



Board of Adjustment Staff Report

Meeting Date: August 1, 2024

Agenda Item: 10A

AMENDMENT OF CONDITIONS CASE
NUMBER:

WAC24-0007 (Vya Monopole 3rd
Extension of Time) for WSUP19-0003

BRIEF SUMMARY OF REQUEST:

To extend the approval of special use
permit WSUP19-0003 for the third time,
an additional two years, until June 6,
2026.

STAFF PLANNER:

Kat Oakley, Senior Planner
Phone Number: 775.328.3628
E-mail: koakley@washoecounty.gov

CASE DESCRIPTION

For hearing, discussion, and possible action to approve an amendment of conditions to extend the approval of Special Use Permit Case Number WSUP19-0003 a third time, for two additional years, until June 6, 2026. The original approval was for a new wireless cellular facility consisting of a 150-foot-high monopole structure, equipment shelter, outdoor generator, and LP tank.

Applicant: Commnet of Nevada, Attn:
Alexis Leidigh
Property Owner: United States of America –
Bureau of Land Management
Location: On the south side of Dugway
Road, approximately 1.5 miles
southwest of its intersection
with County Road 34, in the
area of Vya, Northern Washoe
County
APN: 061-010-49
Parcel Size: ± 774 acres
Master Plan: Rural
Regulatory Zone: General Rural
Area Plan: High Desert
Development Code: Authorized in Article 324,
Communication Facilities and
Article 810, Special Use
Permits
Commission District: 5 – Commissioner Herman



Vicinity Map

STAFF RECOMMENDATION

APPROVE

APPROVE WITH CONDITIONS

DENY

POSSIBLE MOTION

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment approve Amendment of Conditions Case Number WAC24-0007 for Commnet of Nevada, with the conditions included as Exhibit A to this matter, having made all five findings in accordance with Washoe County Code Section 110.810.30:

(Motion with Findings on Page 8)

Staff Report Contents

Amendment of Conditions	3
Site Plan	4
Background and Evaluation of Amendment Request	6
Master Plan Analysis.....	6
Reviewing Agencies.....	7
Findings	7
Recommendation.....	8
Motion.....	8
Appeal Process.....	9

Exhibits Contents

Conditions of Approval	Exhibit A
Agency Comments.....	Exhibit B
Public Notice	Exhibit C
Project Application	Exhibit D
WSUP19-0003 Staff Report	Exhibit E
Fire Conditions Correspondence.....	Exhibit F

Amendment of Conditions

An amendment of conditions application is necessary in order to change a condition(s) of an approved discretionary permit, such as a special use permit, a variance, an abandonment of an easement or a tentative subdivision map. Some examples of why an amendment of conditions application is submitted are listed below:

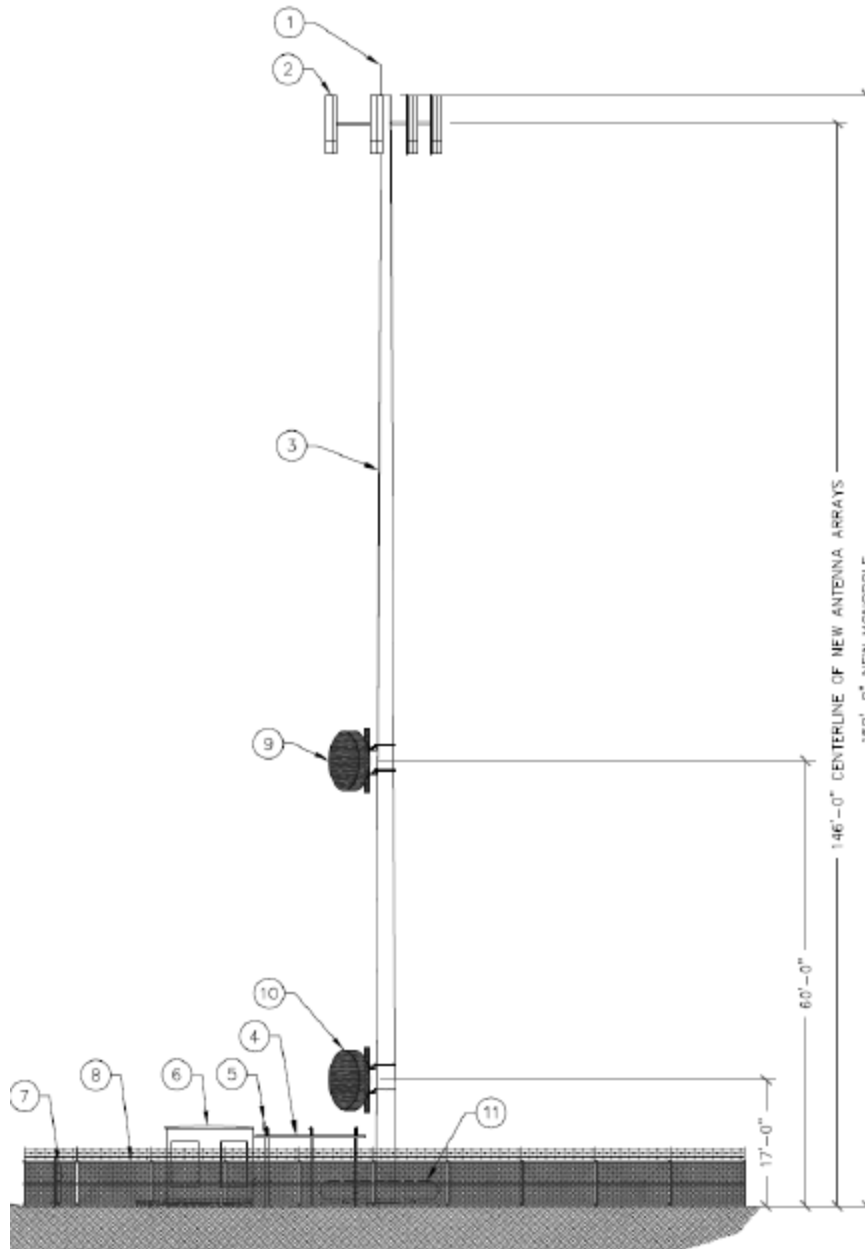
- Change in operating hours
- Physical expansion
- Extend the expiration date of the discretionary permit
- Extend the time to complete phases of the approved project

The amendment of conditions request is required to be heard by the same board that approved the original application and only the specific amendment may be discussed and considered for approval. The amendment of conditions application is processed in the same manner as the original discretionary permit application, including a public hearing, noticing, possible involvement of a citizen advisory board, agency review and analysis, and satisfying the required findings. If the Board of Adjustment grants an approval of the amendment of conditions request, an amended Action Order is created along with amended conditions of approval.

The subject property has a regulatory zone of General Rural (GR). The proposed use of a 150-foot-tall monopole, which is classified as a wireless communication facility per Article 324 of the Washoe County Development Code, is permitted in the GR regulatory zone with a special use permit (SUP) per WCC Section 110.324.50(e)(2). Special Use Permit Case Number WSUP19-0003 was approved in June of 2019. The applicant sought and was granted an extension of time for one year in April, 2021 (WAC21-0002) and for two additional years in April, 2022 (WAC22-0003). The applicant is now seeking approval of another extension of time of this SUP from the Board of Adjustment, for an additional two years.

The conditions of approval for Amendment of Conditions Case Number WAC24-0007 is attached to this staff report and will be included with the amended action order.





Proposed Elevation

Background and Evaluation of Amendment Request

Special Use Permit Case Number WSUP19-0003 was approved in June of 2019. The application to extend the deadline to obtain necessary permits for construction indicates that the additional two years are needed to complete sage grouse mitigation requirements and to complete permitting for rights-of-way from Washoe County and the Bureau of Land Management (BLM). Specifically, the applicant cites that necessary sage grouse habitat documentation work can only occur in a 2.5 month time frame each year, and that such work has been delayed due to the cost of sage grouse mitigation credits. After investigating other possible sites outside of greater sage grouse habitat, the applicants did not identify another viable option and will be conducting the required fieldwork in Spring of 2025.

For the aforementioned reasons, the applicant is seeking an extension of two years to obtain the necessary permits and approvals from Washoe County and the BLM for construction of the facility. The original staff report is included as Exhibit E in this report. Potential sage grouse concerns were identified at the time of the original application, and the Nevada Department of Wildlife (NDOW) identified potential paths forward including mitigations using the credit conservation system, which the applicant is pursuing. It is the opinion of Planning Staff that there have been no significant changes to the situation, that the original evaluation remains valid and that approval of the extension of time is reasonable.

This request constitutes the third extension of time for the subject project. The first was granted for one year in April of 2021 under WAC21-0002 and the second for two years, until June 4, 2024, under WAC22-0003. Due to the timing difficulties of sage grouse mitigation, the impacts of COVID-19 shortly after original project approval, and right-of-way acquisitions, this third extension of time for an additional two years is appropriate. However, since the project was originally reviewed in 2019, if the conditions of approval cannot be met by June 6, 2026, it would be appropriate for the permit to expire and require a new review and full public process.

During the review of the subject application, it was discovered that conditions of approval requested by the Truckee Meadows Fire Protection District (TMFPD) at the time of initial review were accidentally omitted from the action order. With the agreement of the applicant, those conditions will be added to the action order if this item is approved, with small modifications to reference currently adopted codes. Relevant correspondence can be found in Exhibit F.

Master Plan Analysis

Since the original approval of the special use permit, the master plan has been comprehensively updated under Envision Washoe 2040. The following are relevant policies from the Master Plan.

Table 1: Master Plan Element Conformance Priority Principles & Policies

Master Plan Policy	Explanation of Conformance
NCR1.1- Collaborate with all planning partners to identify and protect the region's significant visual gateways and viewsheds including ridge lines, buttes, mountains, and riparian corridors.	The proposed monopole does not disrupt any designated scenic resources.
NCR2.2— Work cooperatively with the USFS and the BLM to mitigate impacts of land uses on private land adjacent to or within the National Forest and the public lands.	The amendment of conditions request was sent to the BLM, who did not have any comments or concerns. The extended timeline will allow the applicant to continue to work with BLM and NDOW to mitigate the impacts to natural resources.

NCR2.3 – Coordinate wildlife protection efforts with NDOW, USFS, USFWS, the Nevada Division of Natural Heritage, Nevada Division of Parks, Washoe County Regional Parks and Open Space.	The relevant agencies were given the opportunity to comment on this application and did not have any concerns about wildlife protection. The extended timeline will allow the applicant to continue to work with BLM and NDOW to mitigate the impact to natural resources.
NCR3.1 – Protect key wildlife and fishery habitats; habitats of threatened, endangered, or rare species; key migration routes or critical seasonal habitats; and areas important for scientific study.	The subject site is in sage grouse habitat. However, the communications facility will provide expanded coverage territory for emergency service providers and another viable site was not found. Impacts to the sage grouse population will be mitigated through the NDOW sage grouse credit conservation system.

Reviewing Agencies

The following agencies/individuals received a copy of the project application for review and evaluation.

Agencies	Sent to Review	Responded	Provided Conditions	Contact
BLM - NV State Office	X			
BLM - Surprise Field Office	X			
Environmental Protection	X			
NDOW (Wildlife)	X			
Washoe County Parks & Open Space	X			
Washoe County Sewer	X			
Washoe County Water Rights Manager (All Apps)	X			
Washoe County Engineering (Land Development) (All Apps)	X	X		Rob Wimer, rwimer@washoecounty.gov
Washoe County Engineering & Capital Projects Director (All Apps)	X			
TMFPD	X	X		Brittany Lemon, blemon@tmfpd.us

No agency indicated that any additional conditions of approval were necessary to grant the extension of time. All conditions required by the contacted agencies can be found in Exhibit A, Conditions of Approval.

Findings

1. **Consistency**. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the High Desert Planning Area;

Staff response: As discussed in the master plan analysis section of the staff report, the proposed monopole is consistent with the master plan. It promotes resiliency of the region by expanding cellular service territory for emergency service providers. While there will be impacts to natural resources—specifically to sage grouse habitat—alternative sites were

explored, and no viable options were found. The impacts will be mitigated through the NDOW sage grouse credit conservation system.

2. Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven;

Staff response: The subject project is an unmanned facility that creates no need for sanitation, water supply, or other facilities associated with manned facilities. The applicant will need to acquire the requisite rights-of-way from Washoe County and the BLM to do the road improvements for access to the site. The improvements are sufficient for the use proposed.

3. Site Suitability. That the site is physically suitable for a telecommunications facility (monopole), and for the intensity of such a development;

Staff response: The site is suitable for a telecommunications facility. The monopole will be on a flatter area of the subject site and significant grading is not anticipated.

4. Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area;

Staff response: The issuance of the permit will not have a significant detriment to adjacent properties or to the character of the surrounding area. The intent of the facility is to provide greater cellular service coverage for emergency service providers and therefore will have a benefit for the surrounding area.

5. Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Staff response: There is no military installation near the subject site.

Recommendation

Those agencies which reviewed the application recommended conditions in support of approval of the Amendment of Conditions request. Therefore, after a thorough review and analysis, Amendment of Conditions Case Number WAC24-0007 is being recommended for approval with conditions. Staff offers the following motion for the Board's consideration.

Motion

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment approve Amendment of Conditions Case Number WAC24-0007 for Commnet of Nevada, with the conditions included as Exhibit A to this matter, having made all five findings in accordance with Washoe County Code Section 110.810.30:

1. Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the High Desert Planning Area;
2. Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven;

3. Site Suitability. That the site is physically suitable for a telecommunications facility (monopole), and for the intensity of such a development;
4. Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area;
5. Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Appeal Process

Board of Adjustment action will be effective 10 calendar days after the written decision is filed with the Secretary to the Planning Commission and mailed to the applicant(s), unless the action is appealed to the Washoe County Board of County Commissioners, in which case the outcome of the appeal shall be determined by the Washoe County Board of County Commissioners. Any appeal must be filed in writing with the Planning and Building Division within 10 calendar days from the date the written decision is filed with the Secretary to the Planning Commission and mailed to the applicant(s).

Applicant: Commnet of Nevada LLC, alexis.leidigh@commnetbroadband.com

Property Owner: United States of America - BLM

Representatives: CIS Communications, LLC julie@ciscomm.com



Amended Conditions of Approval

Amendment of Conditions Case Number WAC24-0007
For Vya Monopole Permit Case Number WSUP19-0003

The project approved under Amendment of Conditions Case Number WAC24-0007 for Vya Monopole Permit Case Number WSUP19-0003 shall be carried out in accordance with the Amended Conditions of Approval granted by the Board of Adjustment on August 1, 2024. Conditions of approval are requirements placed on a permit or development by each reviewing agency. These conditions of approval may require submittal of documents, applications, fees, inspections, amendments to plans, and more. These conditions do not relieve the applicant of the obligation to obtain any other approvals and licenses from relevant authorities required under any other act or to abide by all other generally applicable Codes, and neither these conditions nor the approval by the County of this project/use override or negate any other applicable restrictions on uses or development on the property.

Unless otherwise specified, all conditions related to the amendment of conditions approval regarding the Vya Monopole shall be met or financial assurance must be provided to satisfy the conditions of approval prior to issuance of a grading or building permit. The agency responsible for determining compliance with a specific condition shall determine whether the condition must be fully completed or whether the applicant shall be offered the option of providing financial assurance. All agreements, easements, or other documentation required by these conditions shall have a copy filed with the County Engineer and the Planning and Building Division.

Compliance with the amended conditions of approval related to the Vya Monopole is the responsibility of the applicant, his/her successor in interest, and all owners, assignees, and occupants of the property and their successors in interest. Failure to comply with any of the amended conditions imposed regarding the approved Vya Monopole may result in the initiation of revocation procedures.

Washoe County reserves the right to review and revise the amended conditions of approval related to this Vya Monopole should it be determined that a subsequent license or permit issued by Washoe County violates the intent of this approval.

For the purpose of conditions imposed by Washoe County, "may" is permissive and "shall" or "must" is mandatory.

Conditions of approval are usually complied with at different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e., grading permits, building permits, etc.).
- Prior to obtaining a final inspection and/or a certificate of occupancy.
- Prior to the issuance of a business license or other permits/licenses.
- Some "Conditions of Approval" are referred to as "Operational Conditions." These conditions must be continually complied with for the life of the project or business.

FOLLOWING ARE CONDITIONS OF APPROVAL REQUIRED BY THE REVIEWING AGENCIES. EACH CONDITION MUST BE MET TO THE SATISFACTION OF THE ISSUING AGENCY.

Washoe County Planning and Building Division

1. The following conditions are requirements of Planning and Building, which shall be responsible for determining compliance with these conditions.

Contact Name – Kat Oakley, 775.328.3628, koakley@washoecounty.gov

- a. **The applicant shall attach a copy of the Action Order approving this project to all administrative permit applications (including building permits) applied for as part of this special use permit.**
- b. The applicant shall demonstrate substantial conformance to the plans approved as part of this special use permit. The Planning and Building Division shall determine compliance with this condition.
- c. The applicant shall demonstrate conformance to State of Nevada Executive Order 2018-32, Order Establishing Use of the Nevada Greater Sage-Grouse Conservation Plan and Credit System. The Planning and Building Division shall determine compliance with this condition.
- d. The applicant shall submit complete construction plans and building permits shall be issued **on or before June 6, 2026**. The applicant shall complete construction within the time specified by the building permits. Compliance with this condition shall be determined by the Planning and Building Division.
- e. All existing trees and landscaping removed as part of the construction of this facility shall be replaced at the rate of two trees for each tree removed and two bushes for each bush removed.
- f. The monopole tower shall not exceed 150 feet in maximum height, as approved under this special use permit WSUP19-0003.
- g. A note shall be placed on all construction drawings and grading plans stating:

NOTE

Should any prehistoric or historic remains/artifacts be discovered during site development, work shall temporarily be halted at the specific site and the State Historic Preservation Office of the Department of Museums, Library and Arts shall be notified to record and photograph the site. The period of temporary delay shall be limited to a maximum of two (2) working days from the date of notification.

- h. Prior to the issuance of a building permit, the applicant shall provide a certification by a professional that the facility complies with Federal Communications Commission (FCC) regulations for Radio Frequency Emissions (RFE).
- i. Prior to the issuance of a building permit the applicant shall record a statement of assurance that the wireless communications facility shall be removed if the use of the facility is discontinued for a period of twelve (12) consecutive months.
- j. The following **Operational Conditions** shall be required for the life of the unmanned wireless telecommunications monopole.
 - i. This special use permit shall remain in effect until or unless it is revoked or is inactive for one year.

