION
MP1.1	MECHANICAL SPECIFICATIONS
MD.1	MECHANICAL NOTES, SCHEDULES
M1.1	FIRST FLOOR MECHANICAL PLAN
M2.1	MEZZANINE MECHANICAL PLAN
M3.1	MECHANICAL DETAILS
<b>PLUMBING</b>	
P0.1	PLUMBING SCHEDULES & NOTES
P1.1	FIRST FLOOR WASTE & VENT PIPING PLAN
P2.1	FIRST FLOOR WATER & GAS PIPING PLAN
P2.2	MEZZANINE WATER & GAS PIPING PLAN
P3.1	PLUMBING DETAILS
<b>ELECTRICAL</b>	
E0.1	SYMBOL, LIST AND GENERAL NOTES
E0.2	SINGLE LINE DIAGRAM AND DETAILS
E0.3	ENERGY COMPLIANCE AND SCHEDULES
E0.4	SCHEDULES
E0.5	LIGHTNING PROTECTION AND GROUNDING DETAILS
E1.1	SITE ELECTRICAL PLAN
E1.2	SITE PHOTOMETRIC PLAN
E2.1	MAIN FLOOR ELECTRICAL PLAN
E2.2	MEZZANINE ELECTRICAL PLAN
E3.1	MAIN FLOOR LIGHTING PLAN
E3.2	MEZZANINE LIGHTING PLAN

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**TECTONICS**  
LUTHERAN CHURCH

PROJECT/CUSTOMER: #14144  
DATE: 04/21/15  
SUBMITTAL RECORD: SUBMITTAL PERMIT SET

SHEET TITLE: PROJECT SHEET: DESIGN TEAM, DRAWING INDEX, VICINITY MAP  
PS.1

PLANT LIST

SYM.	QNT.	BOTANICAL NAME/Common Name	MIN. SIZE
<b>DECIDUOUS TREES</b>			
A	4	Acer platanoides/Norway Maple	
B	3	Fraxinus pennsylvanica/Patmore/Patmore Ash	
C	6	Malus 'Spring Snow'/Fruitless Flowering Crab	
D	4	Prunus cerasifera/Krauter Vasulke/K.V. Plum	
E	3	Pyrus calleryana/Capital/Capital Pear	
F	3	Quercus rubra/Rod Oak	

<b>EVERGREEN TREES</b>			
G	10	Calocedrus decurrens/Incense Cedar	5' Min. Ht.
H	4	Picea pungens 'Glauca'/Colorado Blue Spruce	7' Min. Ht.
I	12	Pinus nigra/Austrian Pine	7' Min. Ht.
<b>COLUMNAR JUNIPERS</b>			
J	3	Juniperus chinensis 'Blue Point'/Blue Point Juniper	4' Min. Ht.
K	14	Juniperus chinensis 'Spartan'/Spartan Juniper	4' Min. Ht.
<b>SHRUBS &amp; ORNAMENTAL GRASSES</b>			
L	4	Acer glabrum/Amur Maple	5 Gal.
M	8	Aronia arbutifolia/Brilliantissima/Brilliant Red Chokeberry	5 Gal.
N	13	Berberis thunbergii 'Atropurpurea'/Red-leaf Barberry	5 Gal.
O	21	Calamagrostis x acutiflora 'Karl Foerster'/Feather Reed Grass	1 Gal.
P	11	Cornus stolonifera/Rodding Dogwood	5 Gal.
Q	19	Cotoneaster dammeri 'Lanfangs'/Lowfast Cotoneaster	5 Gal.
R	11	Evonymus alatus 'Compactus'/Dwarf Burning Bush	5 Gal.
S	51	Evonymus japonicus/Evergreen Evonymus	5 Gal.
T	4	Forsythia x intermedia/Forsythia	5 Gal.
U	21	Hibiscus syriacus 'Helene'/Helene Rose of Sharon	5 Gal.
V	33	Lonicera japonica 'Halliana'/Hall's Honeysuckle	5 Gal.
W	54	Juniperus chinensis 'Sea Green'/S.G. Juniper	5 Gal.
X	8	Juniperus horizontalis 'Prince of Wales'/Prince of Wales Juniper	5 Gal.
Y	50	Juniperus sabina 'Tamariscifolia'/Tamarix Juniper	5 Gal.
Z	26	Miscanthus sinensis 'Gracillimus'/Maiden Grass	1 Gal.
AA	11	Paroskia atriplicifolia/Russian Sage	1 Gal.
AB	21	Pinus mugo 'pumilio'/Dwarf Mugo Pine	5 Gal.
AC	9	Potentilla fruticosa 'Jackmanii'/Potentilla	5 Gal.
AD	20	Prunus x sibirica/Purple Leaf Plum	5 Gal.
AE	19	Rhus aromatica 'Gro-Low'/Gro-Low Fragrant Sumac	5 Gal.
AF	25	Rosa x 'Noora'/Red Groundcover Rose	5 Gal.
AG	28	Rosa x 'Radrazz'/Knock Out Rose	5 Gal.
AH	12	Spiraea x bumalda 'Goldflame'/Goldflame Spiraea	1 Gal.
AI	5	Syringa vulgaris 'Miss Kim'/Miss Kim Lilac	5 Gal.

**SEED BLEND**  
Contractor shall provide geotextile fabric (i.e. Pyramat O.A.E) or other approved erosion control fabric if required per the project geotechnical engineers recommendations.

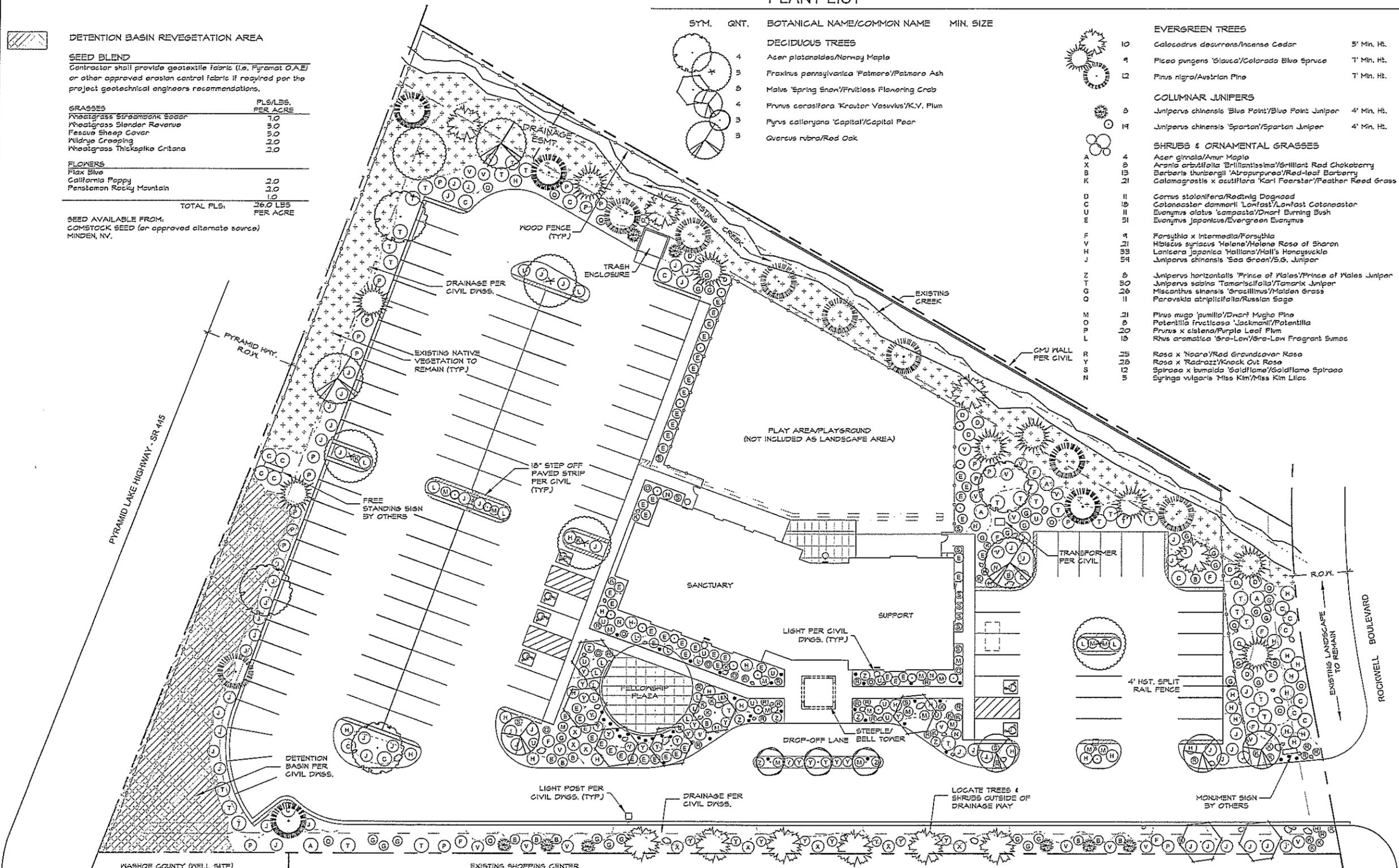
GRASSES	PLS/LBS. PER ACRE
Kentucky Bluegrass	1.0
Wheatgrass Slender Roanue	5.0
Fescue Sheep Cover	5.0
Wildrye Creeping	2.0
Wheatgrass Thickspike Critana	2.0

FLOWERS	PLS/LBS. PER ACRE
Flax Blue	2.0
California Poppy	2.0
Penstemon Rocky Mountain	1.0

TOTAL PLS: 26.0 LBS PER ACRE

SEED AVAILABLE FROM:  
COMSTOCK SEED (an approved alternate source)  
MINDEN, NV.



**PERENNIALS/FLOWERS**  
Evenly distribute the following perennials throughout the landscape where shown on plan.

a	7	Artemisia schmidtiana/Silver Mound	1 Gal.
b	8	Homeroadilla x 'Summer Wine'/Summer Wine Daylily	1 Gal.
c	1	Levanderia angustifolia/Lavender	1 Gal.
d	1	Nepeta racemosa/Catnip	1 Gal.
e	7	Salvia x superba 'May Night'/May Night Salvia	1 Gal.

**LANDSCAPE BOLDERS** - Salvaged on-site or imported landscape boulders to be randomly placed throughout the landscape as indicated per plan. Size to vary 24" dia. min.

**EXISTING NATIVE LANDSCAPE TO REMAIN**

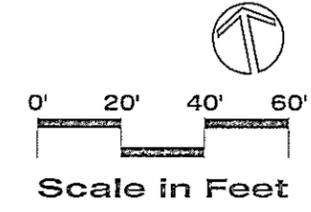
**LANDSCAPE DATA**

JURISDICTION: WASHOE COUNTY  
TOTAL SITE AREA: 2.62 ACRES (114,127 SQ FT)  
ZONING: CIVIC USE

REQUIRED LANDSCAPE AREA: 22,825 SQ FT (20% OF SITE AREA)  
PROVIDED LANDSCAPE AREA: 44,250 SQ FT

TREES REQUIRED: 42  
ONE (1) TREE PER 10 PARKING SPACES = 11  
ONE (1) TREE PER 50 LF OF STREET FRONTAGE = 11  
ROCKWELL BOULEVARD: 2 = PYRAMID HWY. I  
ONE (1) TREE PER 20 LF OF PROPERTY FRONTAGE ADJACENT RESIDENTIAL = 21

TREES PROVIDED: 42



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DESIGNED: J.W.H.  
CHECKED/STAMPED: J.W.H.  
RYAN HANSEN, ASLA

REGISTERED LANDSCAPE ARCHITECT  
STATE OF NEVADA  
440  
Expires: 6/2015

PERMIT SET

DESIGNER: **TECTONICS DESIGN GROUP**  
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Tel: 775-824-0988 Fax: 775-824-0988

PROJECT CLIENT: **The SPIRITINGS LUTHERAN CHURCH**

DATE: 04/21/15 SUBMITTAL PERMIT SET

PROJECT RECORD: # 14144

SHEET TITLE: LANDSCAPE PLAN

L1 OF 5

# IRRIGATION LEGEND

- IRRIGATION CONTROLLERS: RAIN BIRD ESPLXME 8-STATION CONTROLLER PER PLAN. CONTRACTOR TO VERIFY LOCATION & POWER SOURCE PRIOR TO CONSTRUCTION.
- 1" WATER METER
- 1" REDUCED PRESSURE TYPE BACKFLOW PREVENTER: WILKENS 475XL (OAE). INSTALL PER DETAIL(S).
- MANUAL DRAIN VALVE: 3/4" BRASS GATE VALVE. (GRINNELL OR OAE) INSTALL AT ALL LOW POINTS ALONG MAINLINE
- BRASS GATE VALVE (GRINNELL OR OAE) FOR MAINLINE ISOLATION. SAME SIZE AS MAINLINE.
- DRIFT VALVE ASSEMBLY. FOR FLOWS BELOW 5 GPM INSTALL RAIN BIRD XGZ-LF-100 LOW FLOW DRIP KIT. FOR FLOWS FROM 5 TO 20 GPM INSTALL RAIN BIRD XGZ-FRB-100-COM DRIP KIT.
- SPRAY VALVE: RAIN BIRD FEB (WITH FR5-D MODULE TO PREVENT MISTING IF NEEDED DUE TO HIGH PRESSURE). SIZE PER PLAN.

- QUICK COUPLER: RAIN BIRD 44LRC (OAE). PROVIDE QUICK COUPLERS AT LOCATIONS SHOWN ON THE PLANS).
- VALVE I.D. - STATION #, VALVE SIZE, AND APPROX. G.P.M.
- SCH. 40 PVC MAINLINE. SIZE AS SHOWN ON PLAN
- SCH. 40 PVC LATERAL PER CHART BELOW

IRRIGATION LATERAL PIPE SIZE CHART

PIPE SIZE	FLOW RATE
3/4" SCH 40	1-5 GPM
1" SCH 40	1-11 GPM
1-1/4" SCH 40	15-22 GPM

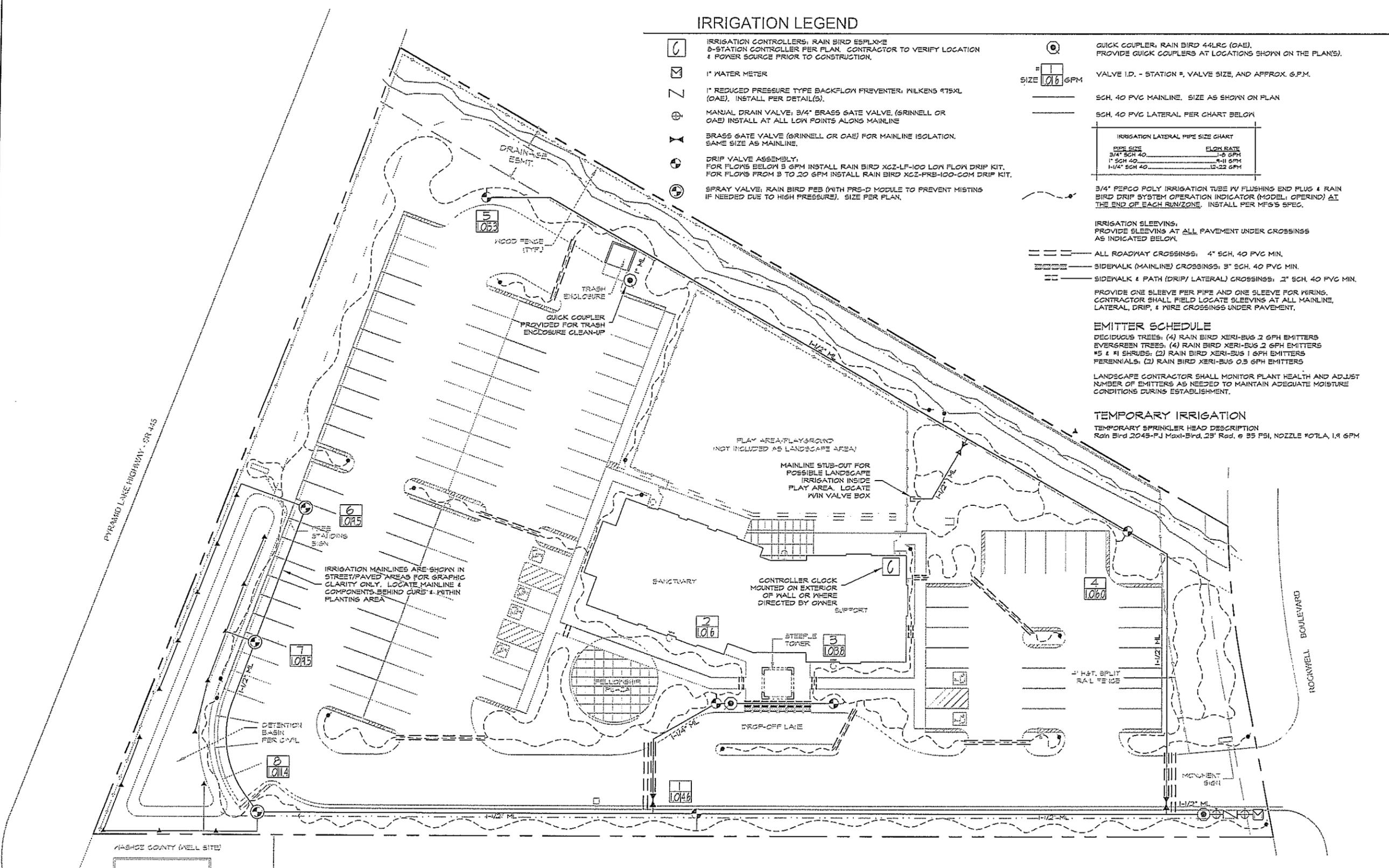
- 3/4" PEPCO POLY IRRIGATION TUBE W/ FLUSHING END PLUG & RAIN BIRD DRIP SYSTEM OPERATION INDICATOR (MODEL: OPERIND) AT THE END OF EACH RUN/ZONE. INSTALL PER MFG'S SPEC.
- IRRIGATION SLEEVING. PROVIDE SLEEVING AT ALL PAVEMENT UNDER CROSSINGS AS INDICATED BELOW.
- ALL ROADWAY CROSSINGS: 4" SCH. 40 PVC MIN.
- SIDEWALK (MAINLINE) CROSSINGS: 3" SCH. 40 PVC MIN.
- SIDEWALK & PATH (DRIP) LATERAL CROSSINGS: 2" SCH. 40 PVC MIN.