- ii. Failure to comply with the Conditions of Approval shall render this approval null and void. Compliance with this condition shall be determined by the Planning and Building Division.
- iii. The applicant and any successors shall direct any potential purchaser/operator of the site and/or the special use permit to meet with the Planning and Building Division staff to review Conditions of Approval prior to the final sale of the site and/or the special use permit. Any subsequent purchaser/operator of the site and/or the special use permit shall notify the Planning and Building Division of the name, address, telephone number, and contact person of the new purchaser/operator within 30 days of the final sale.

Washoe County Engineering and Capital Projects

2. The following conditions are requirements of the Engineering Division, which shall be responsible for determining compliance with these conditions.

Contact Name – Rob Wimer; 775.328.2059; rwimer@washoecounty.gov

- a. A complete set of construction improvement drawings, including an on-site grading plan, shall be submitted when applying for a building/grading permit. Grading shall comply with best management practices (BMP's) and shall include detailed plans for grading, site drainage, erosion control (including BMP locations and installation details), slope stabilization, and mosquito abatement. Placement or removal of any excavated materials shall be indicated on the grading plan. Silts shall be controlled on-site and not allowed onto adjacent property.
- b. The applicant shall provide documentation of easements for the lease area, access and utilities. A copy of the easements shall be submitted to the Engineering Division prior to the approval of a building permit.
- c. All existing and proposed easements shall be shown on the site and/or grading plan.

Truckee Meadows Fire Protection District (TMFPD)

3. The following conditions are requirements of the Truckee Meadows Fire Protection District, which shall be responsible for determining compliance with these conditions. Unless otherwise stated, these conditions shall be met prior to the issuance of any building or grading permit or on an ongoing basis as determined by TMFPD

Contact Name – Brittany Lemon, 775.326.6079, blemon@tmfpd.us

- a. **Fire protection of the new structures shall be as required by the current adopted International Fire Code, the current adopted (IFC) International Wildland Urban Interface Code (IWUIC), with amendments and the requirements of the NFPA standard(s).**
- b. **Provide a vegetation selection, installation, management and Defensible Space Plan as required for the project in accordance with the requirements of the IWUIC.**
- c. **The length of the road appears to be in excess of 200 feet and would require a 20' width as a Fire Apparatus Access Road, with no greater than 10% grade. IWUIC 403.3 and 403.7.**
- d. **Provide a 20' gate opening with a TMFPD approved access gate locking device per IFC D103.5.**

*** End of Conditions ***

Oakley, Katherine

From: Evans, Timothy
Sent: Tuesday, June 18, 2024 12:15 PM
To: Oakley, Katherine
Subject: FW: Amendment of Conditions Case Number WAC24-0007 (Vya Monopole 2nd Extension of Time) for WSUP19-0003

Hi Kat,

See comment below in relation to WAC24-0007

Best,



Tim Evans

Planner, Planning & Building Division | Community Services Department

CSD Main Phone: 775-328-3600 Direct Line: 775-328-2314

Visit us first online: www.washoecounty.gov/csd

From: COOPER, CLIFFORD E <cc2132@att.com>
Sent: Monday, June 17, 2024 1:51 PM
To: Evans, Timothy <TEvans@washoecounty.gov>
Subject: Amendment of Conditions Case Number WAC24-0007 (Vya Monopole 2nd Extension of Time) for WSUP19-0003

[NOTICE: This message originated outside of Washoe County -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.]

Tim,
AT&T does not have any adverse comments regarding this project.

CLIFF COOPER
SR SPECIALIST-OSP DESIGN ENGINEER
AT&T NEVADA
1375 Capital Blvd rm 115
Reno, NV 89502
ROW Office: 775-453-7578
Cell: 775-200-6015
Email: cc2132@att.com
TEXTING and DRIVING...It Can Wait



Date: June 25, 2024

To: Kat Oakley, Senior Planner

From: Janelle K. Thomas, P.E., Senior Licensed Engineer
Robert Wimer, P.E., Licensed Engineer

Re: Amendment of Conditions Case WAC24-0007 for WSUP19-0003
APN: 061-010-49

GENERAL COMMENTS

Washoe County Engineering staff has reviewed the above referenced application. The Amendment of Conditions case is to approve an Amendment of Conditions to amend condition 1(d) for Special Use Permit Case Number WSUP19-0003, in order to extend the expiration date of the special use permit for an additional two (2) years. The Engineering and Capital Projects Division recommends approval with no additional comments or conditions of approval based upon our review of the site and the application prepared by CIS Communications, LLC.

Oakley, Katherine

From: Lemon, Brittany
Sent: Thursday, June 27, 2024 1:03 PM
To: Oakley, Katherine
Cc: Way, Dale
Subject: WAC24-0007 (Vya Monopole 2nd Extension of Time)

Hi Kat,

Our comments remain the same for this project.

Thank you, and I apologize for the delay.

Brittany Lemon

Fire Captain - Fire Prevention | Truckee Meadows Fire & Rescue

blemon@tmfpr.us | Office: 775.326.6079 | Cell: 775.379.0584
3663 Barron Way, Reno, NV 89511



"Committed to excellence, service, and the protection of life and property in our community"

Oakley, Katherine

From: Steve Shell <sshell@water.nv.gov>
Sent: Friday, June 14, 2024 1:50 PM
To: Oakley, Katherine
Subject: WAC24-0007

[NOTICE: This message originated outside of Washoe County -- **DO NOT CLICK** on links or open attachments unless you are sure the content is safe.]

The Division of Water Resources has no comment.

"May the forces of evil become confused on the way to your house." – George Carlin

Steve Shell

Water Rights Specialist II
Department of Conservation and Natural Resources
Nevada Division of Water Resources
901 S. Stewart St., Suite 2002
Carson City, NV 89701
sshell@water.nv.gov
(O) 775-684-2836 | (F) 775-684-2811



NEVADA DIVISION
OF WATER RESOURCES



Nevada Department of
**CONSERVATION &
NATURAL RESOURCES**

Connect with us:   



Date: June 18, 2024

To: Kat Oakley, Senior Planner

From: Timber Weiss, P.E., Licensed Engineer

Re: Amendment of Conditions Case Number WAC24-0007 (Vya Monopole 2nd Extension of Time) for WSUP19-0003

GENERAL PROJECT DISCUSSION

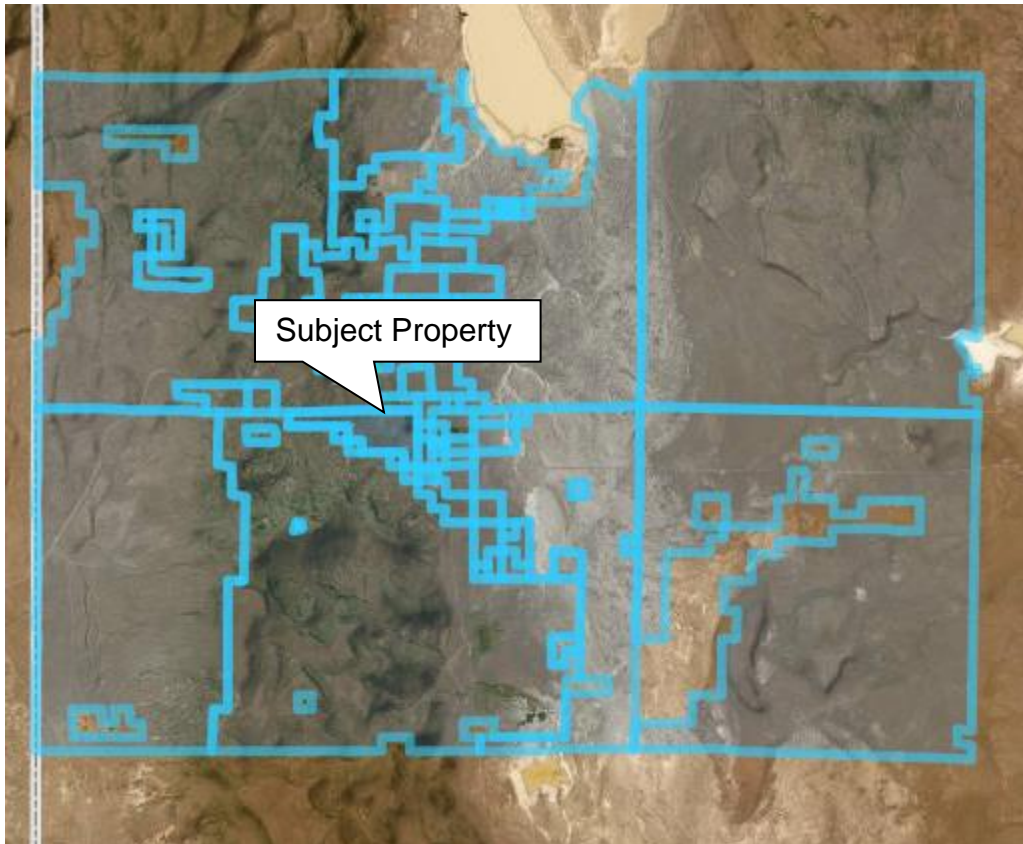
For hearing, discussion, and possible action to approve an amendment of conditions to extend the approval of Special Use Permit Case Number WSUP19-0003 a second time, for two additional years, until June 6, 2024. The original approval was for a new wireless cellular facility consisting of a 150-foot-high monopole structure, equipment shelter, outdoor generator, and LP tank.

The Community Services Department (CSD) recommends approval of this project with the following Water Rights conditions:

No water rights conditions for this amendment.

Public Notice Map

Pursuant to Washoe County Code Article 810, public notification consists of notification by mail of at least 10 separate property owners within a minimum 500-foot radius of the subject property. This proposal was noticed within a 22,000 foot radius of the subject property, noticing 39 separate property owners.



NOTICING MAP



May 31, 2024

Trevor Lloyd
Washoe County
Planning and Development Division
1001 E. Ninth Street
Reno, NV 89512

RE: Amendment of Conditions Application for Case Number WAC22-0003 (Extension of Time for WSUP19-0003 Vya Monopole) 89000A Dugway Road, Gerlach, NV 89413

Trevor,

Please find enclosed an Amendment of Conditions Application for the above referenced Special Use Permit where Commnet of Nevada, LLC requests to amend condition 1 (d) for an additional two (2) years to allow completion of Sage-Grouse mitigation requirements, all final permitting and right of way grants to be issued by Washoe County and the Bureau of Land Management. The submittal contains the following documents.

This application is for the June 10, 2024, submittal to be placed on the August 1, 2024, Board of Adjustment Agenda

1. Filing Fee Check
2. Washoe County Development Application
3. Amendment of Conditions Application Supplemental Information
4. Property Owner Affidavit
5. Proof of Property Tax Payment – not required, Federal lands
5. Site Plan and survey
6. Location Map
7. Flash Drive

Upon review, if you have any questions or need additional materials, I can be reached at (314) 640-5182 cell.

Sincerely,

Julie Krekeler
General Manager

Enclosures

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: Commnet Wireless - Vya, NV			
Project Description: Commnet Wireless proposes the construction of a new unmanned wireless communication facility serving the Vya and surrounding area.			
Project Address: E911 Assigned Address: 89000A Dugway Road, Gerlach, NV 89413			
Project Area (acres or square feet): 7,469 sf lease area along with access and utility easements			
Project Location (with point of reference to major cross streets AND area locator): From Vya, NV, head north on CR 34 N (1.4 miles) continue straight onto Dugway Road (1.5 miles). Turn left onto unnamed dirt road to site.			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
061-010-49	773.890015 acres		
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: United States of America - BLM		Name: CIS Communications, LLC	
Address: 708 W. 12th St		Address: 749 Old Ballas Road	
Alturas, CA	Zip: 96101	Creve Coeur, MO	Zip: 63141
Phone: (530)-224-2100	Fax:	Phone: (314)934-3568	Fax:
Email:		Email: julie@ciscomm.com	
Cell:	Other:	Cell: (314) 640-5182	Other:
Contact Person:		Contact Person: Julie Krekeler - General Manager	
Applicant/Developer:		Other Persons to be Contacted:	
Name: Commnet of Nevada, LLC (dba Commnet Wireless)		Name:	
Address: 1562 North Park Street		Address:	
Castle Rock, CO	Zip: 80109	Zip:	
Phone: (720) 733-7854	Fax:	Phone:	Fax:
Email: Alexis.Leidigh@commnetbroadband.com		Email:	
Cell: 501-351-4004	Other:	Cell:	Other:
Contact Person: Alexis Leidigh - Assoc Dir. of Site Development		Contact Person:	
For Office Use Only			
Date Received:		Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Development Code Amendment Application Supplemental Information

(All required information may be separately attached)

1. What section of the Washoe County Code (WCC) 110 of the Development Code is being requested to be amended?

See Attached Supplemental Information.

2. Provide the specific language you are seeking to delete and/or add to the Development Code?

See Attached Supplemental Information.

3. What is the purpose to amend the Development Code?

See Attached Supplemental Information.

4. Are there any negative impacts to amending this section of the Development Code?

See Attached Supplemental Information.

Amendment of Conditions Application Supplemental Information (All required Information may be separately attached)

Commnet of Nevada, LLC (Commnet Wireless) is seeking to extend the Board of Adjustment Action Conditions of Approval for Amendment of Conditions Case Number WAC22-0003 (Extension of Time for WSUP19-0003 Vya Monopole) for an additional two (2) years to obtain all required Bureau of Land Management final Right-of-Way grants, Sage-Grouse mitigation requirements, and the issuance of Washoe County's Building Permit.

The past several years presented challenges as the Applegate/Susanville, CA, Bureau of Land Management Field Offices (BLM) has faced several obstacles including the California/Nevada forest fires, COVID-19, and short-staffing. Additionally, Commnet undertook consultations with Nevada Sagebrush EcoSystem Technical Team (SETT) and it was confirmed that this site is located in designated habitat for the Greater Sage-Grouse. The field work for the Habitat Quantification Tool (HQT) Analysis can only occur during the April 15th-June 30th timeframe each year and has been delayed due to budgeting reasons related to the requirements and high cost of the sage grouse mitigation credits. During this time, Commnet has diligently explored alternative options for this tower site but those efforts have not resulted in any viable solutions.

The next opportunity to perform the HQT field work will be during the spring of 2025. Once the SETT approves the qualified biologists to perform the field work, it will be an approximate six-month process to complete all the Nevada Conservation Credit System (CCS) requirements for the SETT including the purchase the required sage-grouse mitigation credits, which must be completed prior to the start of construction.

The additional two (2) years will be necessary to ensure an adequate time frame to obtain all final grants and permits and construction of the telecommunications tower. Winter season can delay constructability.

1. What section of the Washoe County Code (WCC) 110 of the Development Code is being requested to be amended?

Commnet Wireless requests to amend condition 1 (d) of the Washoe County Planning and Building Division Board of Adjustment Action Order.

2. Provide the specific language you are seeking to delete and/or add to the Development Code?

Please refer to the attached Board of Adjustment Action Order dated May 5, 2022 - Amendment of Conditions Case Number WAC22-0002 (Extension of Time for WSUP19-0003 Vya Monopole)

Existing Condition 1 (d) language

The applicant shall submit complete construction plans and building permits shall be issued on or before June 6, 2024. The applicant shall complete construction within the time specified by the building permits. Compliance with this condition shall be determined by the Planning and Building Division.

Proposed Condition 1 (d) language

The applicant shall submit complete construction plans and building permits shall be issued on or before June 6, 2026. The applicant shall complete construction within the time specified by the building permits. Compliance with this condition shall be determined by the Planning and Building Division.

3. What is the purpose to amend the Development Code?

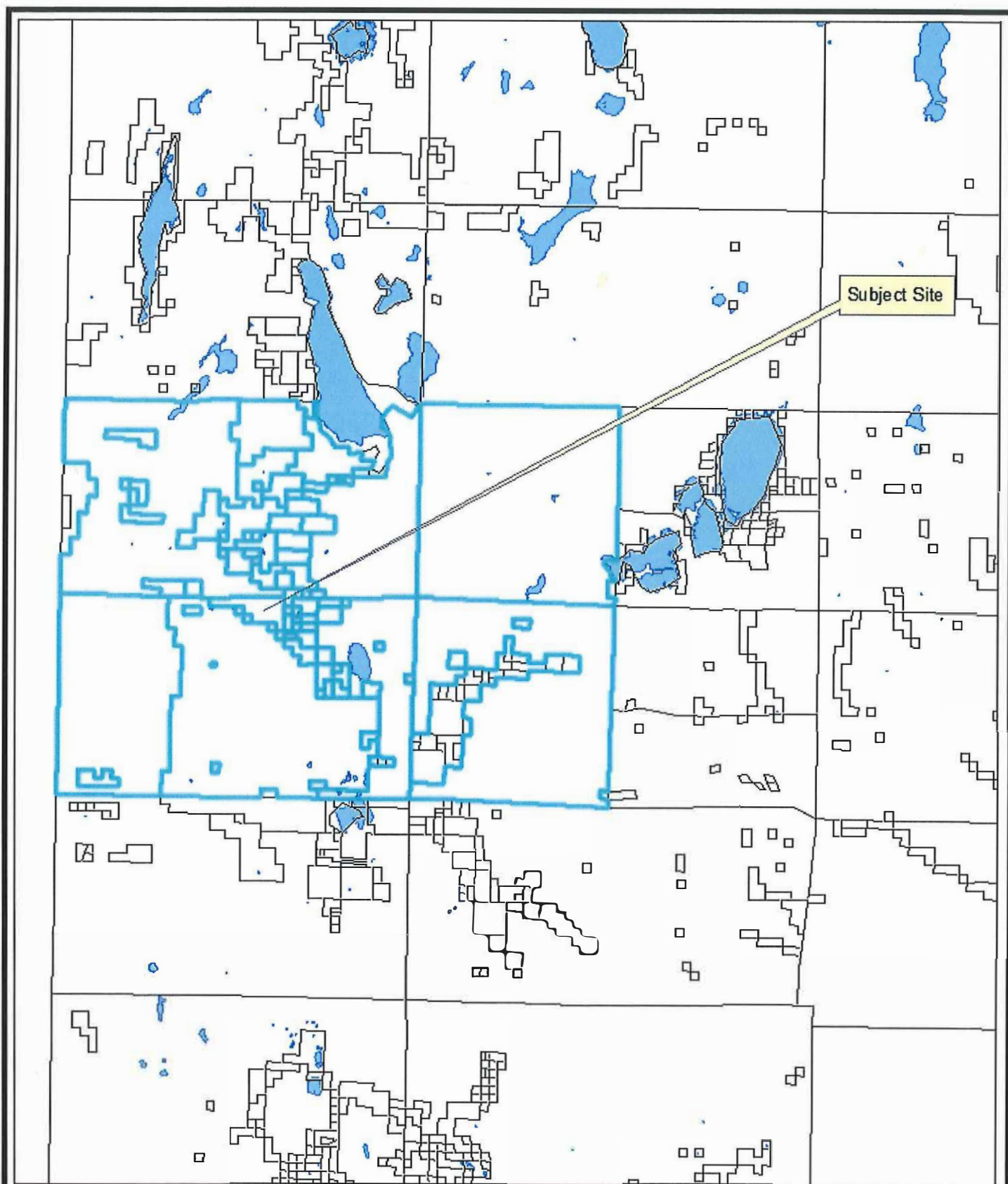
Commnet Wireless requests to amend condition 1 (d) of the Washoe County Planning and Building Division Board of Adjustment Action Order where it states that the applicant shall submit complete construction plans and building permits shall be issued on or before June 6, 2024.

While Commnet Wireless has previously submitted construction drawings and is working with Washoe County Planning and Building Department, the Bureau of Land Management must also review and approve all final changes to the construction drawings prior to issuing the final right of way grant. SETT mitigation requirements must also be completed.

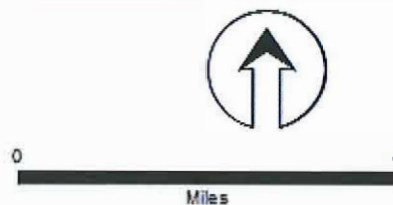
4. Are there any negative impacts to amending this section of the Development Code?

No, there are no negative impacts to amending this section of the Development Code. This telecommunications facility is part of the FirstNet nationwide buildout to provide an emergency broadband network dedicated to first responders (ie Fire, Police, EMT) for the ability to communicate on a single network for any public safety needs in the area. In addition, the tower will provide expansion of LTE for Commnet and any of its collaboration partners/collocators.

The approval of this Amendment is vital in the expansion of FirstNet's coverage to provide reliable communications for public safety.



WSUP19-0003 Vya Monopole
 Noticing Map
 83 Parcels Selected at 22000 feet



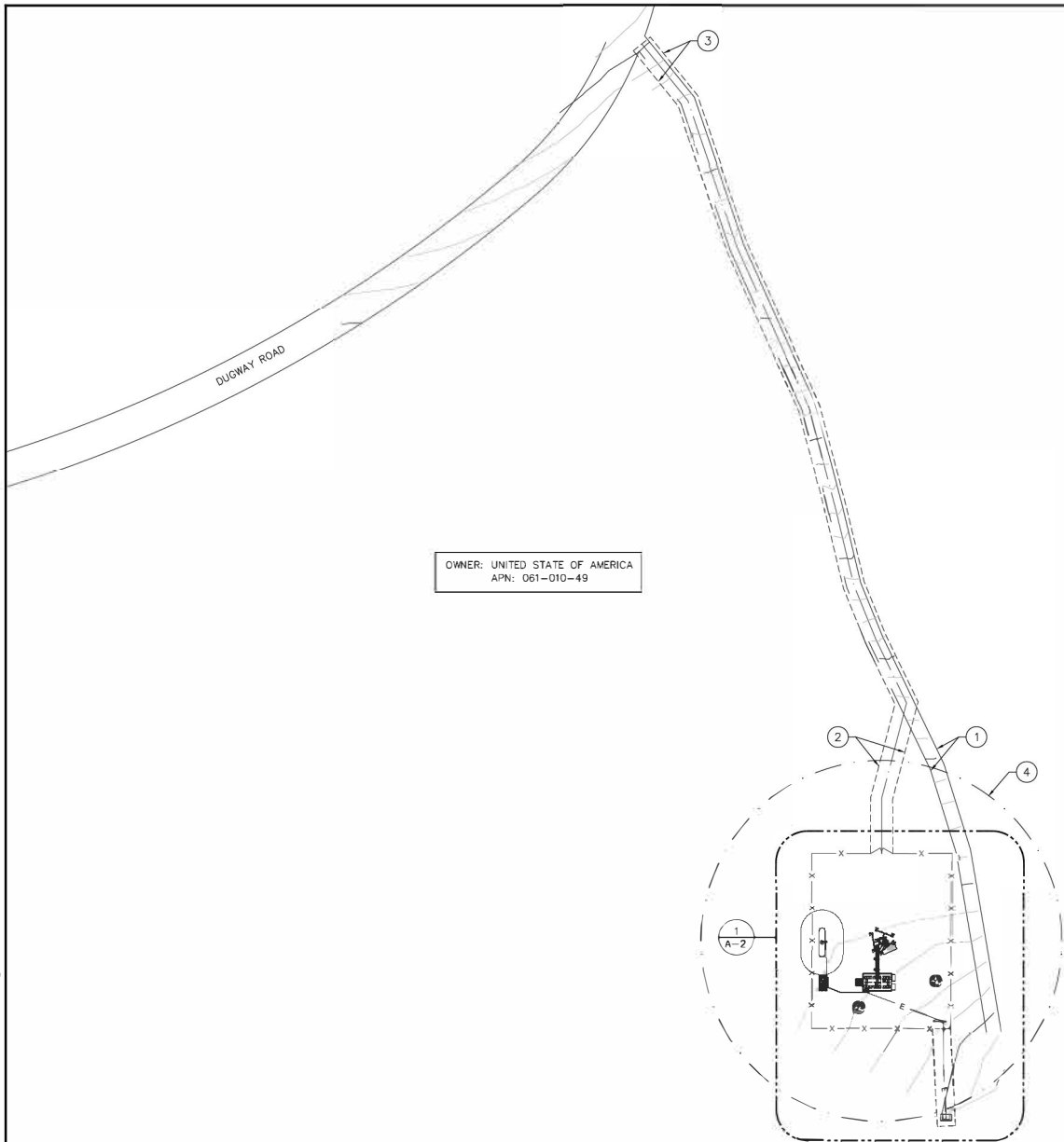
Community Services
 Department




1001 ENRm St:
 Reno, Nev. 89512 (775) 323-3600

Date: 04/16/2019


Copyright © the Engineering (March) 2019. This document is a proprietary work of the Engineering and contains information that is the property of the Engineering. It is not to be used, reproduced or distributed in any form without the written permission of the Engineering. Only the Engineering has the right to alter the information contained in this document for construction purposes. The Engineering assumes no liability for any errors or omissions in this document. The Engineering assumes no liability for any damages, claims, suits, liability, damages, judgments, or expenses arising from or related to the use or re-use of the electronic files. All rights reserved.



- COMPOUND PLAN KEYED NOTES** #
1. (E) DIRT ROAD
 2. (N) 12' WIDE DIRT ACCESS ROAD
 3. (N) 12' WIDE ACCESS EASEMENT
 4. CONSTRUCTION WORK AREA $\pm 100'$ RADIUS, THE AREA WITHIN THIS BOUNDARY TO BE USED AS TEMPORARY CONSTRUCTION ZONE, STAGING MATERIAL AREA, VEHICLE ACTIVITY AREA AND GENERAL CONSTRUCTION PURPOSE. THIS AREA WILL RECLAIMED AND CLEANED UP AFTER CONSTRUCTION IS COMPLETE.




Connecting Rural America



1337 E DESERT FLOWER LANE
PHOENIX, AZ 85048
PHONE: (480) 213-8524

PE SEAL



DESIGNER: JASON NGO

LEAD EE: SB

LEAD CE/SE: SAM

SUBMITTALS			
REV	DATE	DESCRIPTION	BY
H	1/25/19	COMMENTS	JN
I	2/13/19	COMMENTS	JN
J	2/18/19	COMMENTS	JN
K	2/19/19	FINAL CD	JN
L	4/3/19	REVISED CD	JN

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO COMMNET WIRELESS IS STRICTLY PROHIBITED.

SITE NAME

VYA, NEVADA

PROJECT

RAW LAND MONOPOLE

SITE ADDRESS

LAT: 41° 35' 30.76358"N
LONG: 119° 52' 47.14752"W
89000A DUGWAY ROAD
GERLACH, NV 89413

SHEET TITLE

OVERALL SITE PLAN

SHEET NUMBER

A-1

OVERALL SITE PLAN

22"x34" SCALE: 1" = 30'-0"
11"x17" SCALE: 1" = 60'-0"



LEGAL DESCRIPTIONS

BEING A PORTION OF SECTION 5, TOWNSHIP 42 NORTH, RANGE 19 EAST, MDB&M, WASHOE COUNTY, NEVADA, DESCRIBED AS FOLLOWS:

PARCEL A (LEASE AREA)

COMMENCING AT THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER (NW1/4) OF SECTION 5, TOWNSHIP 42 NORTH, RANGE 19 EAST, M.D.B.&M.;

THENCE NORTH 77°40'28"E, 2441.54 FEET TO THE POINT OF BEGINNING;

THENCE SOUTH 89°49'37"E, 72.00 FEET TO A POINT HEREINAFTER REFERRED TO AS POINT "A";

THENCE CONTINUING, SOUTH 89°49'37"E, 5.00 FEET;

THENCE NORTH 00°10'23"E, 97.00 FEET;

THENCE NORTH 89°49'37"W, 38.50 FEET TO A POINT HEREINAFTER REFERRED TO AS POINT "B";

THENCE CONTINUING, NORTH 89°49'37"W, 38.50 FEET;

SOUTH 00°10'23"W, 97.00 FEET TO THE POINT OF BEGINNING.

CONTAINING 7,469 SQ.FT. MORE OR LESS.

PARCEL B (UTILITY EASEMENT)

BEING A STRIP OF LAND 10.00 FEET IN WIDTH, LYING 5.00 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:

BEGINNING AT THE AFOREMENTIONED POINT "A";

THENCE SOUTH 12°50'26"E, 54.25 FEET TO THE POINT OF TERMINATION.

THE SIDELINES OF THIS STRIP OF LAND ARE TO BE LENGTHENED OR SHORTENED TO INTERSECT AT ALL ANGLE POINTS, AND TO BEGIN ON THE SOUTH LINE OF PARCEL A;

CONTAINING 542 SQ.FT. MORE OR LESS.

PARCEL C (ACCESS EASEMENT)

BEING A STRIP OF LAND 12.00 FEET IN WIDTH, LYING 6.00 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:

BEGINNING AT THE AFOREMENTIONED POINT "B";

THENCE NORTH 00°10'00"E, 30.57 FEET;

THENCE NORTH 14°37'01"W, 54.43 FEET;

THENCE NORTH 25°42'37"W, 39.11 FEET;

THENCE NORTH 22°04'32"W, 32.34 FEET;

THENCE NORTH 13°24'41"W, 44.10 FEET;

THENCE NORTH 14°43'36"W, 57.25 FEET;

THENCE NORTH 24°09'51"W, 97.94 FEET;

THENCE NORTH 18°44'16"W, 85.71 FEET;

THENCE NORTH 39°03'24"W, 40.30 FEET TO THE POINT OF TERMINATION.

THE SIDELINES OF THIS STRIP OF LAND ARE TO BE LENGTHENED OR SHORTENED TO INTERSECT AT ALL ANGLE POINTS, AND TO BEGIN ON THE NORTH LINE OF PARCEL A;

CONTAINING 5,781 SQ.FT. MORE OR LESS.

PARCANT PARCEL LEGAL DESCRIPTION

LYING WITHIN SECTION 5, TOWNSHIP 42 NORTH, RANGE 19 EAST, M.D.M., WASHOE COUNTY, NEVADA.

OWNERSHIP INFORMATION

OWNER = UNITED STATES OF AMERICA
CONTACT = N/A

ASSESSOR'S PARCEL NUMBER = 061-010-49
VESTING DOCUMENT = N/A

TITLE REPORT DATA AND EXCEPTIONS

NO TITLE REPORT PROVIDED

BASIS OF BEARINGS

GRID NORTH BASED UPON THE NORTH AMERICAN DATUM OF 1983/84 (2011), NAD 83, NEVADA WEST ZONE (2703) COORDINATES PROVIDED BY OPUS SOLUTION; THE DISTANCES ARE BASED ON A GROUND SCALE FACTOR OF 1.0002506172 REFERENCED FROM A POINT NEAR THE PROJECT WITH A LATITUDE OF 41°35'30.19634" N AND A LONGITUDE OF 119°32'47.01639" W AND A NORTH AMERICAN VERTICAL DATUM OF 1988 HEIGHT OF 6167.50 FEET USING GEOID18M

PROPOSED TOWER COORDINATES

NAD 83 LATITUDE = 41°35'30.76358" N
LONGITUDE = 119°32'47.14752" W

SITE GROUND ELEVATION = 6236.20'

STATE PLANE COORDINATES NAD 83, NEVADA WEST ZONE

METERS (GROUND) =

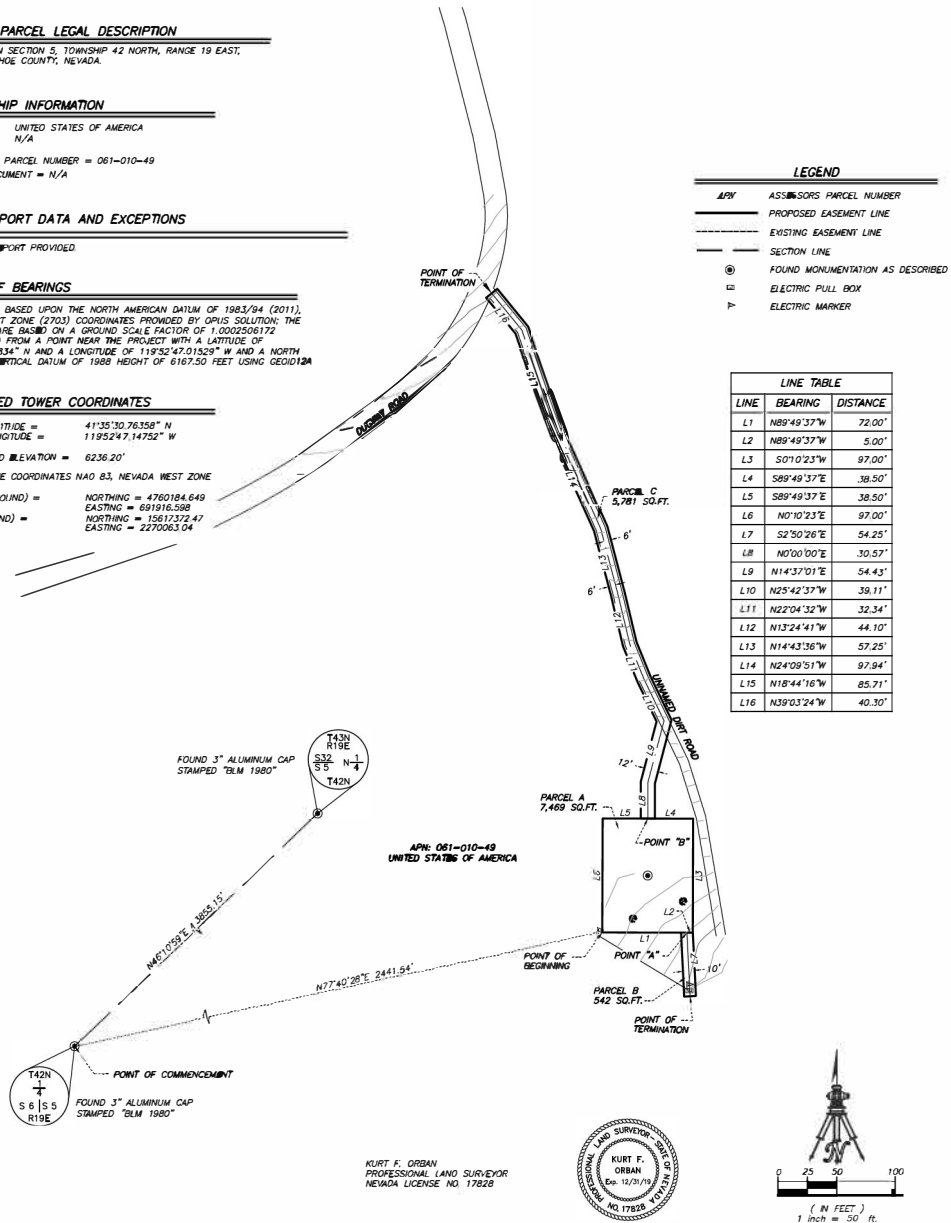
FEET (GROUND) =

NORTHING = 4760184.649

EASTING = 691916.598

NORTHING = 15617372.47

EASTING = 2270061.04



REV.	DATE	DESCRIPTION

COMMNET WIRELESS, LLC
VIA SITE, WASHOE COUNTY, NEVADA
061-010-49
TOPOGRAPHY MAP

DATE	03/29/18
DRAWN	KFO
CHECKED	KFO
BY	BH/CH
DATE	03/29/18
BY	KFO
DATE	03/29/18
BY	KFO



Board of Adjustment Staff Report

Meeting Date: June, 06, 2019

Agenda Item: 8K

SPECIAL USE PERMIT CASE NUMBER: WSUP19-0003 (Vya Monopole)

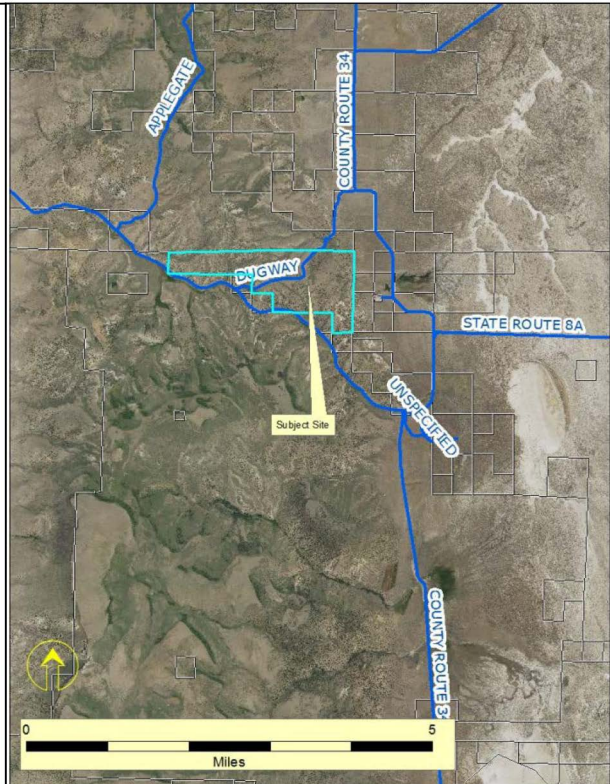
BRIEF SUMMARY OF REQUEST: To approve a special use permit for the construction of a new wireless cellular facility consisting of a 150 foot monopole tower.