PROVIDE ONE SLEEVE PER PIPE AND ONE SLEEVE FOR WIRING. CONTRACTOR SHALL FIELD LOCATE SLEEVING AT ALL MAINLINE, LATERAL, DRIP, & WIRE CROSSINGS UNDER PAVEMENT.

**EMITTER SCHEDULE**  
 DECIDUOUS TREES: (4) RAIN BIRD XERI-BUG 2 GPH EMITTERS  
 EVERGREEN TREES: (4) RAIN BIRD XERI-BUG 2 GPH EMITTERS  
 #5 & #1 SHRUBS: (2) RAIN BIRD XERI-BUG 1 GPH EMITTERS  
 PERENNIALS: (2) RAIN BIRD XERI-BUG 0.5 GPH EMITTERS

LANDSCAPE CONTRACTOR SHALL MONITOR PLANT HEALTH AND ADJUST NUMBER OF EMITTERS AS NEEDED TO MAINTAIN ADEQUATE MOISTURE CONDITIONS DURING ESTABLISHMENT.

**TEMPORARY IRRIGATION**  
 TEMPORARY SPRINKLER HEAD DESCRIPTION  
 Rain Bird 2045-FJ Maxi-Bird, 28" Rod, @ 55 PSI, NOZZLE #07LA, 1.4 GPM



IRRIGATION MAINLINES ARE SHOWN IN STREET/PAVED AREAS FOR GRAPHIC CLARITY ONLY. LOCATE MAINLINE & COMPONENTS BEHIND CURB & WITHIN PLANTING AREA

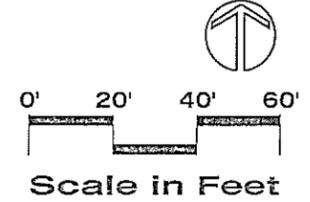
PLAY AREA/PLAYGROUND NOT INCLUDED AS LANDSCAPE AREA

MAINLINE STUB-OUT FOR POSSIBLE LANDSCAPE IRRIGATION INSIDE PLAY AREA. LOCATE W/IN VALVE BOX

CONTROLLER CLOCK MOUNTED ON EXTERIOR OF WALL OR WHERE DIRECTED BY OWNER SUPPORT

**DESIGN PRESSURE NOTE:**  
 ASSUMED AVAILABLE WATER PRESSURE AT P.O.C. IS 65 PSI. ASSUMED FLOW IS 12 GPM @ 5 FPS. CONTRACTOR TO VERIFY PRIOR TO SYSTEM INSTALLATION. FUTURE PRESSURES MAY VARY DUE TO NEW DEVELOPMENT AND/OR OTHER UNFORESEEN CIRCUMSTANCES. LANDSCAPE ARCHITECT SHALL BEAR NO RESPONSIBILITY FOR FUTURE DEVIATIONS IN PRESSURE AND ANY RESULTING EFFECTS ON THE PERFORMANCE OF THE IRRIGATION SYSTEM.

IRRIGATION MAINLINES ARE SHOWN IN STREET/PAVED AREAS FOR GRAPHIC CLARITY ONLY. WHERE POSSIBLE, ALL IRRIGATION COMPONENTS SHALL BE LOCATED IN PLANTING BEDS.



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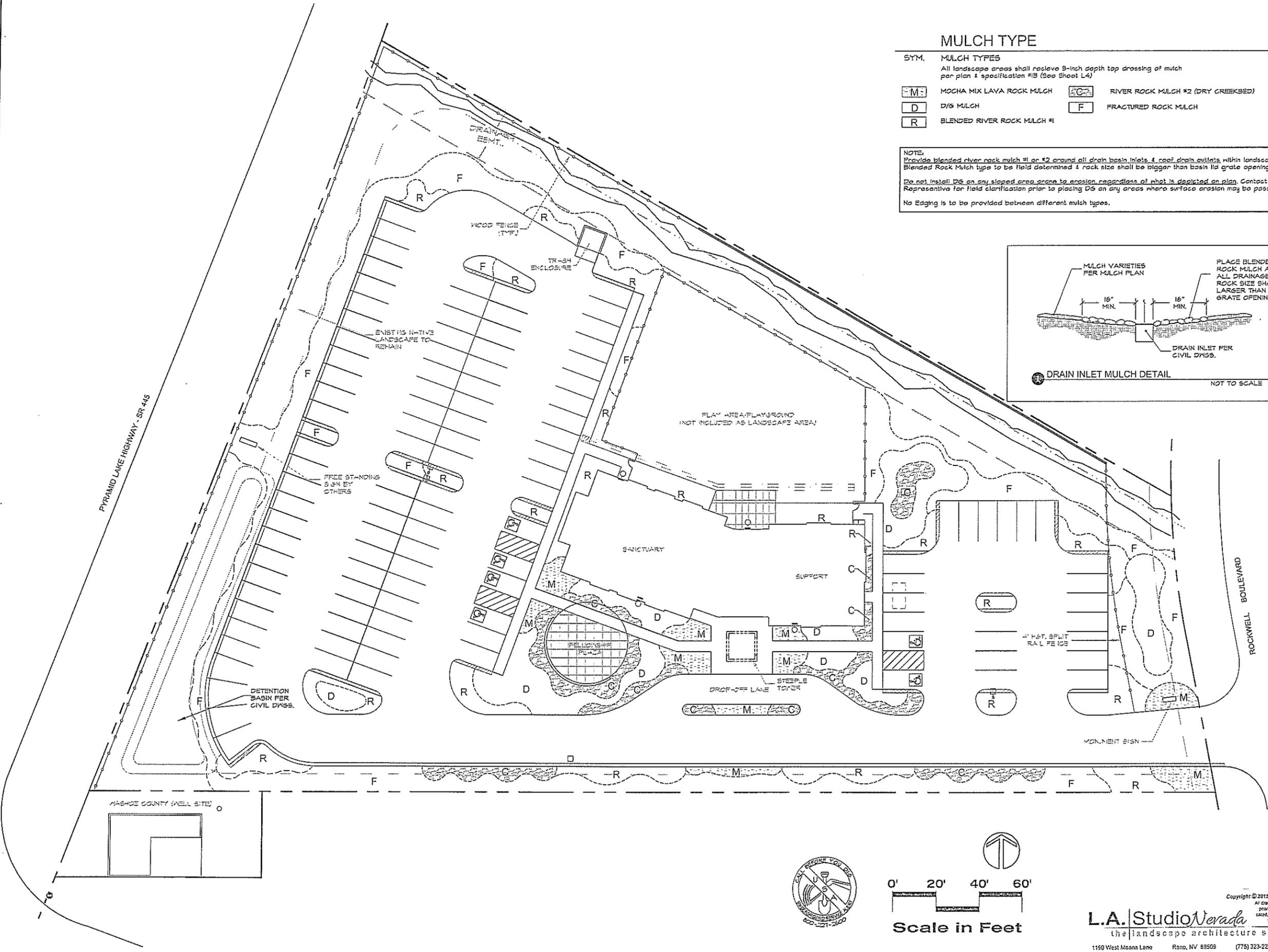
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PROJECT/CLIENT: # 1414  
 DATE: 04/21/15  
 SUBMITTAL PERMIT SET

PROJECT/CLIENT: **The SPIRITINGS LUTHERAN CHURCH**

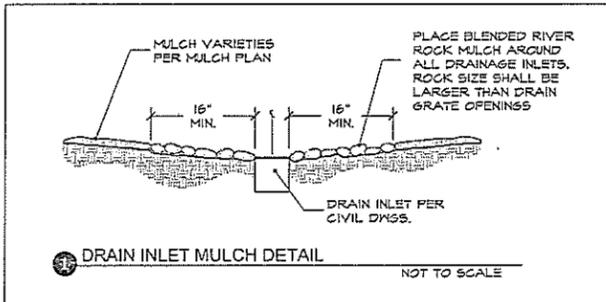
SHEET/TITLE: IRRIGATION PLAN  
 L2 OF 5



### MULCH TYPE

SYM.	MULCH TYPES
M	MOCHA MIX LAVA ROCK MULCH
D	D/S MULCH
R	BLENDED RIVER ROCK MULCH #1
C	RIVER ROCK MULCH #2 (DRY CREEKBED)
F	FRACTURED ROCK MULCH

**NOTE:**  
 Provide blended river rock mulch #1 or #2 around all drain basin inlets & roof drain outlets within landscape areas. Blended Rock Mulch type to be field determined & rock size shall be bigger than basin lid grate opening.  
 Do not install DS on any sloped area prone to erosion regardless of what is depicted on plan. Contact Owner's Representative for field clarification prior to placing DS on any areas where surface erosion may be possible.  
 No Edging is to be provided between different mulch types.

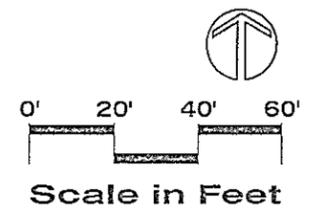


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**DRAWN:** J.W.H.  
**DESIGNED:** J.W.H.  
**CHECKED/STAMPED:** RYAN HANSEN, ASLA  
**REGISTERED LANDSCAPE ARCHITECT**  
 440  
 ENGINEER 53015  
 STATE OF NEVADA  
**STAMP:** PERMIT SET

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**The SPIRITICS**  
 LUTHERAN CHURCH

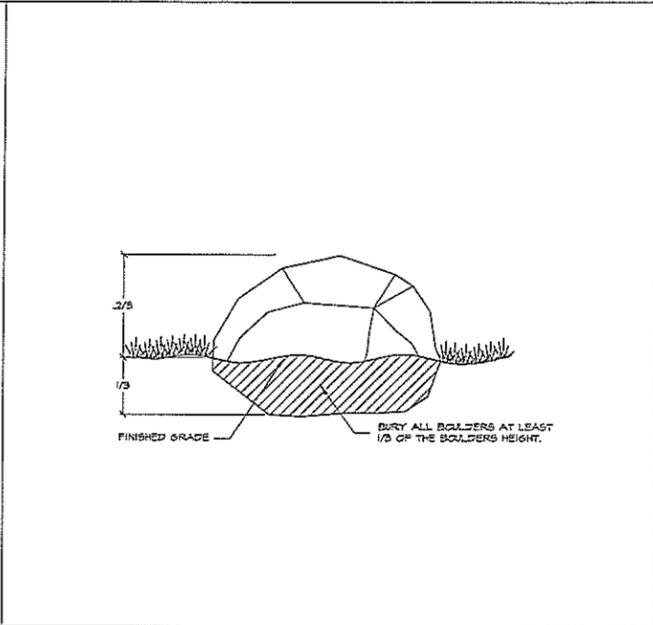
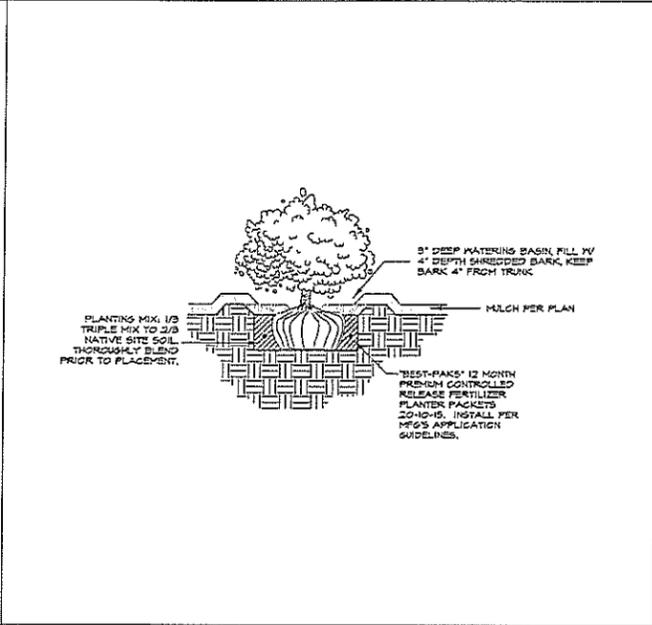
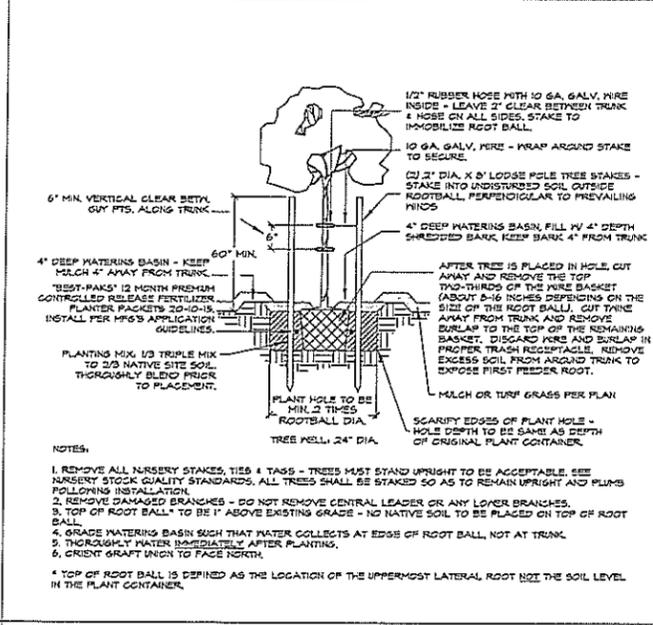
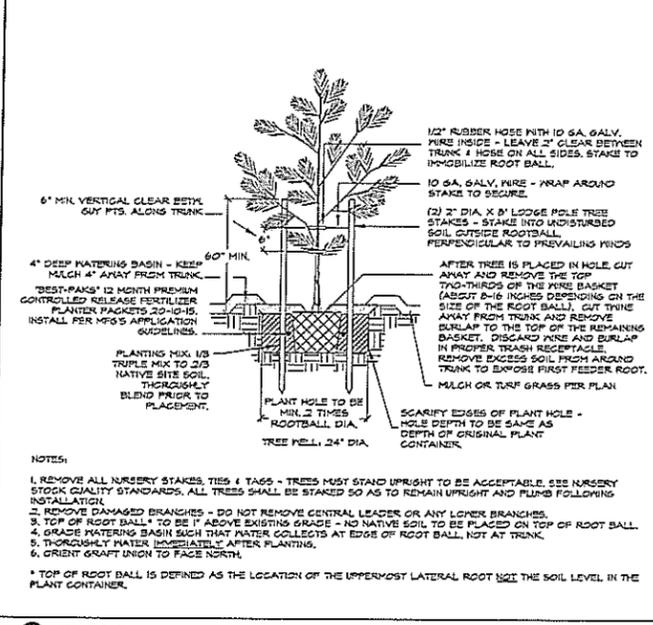
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**DATE:** 04/21/15  
**SUBMITTAL:** PERMIT SET



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**SHEET TITLE:** SUBMITTAL RECORD  
**SHEET:** MULCH PLAN  
 L3 OF 5

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11 EVERGREEN TREE PLANTING NOT TO SCALE

12 DECIDUOUS TREE PLANTING NOT TO SCALE

13 SHRUB PLANTING NOT TO SCALE

14 LANDSCAPE BOULDER DETAIL NOT TO SCALE

LANDSCAPE SPECIFICATIONS

**GENERAL**

- PLAN IS DIAGNOMATIC ONLY. ALL LOCAL GOVERNING CODES SHALL BE MET. EXACT LOCATION OF TREES AND SHRUBS SHALL BE DETERMINED IN THE FIELD (INSTALL AS PER DETAILS) AND APPROVED BY THE OWNER'S REPRESENTATIVE.
- A MINIMUM OF TWO WORKING DAYS BEFORE PERFORMING ANY DIGGINGS, CALL UNDERGROUND SERVICE ALERT FOR INFORMATION ON THE LOCATION OF NATURAL GAS LINES, ELECTRIC CABLES, TELEPHONE CABLES, ETC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION AND PROTECTION OF ALL UTILITIES, AND REPAIR OF ANY DAMAGE RESULTING FROM HIS WORK AT NO ADDITIONAL COST TO THE OWNER.
- DAMAGES: CONTRACTOR SHALL PROMPTLY REPAIR ALL DAMAGES TO EXISTING SITE AT NO COST TO OWNER.
- CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER TRADES (I.E. PAVING, PLUMBING, ELECTRICAL, ETC.)
- THE CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY SITE CONDITIONS PRIOR TO CONSTRUCTION AND TO NOTIFY THE OWNER'S REPRESENTATIVE SHOULD CONDITIONS EXIST WHICH PREVENT CONSTRUCTION AS PER THESE PLANS. COMMENCEMENT OF WORK SHALL CONSTITUTE ACCEPTANCE OF CONDITIONS AND RESPONSIBILITY FOR CORRECTIONS.
- CONTRACTOR AGREES THAT, IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR ASSUMES SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY, THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS AND CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD HARMLESS THE OWNER FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THE PROJECT.