STAFF PLANNER: Jacob Parker
775.328.3628
jparker@washoecounty.us

CASE DESCRIPTION

For possible action, hearing, and discussion to approve a special use permit for the installation and operation of a 150-foot tall monopole telecommunication facility with all necessary appurtenances/supporting equipment and facilities and to vary development code requirements for landscaping for a commercial use by waiving them for this project.

Applicant: Commnet of Nevada LLC
Property Owner: United States of America
Location: Immediately north of State Route 8A, ±2 miles west of Fortynine Lake
APN: 061-010-49
Parcel Size: 773.89 acres
Master Plan: Rural (R)
Regulatory Zone: General Rural (GR)
Area Plan: High Desert
Citizen Advisory Board: Gerlach/Empire
Development Code: Authorized in Article 324, Communication Facilities and Article 810 Special Use Permits
Commission District: 5 – Commissioner Herman



STAFF RECOMMENDATION

APPROVE

APPROVE WITH CONDITIONS

DENY

POSSIBLE MOTION

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment approve with conditions Special Use Permit Case Number WSUP19-0003 for Commnet of Nevada LLC, having made all five findings in accordance with Washoe County Code Section 110.810.30.

(Motion with Findings on Page 12)

Staff Report Contents

Special Use Permit.....	3
Noticing Map	4
Site Plan and Coverage Maps	5
Project Evaluation	10
Gerlach/Empire Citizen Advisory Board (GECAB)	10
Reviewing Agencies	10
Recommendation	12
Motion	12
Appeal Process	12

Exhibits Contents

Conditions of Approval	Exhibit A
Agency Comments	Exhibit B
Public Comment Letters (1)	Exhibit C
Public Notice	Exhibit D
Project Application	Exhibit E
Executive Order 2018-32	Exhibit F

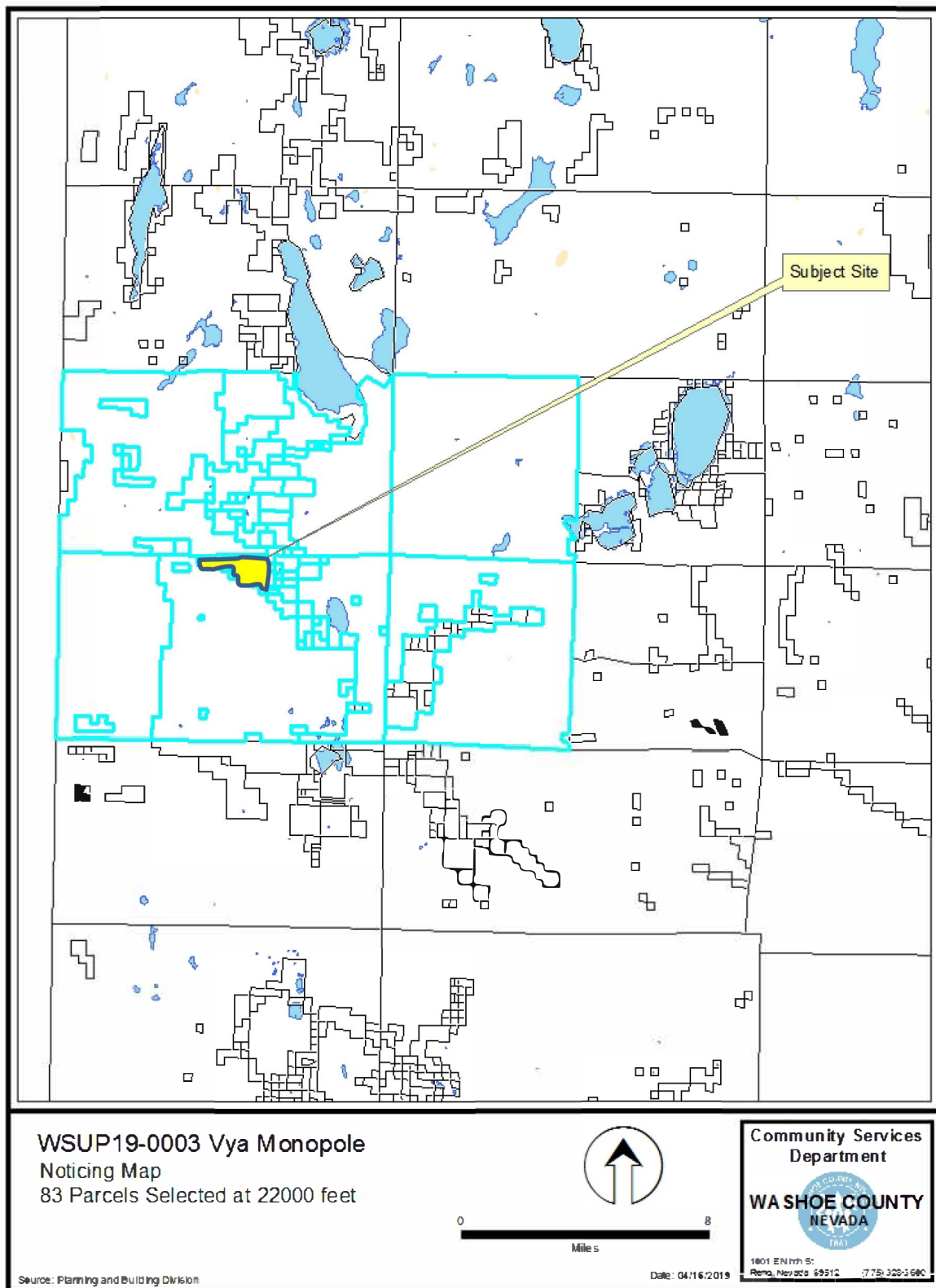
Special Use Permit

The purpose of a Special Use Permit is to allow a method of review to identify any potential harmful impacts on adjacent properties or surrounding areas for uses that may be appropriate within a regulatory zone; and to provide for a procedure whereby such uses might be permitted by further restricting or conditioning them so as to mitigate or eliminate possible adverse impacts. If the Board of Adjustment grants an approval of the Special Use Permit, that approval is subject to Conditions of Approval. Conditions of Approval are requirements that need to be completed during different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e. a grading permit, a building permit, etc.)
- Prior to obtaining a final inspection and/or a certificate of occupancy on a structure
- Prior to the issuance of a business license or other permits/licenses
- Some Conditions of Approval are referred to as “Operational Conditions.” These conditions must be continually complied with for the life of the business or project.

The Conditions of Approval for Special Use Permit Case Number WSUP19-0003 are attached to this staff report and will be included with the Action Order.

The subject property is designated as General Rural (GR). The proposed use of a 150 foot tall monopole which is classified as a Wireless Communication Facility per Article 324 of the Washoe County Development Code is permitted in GR with a Special Use Permit (SUP) per WCC Section 110.324.50(e)(2). Therefore, the applicant is seeking approval of this SUP from the Board of Adjustment.



Noticing Map

PARENT PARCEL LEGAL DESCRIPTION

LYING WITHIN SECTION 5, TOWNSHIP 42 NORTH, RANGE 19 EAST,
M.D.M., WASHOE COUNTY, NEVADA.

OWNERSHIP INFORMATION

OWNER - UNITED STATES OF AMERICA
CONTACT - N/A

ASSESSOR'S PARCEL NUMBER = 061-010-49
VESTING DOCUMENT = N/A

TITLE REPORT DATA AND EXCEPTIONS

NO TITLE REPORT PROVIDED.

BASIS OF BEARINGS

GRID NORTH BASED UPON THE NORTH AMERICAN DATUM OF 1983/94 (2011), NEVADA WEST ZONE (2703) COORDINATES PROVIDED BY OPUS SOLUTION; THE DISTANCES ARE BASED ON A GROUND SCALE FACTOR OF 1.0002506172 REFERENCED FROM A POINT NEAR THE PROJECT WITH A LATITUDE OF 41°35'30.19834" N AND A LONGITUDE OF 119°52'47.01528" W AND A NORTH AMERICAN VERTICAL DATUM OF 1988 HEIGHT OF 6167.50 FEET USING GEOID12A

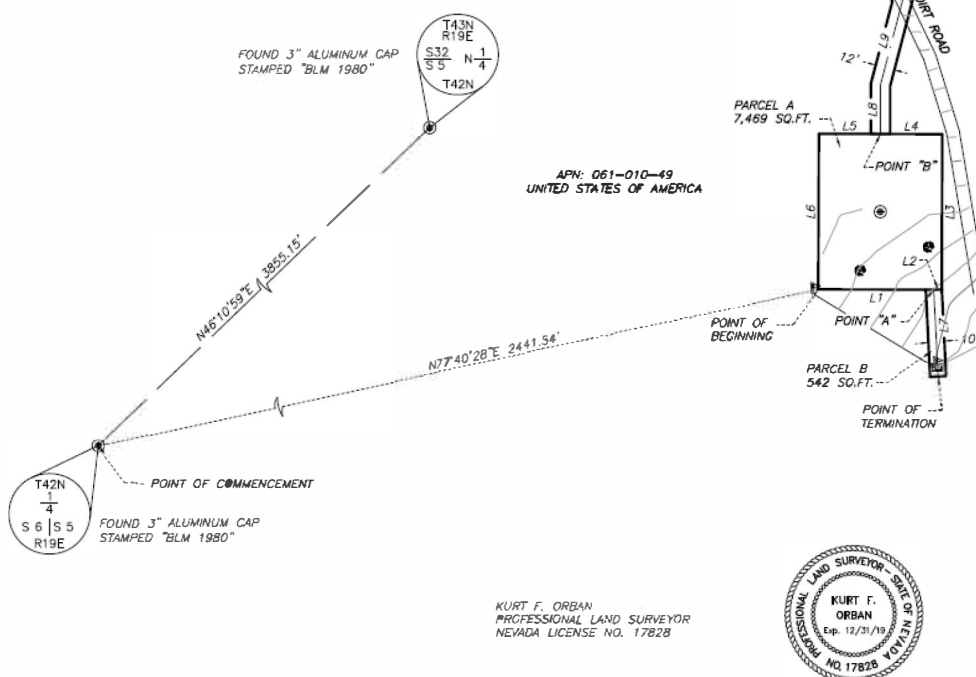
PROPOSED TOWER COORDINATES

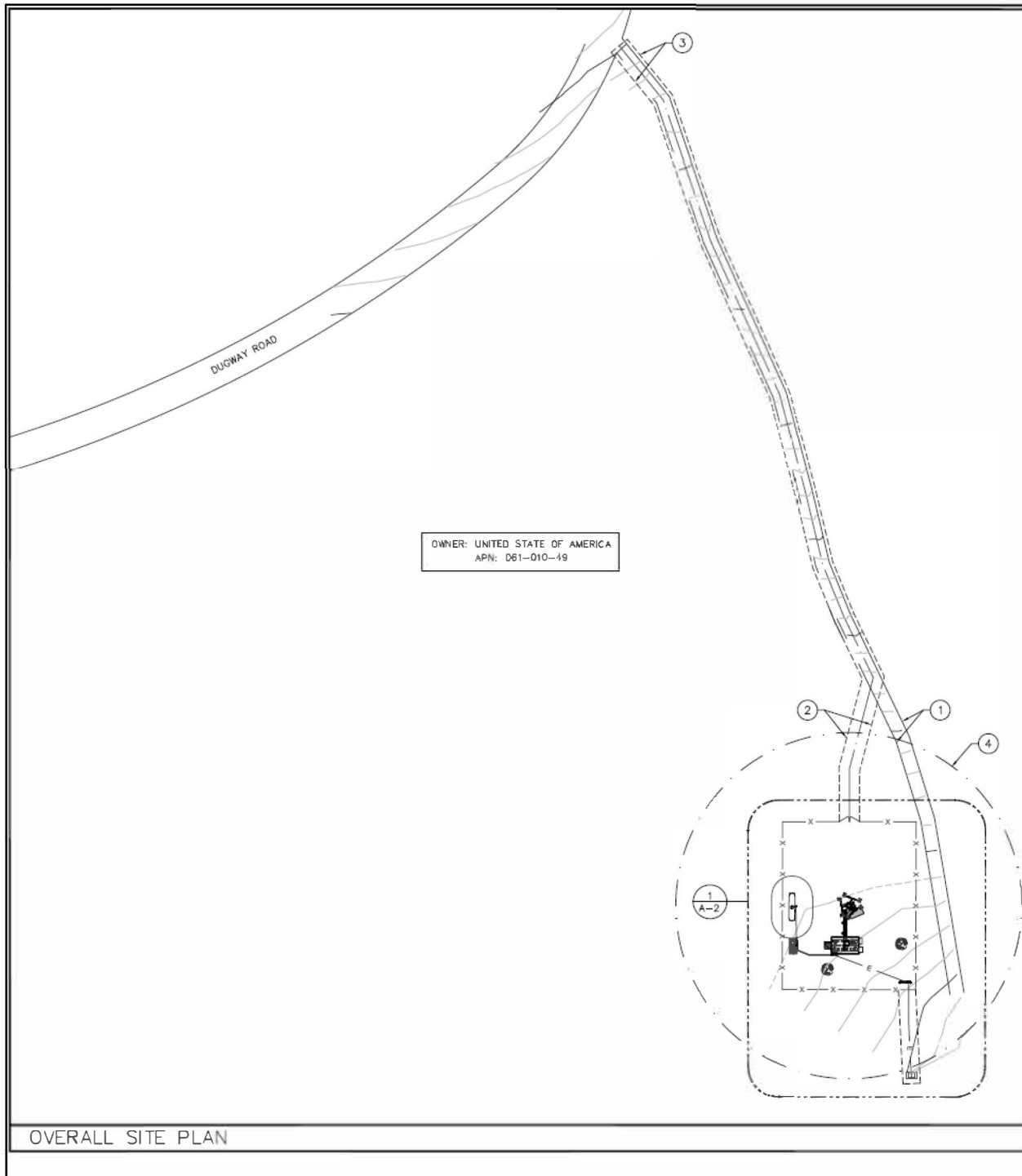
NAD 83 LATITUDE = 41°35'30.76358" N
LONGITUDE = 119°52'47.14752" W

SITE GROUND ELEVATION = 6236.20'

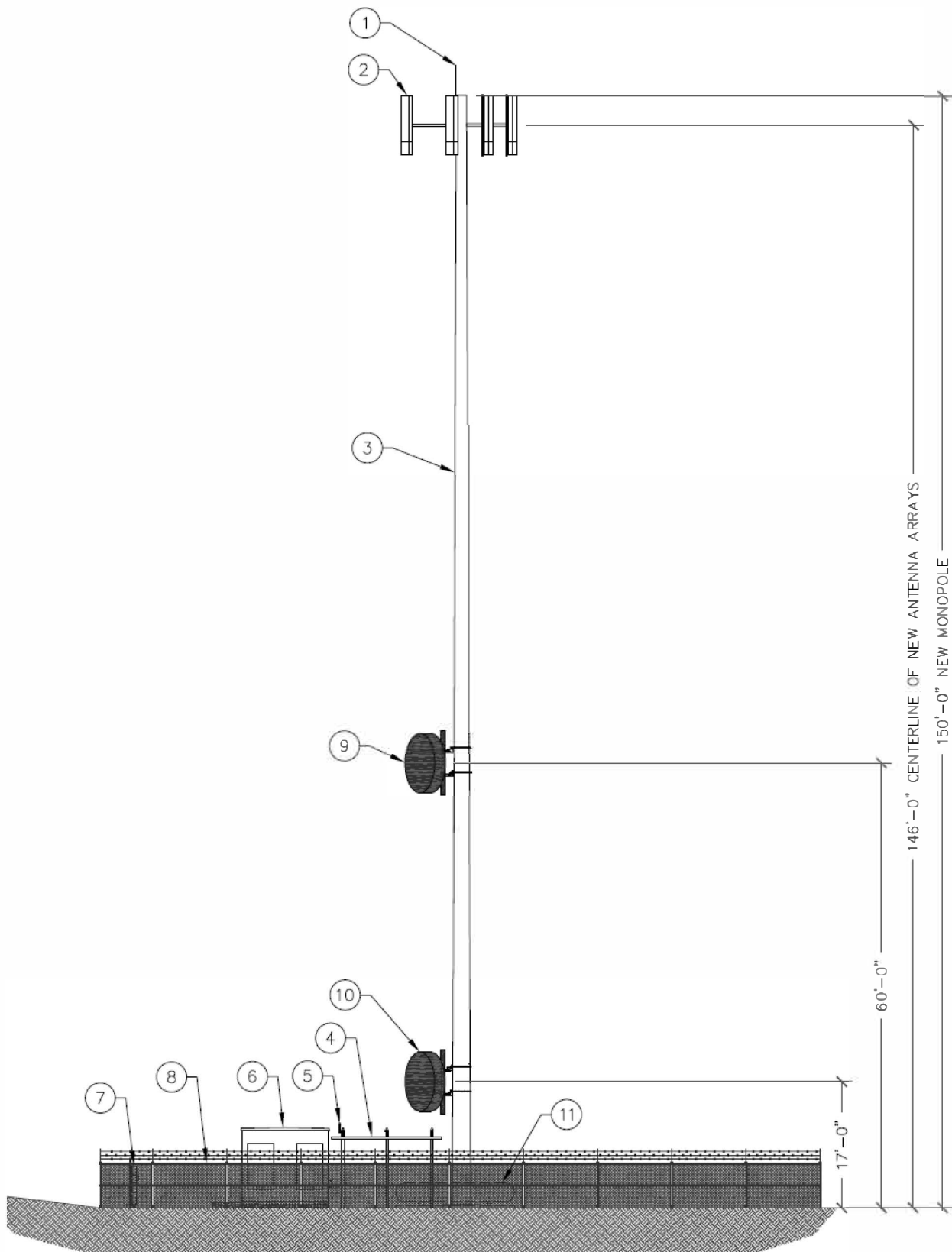
STATE PLANE COORDINATES NAD 83, NEVADA WEST ZONE

METERS (GROUND) - NORTHING = 4760184.649
EASTING = 691916.598
FEET (GROUND) - NORTHING = 15617372.47
EASTING = 2270863.04

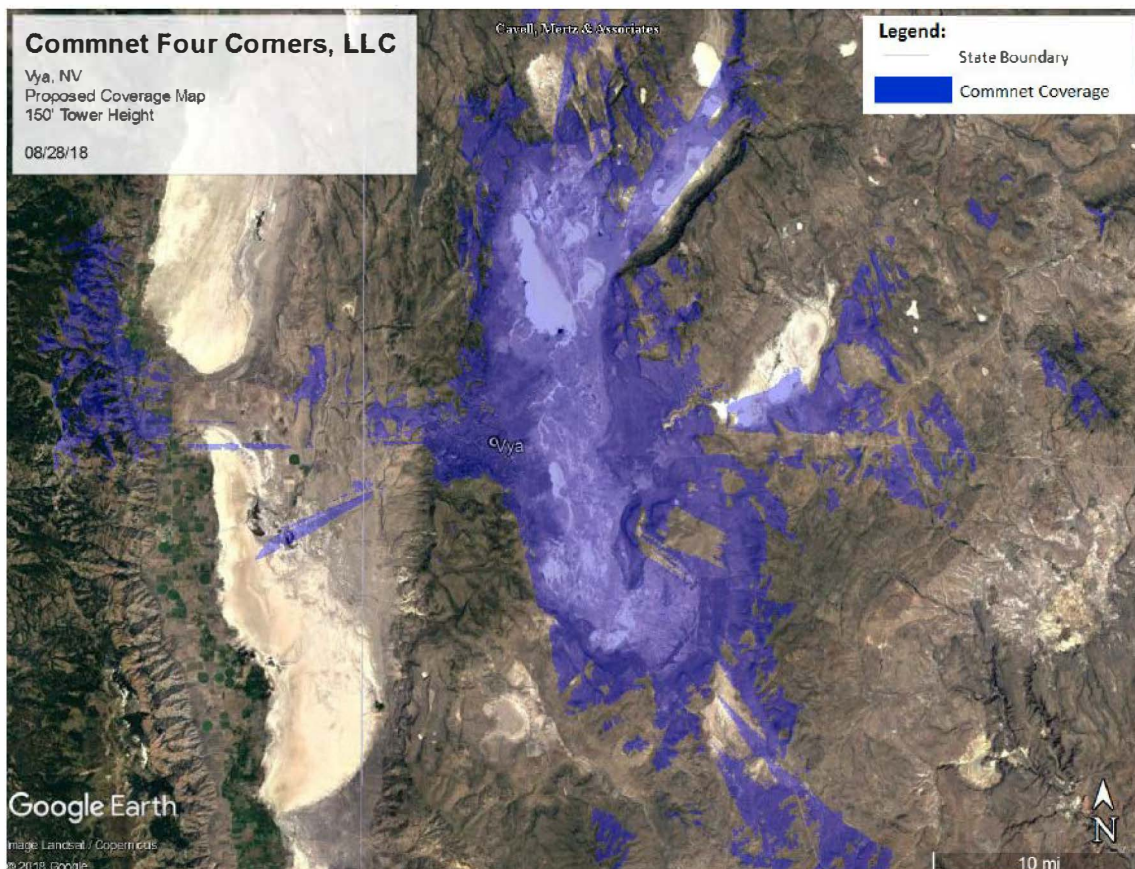
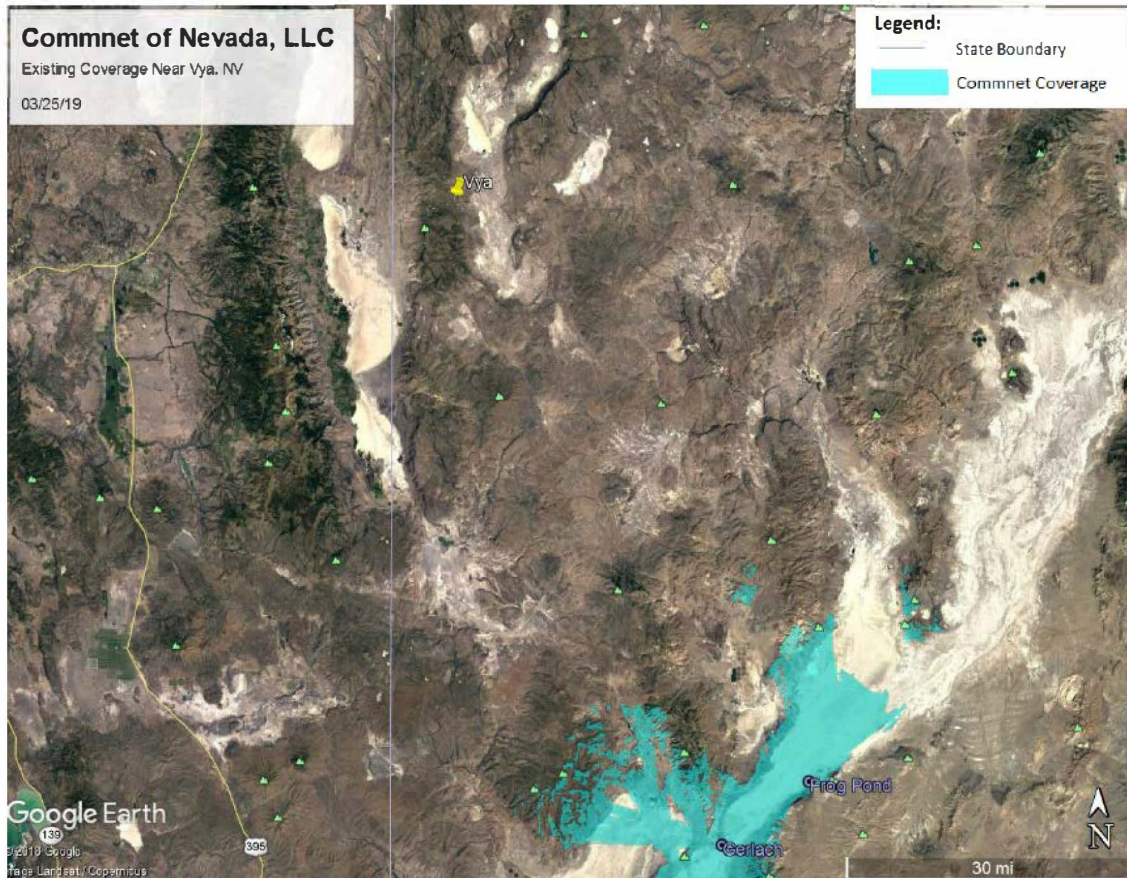








Proposed Elevations



Coverage Map

**WAC24-0007
EXHIBIT E**

Project Evaluation

Commnet of Nevada has requested this special use permit in order to place an unmanned wireless telecommunications monopole with all necessary appurtenances upon the subject property. The project site is located ± 70 miles northwest of Gerlach at 8900A Dugway Road, within the High Desert planning area. The 150-foot tall monopole will be equipped with 6 antennas and will be able to accommodate future collocations. Proposed are two (2) sectors, each accommodating two (2) antennas; six (6) remote radio heads (RRU), two (2) microwave dishes, a 10' x 16' pre-fabricated equipment shelter on a 10' x 16' concrete pad, and a 45kw stand-by backup diesel generator; and all necessary ancillary equipment thereto.

The applicant worked with the Bureau of Land Management (BLM) and explored the possibility of locating at three alternate sites as well as collocating existing sites. All alternate sites proved not to be viable.

The project area will encompass roughly 7,469 square feet with the monopole and all equipment placed within the enclosed/fenced project area. The enclosure will be screened with a chain link 6-foot fence with a 1-foot barbed wire topper. The project site is $\pm 2,000$ feet from the State Route 8A, ± 450 feet from the nearest road and more than a mile from the nearest residence. The applicant states there are minimal effects to aesthetics for the area. The pole will be constructed of a non-reflective galvanized steel pole. The applicant is requesting to vary development code requirements to waive all landscaping requirements per Article 412 requires landscaping for commercial uses. Due to the remoteness of the project, water supply being difficult to attain and limited development in the area, the requirement for safety and aesthetic design are not reasonable.

The monopole overall height is proposed to be ± 150.0 feet tall to top of pole. Section 110.324.40 through 110.324.75 of the Washoe County Code (Table 110.324.50.1) allows heights of over 100 feet when the monopole is located over 2,000 feet from a residentially zoned property or public paved right of way.

Gerlach/Empire Citizen Advisory Board (GECAB)

The proposed project was presented at the regularly scheduled Citizen Advisory Board meeting on May 09, 2019. The comment below reflects discussion on this item:

- The project received supporting comments.
- Commenters called for an increase to the proposed coverage

Reviewing Agencies

The following agencies received a copy of the project application for review and evaluation.

- Washoe County Community Services Department
 - Planning and Building Division
 - Engineering and Capital Projects Division
 - Operations
- Washoe County Health District
 - Air Quality
 - Environmental Health Services Division
 - Emergency Medical Services
- Washoe County Regional Animal Services
- Washoe County Sheriff
- Truckee Meadows Fire Protection District
- Regional Transportation Commission
- Nevada Department of Wildlife

- Nevada Department of Environmental Protection
- Nevada Historic Preservation
- U.S. Fish and Wildlife

Five out of the ten above listed agencies/departments provided comments and/or recommended conditions of approval in response to their evaluation of the project application. A **summary** of each agency's comments and/or recommended conditions of approval and their contact information is provided. The Conditions of Approval document is attached to this staff report and will be included with the Action Order.

- Washoe County Planning and Building Division imposed operational conditions that will be in effect for the life of the project.
Contact: Jacob Parker, 775.328.3628, jparker@washoecounty.us
- Washoe County Engineering and Capital Projects addressed the general requirements of building on the site and observing the easements on the parcel when placing the dwelling.
Contact: Leo Vesely, 775.328.2313, lvesely@washoecounty.us
- Washoe County Planning and Building Division: Parks and Open Space addressed revegetation of the developed site.
Contact: Sophia Kirschenman, 775.328.3623, skirschenman@washoecounty.us
- Nevada Department of Wildlife expressed concerns about Sage Grouse in the area and avenues to address those concerns.
Contact: Mark Freese, 775.688.1145, markfreese@ndow.org
- United States Bureau of Land Management stated the agency would be coordinating with NDOW on monitoring plans for local wildlife, specifically Sage Grouse.
Contact: Craig Drake, 530.233.7904, cdrake@blm.gov

Staff Comment on Required Findings

WCC Section 110.810.30, Article 810, *Special Use Permits*, requires that all of the following findings be made to the satisfaction of the Washoe County Board of Adjustment before granting approval of the request. Staff has completed an analysis of the special use permit application and has determined that the proposal is in compliance with the required findings as follows.

1. Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the High Desert Area Plan.
Staff Comment: Staff has reviewed the Master Plan and the Forest Area Plan and has not identified any provisions that are offended by the project.
2. Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven.
Staff Comment: The proposed project is in compliance with Division Seven.
3. Site Suitability. That the site is physically suitable for a telecommunications facility (monopole), and for the intensity of such a development.
Staff Comment: The site is suitable for a telecommunications facility.
4. Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.

Staff Comment: Based on the requirements of the FCC, the “Electromagnetic Frequency (RF) exposure level due to the proposed site is well below the maximum allowable by FCC Regulations. The site fully complies with FCC rules and regulations.

5. Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Staff Comment: There is no military installation nearby.

Recommendation

Those agencies which reviewed the application recommended conditions in support of approval of the project. Therefore, after a thorough analysis and review, Special Use Permit Case Number WSUP19-0003 is being recommended for approval with conditions. Staff offers the following motion for the Board’s consideration.

Motion

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment approve with conditions Special Use Permit Case Number WSUP19-0003 for Commnet of Nevada LLC, having made all five findings in accordance with Washoe County Code Section 110.810.30:

1. Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the High Desert Area Plan;
2. Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven;
3. Site Suitability. That the site is physically suitable for a telecommunications facility (monopole), and for the intensity of such a development;
4. Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area;
5. Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Appeal Process

Board of Adjustment action will be effective 10 calendar days after the written decision is filed with the Secretary to the Board of Adjustment and mailed to the applicant, unless the action is appealed to the Washoe County Board of County Commissioners, in which case the outcome of the appeal shall be determined by the Washoe County Board of County Commissioners. Any appeal must be filed in writing with the Planning and Building Division within 10 calendar days from the date the written decision is filed with the Secretary to the Board of Adjustment and mailed to the applicant.

Applicant: Commnet of Nevada LLC
1562 North Park St.
Castle Rock, CO 80109

Owner: United States of America – BLM
2550 Riverside Dr.
Susanville, CA 96130

**WAC24-0007
EXHIBIT E**



Conditions of Approval

Special Use Permit Case Number WSUP19-0003

The project approved under Special Use Permit Case Number WSUP19-0003 shall be carried out in accordance with the Conditions of Approval granted by the Board of Adjustment on June, 06 2019. Conditions of Approval are requirements placed on a permit or development by each reviewing agency. These Conditions of Approval may require submittal of documents, applications, fees, inspections, amendments to plans, and more. These conditions do not relieve the applicant of the obligation to obtain any other approvals and licenses from relevant authorities required under any other act.

Unless otherwise specified, all conditions related to the approval of this Special Use Permit shall be met or financial assurance must be provided to satisfy the conditions of approval prior to issuance of a grading or building permit. The agency responsible for determining compliance with a specific condition shall determine whether the condition must be fully completed or whether the applicant shall be offered the option of providing financial assurance. All agreements, easements, or other documentation required by these conditions shall have a copy filed with the County Engineer and the Planning and Building Division.

Compliance with the conditions of approval related to this Special Use Permit is the responsibility of the applicant, his/her successor in interest, and all owners, assignees, and occupants of the property and their successors in interest. Failure to comply with any of the conditions imposed in the approval of the Special Use Permit may result in the institution of revocation procedures.

Washoe County reserves the right to review and revise the conditions of approval related to this Special Use Permit should it be determined that a subsequent license or permit issued by Washoe County violates the intent of this approval.

For the purpose of conditions imposed by Washoe County, "may" is permissive and "shall" or "must" is mandatory.

Conditions of Approval are usually complied with at different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e., grading permits, building permits, etc.).
- Prior to obtaining a final inspection and/or a certificate of occupancy.
- Prior to the issuance of a business license or other permits/licenses.
- Some "Conditions of Approval" are referred to as "Operational Conditions." These conditions must be continually complied with for the life of the project or business.

The Washoe County Commission oversees many of the reviewing agencies/departments with the exception of the following agencies.

- **The DISTRICT BOARD OF HEALTH, through the Washoe County Health District, has jurisdiction over all public health matters in the Health District. Any conditions set by the Health District must be appealed to the District Board of Health.**

- **The RENO-TAHOE AIRPORT AUTHORITY is directed and governed by its own Board. Therefore, any conditions set by the Reno-Tahoe Airport Authority must be appealed to their Board of Trustees.**
- **The REGIONAL TRANSPORTATION COMMISSION (RTC) is directed and governed by its own board. Therefore, any conditions set by the Regional Transportation Commission must be appealed to that Board.**

FOLLOWING ARE CONDITIONS OF APPROVAL REQUIRED BY THE REVIEWING AGENCIES. EACH CONDITION MUST BE MET TO THE SATISFACTION OF THE ISSUING AGENCY.

Washoe County Planning and Building Division

1. The following conditions are requirements of Planning and Building, which shall be responsible for determining compliance with these conditions.

Contact Name – Jacob Parker (775) Phone Number, jparker@washoecounty.us

- a. The applicant shall attach a copy of the Action Order approving this project to all administrative permit applications (including building permits) applied for as part of this special use permit.
- b. The applicant shall demonstrate substantial conformance to the plans approved as part of this special use permit. The Planning and Building Division shall determine compliance with this condition.
- c. The applicant shall demonstrate conformance to State of Nevada Executive Order 2018-32, Order Establishing Use of the Nevada Greater Sage-Grouse Conservation Plan and Credit System. The Planning and Building Division shall determine compliance with this condition.
- d. The applicant shall submit complete construction plans and building permits shall be issued within two years from the date of approval by Washoe County. The applicant shall complete construction within the time specified by the building permits. Compliance with this condition shall be determined by the Planning and Building Division.
- e. All existing trees and landscaping removed as part of the construction of this facility shall be replaced at the rate of two trees for each tree removed and two bushes for each bush removed.
- f. The monopole tower shall not exceed 150 feet in maximum height, as approved under this special use permit WSPU19-0003.
- g. A note shall be placed on all construction drawings and grading plans stating:

NOTE

Should any prehistoric or historic remains/artifacts be discovered during site development, work shall temporarily be halted at the specific site and the State Historic Preservation Office of the Department of Museums, Library and Arts shall be notified to record and photograph the site. The period of temporary delay shall be limited to a maximum of two (2) working days from the date of notification.

- h. Prior to the issuance of a building permit, the applicant shall provide a certification by a professional that the facility complies with Federal Communications Commission (FCC) regulations for Radio Frequency Emissions (RFE).
- i. Prior to the issuance of a building permit the applicant shall record a statement of assurance that the wireless communications facility shall be removed if the use of the facility is discontinued for a period of twelve (12) consecutive months.
- j. All new fencing installed as part of this project shall include slats and provide at least 75% visual screening. Slats shall be of a color to match the surrounding buildings. Fencing materials shall be non-reflective.
- k. The following **Operational Conditions** shall be required for the life of the unmanned wireless telecommunications monopole.
 - i. This special use permit shall remain in effect until or unless it is revoked or is inactive for one year.
 - ii. Failure to comply with the Conditions of Approval shall render this approval null and void. Compliance with this condition shall be determined by the Planning and Building Division.
 - iii. The applicant and any successors shall direct any potential purchaser/operator of the site and/or the special use permit to meet with the Planning and Building Division staff to review Conditions of Approval prior to the final sale of the site and/or the special use permit. Any subsequent purchaser/operator of the site and/or the special use permit shall notify the Planning and Building Division of the name, address, telephone number, and contact person of the new purchaser/operator within 30 days of the final sale.

Washoe County Engineering and Capital Projects

2. The following conditions are requirements of the Engineering Division, which shall be responsible for determining compliance with these conditions.