**PLANTING**

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FINISH GRADING THROUGHOUT ALL LANDSCAPE AREAS SUCH THAT THERE ARE NO HIPS OR DEPRESSIONS AND POSITIVE DRAINAGE OCCURS THROUGHOUT. THE TOP 10\"/>

IRRIGATION SPECIFICATIONS

**GENERAL**

- PLAN IS DIAGNOMATIC ONLY. FINAL LOCATION OF LINES AND HEADS SHALL BE DETERMINED IN THE FIELD AND APPROVED BY THE OWNER'S REPRESENTATIVE. LINES SHALL BE IN A COMMON TRENCH WHEREVER POSSIBLE. THE POINT-OF-CONNECTION SHALL BE AS INDICATED ON THE PLAN.
- THE CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS AND ENSURE THAT ALL LOCAL CODES ARE MET.
- THE CONTRACTOR SHALL APPLY AND PAY FOR ALL PERMITS REQUIRED FOR INSTALLATION OF THE IRRIGATION SYSTEM AS DEPICTED ON THESE PLANS.
- CONTRACTOR SHALL VERIFY AVAILABLE FLOW AND PRESSURE DOWNSTREAM FROM THE POINT-OF-CONNECTION PRIOR TO SYSTEM INSTALLATION. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY IF AVAILABLE FLOW IS LESS THAN REQUIRED TO RUN THE LARGEST ZONE. CONTRACTOR SHALL NOT PROCEED ANY FURTHER WITH INSTALLATION OF THE SYSTEM UNTIL NECESSARY DESIGN REVISIONS HAVE BEEN DETERMINED BY OWNER'S REPRESENTATIVE.
- THE CONTRACTOR SHALL NOT ILLUSTRALLY INSTALL THE SPRINKLER SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS OR DIFFERENCES IN DIMENSIONS EXIST THAT MIGHT HAVE BEEN UNKNOWN DURING ENGINEERING. SUCH OBSTRUCTIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY AT HIS ADDITIONAL COST TO OWNER.
- ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
- CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL SPRINKLER MATERIALS, INCLUDING PIPE WITH THE LANDSCAPE DRAWINGS TO AVOID INTERFERING WITH THE PLANTING OF TREES, SHRUBS, OR OTHER PLANTING.
- ALL VALVES ARE TO BE LOCATED IN PLANTING AREAS WHEREVER POSSIBLE.
- ALL ELECTRICAL WIRE FROM CONTROLLER TO VALVES SHALL BE 12 GAUGE ILL DIRECT BURIAL OR LARGER AS REQUIRED BY LENGTH PER MANUFACTURER'S SPECIFICATIONS.
- BACKFILL FOR TRENCHING SHALL BE COMPACTED TO A DRY DENSITY EQUAL TO THE UNDISTURBED ADJACENT SOIL AND SHALL CONFORM TO ADJACENT GRADES WITHOUT DIPS, HUMPS, OR OTHER IRREGULARITIES.
- A MINIMUM OF TWO WORKING DAYS PRIOR TO PERFORMING ANY DIGGINGS, CALL UNDERGROUND SERVICE ALERT AT 1-800-221-2600 FOR INFORMATION ON THE LOCATION OF NATURAL GAS LINES, ELECTRICAL CABLES, TELEPHONE CABLES, ETC.
- CONTRACTOR AGREES THAT, IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS.
- INSTALL ALL PIPE AND CONTROL WIRES IN LANDSCAPE BEDS AND IN COMMON TRENCHES WHEREVER POSSIBLE.
- INSTALL ALL PIPE AND CONTROL WIRE WHICH RUNS UNDER PAVING, WITHIN 5CM, 40 PVC SLEEVES 4\"/>

LANDSCAPE BOULDER DETAIL

- AFTER FLUSHING, AND WHEN ALL VALVES AND QUICK COUPLERS ARE IN PLACE, ALL MAIN SUPPLY LINES SHALL BE TESTED AT 100 PSIGS PER SQUARE INCH (100 PSI) WITH VALVES CLOSED. MAINTAIN PRESSURE FOR A PERIOD OF NOT LESS THAN (4) CONSECUTIVE HOURS. ALL JOINTS SHOWING LEAKS SHALL BE CLEANED, REMADE, AND TESTED.
- AFTER FLUSHING, LATERAL PIPES SHALL BE TESTED WITH RISERS CAPPED AND DRAIN VALVES CLOSED. THE TEST SHALL BE MADE AT MAXIMUM OPERATING PRESSURE FOR A PERIOD OF NOT LESS THAN (1) HOUR. ALL JOINTS SHOWING LEAKS SHALL BE CLEANED, REMADE, AND TESTED. ALL TESTING SHALL BE DONE IN THE PRESENCE OF THE OWNER'S REPRESENTATIVE PRIOR TO BACKFILLING OVER PIPING.
- OPERATIONAL TESTING: PERFORM OPERATIONAL TESTING AFTER HYDROSTATIC TESTING IS COMPLETED. DEMONSTRATE TO THE OWNER'S REPRESENTATIVE THAT THE SYSTEM MEETS COVERAGE REQUIREMENTS (100%) AND THAT AUTOMATIC CONTROLS FUNCTION PROPERLY.

**SUBMITTALS**

- MATERIALS LIST: WITHIN (15) DAYS AFTER AWARD OF CONTRACT, SUBMIT TO OWNER'S REPRESENTATIVE (BY COPIES OF A COMPLETE MATERIAL LIST (PARTIAL LIST NOT ACCEPTABLE) OF ALL MATERIALS TO BE USED ON THE PROJECT, SPECIFYING MANUFACTURER, GRADE, TRACE NAME, CATALOG NUMBER, SIZE, ETC. THIS SHALL IN NO WAY BE CONSIDERED AS ALLOWING A SUBSTITUTION FOR ANY ITEM SPECIFIED ON THE PLANS. EQUIPMENT OR MATERIALS INSTALLED OR FURNISHED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE MAY BE REJECTED AND THE CONTRACTOR REQUIRED TO REMOVE THE MATERIALS AT HIS OWN EXPENSE.
- INSTALLATION AND PERFORMANCE OF APPROVED SUBSTITUTIONS ARE THE CONTRACTOR'S RESPONSIBILITY. ANY CHANGES REQUIRED FOR INSTALLATION OF ANY APPROVED SUBSTITUTION MUST BE MADE TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE WITHOUT ADDITIONAL COST TO OWNER.
- PRIOR TO SYSTEM INSTALLATION CONTRACTOR SHALL VERIFY AND SUBMIT TO OWNER'S REPRESENTATIVE IN PRINTS, AVAILABLE FLOW AND PRESSURE AT POINT-OF-CONNECTION AS DESCRIBED IN SPECIFICATION #4 ABOVE.
- COMPLETE WARRANTY CARDS FOR AUTOMATIC CONTROLLER AND OTHER IRRIGATION MATERIAL (CONTROLLER KEYS, ETC) SHALL BE DELIVERED TO OWNER.
- CONTRACTOR SHALL PREPARE AND ISSUE TO THE OWNER (AT COMPLETION OF THE INSTALLATION) AN ANNUAL CHART INDICATING LOCATION, OPERATING DATES, CYCLES, AND TIME FOR EACH ZONE.
- ASBUILT IRRIGATION DRAWINGS: CONTRACTOR SHALL FURNISH ASBUILTS OF THE COMPLETE IRRIGATION SYSTEM. PROCURE FROM OWNER'S REPRESENTATIVE DIGITAL COPIES OF CONTRACT DRAWINGS. CONSTRUCTION DRAWINGS SHALL BE ON THE CONSTRUCTION SITE AT ALL TIMES WHILE THE IRRIGATION SYSTEM IS BEING INSTALLED. CONTRACTOR SHALL MAKE A DAILY RECORD OF ALL WORK INSTALLED DURING EACH DAY. ACTUAL LOCATION OF VALVES AND ALL IRRIGATION AND DRAINAGE PIPING SHALL BE SHOWN ON THE PRINTS BY DIMENSIONS FROM EASILY IDENTIFIED PERMANENT FEATURES, SUCH AS BUILDINGS, CURBS, FENCES, WALKS, OR PROPERTY LINES. DRAWINGS SHALL SHOW APPROVED MANUFACTURER'S NAME AND CATALOG NUMBER. THE DRAWINGS SHALL BE TO SCALE AND ALL INDICATIONS SHALL BE NEAT. ALL INFORMATION NOTED ON THE PRINT SHALL BE TRANSFERRED TO THE COPIES BY CONTRACTOR AND ALL INDICATIONS SHALL BE RECORDED IN A NEAT, ORDERLY MANNER. THE RECORD COPIES SHALL BE TURNED OVER TO THE OWNER'S REPRESENTATIVE AT OR BEFORE FINAL ACCEPTANCE/APPROVAL OF THE PROJECT.
- GUARANTEE/WHAL ACCEPTANCE
- CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE THE IRRIGATION SYSTEM FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE. MANUFACTURER WARRANTIES SHALL ONLY EXCEED THIS GUARANTEE AND CONTRACTOR SHALL BE LIABLE FOR REPAIRS/REPLACEMENT OF FAILED MATERIAL/HORWARRANTIP.
- MAINTENANCE
- AFTER SYSTEM IS INSTALLED AND APPROVED, INSTRUCT OWNER'S DESIGNATED PERSONNEL IN COMPLETE OPERATION AND MAINTENANCE PROCEDURES. DRAIN ENTIRE SYSTEM AT END OF FIRST WATERING SEASON FOLLOWING INSTALLATION. TRAIN OWNER'S DESIGNATED PERSONNEL BY HAVING THEM ASSIST IN WATERING PROCEDURE.

15 LANDSCAPE SPECIFICATIONS

IRRIGATION SPECIFICATIONS

**REVEGETATION SPECIFICATIONS**

- STRIP & STOCKPILE EXISTING 6\"/>

**REVEGETATION SPECIFICATIONS**

- CONTRACTOR SHALL MAINTAIN SEEDINGS UNTIL ESTABLISHED. REPAIR ANY SURFACE EROSION/CRACKING UPON DISCOVERY.
- COVERAGE REQUIREMENT: IMMEDIATE EROSION CONTROL SHALL BE ACCOMPLISHED BY THE USE OF A NURSE GRASS CROP. CONTRACTOR SHALL ACHIEVE 30% MINIMUM NURSE CROP COVERAGE IN THE FIRST YEAR OF GROWTH. IF ADEQUATE COVERAGE IS NOT ACHIEVED, CONTRACTOR SHALL RE-APPLY REVEGETATION SEED BLEND, RE-MULCH, OR IMPLEMENT KEEP CONTROL WITH NO ADDITIONAL COST TO OWNER, AS NEEDED TO MEET COVERAGE REQUIREMENTS.
- SCARIFY PLACED TOPSOIL TO CREATE FRIABLE CONDITIONS, EVENLY BLENDING PLACED TOPSOIL WITH TOP 6\"/>
- REVEGETATION SEEDING IS RECOMMENDED TO TAKE PLACE IN THE FALL TO ALLOW WINTER MOISTURE TO GERMINATE SEEDS. REVEGETATION SEED BLENDS MAY BE APPLIED IN HYDROSEED SLURRY, THE APPLICATION RATE (LBS PER ACRE) IN THE FALL SHALL BE APPLIED AT A MINIMUM RATE OF 32 PLS LBS/ACRE.
- REVEGETATION SEEDINGS IN THE SUMMER SHALL BE APPLIED AT 125% OF THE FALL APPLICATION RATE IMMEDIATELY FOLLOWED BY A TACKIFIER APPLICATION USING 10% OF THE MANUFACTURERS RECOMMENDED RATE
- FOLLOWING SEEDING, APPLY HYDRO-SLURRY MIX OVER SEEDS ON SLOPE PER MFG'S SPECIFICATIONS. SLURRY SHALL CONSIST OF THE FOLLOWING:  
FERTILIZER: 0-10-10 @ 200 LBS/ACRE  
TACKIFIER: M-BINDER @ 60 LBS/ACRE  
MULCH: FIBER MULCH @ 1650 LBS/ACRE  
SEED: REVEGETATION SEED BLEND

IRRIGATION SPECIFICATIONS

**REVEGETATION SPECIFICATIONS**

- STRIP & STOCKPILE EXISTING 6\"/>

16 LANDSCAPE SPECIFICATIONS

REVEGETATION SPECIFICATIONS

**REVEGETATION SPECIFICATIONS**

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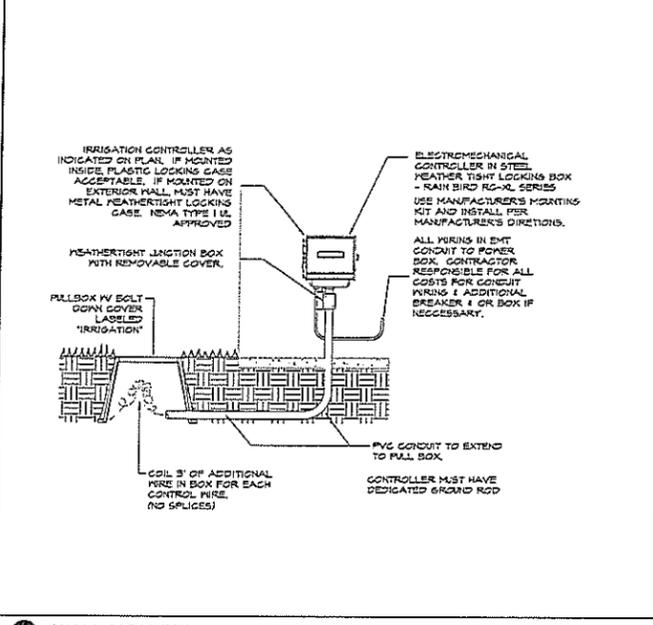
REGISTERED LANDSCAPE ARCHITECT  
STATE OF NEVADA  
EXPIRES: 2019  
PERMIT SET

DESIGNER: TECTONICS DESIGN GROUP  
10481 Double in Boulevard  
Reno, NV 89521 www.tdc.com