Contact Name – Leo Vesely and (775) 328-2041, ivesely@washoecounty.us

- a. A complete set of construction improvement drawings, including an on-site grading plan, shall be submitted when applying for a building/grading permit. Grading shall comply with best management practices (BMP's) and shall include detailed plans for grading, site drainage, erosion control (including BMP locations and installation details), slope stabilization, and mosquito abatement. Placement or removal of any excavated materials shall be indicated on the grading plan. Silts shall be controlled on-site and not allowed onto adjacent property.
- b. The applicant shall provide documentation of easements for the lease area, access and utilities. A copy of the easements shall be submitted to the Engineering Division prior to the approval of a building permit.
- c. All existing and proposed easements shall be shown on the site and/or grading plan.

*** End of Conditions ***



WASHOE COUNTY

COMMUNITY SERVICES DEPARTMENT

Engineering and Capital Projects

1001 EAST 9TH STREET
RENO, NEVADA 89512
PHONE (775) 328-3600
FAX (775) 328.3699

Date: May 3, 2019

To: Jacob Parker, Planner

From: Leo Vesely, P.E., Licensed Engineer

Re: Special Use Permit Case **WSUP19-0003 – Vya Monopole**
APN 061-010-49

GENERAL PROJECT DISCUSSION

Washoe County Engineering staff has reviewed the above referenced application. The Special Use Permit is for the construction of a 150 foot high monopole on the site. The Engineering and Capital Projects Division recommends approval with the following comments and conditions of approval which supplement applicable County Code and are based upon our review of the site and the application prepared by the Rubicon Design Group. The County Engineer shall determine compliance with the following conditions of approval.

For questions related to sections below, please see the contact name provided.

GENERAL CONDITIONS

Contact Information: Leo Vesely, P.E. (775) 328-2041

1. A complete set of construction improvement drawings, including an on-site grading plan, shall be submitted when applying for a building/grading permit. Grading shall comply with best management practices (BMP's) and shall include detailed plans for grading, site drainage, erosion control (including BMP locations and installation details), slope stabilization, and mosquito abatement. Placement or removal of any excavated materials shall be indicated on the grading plan. Silts shall be controlled on-site and not allowed onto adjacent property.
2. The applicant shall provide documentation of easements for the lease area, access and utilities. A copy of the easements shall be submitted to the Engineering Division prior to the approval of a building permit.
3. All existing and proposed easements shall be shown on the site and/or grading plan.



Subject: **WSUP19-0003 – Vya Monopole**
Date: May 3, 2019
Page: 2

DRAINAGE (COUNTY CODE 110.416, 110.420, and 110.421)

Contact Information: Walt West, P.E. (775) 328-2310

1. No comments.

TRAFFIC AND ROADWAY (COUNTY CODE 110.436)

Contact Information: Mitch Fink, (775) 328-2050

1. No comments.

UTILITIES (County Code 422 & Sewer Ordinance)

Contact Information: Tim Simpson, P.E. (775) 954-4648

1. No comments

Truckee Meadows Fire Protection District (TMFPD)

1. The following conditions are requirements of the Truckee Meadows Fire Protection District, which shall be responsible for determining compliance with these conditions. Unless otherwise stated, these conditions shall be met prior to the issuance of any building or grading permit or on an ongoing basis as determined by TMFPD.

Contact Name – Don Coon, 775.326.6077, Dcoon@tmfpd.us

- a. Fire protection of the new structures shall be as required by the current adopted International Fire Code, (*IFC*) International Wildland Urban Interface Code (*IWUIC*) 2012 *Ed*, with amendments and the requirements of the NFPA standard(s). (<https://codes.iccsafe.org/content/IWUIC2012> <https://codes.iccsafe.org/content/IFC2012>)
- b. Provide a Vegetation selection, installation, management and Defensible Space Plan as required for the project in accordance with the requirements of the *IWUIC*.
- c. The length of the road appears to be in excess of 200 feet and would require a 20' width as a Fire Apparatus Access Road, with no greater than 10% grade. *IWUIC* 403.3. and 403.7
- d. Provide a 20' gate opening with a TMFPF approved access gate locking device per *IFC* D103.5

From: [Katie Andrie](#)
To: [Mark Freese](#); [Drake, Craig](#); [Parker, Jacob](#)
Cc: [Timothy Bowden](#); [Jasmine Kleiber](#); [Lloyd, Trevor](#); [Ryan, Daniel](#)
Subject: RE: [EXTERNAL] RE: April Agency Review Memo II - Vya Monopole
Date: Friday, May 17, 2019 12:04:18 PM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)

[**NOTICE:** This message originated outside of Washoe County -- **DO NOT CLICK** on **links** or open **attachments** unless you are sure the content is safe.]

Thanks Mark,

The SETT has also develop Regulations to provide additional implementation guidance to the Executive Order that has been approved and will be filed with the Secretary of State in the next few weeks. I will forward the final regulations when they are available.

Thanks and have a great weekend!

Katie

From: Mark Freese <markfreese@ndow.org>
Sent: Friday, May 17, 2019 8:24 AM
To: Drake, Craig <cdrake@blm.gov>; Parker, Jacob <JParker@washoecounty.us>
Cc: Timothy Bowden <tbowden@blm.gov>; Katie Andrie <kandrie@sagebrushhco.nv.gov>; Jasmine Kleiber <jkleiber@ndow.org>; Lloyd, Trevor <TLloyd@washoecounty.us>; Ryan, Daniel <dryan@blm.gov>
Subject: RE: [EXTERNAL] RE: April Agency Review Memo II - Vya Monopole

Thanks Craig and Jacob for your explanations.

Please find attached Executive Order 2018-32, requiring the proponent to work with the Sagebrush Ecosystem Program.

Thank you,
Mark

From: Drake, Craig <cdrake@blm.gov>
Sent: Wednesday, May 15, 2019 8:53 AM
To: Parker, Jacob <JParker@washoecounty.us>
Cc: Mark Freese <markfreese@ndow.org>; Timothy Bowden <tbowden@blm.gov>; Katie Andrie <kandrie@sagebrushhco.nv.gov>; Jasmine Kleiber <jkleiber@ndow.org>; Lloyd, Trevor <TLloyd@washoecounty.us>; Ryan, Daniel <dryan@blm.gov>
Subject: Re: [EXTERNAL] RE: April Agency Review Memo II - Vya Monopole

WAC24-0007
EXHIBIT E
WSUP19-0003
EXHIBIT B

All,

Some of the other sites considered would have been far more detrimental to Sage Grouse. The BLM will be working with the SETT on this project as we consider their right of way package. We have not yet received a completed application package from the company, but we have had a pre-application meeting with them and anticipate receiving the completed package soon.

Craig R. Drake
Field Manager
Applegate Field Office
530-233-7904

On Wed, May 15, 2019 at 8:43 AM Parker, Jacob <JParker@washoecounty.us> wrote:

Thank you for your comments Mr. Freese.

I'll try to address everything you brought up. Forgive my stout language in below, the vernacular we use on these cases can sound sharp.

The applicant has attempted to locate on several alternate sites in coordination with BLM. This is the site that all parties determined filled the criteria. To be frank, unless an agency can provide grounds for denial, this case and special use permit is for the site as described.

Reading through your response, the only requirements I see you mention is that the applicant work with the SAGEBRUSH ECOSYSTEM PROGRAM through the state of Nevada, specifically Ms. Andrie. Am I on the mark there?

Now is this a legal requirement? In order to include this as a condition in the special use permit, I would need to reference what specific legal statute/code/etc. compels the applicant to comply.

Thanks,



Jacob Parker

Planner | Planning and Building Division | Community Services Department

jparker@washoecounty.us | Office: 775.328.3628 | Fax: 775.328.6133

1001 East Ninth Street, Reno, NV 89512



From: Mark Freese [<mailto:markfreese@ndow.org>]

Sent: Tuesday, May 07, 2019 10:11 AM

To: Parker, Jacob

Cc: Timothy Bowden; Drake, Craig; Katie Andrie; Jasmine Kleiber

Subject: RE: April Agency Review Memo II - Vya Monopole

[NOTICE: This message originated outside of Washoe County -- **DO NOT CLICK** on links or

WAC24-0007

EXHIBIT E

WSUP19-0003

EXHIBIT B

open attachments unless you are sure the content is safe.]

Mr. Parker,

The Vya monopole site is Greater Sage-grouse, bighorn sheep, mule deer and other wildlife habitat. Our knowledge of Greater sage-grouse use in this area is limited. We know the private meadows on the north side of Forty-nine Mountain are utilized by hundreds of sage-grouse during the brood-rearing season; however, the nearest known leks are greater than 10 miles away. As such, we believe we are missing lek(s) in this general area. Knowing that this area holds a high density of sage-grouse at least seasonally, we recommend exploring opportunities to site this project in another area of lesser value to sage-grouse as sage-grouse tend to avoid tall, vertical structures. We are available to help assist in the siting process to ensure it is sited to minimize impacts to sage-grouse and other wildlife. If you cannot relocate the project, we recommend monitoring, eliminating and reducing opportunities to attract and provide nesting, cover or perches for predators. Furthermore, The Sagebrush Ecosystem Technical Team (SETT) will require the project to be analyzed and mitigated using the Credit Conservation System. The SETT can also help run siting scenarios to minimize the threat and any subsequent mitigation. Please contact Katie Anderle at kandrie@sagebrusheco.nv.gov -775 684-8600 for more information.

Thank you,

Mark Freese, Habitat Biologist
Nevada Department of Wildlife
1100 Valley Road
Reno, Nevada 89512
(775) 688-1145
markfreese@ndow.org

Support Nevada's Wildlife...Buy a Hunting and Fishing License

State of Nevada Confidentiality Disclaimer: This message is intended only for the named recipient. If you are not the intended recipient you are notified that disclosing, copying, distributing or taking any action in reliance on the contents of this information is strictly prohibited.

From: Stark, Katherine <KRStark@washoecounty.us>
Sent: Thursday, April 18, 2019 3:45 PM
To: Mark Freese <markfreese@ndow.org>
Cc: Stark, Katherine <KRStark@washoecounty.us>; Emerson, Kathy <KEmerson@washoecounty.us>
Subject: April Agency Review Memo II

Good afternoon,

WAC24-0007
EXHIBIT E
WSUP19-0003
EXHIBIT B

Please find the attached Agency Review Memo with cases received in April by Washoe County Community Services Department, Planning and Building.

You've been asked to review the applications for **Items 1, 2 & 6**. The item descriptions and links to the applications are provided in the memo.

Please remember to send any agency review responses/comments directly to the Planner for the case, rather than replying to me.

Thank you!



Katy Stark

Office Support Specialist, Planning and Building Division | Community Services Department

krstark@washoecounty.us | Office: 775.328.3618 | Fax: 775.328.6133

1001 East Ninth Street, Bldg. A, Reno, NV 89512





MEMORANDUM

WASHOE COUNTY REGIONAL PARKS AND OPEN SPACE
PLANNING DIVISION



TO: Jacob Parker, Planner

FROM: Sophia Kirschenman, Park Planner

DATE: May 8, 2019

SUBJECT: Special Use Permit Case Number WSUP19-0003 (Vya Monopole)

Washoe County Regional Parks and Open Space has reviewed and prepared the following comments related to Special Use Permit Case Number WSUP19-0003:

The proposed monopole would be located in the area of Vya, Nevada and new development must conform to the policies included in the High Desert Area Plan. Due to the rural location of the proposed development, no parks or recreational amenities are proposed nearby. Staff notes that the applicant is requesting a variance to waive the traditional landscaping requirement due to the remote location of the subject parcel and lack of visibility to the general public. While those are important considerations, Washoe County Parks and Open Space would like to reiterate that landscaping requirements also serve to reduce heat, erosion, dust, and pollutants by increasing vegetation and to ensure that disturbed areas do not become populated with noxious weeds and invasive species. While irrigated landscaping may not be feasible in this location, **Washoe County Parks and Open Space recommends that the applicant still be required to revegetate at least 20% of the total developed land area, utilizing hydroseeding or another strategy that does not require temporary irrigation.** Hydroseed applications should occur in November or December and if the appropriate vegetative coverage requirements are not realized, further hydroseeding should be required.

From: [Anthony Stobiecki](#)
To: [Parker, Jacob](#)
Cc: [Diane; Vya Conservation District; Herman, Jeanne](#)
Subject: Vya/Fox Monop[ole
Date: Tuesday, April 30, 2019 8:40:06 AM

[**NOTICE:** This message originated outside of Washoe County -- **DO NOT CLICK** on **links** or open **attachments** unless you are sure the content is safe.]

Hello Mr. Parker,

This effort is great news! I/we have been working with the BLM, Washoe and Modoc County (emergency services) and Dan Ryan in particular to get a 21st Century communication service solution here in Long Valley (Vya) for several years. We had also offered space for such a tower on our personal property as we have SVE power here that we trenched in.

In addition to being a ranch owner with cattle, I am the Vya Conservation District Board President, and my wife Diane represents Ms. Jeanne Herman on the board. The VCD covers the areas down to Gerlach as part of the Conservation District, so this is very good news. If there is anything we can do to help the cause, please let us know.

We will be having a board meeting in May and will pass on this news and contact info to our supporters and landowners here in NV as well as folks that have property here but live in another state.

I have viewed the coverage area on the application. Is there a better resolution map of the coverage areas for both Fox Mtn. and Vya?

Best regards,

Tony

Tony & Diane Stobiecki

Rockin' TD Ranch

102645 State Rt. 34,
Vya, NV 89412-6155

775-557-4001

Mailing:

POB 280 Cedarville,
CA 96104-0280

(m): 775-686-8518

(Diane m): 775-686-8102

www.RockinTDRanch.com

OFFICIAL NOTICE OF PUBLIC HEARING

DATE: May 24, 2019

You are hereby notified that the **Washoe County Board of Adjustment** will conduct a public hearing at the following time and location:

1:30 p.m., Thursday, June 6, 2019

County Commission Chambers, 1001 East Ninth Street, Reno, NV 89512

Special Use Permit Case Number WSUP19-0003 (Vya Monopole) – For possible action, hearing, and discussion to approve a special use permit for the installation and operation of a 150-foot tall monopole telecommunication facility with all necessary appurtenances/supporting equipment and facilities and to vary development code requirements for landscaping for a commercial use by waiving them for this project.

- Applicant: Commnet of Nevada LLC
- Property Owner: United States of America
- Location: Immediately north of State Route 8A, ±2 miles west of Fortynine Lake
- APN: 061-010-49
- Parcel Size: 773.89
- Master Plan: Rural (R)
- Regulatory Zone: General Rural (GR)
- Area Plan: High Desert
- Citizen Advisory Board: Gerlach/Empire
- Development Code: Authorized in Article 324, Communication Facilities and Article 810, Special Use Permits
- Commission District: 5 – Commissioner Herman
- Staff: Jacob Parker, Planner
Washoe County Community Services Department
Planning and Building Division
- Phone: 775-328-3628
- E-mail: jparker@washoecounty.us

As an owner of property in the vicinity, you are invited to present testimony relative to these matters.

To access additional information about this item, please visit our website at www.washoecounty.us/csd/planning_and_development/, choose **Boards and Commissions**, then **Board of Adjustment, Meetings, +2019**. Then click on the above referenced meeting date.



Original
WSUP 19-0003

April 10, 2019

Washoe County
Planning and Development Division
1001 E. Ninth Street
Reno, NV 89512
Attn: Jacob Parker

RE: Application for Special Use Permit and Director's Modification – Vya, NV 89000A Dugway Road, Gerlach, NV 89413

Please find attached a Special Use Permit and Director's Modification submittal applications for a new Commnet Wireless telecommunications facility located at the above referenced location. The submittal contains the following documents.

This application is for the April 15, 2109 submittal.

1. Filing Fee Check
2. Development Application
3. Owner's Affidavit
4. Project Support Statement
5. Director's Modification Application and Memorandum
5. Site Plans
6. Photosimulations
7. Coverage Maps
8. Radio Frequency Statement
9. Treasurer Statement
10. Site Photos
11. Flash Drive containing Application materials

If you have any questions or need additional materials, I can be reached at (314) 640-5182.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Julie Krekeler', is written over a circular blue stamp. The stamp contains the text 'Julie Krekeler' and 'General Manager' in a sans-serif font.

Julie Krekeler
General Manager

Attachments



April 10, 2019

Washoe County
Planning and Development Division
1001 E. Ninth Street
Reno, NV 89512
Attn: Jacob Parker

RE: Application for Special Use Permit and Director's Modification – Vya, NV 89000A Dugway Road, Gerlach, NV 89413

On behalf of Commnet of Nevada, LLC (dba Commnet Wireless), I am submitting a Special Use Permit and Director's Modification submittal application for a new telecommunications facility located at the above referenced location on April 10, 2109 prior to the April 15 submittal date. Please accept this waiver for the submittal time frames and the 3 day completeness check.

If you have any questions or need additional materials, I can be reached at (314) 640-5182.

Sincerely,

A handwritten signature in blue ink, appearing to read "Julie Krekeler", is written over a circular blue stamp. The signature is fluid and cursive.

Julie Krekeler
General Manager

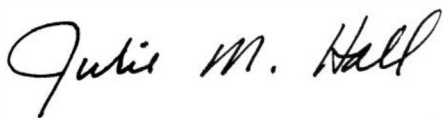
Memorandum

To: Washoe County, NV
CC: Commnet of Nevada, LLC
From: Julie M. Hall, Senior RF Engineer, Centerline Solutions
Date: 03/27/19
Re: RF Emissions Analysis of Proposed Facility-Vya, NV

Commnet of Nevada is proposing to install a wireless telecommunications facility at Vya, NV, in Washoe County, at the following coordinates: 41° 35' 30.76" N, 119° 52' 47.15" W. The proposed installation was evaluated for RF Emissions compliance. The computations, analysis, and conclusions were based on applicable FCC guidelines and regulations for maximum permissible exposure to humans consistent with FCC OET Bulletin 65. At the time of installation, this facility will be transmitting at less than 2% of the applicable RF Emissions limits, thus the facility will be in compliance with applicable FCC regulations for RF Emissions. In addition, the analysis was completed with both existing capacity and future capacity, to insure compliance as the site grows in capacity.

Re-evaluation of the site for compliance would happen if other carriers locate at the facility, if the site grows beyond the capacity that the initial evaluation was completed for, or antennas at the site are changed or added to.