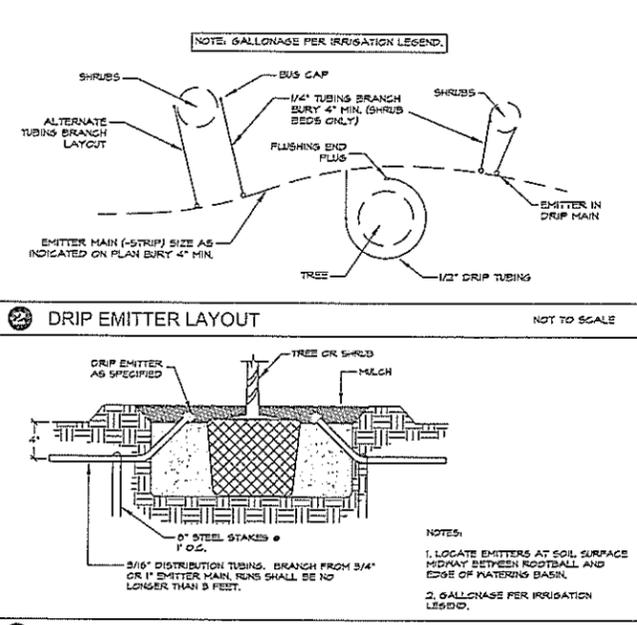
DESIGNER: TECTONICS DESIGN GROUP  
LUTHERAN CHURCH

PROJECT/TITLE: #114144  
DATE: SUBMITTAL  
04/21/15 PERMIT SET

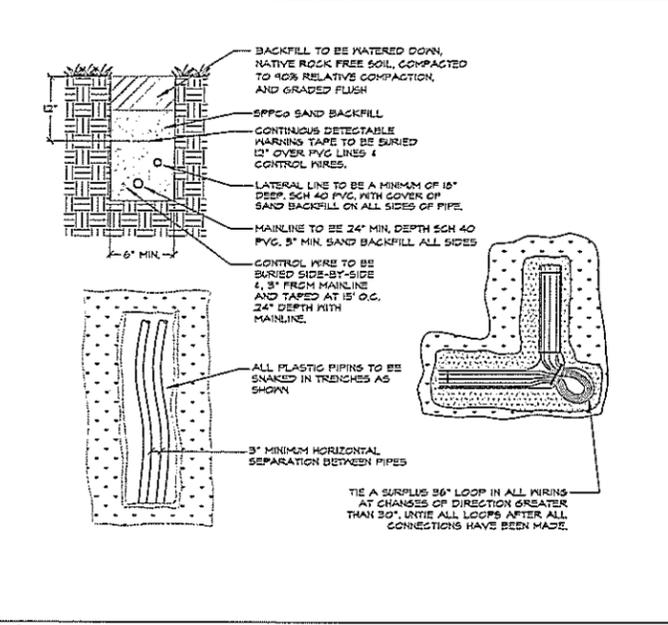
SHEET/TITLE: LANDSCAPE DETAILS  
L4 OF 5



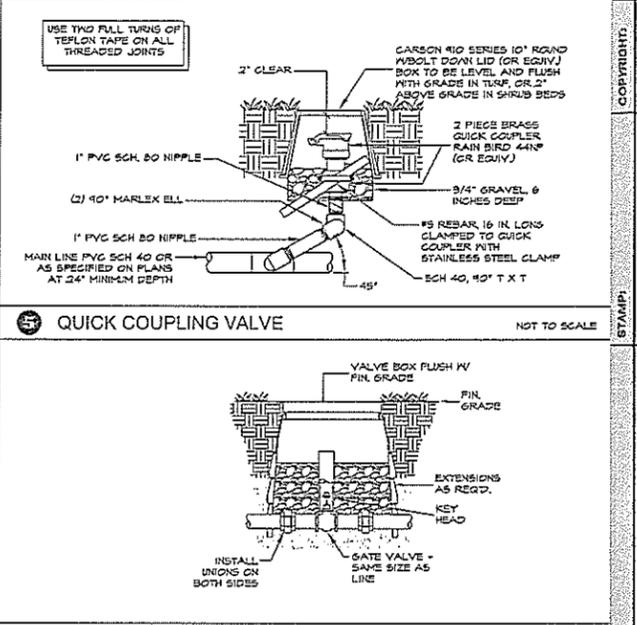
11 WALL MOUNTED CONTROLLER NOT TO SCALE



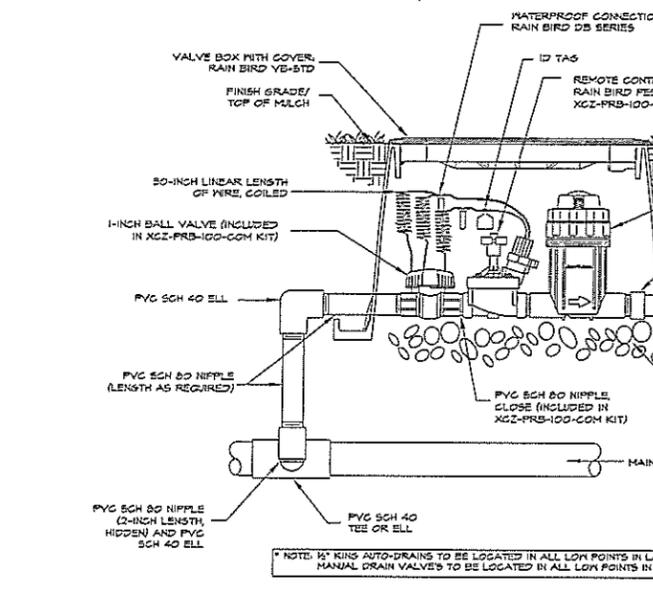
12 DRIP EMITTER LAYOUT NOT TO SCALE



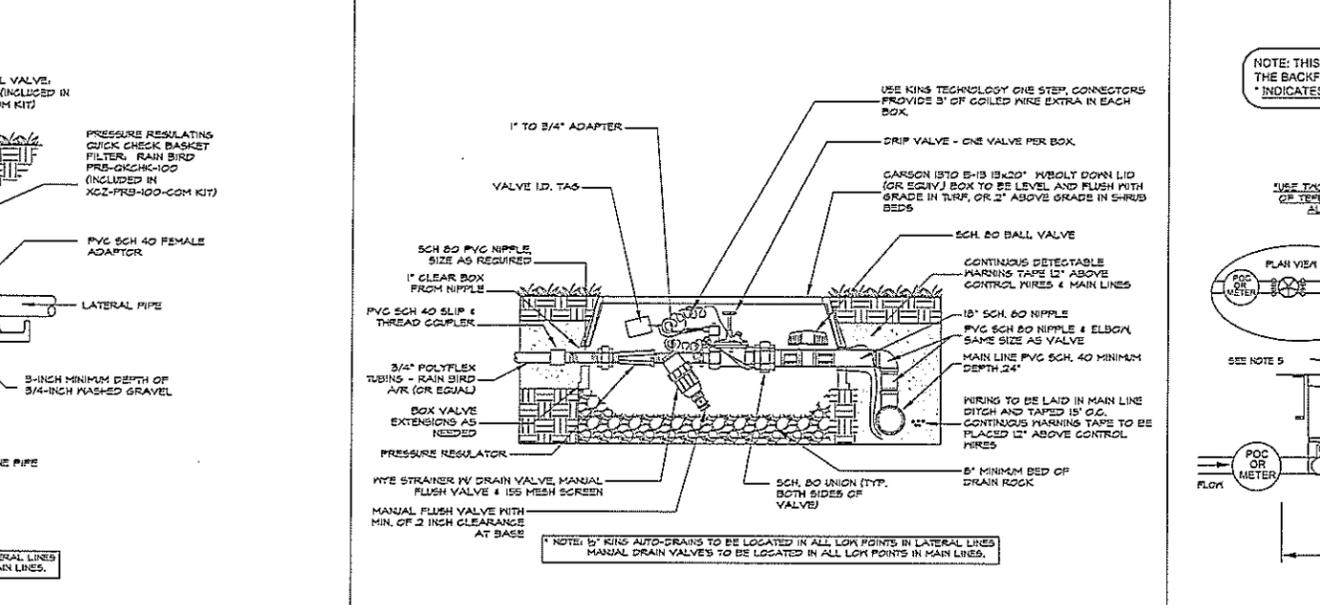
13 TRENCH DETAIL/CONTROLLER WIRING NOT TO SCALE



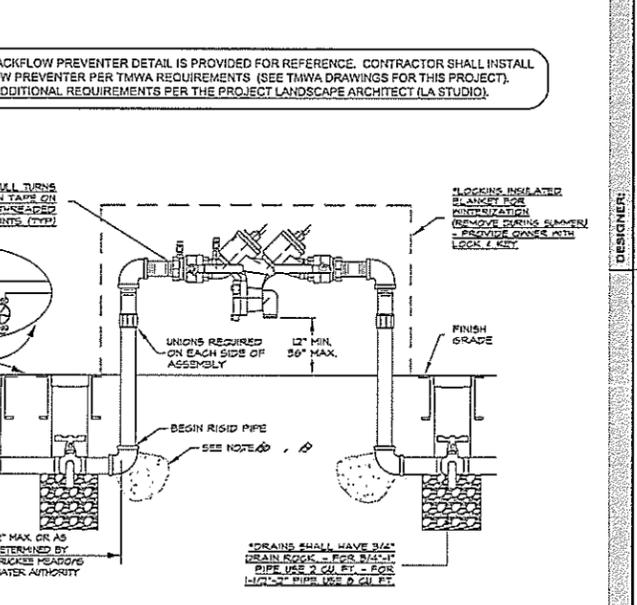
14 QUICK COUPLING VALVE NOT TO SCALE



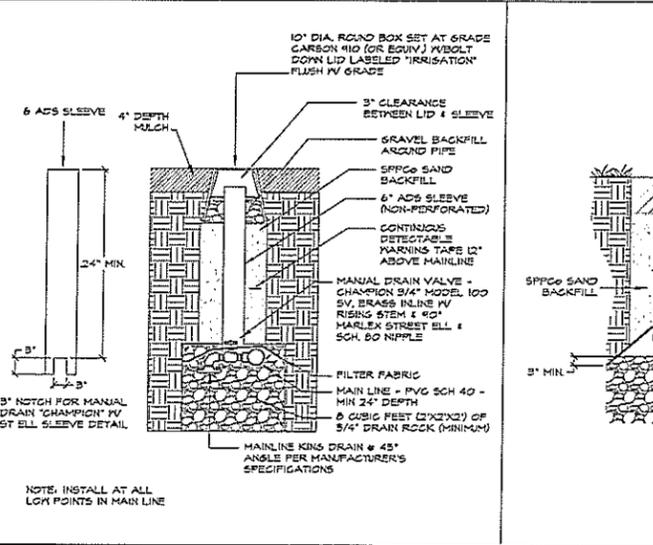
15 DRIP VALVE ASSEMBLY NOT TO SCALE



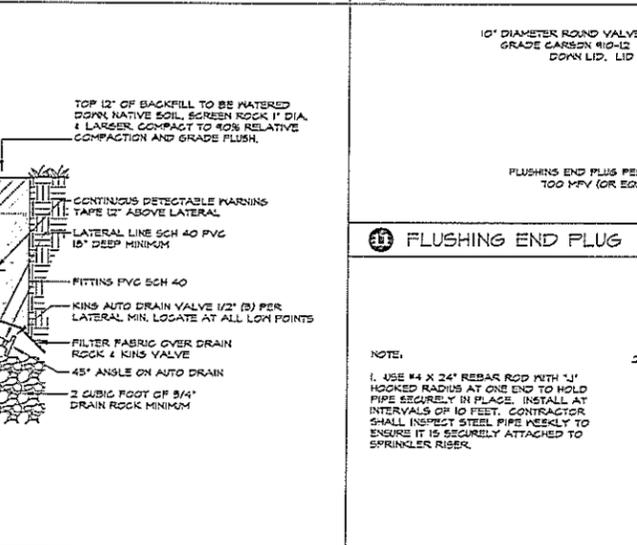
16 SPRAY VALVE ASSEMBLY NOT TO SCALE



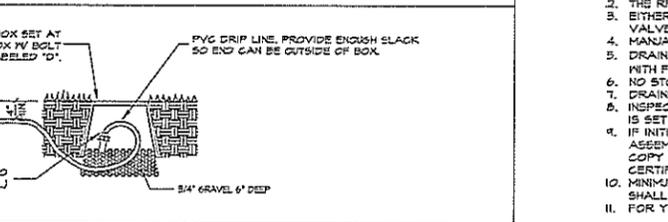
17 GATE VALVE NOT TO SCALE



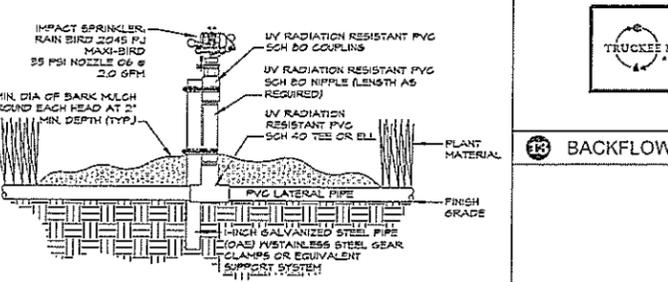
18 MANUAL DRAIN VALVE NOT TO SCALE



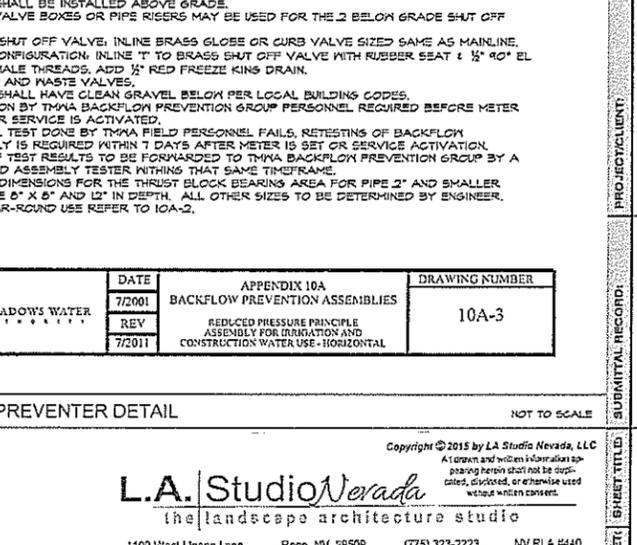
19 AUTO DRAIN NOT TO SCALE



20 FLUSHING END PLUG NOT TO SCALE



21 TEMPORARY IMPACT SPRINKLER NOT TO SCALE



22 BACKFLOW PREVENTER DETAIL NOT TO SCALE

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 DESIGNED: J.W.H.  
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 STATE OF NEVADA  
 Expires: 6/30/15  
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PROJECT CLIENT: LUTHERAN CHURCH  
 PROJECT TITLE: IRRIGATION DETAILS  
 SHEET: L5 OF 5  
 DATE: 04/21/15  
 SUBMITTAL PERMIT SET  
 PROJECT NUMBER: #14144  
 DATE: 7/2001  
 REV: 7/2011  
 APPENDIX 10A BACKFLOW PREVENTION ASSEMBLIES  
 REDUCED PRESSURE PRINCIPLE ASSEMBLY FOR IRRIGATION AND CONSTRUCTION WATER USE - HORIZONTAL  
 DRAWING NUMBER: 10A-3  
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**CAUTION NOTICE**  
 THE HORIZONTAL/VERTICAL LOCATIONS OF EXISTING UTILITIES AND FEATURES (I.E. - BUILDINGS, STREETS, WALLS, ETC.) SHOWN ON THESE PLANS ARE BASED ON THE BEST INFORMATION AVAILABLE PROVIDED TO THE ENGINEER. THE UTILITIES AND FEATURES SHOWN MAY NOT BE AN ACCURATE REPRESENTATION OF EXISTING CONDITIONS IN THE FIELD. THE CONTRACTOR SHALL VERIFY THE LOCATION OF UTILITIES AND FEATURES PRIOR TO CONSTRUCTION AND SHALL NOTIFY THE ENGINEER OF ANY CONFLICTS BETWEEN THE INFORMATION SHOWN ON THE PLANS AND EXISTING CONDITIONS IN THE FIELD. THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL CONFLICTING UTILITIES AND FEATURES ARE RELOCATED/RECONSTRUCTED AS NEEDED, WITH GOVERNING AGENCY APPROVAL, IN ORDER TO CONSTRUCT PROPOSED IMPROVEMENTS.



**LEGEND THIS SHEET**

- PAINT ADA ACCESSIBLE SYMBOL SIGN(S) AS NOTED
- STANDARD ASPHALT PAVEMENT
- CONCRETE
- NUMBER OF PARKING SPACES
- ADA ACCESSIBLE RAMP

**CONSTRUCTION NOTES**

- 1 45° DIAGONAL STRIPING (4" WIDE-3" OC) WITH TRAFFIC BLUE PAINT SHALL BE USED FOR ADA PARKING STRIPING.
- 2 INSTALL ACCESSIBLE PARKING SIGN WITH VAN ACCESSIBLE SIGN.
- 3 PAINT TYPICAL ACCESSIBLE SYMBOL.
- 4 INSTALL ACCESSIBLE PEDESTRIAN RAMP CONFORMING TO LATEST A.D.A. STANDARDS.
- 5 PAINT 4" WIDE WHITE STALL STRIPE
- 6 INSTALL LANDSCAPING PER LANDSCAPING PLANS
- 7 INSTALL STOP SIGN
- 8 INSTALL TYPE 1 PCC CURB AND GUTTER (SEE GEOTECH REPORT).
- 9 INSTALL MEDIAN CURB.
- 10 INSTALL PCC SIDEWALK, WIDTH AS INDICATED ON PLANS (SEE GEOTECH RECOMMENDATIONS)
- 11 INSTALL PCC VALLEY GUTTER - WIDTH SHOWN ON PLANS
- 12 INSTALL 16"x8" FREE STANDING SIGN
- 13 INSTALL 5' TALL x 6' WIDE SIGN
- 14 6' HIGH BLACK METAL FENCE W/HORIZONTAL RAILS(372LF WESTERN, 79LF SOUTHERN)
- 15 NORTHERN FENCING- FROM 30' FRONT YARD SETBACK AT ROCKWELL INSTALL 6' HIGH MASONRY BLOCK WALL FOR 220 LF THEN INSTALL 6' CHAIN LINK FENCE W/SLATS (SLATS TO MATCH CHURCH STUCCO COLOR) FOR 165 LF TO WHERE IT WILL TIE INTO FENCING ALONG PYRAMID HIGHWAY-CONTRACTOR TO EVALUATE THE POSSIBLE RELOCATION OF EX. ELEC. EQUIPMENT-NOTIFY ENGINEER WITH CONFLICTS
- 16 4' HIGH CHAIN LINK FENCE AT PLAYGROUND PERIMETER WITH LOCKABLE GATES IN EAST AND WEST SIDES)
- 17 4' HIGH SPLIT RAIL FENCE (3 RAIL)
- 18 STANDARD AC PAVEMENT (SEE GEOTECH REPORT FOR PREPARATION-3" AC UNDERLAY BY 6" AGGREGATE BASE)
- 19 TRASH ENCLOSURE- THICKENED AC SECTION APPROACH SLAB 6' BEYOND ENCLOSURE (SEE GEOTECH REPORT)
- 20 EXISTING UTILITY BOX, POLE, VAULT, MANHOLE TO REMAIN-PROTECT
- 21 PROVIDE OPENING IN CURB FOR DRAINAGE
- 22 SNOW STORAGE AREA
- 23 EXISTING SIGN TO BE REMOVED
- 24 18" WIDE CONCRETE PEDESTRIAN ACCESS STRIP (STEP OFF CURB)
- 25 EX. MASONRY WALL ALONG SOUTHERN PL TO REMAIN - PAINT THE CHURCH'S SIDE TO MATCH CHURCH BUILDING (SOLID COLOR - NEUTRAL TONE)
- 26 CONCRETE PLAZA W/CONCRETE BENCH SEATING-SEE ARCH PLANS
- 27 BELL TOWER-SEE ARCH PLANS
- 28 FOR SANITARY SEWER & WATERLINE CONNECTIONS, REMOVE & REPLACE EX. WALK AND CURB AS NECESSARY-UTILITIES TO GO BELOW EXISTING WALL, PROTECT IN PLACE-CONTRACTOR TO COORDINATE WITH THE OWNER OR MANAGER OF THE EXISTING SHOPPING CENTER PRIOR TO CONSTRUCTION OF THE SEWER AND WATER CONNECTIONS.
- 29 PCC CONCRETE DROP-OFF LANE (SEE GEOTECH RECOMMEND. FOR SECTION & PREP.)
- 30 FOR SD INSTALLATION-REMOVE WALK AS NEEDED-COORDINATE WITH ADJ. OWNER
- 31 FOR PLAYGROUND AREA SEE LANDSCAPE PLANS - SURFACE TO BE BARK. SEE OWNER FOR LOCATION OF 30'X30' FUTURE PLAYGROUND EQUIPMENT AREA.

**NOTES:**

1. ALL SIGNING AND STRIPING SHALL CONFORM TO THE LATEST MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND WASHOE COUNTY STANDARDS.
2. ALL STRIPING, MARKINGS AND SYMBOLS SHALL BE HIGHWAY PAINT.
3. ALL HANDICAP ACCESSIBLE RAMPS SHALL CONFORM TO ALL ADA STANDARDS.
4. ALL STRIPING SHALL BE REFLECTIVE.

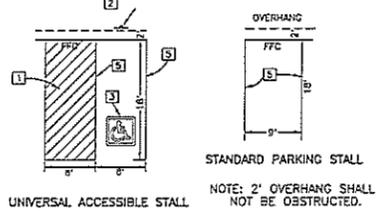
**SITE INFO:**

APN: 534-071-05  
 FEMA FLOOD ZONE: ZONE X, UNSHADED  
 TOTAL SITE AREA = 2.62 AC  
 TOTAL BUILDING SF = 6,593 SF (5.8% OF PARCEL)  
 TOTAL PARKING/DRIVE AREA SF = 46,507 SF (40.8% OF PARCEL)  
 REMAINING AREA (LANDSCAPE, MISC) = 61,027 (53.4 % OF PARCEL)  
 LANDUSE DESIGNATION: LDS

MIN. BUILDING SETBACKS	
SIDE	12 FT.
FRONT	30 FT.
REAR	30 FT.

PARKING REQUIRED		PARKING SUMMARY	
400 LF OF PEW SPACE	67	STD PARKING	105
3300 SF PUBLIC SPACE / 300 SF	11	ACCESSIBLE PARKING	6
REQUIRED SPACES	78	TOTAL PROPOSED SPACES	111

**TYPICAL PARKING STALL DIMENSIONS**



**BASIS OF BEARING**

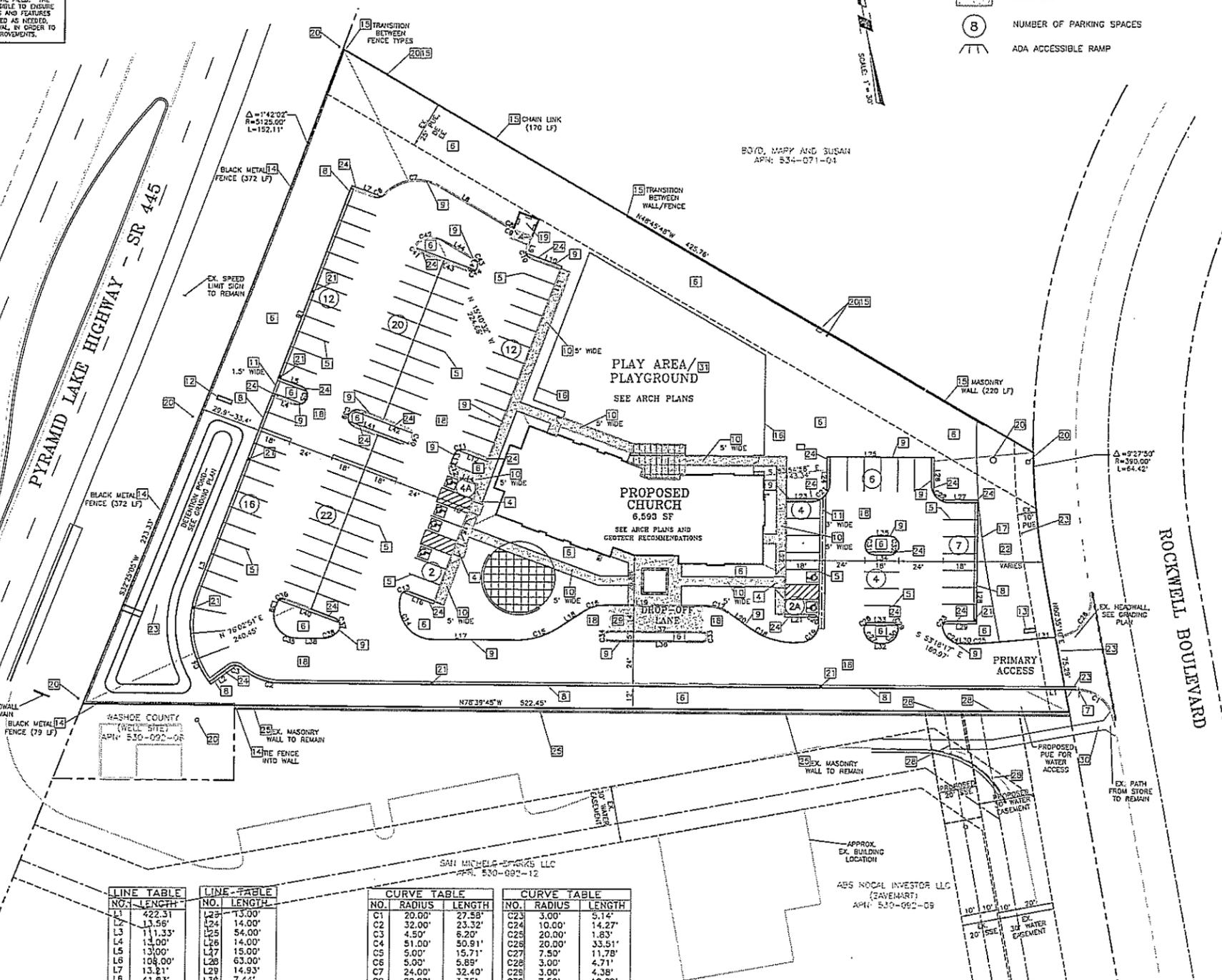
CENTERLINE OF ROCKWELL BOULEVARD  
 AS SHOWN ON TRACT MAP 18291

**BENCHMARK**

CITY OF SPARKS BENCHMARK #132  
 BRASS CAP IN CONCRETE STAMPED "PRE  
 ELEVATION=4493.77 (NAVD85)

THESE PLANS (SHEETS C1 THROUGH C11) HAVE BEEN PREPARED IN ACCORDANCE WITH ALL APPLICABLE PROVISIONS OF THE WASHOE COUNTY DEVELOPMENT CODE. THE WASHOE COUNTY DEVELOPMENT CODE SHALL PREVAIL.

**NOTE:**  
 SHOULD ANY PREHISTORIC OR HISTORIC REMAINS/ARTIFACTS BE DISCOVERED DURING SITE DEVELOPMENT, WORK SHALL TEMPORARILY BE HALTED AT THE SPECIFIC SITE AND THE STATE HISTORIC PRESERVATION OFFICE OF THE DEPARTMENT OF MUSEUMS, LIBRARY AND ARTS, SHALL BE NOTIFIED TO RECORD AND PHOTOGRAPHY THE SITE. THE PERIOD OF TEMPORARY DELAY SHALL BE LIMITED TO A MAXIMUM OF TWO (2) WORKING DAYS FROM THE DATE OF NOTIFICATION.



LINE TABLE		LINE TABLE	
NO.	LENGTH	NO.	LENGTH
L1	422.31'	L23	13.00'
L2	13.56'	L24	14.00'
L3	111.33'	L25	54.00'
L4	13.00'	L26	14.00'
L5	13.00'	L27	15.00'
L6	108.00'	L28	63.00'
L7	13.21'	L29	14.93'
L8	41.93'	L30	7.44'
L9	8.01'	L31	41.58'
L10	17.67'	L32	3.00'
L11	108.00'	L33	11.97'
L12	13.50'	L34	8.00'
L13	6.00'	L35	8.00'
L14	13.50'	L36	49.36'
L15	66.00'	L37	49.36'
L16	14.99'	L38	14.72'
L17	44.50'	L39	2.89'
L18	16.09'	L40	28.27'
L19	54.36'	L41	27.00'
L20	13.72'	L42	27.00'
L21	14.75'	L43	28.67'
L22	22.00'	L44	19.75'
		L45	0.77'

CURVE TABLE			CURVE TABLE		
NO.	RADIUS	LENGTH	NO.	RADIUS	LENGTH
C1	20.00'	27.58'	C23	3.00'	5.14'
C2	32.00'	23.32'	C24	10.00'	14.27'
C3	4.50'	6.20'	C25	20.00'	1.83'
C4	51.00'	50.91'	C26	20.00'	33.51'
C5	5.00'	15.71'	C27	7.50'	11.78'
C6	5.00'	5.89'	C28	3.00'	4.71'
C7	24.00'	32.40'	C29	3.00'	4.38'
C8	20.00'	3.35'	C30	7.50'	12.62'
C9	0.50'	0.98'	C31	5.00'	15.71'
C10	3.00'	4.71'	C32	5.00'	15.71'
C11	4.50'	7.07'	C33	2.50'	7.85'
C12	4.50'	7.07'	C34	2.50'	7.85'
C13	3.00'	4.83'	C35	12.00'	23.05'
C14	18.00'	33.88'	C36	3.00'	4.71'
C15	40.00'	23.52'	C37	4.50'	8.39'
C16	20.00'	11.76'	C38	10.00'	9.28'
C17	20.00'	12.34'	C39	4.50'	14.14'
C18	40.00'	28.61'	C40	4.50'	14.14'
C19	10.00'	17.41'	C41	3.00'	6.37'
C20	3.00'	3.91'	C42	12.00'	14.30'
C21	10.00'	15.71'	C43	3.00'	4.20'
C22	10.00'	15.71'	C44	3.00'	4.71'

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DRAWN: LCM  
 DESIGNED: LCM  
 CHECKED/STAMPED: SAMUEL CHACON, PE

**BID SET - NOT FOR CONSTRUCTION**

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 3400 DOUBLE R BLVD., STE. B  
 RENO, NV 89521  
 PHONE: (775) 856-3312  
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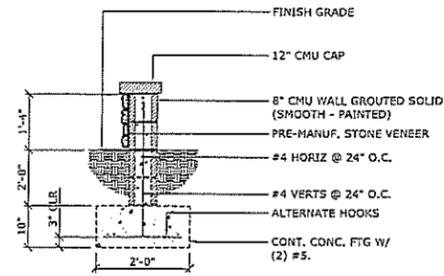
**TECTONICS DESIGN GROUP**  
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 www.tdg-inc.com  
 tel 775-824-9988  
 fax 775-824-9986

**The SPARKS GROUP**  
 LUTHERAN CHURCH

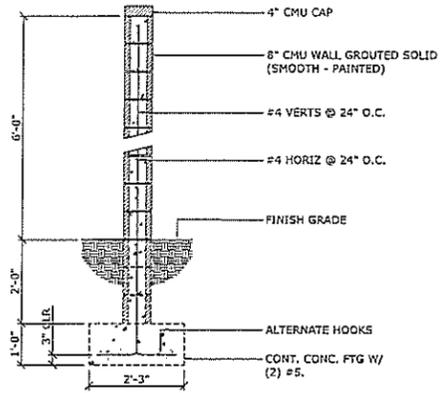
PROJECT/CLIENT: #14144  
 DATE: 12/12/14  
 SUBMITTAL: 50% SUBMITTAL  
 2/18/15 INITIAL SUBMITTAL