I certify that the analysis is correct to the best of my knowledge, and all calculations, assumptions and conclusions are based on generally acceptable engineering practices.



Julie M. Hall
Senior RF Engineer
Centerline Solutions

Property Owner Affidavit

Applicant Name: Commitment of Nevada, LLC

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)

COUNTY OF WASHOE)

I, CRAIG R. Drake
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 061-010-49

Printed Name CRAIG R. Drake

Signed Craig R. Drake

Address 708 W. 12th St.

Alturas, CA 96101

Subscribed and sworn to before me this
_____ day of _____, _____

(Notary Stamp)

See att. Just
Notary Public in and for said county and state

My commission expires: _____

*Owner refers to the following: (Please mark appropriate box.)

- ☐ Owner
- ☐ Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- ☐ Power of Attorney (Provide copy of Power of Attorney.)
- ☐ Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- ☐ Property Agent (Provide copy of record document indicating authority to sign.)
- ☒ Letter from Government Agency with Stewardship

CALIFORNIA JURAT WITH AFFIANT STATEMENT

GOVERNMENT CODE § 8202

- ☒ See Attached Document (Notary to cross out lines 1-6 below)
☐ See Statement Below (Lines 1-6 to be completed only by document signer[s], *not* Notary)

(This section is crossed out with a large blue X)

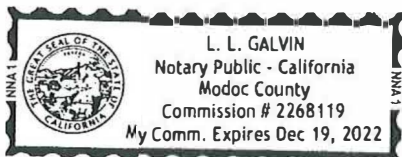
 Signature of Document Signer No. 1

 Signature of Document Signer No. 2 (if any)

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
 County of Modoc

Subscribed and sworn to (or affirmed) before me
 on this 4 day of April, 20 19
 by _____
 Date Month Year



(1) Craig R. Drake
 (and (2) _____),
 Name(s) of Signer(s)

proved to me on the basis of satisfactory evidence
 to be the person(s) who appeared before me.

Signature [Signature]
 Signature of Notary Public

Seal
 Place Notary Seal Above

OPTIONAL

Though this section is optional, completing this information can deter alteration of the document or fraudulent reattachment of this form to an unintended document.

Description of Attached Document

Title or Type of Document: _____ Document Date: _____
 Number of Pages: _____ Signer(s) Other Than Named Above: _____

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: Commnet Wireless - Vya, NV			
Project Description: Commnet Wireless proposes the construction of a new unmanned wireless communication facility serving the Vya and surrounding area.			
Project Address: Washoe County E911 Assigned address: 89000A Dugway Road, Gerlach, NV 89413			
Project Area (acres or square feet): 7,469 sf lease area along with access and utility easements			
Project Location (with point of reference to major cross streets AND area locator): From Vya, NV, head north on CR 34 N (1.4 miles) continue straight onto Dugway Road (1.5) miles. Turn left onto unnamed dirt road to site.			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
061-010-49	773.890015 acres		
Indicate any previous Washoe County approvals associated with this application: Case No.(s). NA			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: United States of America - BLM		Name: CIS Communications, LLC	
Address: 2550 Riverside Drive		Address: 749 Old Ballas Road	
Susanville, CA	Zip: 96130	Creve Coeur, MO	Zip: 63141
Phone: (530) 252-5321	Fax:	Phone: (314) 569-2275	Fax:
Email: dryan@blm.gov		Email: julie@ciscomm.com	
Cell: (530) 252-5321	Other:	Cell: (314) 640-5182	Other:
Contact Person: Daniel Ryan - Realty Specialist		Contact Person: Julie Krekeler - General Manager	
Applicant/Developer:		Other Persons to be Contacted:	
Name: Commnet of Nevada, LLC (dba Commnet Wireless)		Name:	
Address: 1562 North Park Street		Address:	
Castle Rock, CO	Zip: 80109	Zip:	
Phone: (720) 733-7854	Fax:	Phone:	Fax:
Email: cphillips@atni.com		Email:	
Cell: (720) 733-7854	Other:	Cell:	Other:
Contact Person: Cindy Phillips - Director of Real Estate/Regulatory		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Special Use Permit Application Supplemental Information

(All required information may be separately attached)

1. What is the project being requested?

Commnet Wireless' proposed installation of a new unmanned telecommunications facility consisting of a 150' monopole tower with antennas/dishes, equipment shelter, outdoor generator and LP tank.

2. Provide a site plan with all existing and proposed structures (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.)

Refer to construction drawings attached.

3. What is the intended phasing schedule for the construction and completion of the project?

One phase - Construction would take between one and two months.

4. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

Location is needed from an RF standpoint. Location is ideal from an impact standpoint as there is minimal to no visibility from any existing populated areas.

5. What are the anticipated beneficial aspects or affects your project will have on adjacent properties and the community?

Improved wireless coverage as well as wireless broadband coverage for the First Net emergency responders.

6. What are the anticipated negative impacts or affect your project will have on adjacent properties? How will you mitigate these impacts?

There are no negative impacts on adjacent properties or communities. Project is located in remote rural area.

7. Provide specific information on landscaping, parking, type of signs and lighting, and all other code requirements pertinent to the type of use being purposed. Show and indicate these requirements on submitted drawings with the application.

No landscaping, parking, or lighting proposed. All required signage to be attached to shelter door/fence. Please refer to Project Support Statement for explanations.

8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the special use permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
------------------------------	--

9. Utilities:

a. Sewer Service	NA
b. Electrical Service	Surprise Valley Electrification Corp.
c. Telephone Service	NA
d. LPG or Natural Gas Service	NA
e. Solid Waste Disposal Service	NA
f. Cable Television Service	NA
g. Water Service	NA

For most uses, Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required.

h. Permit #		acre-feet per year	
i. Certificate #		acre-feet per year	
j. Surface Claim #		acre-feet per year	
k. Other #		acre-feet per year	

Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources).

Not applicable.

10. Community Services (provided and nearest facility):

a. Fire Station	Washoe Rural - Station T40
b. Health Care Facility	Nevada Health Center, Inc., Gerlach, NV
c. Elementary School	Gerlach K-12
d. Middle School	Gerlach K-12
e. High School	Gerlach K-12
f. Parks	Gerlach Community Park
g. Library	Gerlach Community Library
h. Citifare Bus Stop	NA

Account Detail

[Back to Account Detail](#)
[Change of Address](#)
[Print this Page](#)

CollectionCart

Collection Cart	Items	Total	Checkout	View
	0	\$0.00		

Pay Online

No payment due for this account.

Washoe County Parcel Information

Parcel ID	Status	Last Update
06101049	Active	4/4/2019 2:07:19 AM
Current Owner: UNITED STATES OF AMERICA NONE RENO, NV 00000 Taxing District 9000 Geo CD: SITUS: 0 UNSPECIFIED WASHOE COUNTY NV Legal Description Township 42 Section Lot Block Range 19 SubdivisionName _UNSPECIFIED		

Tax Bill (Click on desired tax year for due dates and further details)

Tax Year	Net Tax	Total Paid	Penalty/Fees	Interest	Balance Due
2018	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
2017	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
2016	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
2015	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
2014	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Total					\$0.00

Disclaimer

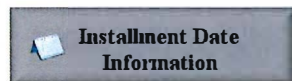
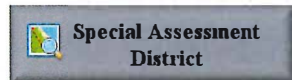
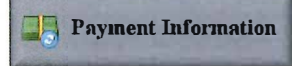
- ALERTS:** If your real property taxes are delinquent, the search results displayed may not reflect the correct amount owing. Please contact our office for the current amount due.
- For your convenience, online payment is available on this site. E-check payments are accepted without a fee. However, a service fee does apply for online credit card payments. See Payment Information for details.

Pay By Check

Please make checks payable to:
WASHOE COUNTY TREASURER

Mailing Address:
P.O. Box 30039
Reno, NV 89520-3039

Overnight Address:
1001 E. Ninth St., Ste D140
Reno, NV 89512-2845



COMMNET WIRELESS PROJECT SUPPORT STATEMENT

Project Name: Vya, NV

Project Address: 89000A Dugway Road, Vya, NV 89413

Project APN: 061-010-49

Introduction

Commnet Wireless (Commnet) focuses on connecting rural America with affordable, carrier grade communications networks to improve safety and quality of life, and to promote economic development. The areas of focus are predominately small communities, state and national parks, seasonal areas, and the roadways that connect these areas to mainstream America. Commnet is seeking to improve cellular coverage within Vya, NV, as well as Hwy 34 north of Vya for approximately 12 miles. In addition, this site is needed to cover Hwy 8, west of the intersection of Hwy 8A/34, for approximately 7 miles, and Hwy 34 south of Vya for approximately 14 miles. Furthermore, this site will be utilized for the FirstNet nationwide emergency broadband network dedicated to first responders.

Location

Commnet proposes the construction of a new wireless communications facility that consists of a 150' monopole located at Dugway Road in Vya, Nevada. The property is zoned General Rural (GR) and is owned by the United States of America and is managed by the Bureau of Land Management. The adjacent parcels are also owned by the United States of America as well as private landowners. The nearest residentially zoned property of medium density suburban residential development, is located mainly on the outskirts of the town of Gerlach, Nevada, which is approximately 70 miles away from the proposed facility.

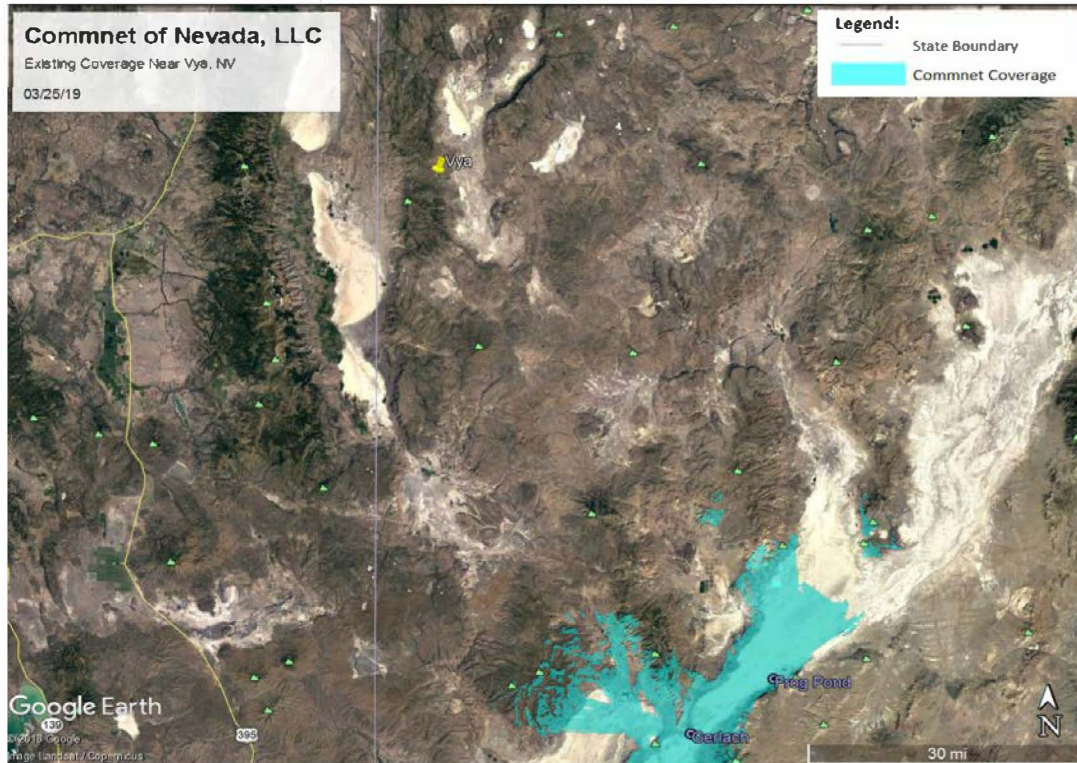
Project Description/Design

Commnet will be adding (6) antennas, (6) RRU's, (1) surge suppressor, (1) Fiber, (2) DC power lines, (2) microwave dishes along with (4) ½" coax lines on the tower. An outdoor shelter along with a generator and propane tank will be situated within a fenced 77' x 97' compound. This will be an unmanned facility providing cellular and First Net responders coverage 24 hours a day, 7 days a week.

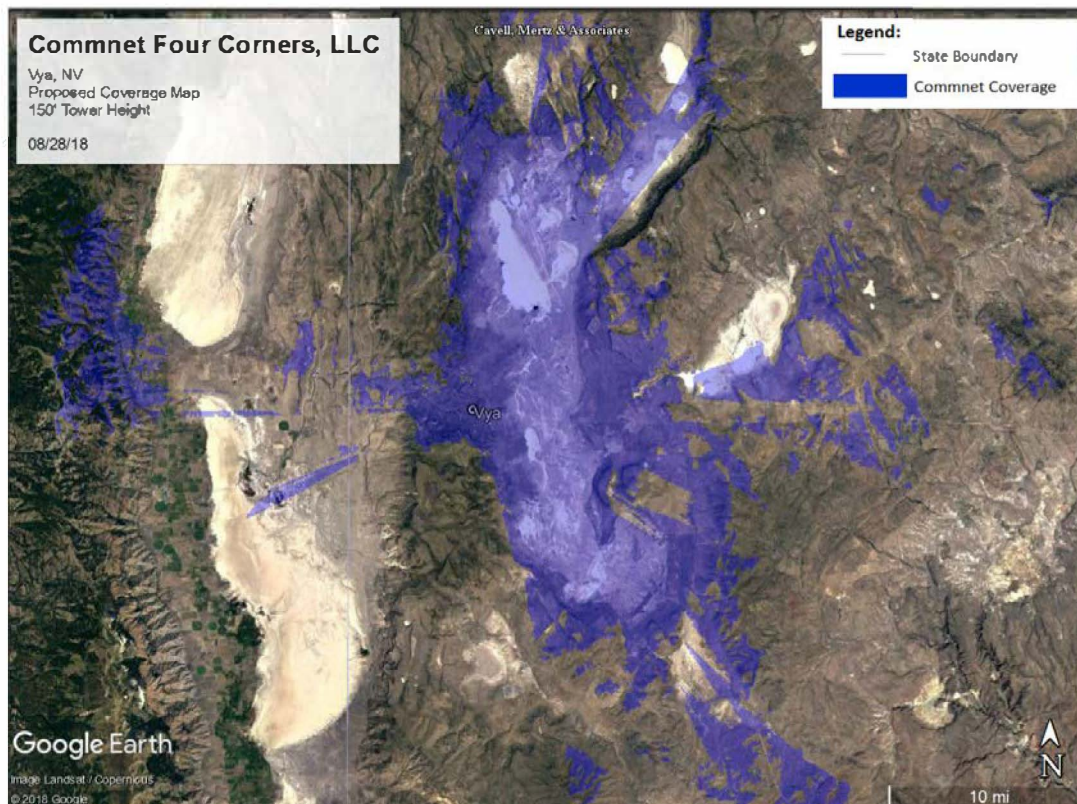
Public and Safety Benefits of Improved Wireless Service

Today, more people are relying on wireless phones as their main form of communication; whether it be in their homes, businesses, and/or vehicles. This site will allow Commnet's customers to maintain cellular coverage as shown in the coverage map referenced below. Additionally, this site is also being utilized for the FirstNet nationwide emergency broadband network dedicated to first responders (ie Fire, Police, EMT) for the ability to communicate on a single network for any public safety needs in this area.

Existing Coverage



Coverage with Proposed Tower



Aesthetic Impacts

Commnet proposes to install a 150' monopole. The proposed height was required due to the surrounding topography and meets the County's requirements for facilities in this zoning code. The facility will not have any negative impacts on this project or adjacent properties in the community as there is currently minimal visibility of the existing facilities from public roadways.



Alternative Site Analysis

When searching for any new communication site location, Commnet's first goal is to try and secure space on an existing tower or tall structure at the height required. With this philosophy in mind, Commnet first evaluated the collocation opportunities in the search area that offered the height, ground space, access and utilities and other needs required for their system. Commnet's initial location was located at Fortynine Mountain. It was determined there were three (3) individual tower sites. The possibility of using any of the existing towers was ruled out due to an unwilling property owner.



In order to meet the required coverage objective, Commnet concluded that the construction of a new facility would be required. Commnet and the BLM worked together to layout an approved location for the proposed facility.

Below is a detailed explanation of why each existing facility at Fortynine Mountain would not be a viable collocation candidate.

1. Bureau of Land Management Tower (Option #1)– Site is located on BLM lands. The BLM stated that they cannot permit any new users at this location as access easements cross private lands and the property owner will not allow additional users. Commnet left multiple messages for the property owner without receiving any responses.

2. Bureau of Land Management Tower (Option #2)– Site is located on BLM lands . The BLM stated that they cannot permit any new users at this location as access easements cross private lands and the property owner will not allow additional users. Commnet left multiple messages for the property owner without receiving any responses.

3. Los Angeles Department of Water and Power (Option #3) – This site is located near the BLM tower (option #2); however, it is placed on the unwilling property owner's parcel. Per the BLM, the property owner will not allow new users access on his property. Aside from the unwilling property owner, Commnet has tried to collocate on other LADWP towers, with no response.

Statement of Commitment to Allow Collocation

In addition to Commnet's antenna loadings as proposed, this tower is also structurally designed to accommodate additional communication collocators.

Lighting and Signage

Unless required by the Federal Aviation Administration (FAA), no lighting is proposed at this facility. All required FCC and other regulatory notification signage will be attached to the shelter door and/or fence.

Access/Utilities/Parking

Access to the facility is by way of Dugway Road which is located off of County Road 8A, approximately 70+ miles northwest of Gerlach. No road improvements are planned as Commnet will utilize the existing dirt road. Power for the facility will be routed underground in a conduit from a nearby transformer to a new meter bank located within the fenced the facility as depicted in the site plan. Batteries and generator/propane tank will serve as back-up power supply. Parking is not proposed as this is an unmanned facility that will be visited by a cell tech once or twice a month. There is sufficient parking at the facility location.

Maintenance and equipment back-up power.

The proposed wireless communications facility is located in a remote rural location. Because First Net responder emergency equipment will be located at this facility, it is imperative that the facility is operable in the event of a power outage or a natural disaster. In the event of an outage, the battery power will operate the system. If the power outage is for an extended period, and the batteries are no longer effective, the generator will automatically power the site. This multi-layer back-up system is important for communications sites to ensure continued operation. A cell technician will visit the site approximately once or twice a month to perform regular equipment maintenance.