SHEET TITLE: SITEPLAN  
 SHEET: C3





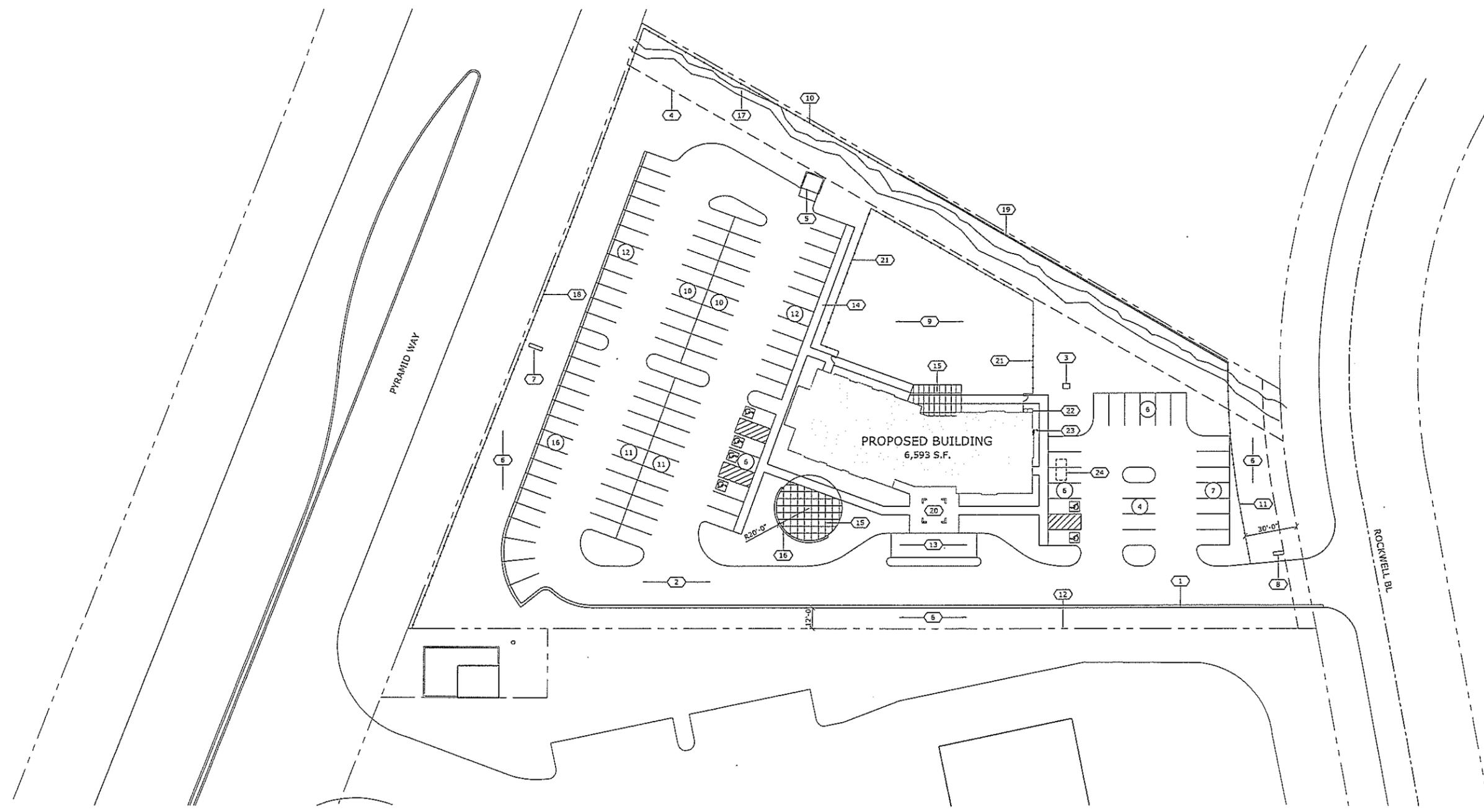
**16 CMU PLANTER WALL**  
SCALE: 1/2" = 1'-0"  
CMU BENCH



**12 CMU WALL**  
SCALE: 1/2" = 1'-0"  
CMU WALL

KEYNOTES	
1 CONCRETE CURB & GUTTER - SEE CIVIL.	16 15" H. X 8" W. CMU PLANTER WALL - SEE DETAIL 16/A1.1.
2 ASPHALT PAVING - SEE CIVIL.	17 EXISTING DRAINAGEWAY.
3 NEW TRANSFORMER - SEE ELECTRICAL.	18 NEW 6' H. BLACK METAL FENCE W/ HORIZONTAL RAILS (165 LF).
4 EXISTING DRAINAGE BASEMENT	19 NEW 6' H. CMU WALL (220 LF). SEE DETAIL 12/A1.1.
5 NEW TRASH ENCLOSURE - SEE CIVIL.	20 58' H. BELL TOWER.
6 LANDSCAPE AREA - SEE LANDSCAPE.	21 NEW 4' H. CHAIN LINK FENCE W/ (2) LOCKABLE GATES AT EAST AND WEST ENDS.
7 FREE STANDING SIGN (FUTURE) - PROVIDE ELECTRICAL STUB - SEE ELECTRICAL.	22 SERVICE ENTRANCE - SEE ELECTRICAL.
8 MONUMENT SIGN (FUTURE) - PROVIDE ELECTRICAL STUB - SEE ELECTRICAL.	23 GAS METERS - SEE PLUMBING.
9 PLAYGROUND AREA - SEE LANDSCAPE.	24 FUTURE GREASE INTERCEPTOR LOCATION.
10 NEW 6' H. CHAIN LINK FENCE W/SLATS.	
11 NEW 4' H. SPLIT-RAIL FENCE (3 RAIL).	
12 EXISTING CMU WALL (PAINT TO MATCH CHURCH).	
13 CONC. DROP-OFF LANE (14' WIDE) - SEE CIVIL.	
14 CONCRETE SIDEWALK - SEE CIVIL.	
15 CONCRETE PLAZA/PATIO - SEE CIVIL.	

PARKING SUMMARY	
RELIGIOUS ASSEMBLY:	
SANCTUARY (400 LF FEW/6):	67
PUBLIC SPACE (3,300 SF/300 SF):	11
TOTAL PARKING REQUIRED:	78
TOTAL PARKING PROVIDED:	111
ACCESSIBLE PARKING REQUIRED:	4
ACCESSIBLE PARKING PROVIDED:	6



**SITE PLAN**  
SCALE: 1" = 30'-0"

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 DESIGNED: M.J.T.  
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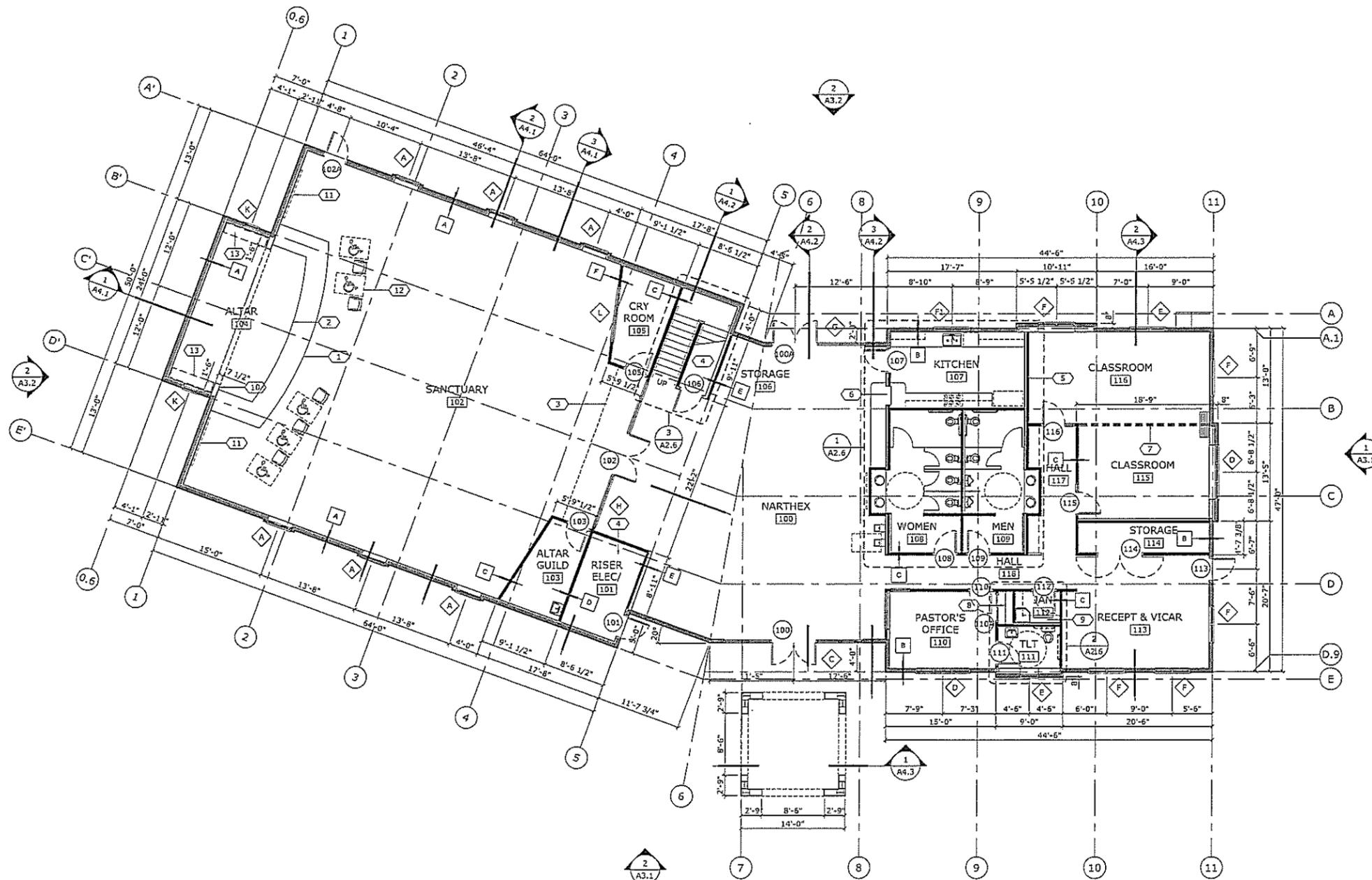
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**The SPIRITICS**  
 LUTHERAN CHURCH

PROJECT/CLIENT: # 14144  
 DATE: 04/21/15  
 SUBMITTAL RECORD: \_\_\_\_\_  
 SHEET TITLE: SUBMITTAL RECORD: \_\_\_\_\_  
 SHEET: SITE PLAN  
**A1.1**

1"=30'-0" - SPRINGS LUTHERAN CHURCH 14144\_A1



GROUND LEVEL FLOOR PLAN

SCALE: 1/8" = 1'-0"



**GENERAL NOTES**

- DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
- FIELD VERIFY DIMENSIONS PRIOR TO CONSTRUCTION.
- ALL INTERIOR WALLS TO HAVE SOUND INSULATION (BATT).

**KEY NOTES**

- 6" HIGH PLATFORM - WOOD FLOORING FINISH.
- 12" HIGH PLATFORM - WOOD FLOORING FINISH.
- LINE OF MECHANICAL MEZZANINE ABOVE.
- 1 HOUR RATED ENCLOSURE - SEE DETAILS 14/A7.2 & 18/A7.2. (SEE DETAIL 20/A7.1 FOR FIRESTOPPING)
- SHEAR WALLS - SEE STRUCTURAL.
- 30"W. X 48"H. PASS-THRU ROLL-UP DOOR (STAINED WOOD) WOODFOLD OR EQUAL.
- OPERABLE PARTITION - MODERNFOLD ACOUSTI-SEAL 932 OR APPROVED EQUAL. FLAT PANELS, PAIRED OPERATION. SEE DETAIL 16/A7.1.
- PROVIDE SHELF AND ROD (STAINED WOOD).
- PROVIDE (5) ADJUSTABLE SHELVES - 12" DP. (MELAMINE).
- WRAP ALTAR ARCH W/ 8" W. WOOD TRIM (STAINED).
- FUTURE MONITOR (PROVIDE PLYWOOD BACKING) - SEE STRUCTURAL.
- PROVIDE (5) WHEELCHAIR SPACES WITH COMPANION SPACES. (FINAL LAYOUT TO BE DETERMINED WITH SEATING LAYOUT)
- ALTAR CASEWORK - 5'-3" W. X 18" H. X 34" D. WITH HARDWOOD DOORS AND COUNTERTOP TO MATCH ADJACENT ALTAR. (BY OWNER)

**WALL LEGEND**

A	2x6 STUDS AT 16"o.c. (SEE STRUCTURAL) WITH R-21 BATT INSULATION WITH 3 COAT STUCCO SYSTEM OVER 1/2" STRUCT-1 PLYWOOD SHEATHING EXTERIOR, WITH 5/8" GYP. BD. INTERIOR.
B	2x6 STUDS AT 16"o.c. (SEE STRUCTURAL) WITH R-21 BATT INSULATION WITH 3 COAT STUCCO SYSTEM OVER 1/2" STRUCT-1 PLYWOOD SHEATHING EXTERIOR, WITH 5/8" GYP. BD. INTERIOR. (5/8" WR GYP. BD. IN INTERIOR WALLS WHERE PLUMBING OCCURS)
C	2x4 STUDS AT 16"o.c. WITH 5/8" GYP. BD. EACH SIDE. (5/8" WR GYP. BD. IN INTERIOR WALLS WHERE PLUMBING OCCURS)
D	2x4 STUDS AT 16"o.c. WITH 5/8" TYPE 'X' GYP. BD. EACH SIDE. (1 HOUR FIRE-RATED ENCLOSURE)
E	2x8 STUDS AT 16"o.c. WITH 5/8" TYPE 'X' GYP. BD. EACH SIDE. (1 HOUR FIRE-RATED ENCLOSURE)
F	2x4 STUDS AT 16"o.c. WITH 5/8" GYP. BD. EACH SIDE. (PROVIDE 1/2" RESILIENT CHANNEL ONE SIDE AT 16"o.c.)

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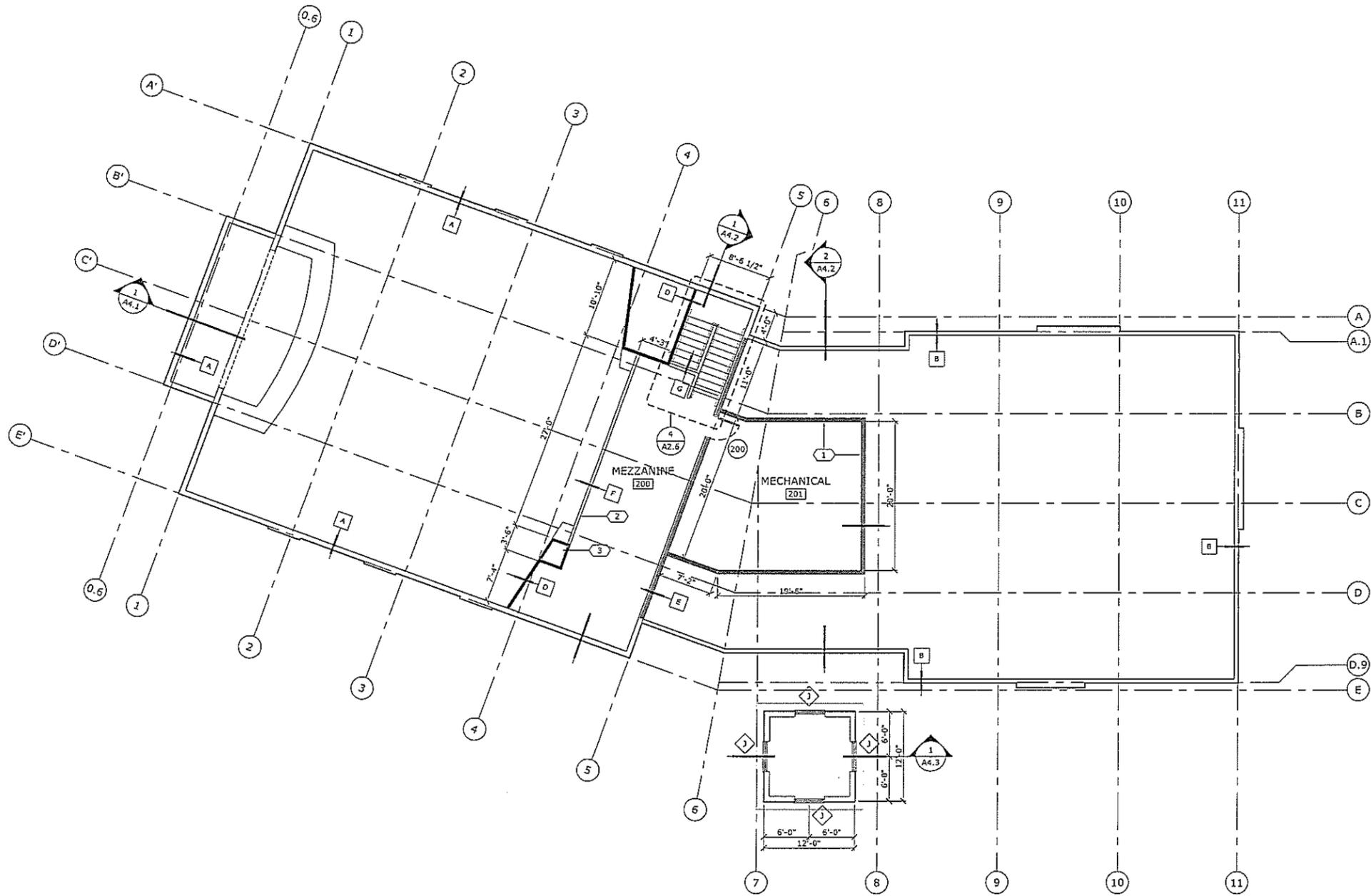
DESIGNER: PROJECT/C/LIBR: # 14144

DATE: 04/21/15 SUBMITTAL PERMIT SET

SUBMITTAL RECORDS: SHEET TITLE: A2.1

SHEET: GROUND LEVEL FLOOR PLAN

**A2.1**



MECHANICAL MEZZANINE LEVEL FLOOR PLAN

SCALE: 1/8" = 1'-0"



**GENERAL NOTES**

1. DIMENSIONS ARE TO FACE OF STUD UNLESS NOTED OTHERWISE.
2. FIELD VERIFY DIMENSIONS PRIOR TO CONSTRUCTION.
3. ALL INTERIOR WALLS TO HAVE SOUND INSULATION (BATT).

**KEY NOTES**

- 1 ATTIC TRUSS WALLS - TYPICAL
- 2 MEZZANINE GUARDRAIL - SEE DETAIL 9/A7.2.
- 3 MECHANICAL CHASE - SEE MECHANICAL.

**WALL LEGEND**

A	2x8 STUDS AT 16"o.c. (SEE STRUCTURAL) WITH R-21 BATT INSULATION WITH 3 COAT STUCCO SYSTEM OVER 1/2" STRUCT-1 PLYWOOD SHEATHING EXTERIOR, WITH 5/8" GYP. BD. INTERIOR.
B	2x6 STUDS AT 16"o.c. (SEE STRUCTURAL) WITH R-21 BATT INSULATION WITH 3 COAT STUCCO SYSTEM OVER 1/2" STRUCT-1 PLYWOOD SHEATHING EXTERIOR, WITH 5/8" GYP. BD. INTERIOR. (5/8" WR GYP. BD. IN INTERIOR WALLS WHERE PLUMBING OCCURS)
C	2x4 STUDS AT 16"o.c. WITH 5/8" GYP. BD. EACH SIDE. (5/8" WR GYP. BD. IN INTERIOR WALLS WHERE PLUMBING OCCURS)
D	2x4 STUDS AT 16"o.c. WITH 5/8" GYP. BD. EACH SIDE.
E	2x8 STUDS AT 16"o.c. WITH 5/8" GYP. BD. EACH SIDE.
F	18" H. WALL - 2X4 STUDS AT 16"o.c. WITH 5/8" GYP. BD. EACH SIDE WITH WOOD SILL AND 24" H. STEEL RAILING W/ WOOD CAP.
G	42" HIGH WALL - 2X4 STUDS AT 16"o.c. WITH 5/8" GYP. BD. EACH SIDE WITH WOOD CAP.

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DESIGNER:

**The SPIRITINGS**  
 LUTHERAN CHURCH

PROJECT/CLIENT: #1: 14114

DATE: 04/21/15  
 SUBMITTAL PERMIT SET

SUBMITTAL RECORD:

SHEET TITLE: MECHANICAL MEZZANINE LEVEL FLOOR PLAN

A2.2



East Elevation



West Elevation



South Elevation



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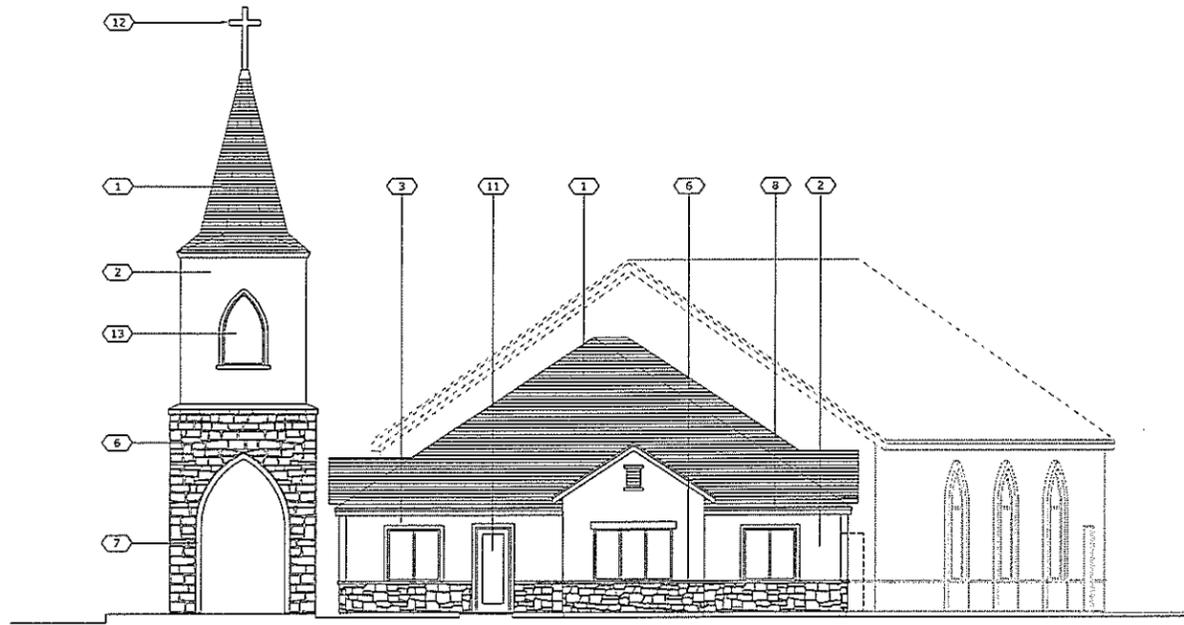
# The SPRINGS LUTHERAN CHURCH

Elevations

470 Rockwell Boulevard

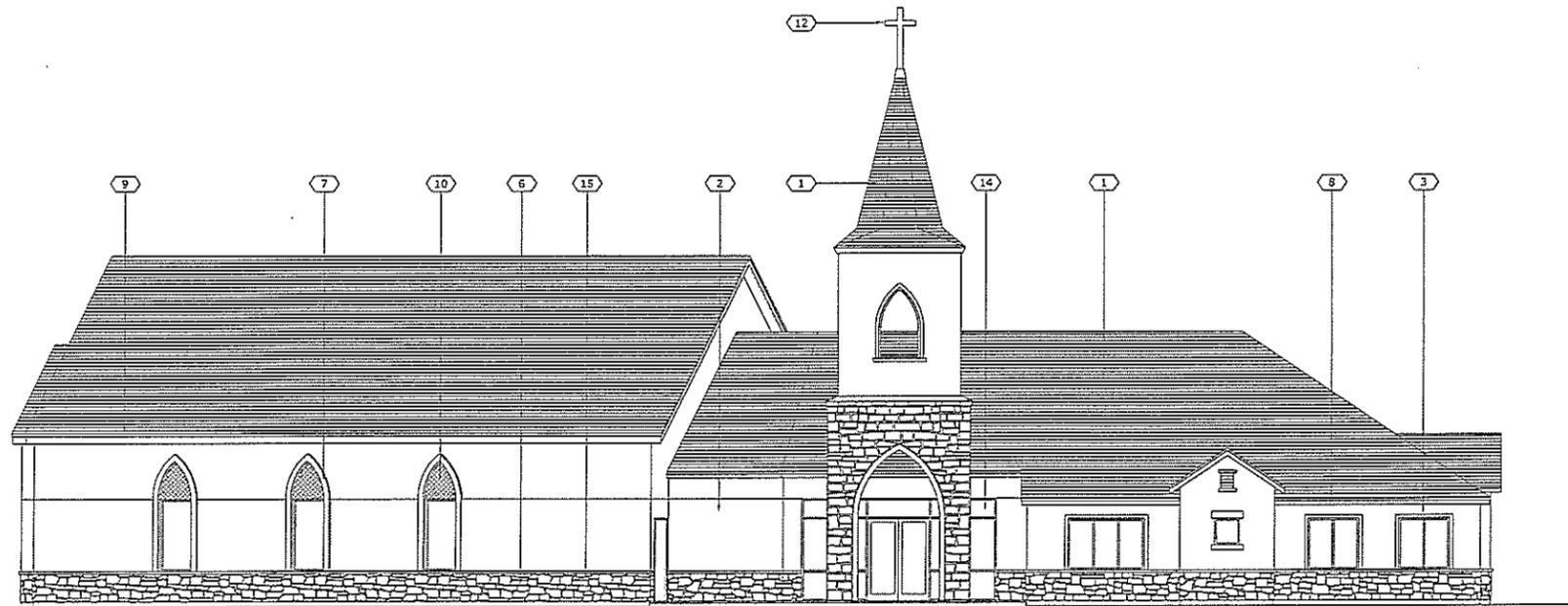
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EAST ELEVATION

SCALE: 1/8" = 1'-0"



SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

**KEY NOTES**

- 1 ASPHALT SHINGLES.
- 2 ACRYLIC STUCCO FINISH - SEE DETAIL S/A7.2.
- 3 2X4 STUCCO TRIM - ACRYLIC STUCCO FINISH.
- 4 2X8 WOOD TRIM (STAINED).
- 5 2X4 WOOD TRIM (STAINED).
- 6 PRE-MANUFACTURED STONE VENEER.
- 7 6" WIDE STUCCO SURROUND.
- 8 2X8 FASCIA TRIM (PAINTED).
- 9 2X10 FASCIA TRIM (PAINTED).
- 10 TILE INSET (4"x4" TILES)
- 11 FRENCH ENTRY DOOR (PREFINISHED).
- 12 6' H. METAL CROSS (PREFINISHED).
- 13 1" INSUL. GLAZING IN THERMAL BREAK FRAME.
- 14 1" INSUL. GLAZING IN STOREFRONT SYSTEM.
- 15 PRE-MANUFACTURED STONE WATER TABLE/SILL.

**MATERIALS**

- A. PRE-MANUFACTURED STONE VENEER - EL DORADO "FIELDLEDGE" (COLOR - UMBRIA)
- B. STUCCO - OMEGA 3 COAT SYSTEM (COLOR TBD)
- C. ASPHALT SHINGLES - OWENS CORNING ARCHITECTURAL SERIES TRUDEFINITION DURATION (COLOR - BROWNWOOD)
- D. NOT USED
- E. STOREFRONT & WINDOW FRAMING - KAWNEER TRIFAB 451UT 2" X 4 1/2" WITH THERMAL BREAK (COLOR - BRONZE)
- F. GLAZING - PPG SOLARBAN 60 LOW E (COLOR - SOLARBRONZE)

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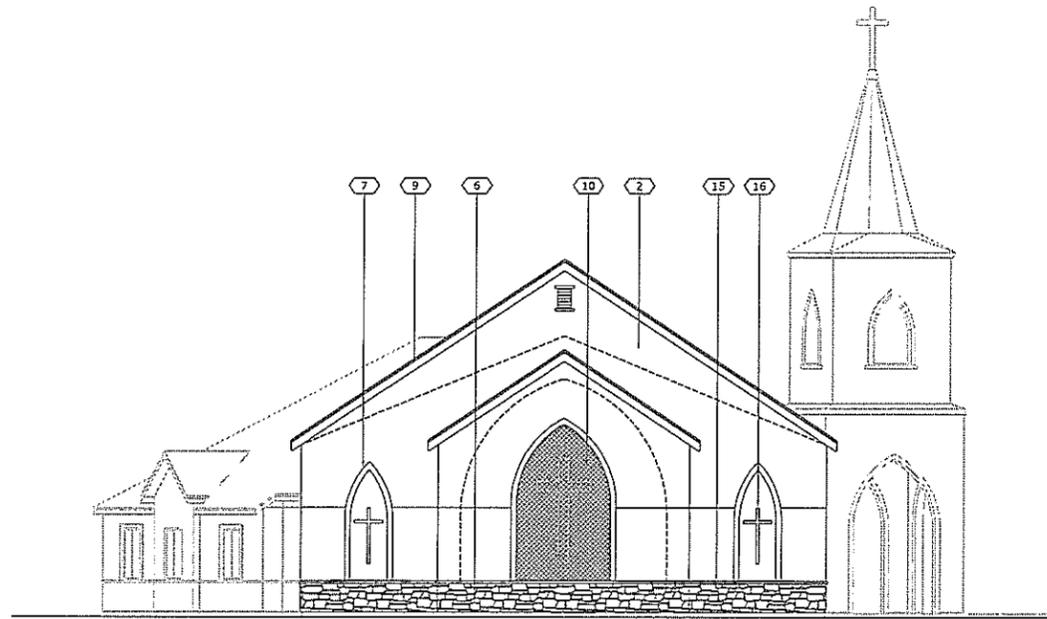
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*The SPIRITINGS*  
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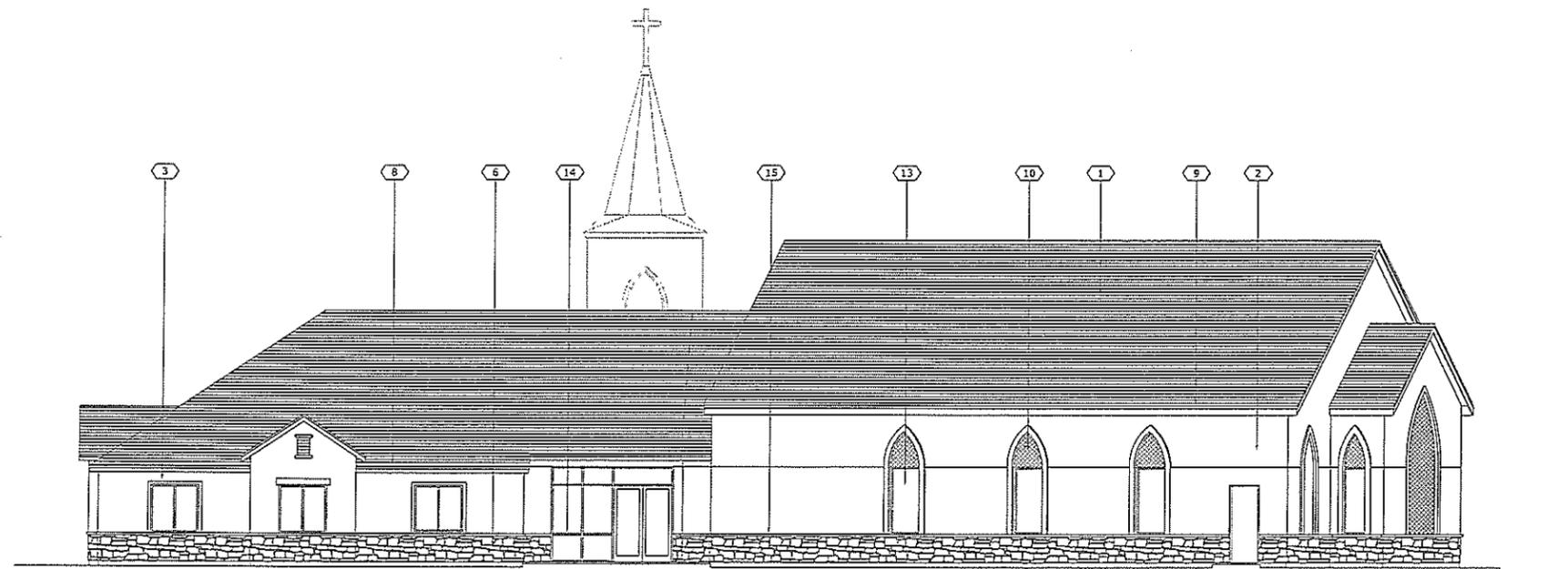
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 Submittal: PERMIT SET

Sheet Title: EXTERIOR ELEVATIONS

A3.1



1 WEST ELEVATION  
SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

KEY NOTES	
1	ASPHALT SHINGLES.
2	ACRYLIC STUCCO FINISH - SEE DETAIL S/A7.2.
3	2X4 STUCCO TRIM - ACRYLIC STUCCO FINISH.
4	2X8 WOOD TRIM (STAINED).
5	2X4 WOOD TRIM (STAINED).
6	PRE-MANUFACTURED STONE VENEER.
7	6" WIDE STUCCO SURROUND.
8	2X6 FASCIA TRIM (PAINTED).
9	2X10 FASCIA TRIM (PAINTED).
10	TILE INSET (4"x4" TILES).
11	FRENCH ENTRY DOOR (STAINED).
12	6" H. METAL CROSS (PREFINISHED).
13	1" INSUL. GLAZING IN THERMAL BREAK FRAME.
14	1" INSUL. GLAZING IN STOREFRONT SYSTEM.
15	PRE-MANUFACTURED STONE WATER TABLE/SILL (TYPICAL OF 2).
16	STEEL CROSS - 3" x 32" x 80" DARK BRONZE. (TYPICAL OF 2).

MATERIALS	
A.	PRE-MANUFACTURED STONE VENEER - EL DORADO "FIELDLEDGE" (COLOR - UMBRIA)
B.	STUCCO - OMEGA 3 COAT SYSTEM (COLOR TBD)
C.	ASPHALT SHINGLES - OWENS CORNING ARCHITECTURAL SERIES TRUDEFINITION DURATION (COLOR - BROWNWOOD)
D.	NOT USED.
E.	STOREFRONT & WINDOW FRAMING - KAWNEER TRIFAB 451UT 2" X 4 1/2" WITH THERMAL BREAK (COLOR - BRONZE)
F.	GLAZING - PPG SOLARBAN 60 LOW E (COLOR - SOLARBRONZE)

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*The SPIRIT*  
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LUTHERAN CHURCH

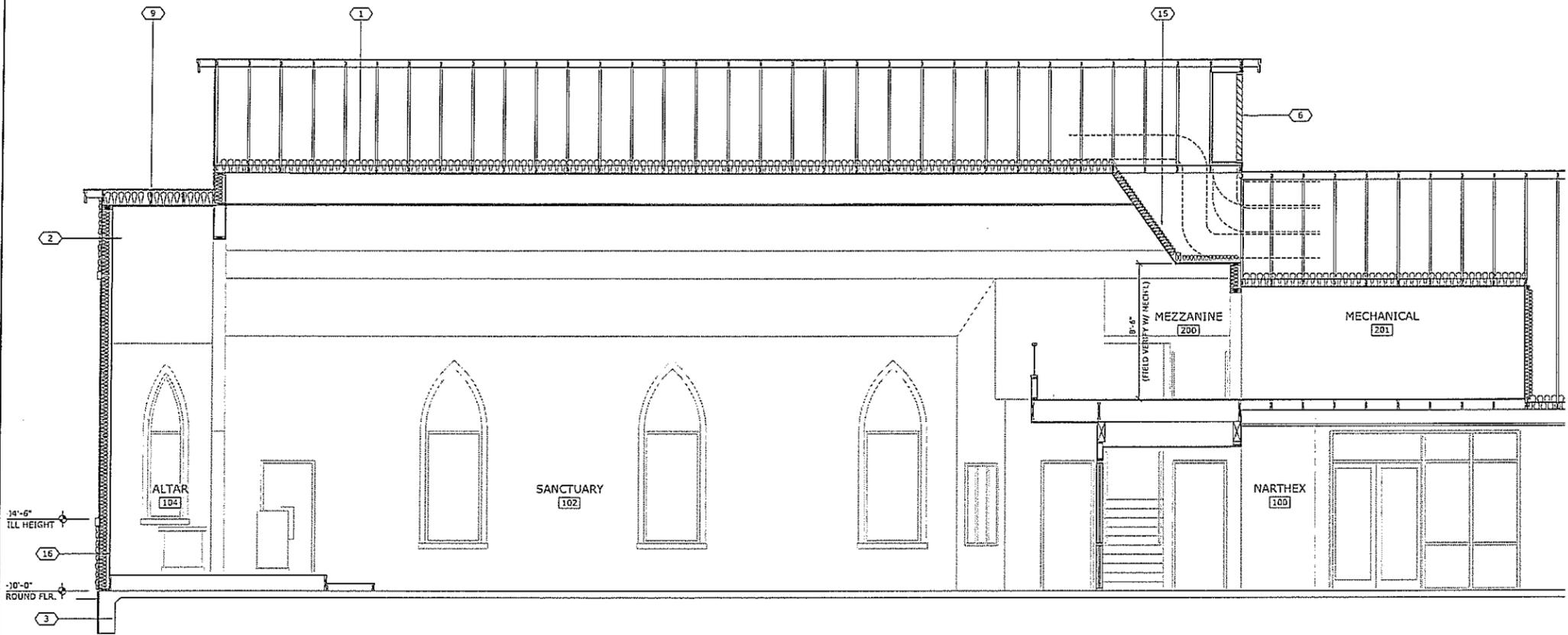
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Date: 04/21/15  
Submittal: PERMIT SET

Submittal Record:

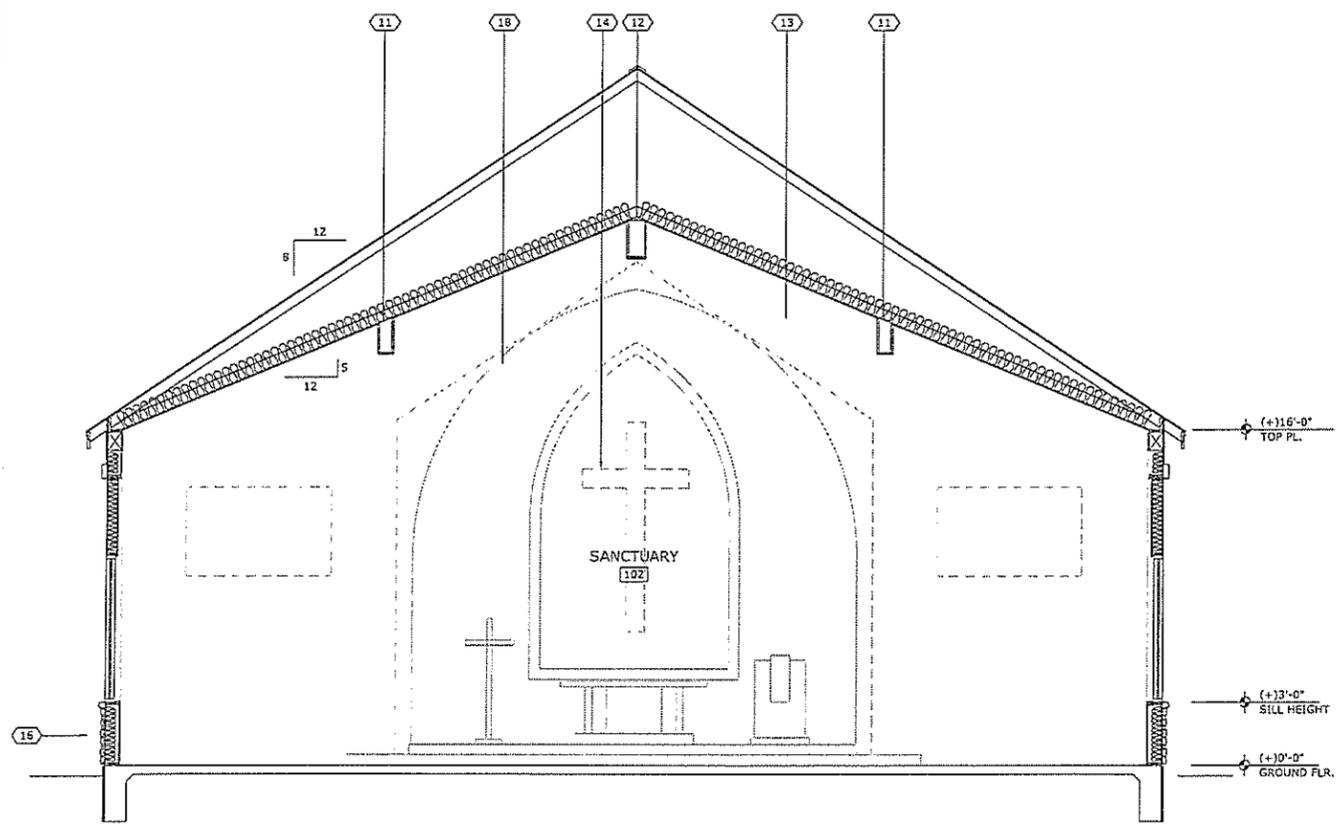
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A3.2

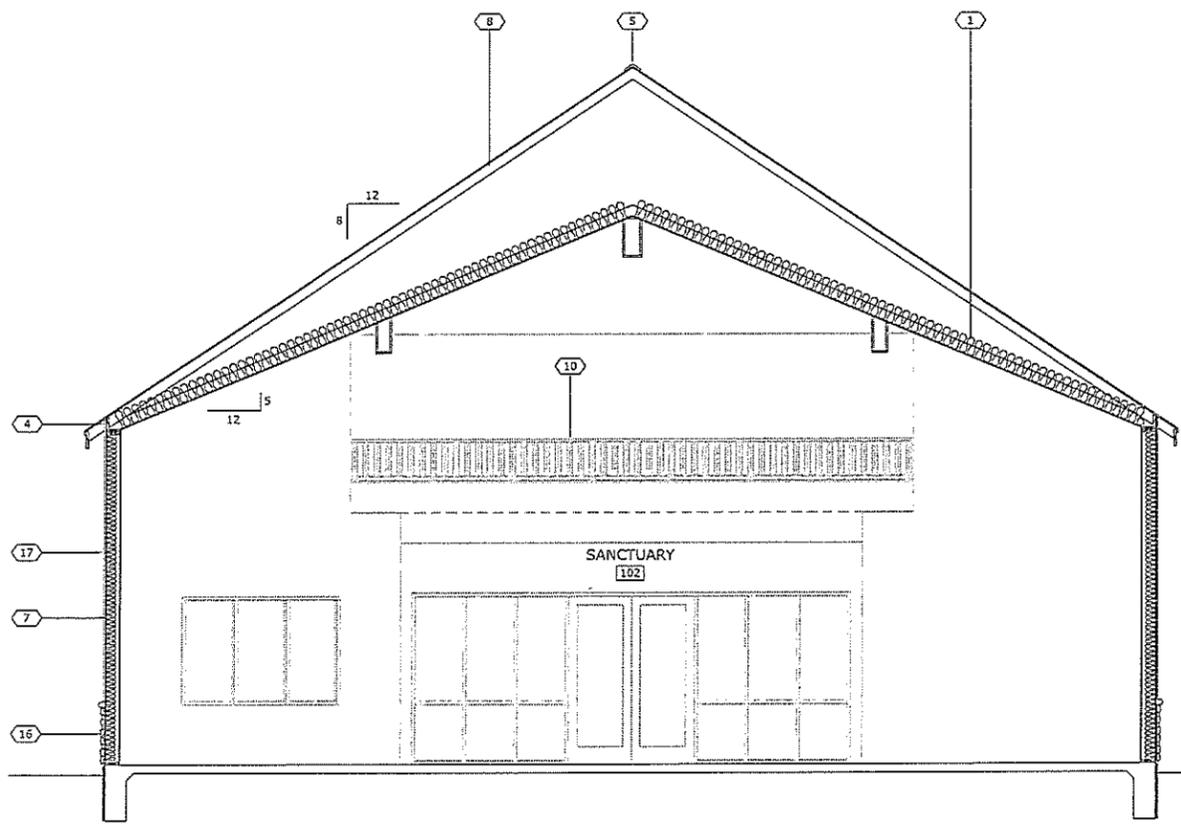


- KEY NOTES**
- 1 R-38 BATT INSULATION.
  - 2 R-21 BATT INSULATION.
  - 3 R-10 FDN INSULATION.
  - 4 PROVIDE ATTIC VENTS - SEE DETAILS 16/A2.3 & 20/A2.3.
  - 5 SHINGLE VENT II - CONTINUOUS RIDGE VENT.
  - 6 METAL LOUVER (PAINTED).
  - 7 2x8 EXT. STUDS AT 16" O.C.
  - 8 PRE-ENGINEERED WOOD TRUSSES.
  - 9 2x12 RAFTERS AT 24" O.C.
  - 10 MEZZANINE GUARDRAIL - SEE DETAIL 9/A7.2.
  - 11 BOX BEAM - SEE DETAIL 13/A7.2. SEE MECHANICAL FOR LINEAR DIFFUSER LOCATIONS.
  - 12 BOX BEAM - SEE DETAIL 17/A7.2. SEE MECHANICAL FOR RETURN SLOT LOCATIONS.
  - 13 4" W. HORIZ. WOOD SIDING (STAINED)
  - 14 SUSPENDED WOODEN CROSS - 5"x10"x10" (OWNER).
  - 15 2x FRAMING - DUCT CHASE.
  - 16 PRE-MANUFACTURED STONE VENEER.
  - 17 ACRYLIC STUCCO FINISH.
  - 18 6" W. WOOD TRIM AT ARCH - ALL SIDES. (STAINED)

**1 BUILDING SECTION**  
SCALE: 1/4" = 1'-0"



**2 BUILDING SECTION**  
SCALE: 1/4" = 1'-0"



**3 BUILDING SECTION**  
SCALE: 1/4" = 1'-0"

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PROJECT/CLIENT: # 1414  
DATE: 04/21/15  
SUBMITTAL RECORD: SUBMITTAL PERMIT SET

SHEET TITLE: BUILDING SECTIONS

SHEET: A4.1

1/4" = 1'-0" SPRING LUTHERAN CHURCH 14144\_A4.1





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 JAMES P. SOLARO  
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 01/22/15

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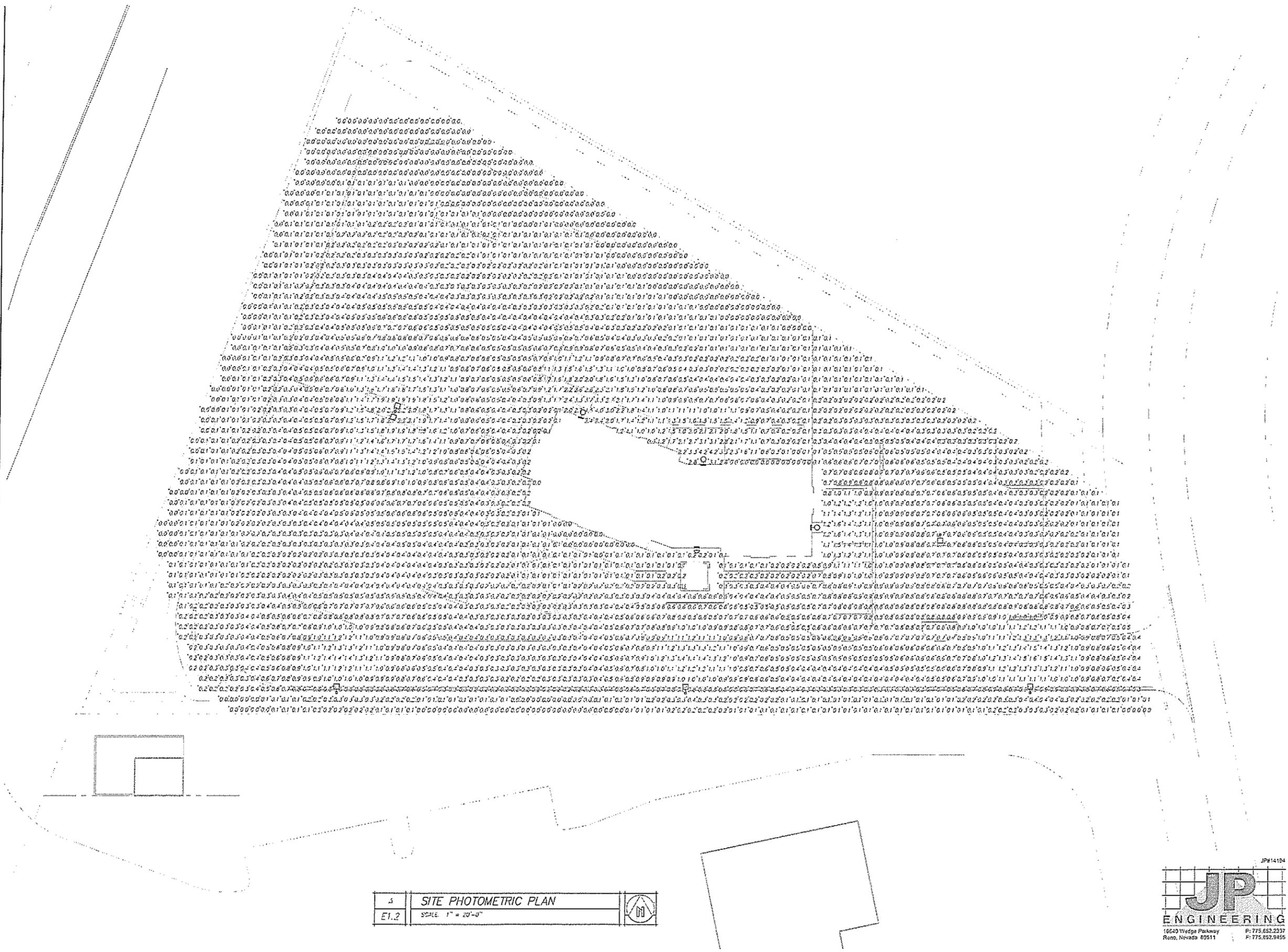
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PROJECT/CLIENT: # 1418

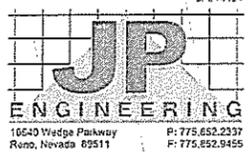
DATE: # SUBMITTAL: 04/21/15 PERMIT SET

SHEET TITLE: SUBMITTAL/RECORD: SITE PHOTOMETRIC PLAN

SHEET: # SUBMITTAL/RECORD: E1.2



E1.2 SITE PHOTOMETRIC PLAN  
 SCALE: 1" = 20'-0"



JPP14184