Landscaping Variance

Commnet is not proposing landscaping at this facility and is seeking a variance to obtain relief from the landscaping requirements. The subject property is located in a remote rural location, has restricted access to water resources, and will have limited monthly technician visits. The site is located approximately 2,000 feet from the nearest public roadway and landscaping would not be visible to the general public. There is natural landscaping surrounding the proposed facility that shields the site to public visibility. Commnet is requesting the Board of Adjustments to specifically waive landscaping requirements for the above stated reasons.

Grading

Not applicable. Grading is not anticipated for this project.

Significant Hydrological Resources

The subject site is located in the High Desert planning area. Per section Section 110.418.05 (e), the provisions of this article do not apply for development in the High Desert planning area.

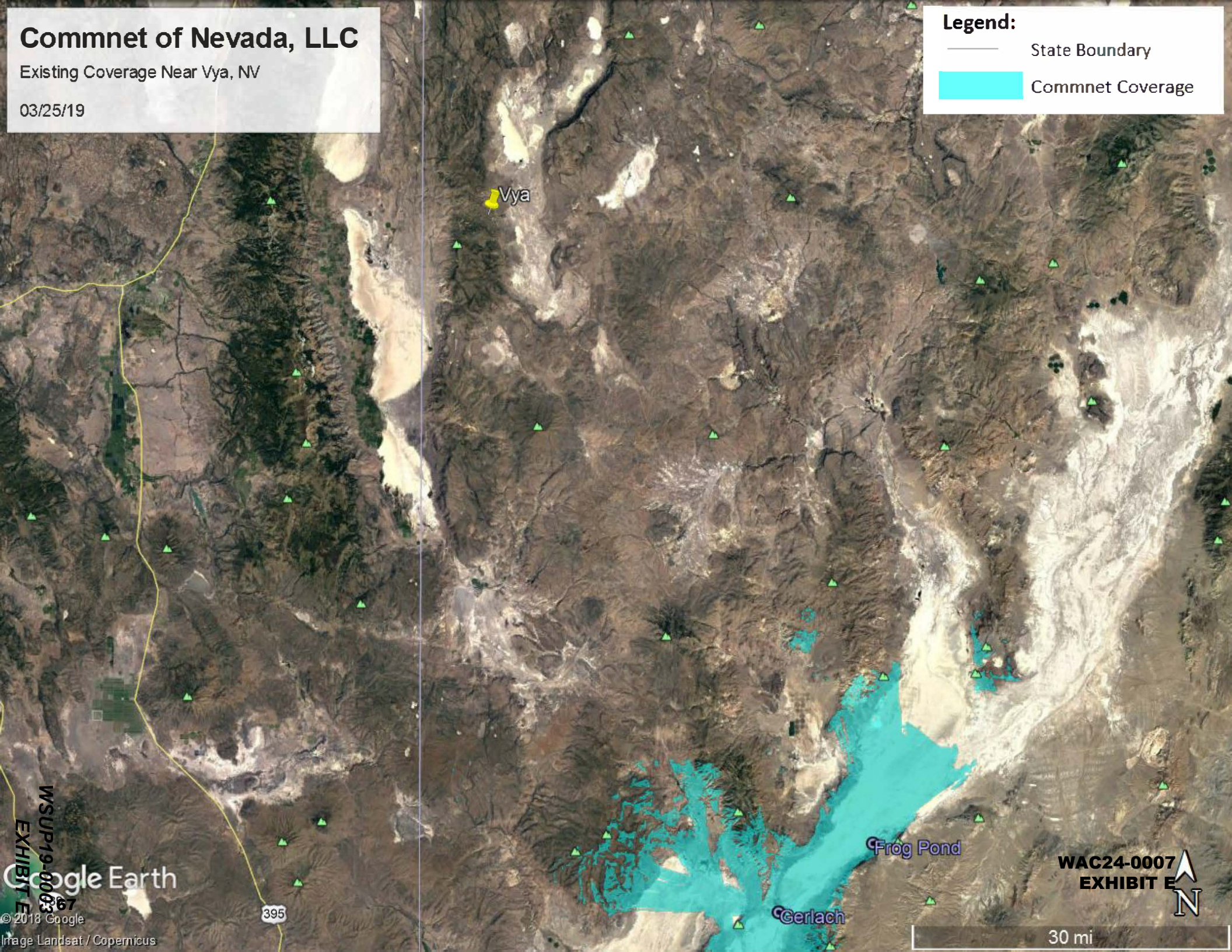
Commnet of Nevada, LLC

Existing Coverage Near Vya, NV

03/25/19

Legend:

- State Boundary
- Commnet Coverage



Commnet Four Corners, LLC

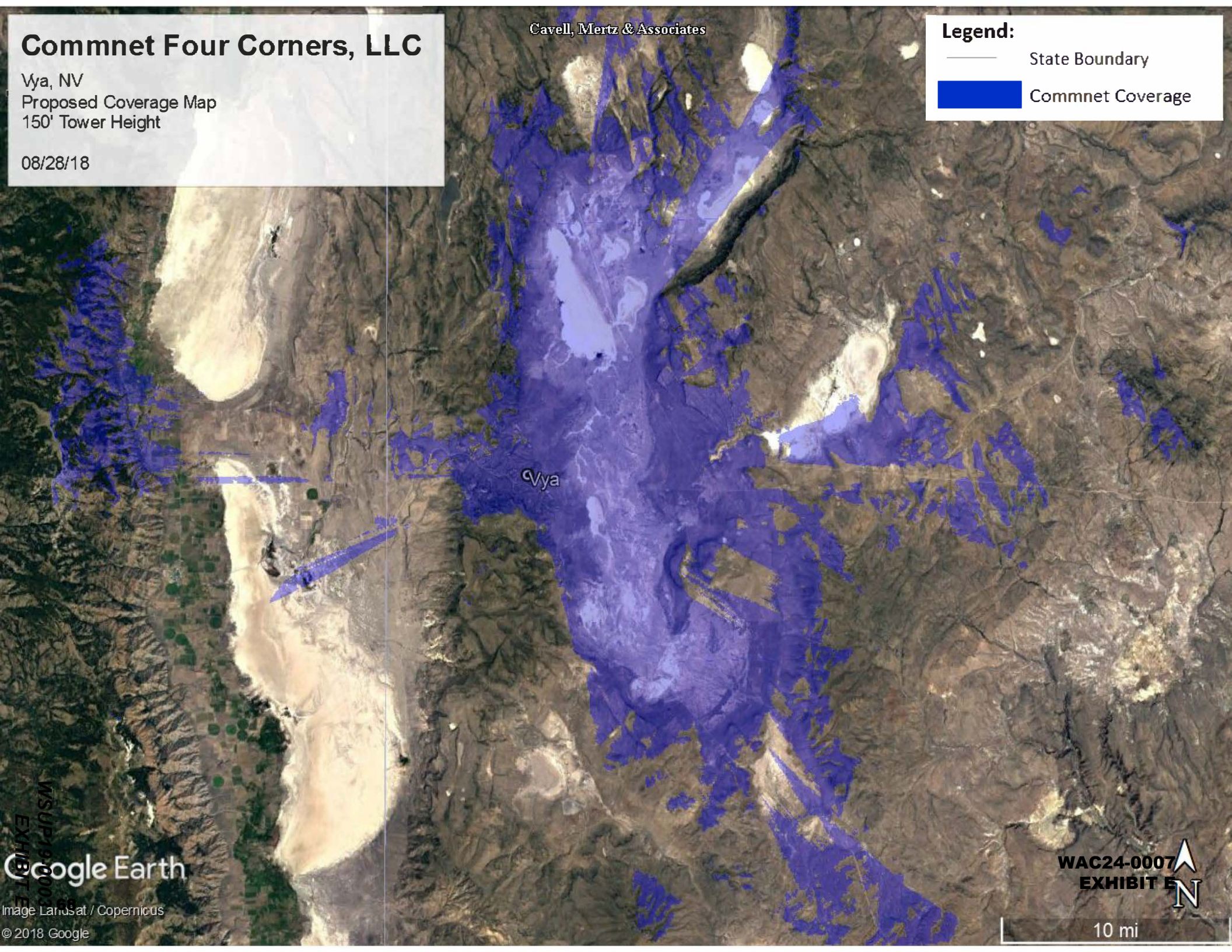
Vya, NV
Proposed Coverage Map
150' Tower Height

08/28/18

Cavell, Mertz & Associates

Legend:

- State Boundary
- Commnet Coverage



Vya

WAC24-0007
EXHIBIT E

10 mi

MSUP19-0003
EXHIBIT E
Google Earth

Image Landsat / Copernicus

© 2018 Google

PROJECT INFORMATION

RAW LAND MONOPOLE

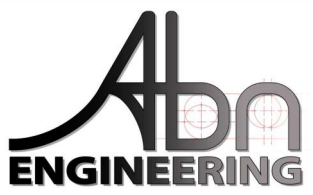
VYA, NEVADA

89000A DUGWAY RD
GERLACH, NV 89413

PROJECT OWNER



ENGINEER



LOCATION MAP



WAC24-0007
EXHIBIT E

PROJECT INFORMATION

RAW LAND MONOPOLE

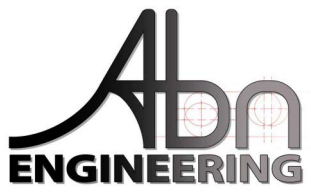
VYA, NEVADA

89000A DUGWAY RD
GERLACH, NV 89413

PROJECT OWNER



ENGINEER



Looking North Toward Proposed
Monopole Location (Before)



**WAC24-0007
EXHIBIT E**

PROJECT INFORMATION

RAW LAND MONOPOLE

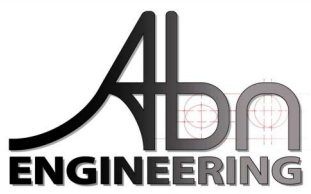
VYA, NEVADA

89000A DUGWAY RD
GERLACH, NV 89413

PROJECT OWNER



ENGINEER



Looking North Toward Proposed
Monopole Location (After)



**WAC24-0007
EXHIBIT E**

PROJECT INFORMATION

RAW LAND MONOPOLE

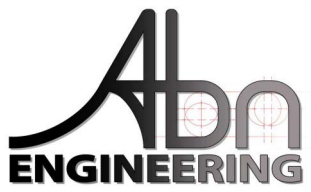
VYA, NEVADA

89000A DUGWAY RD
GERLACH, NV 89413

PROJECT OWNER



ENGINEER



LOCATION MAP



WAC24-0007
EXHIBIT E

PROJECT INFORMATION

RAW LAND MONOPOLE

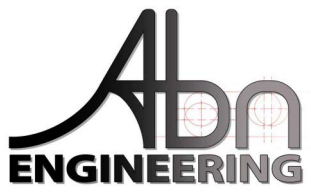
VYA, NEVADA

89000A DUGWAY RD
GERLACH, NV 89413

PROJECT OWNER



ENGINEER



Looking North East Toward
Monopole Location (Before)



**WAC24-0007
EXHIBIT E**

PROJECT INFORMATION

RAW LAND MONOPOLE

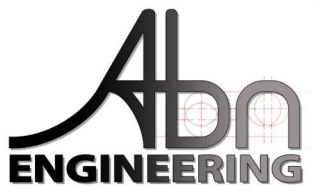
VYA, NEVADA

89000A DUGWAY RD
GERLACH, NV 89413

PROJECT OWNER



ENGINEER



Looking North East Toward
Monopole Location (After)



**WAC24-0007
EXHIBIT E**

PROJECT INFORMATION

RAW LAND MONOPOLE

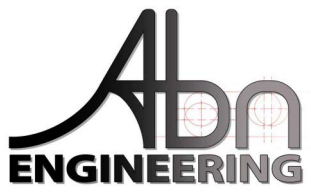
VYA, NEVADA

89000A DUGWAY RD
GERLACH, NV 89413

PROJECT OWNER



ENGINEER



LOCATION MAP



WAC24-0007
EXHIBIT E

PROJECT INFORMATION

RAW LAND MONOPOLE

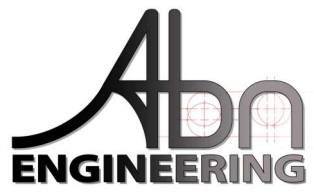
VYA, NEVADA

89000A DUGWAY RD
GERLACH, NV 89413

PROJECT OWNER



ENGINEER



Looking East Toward Proposed
Monopole Location (Before)



**WAC24-0007
EXHIBIT E**

PROJECT INFORMATION

RAW LAND MONOPOLE

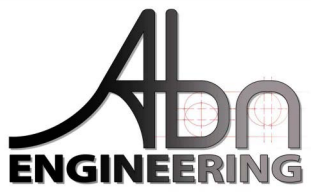
VYA, NEVADA

89000A DUGWAY RD
GERLACH, NV 89413

PROJECT OWNER



ENGINEER



Looking East Toward Proposed
Monopole Location (After)



**WAC24-0007
EXHIBIT E**

Vya, NV Photos

*Note that all photos may have not been attained due to exceptional conditions prohibiting travel to the site

Vya Pre CX East looking West



Vya Pre CX Tower Center looking West



Vya Pre CX Tower Center looking North



Vya Pre CX West looking East



Community Services Department
Planning and Building
DIRECTOR'S MODIFICATION OF
PARKING/LANDSCAPING
MINOR DEVIATION
STANDARDS APPLICATION



Community Services Department
Planning and Building
1001 E. Ninth St., Bldg. A
Reno, NV 89512-2845

Telephone: 775.328.6100

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: Commnet Wireless, Vya, NV			
Project Description: Commnet Wireless proposed the construction of a new unmanned wireless communication facility serving the Vya and surrounding area.			
Project Address: Washoe County 911 Assigned address: 89000A Dugway Road, Gerlach, NV 89413			
Project Area (acres or square feet): 7,469 sf lease area along with access and utility easements			
Project Location (with point of reference to major cross streets AND area locator): From Vya, NV, head north on CR 34 N (1.4 miles) continue straight onto Dugway Road (1.5) miles. Turn left onto unmanned dirt road to site.			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
061-010-49	773.890015 acres		
Indicate any previous Washoe County approvals associated with this application: Case No.(s). NA			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: United States of America - BLM		Name: CIS Communications, LLC	
Address: 2550 Riverside Drive		Address: 749 Old Ballas Road	
Susanville, CA	Zip: 96130	Creve Coeur, MO	Zip: 63141
Phone: (530) 252-5321	Fax:	Phone: (314) 569-2275	Fax:
Email: dryan@blm.gov		Email: julie@ciscomm.com	
Cell: (530) 252-5321	Other:	Cell: (314) 640-5182	Other:
Contact Person: Daniel Ryan - Realty Specialist		Contact Person: Julie Krekeler - General Manager	
Applicant/Developer:		Other Persons to be Contacted:	
Name: Commnet of Nevada, LLC (dba Commnet Wireless)		Name:	
Address: 1562 North Park Street		Address:	
Castle Rock, CO	Zip: 80109		Zip:
Phone: (720) 733-7854	Fax:	Phone:	Fax:
Email: cphillips@atni.com		Email:	
Cell: (720) 733-7854	Other:	Cell:	Other:
Contact Person: Cindy Phillips - Director of Real Estate/Regulatory		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Director's Modification of Standards Supplemental Information

(All required information may be separately attached)

1. What modification or deviation are you requesting? **Be specific.**

Parking Standards - Article 110.410.00
Landscaping Standards - Article 110.412.00
Noise and Lighting - Article 110.414.00
Minor deviation Standards - Section 110.804.35

2. Why is the modification or deviation necessary to the success of the project/development? **Be specific.** Are there any extenuating circumstances or physical conditions on the proposed project/development site?

Please refer to the attached Director's Memorandum for explanation

3. Are you proposing to mitigate the effect of the modification or reduction?

Please refer to the attached Director's Memorandum for explanation

4. What section of code are you requesting to modify or deviate? **Be specific.** List the code section and if there are specific requirements for the modification, provide detailed information. For deviation, provide the percentage of the deviation.

Parking Standards - Whole Section
Landscaping Standards - Whole Section
Noise and Lighting - Whole Section
Minor Deviation Standards - Maximum height allowed (150' monopole) as stated per Washoe County Planning Department

5. For Minor Deviation request; list what properties/parcels are affected by the deviation? Explain if there will be any impacts to the affected neighboring properties. (At a minimum, affected property owners are those owners of parcels that immediately abut the location of the proposed minor deviation.)

Please refer to the Director's Memorandum for list of adjoining parcels and impact explanation.

MEMORANDUM

To: Washoe County

CC: Commnet of Nevada, LLC (Commnet Wireless)

From: Julie Krekeler, Site Acquisition, CIS Communications, LLC

Date: April 10, 2019

Re: **DIRECTORS MODIFICATION REQUEST CLARIFICATION – Special Use Permit - APN: 061-010-49 (Vya, NV)**

Dear Washoe County,

The subject application is for a Special Use Permit for the construction of a telecommunications facility consisting of a 150' monopole, outdoor shelter, and a generator and propane tank within a 77' x 97' fenced compound situated in rural Vya, Nevada. The parcel is located on property owned by the United States of America and is managed by the Bureau of Land Management. The parcel consists of 773.89 acres.

Upon review of Washoe County's Development Code Section 110, Commnet Wireless is hereby requesting certain specific conditions to be considered for Director's Modification due to the following.

Article 110.410.00 Parking –Commnet Wireless would like to modify Section 110.410.00 to allow for the request to waive parking. Due to the unusual nature of the establishment and the remote rural location of this proposed unmanned facility that will be visited by a cell tech once or twice a month, the standards set forth in this section such as parking design and access width would be excessive and unreasonable for Commnet Wireless. The secured proposed facility is not for the general public access and there is ample space for the technician to park either outside or inside of the fenced lease area.

Article 110.412.00 Landscaping - Commnet Wireless would like to modify Section 110.412.00 to allow for the request to waive the whole section of landscaping. The subject site is located in a remote unimproved area. In addition to being remote, the site is located 2000+ feet from the nearest gravel county road or adjoining parcel where there will be minimal visibility. Because this remote location and it is an unmanned facility, Commnet Wireless' policy is to avoid any landscaping to conserve water as well as the need for routine landscape maintenance. Additionally, because of the vast size of the parcel (773 acres), it is unreasonable for Commnet Wireless to meet Washoe County's requirement of landscape coverage of a minimum twenty (20) percent of the total developed land area as well as landscaped buffers at least one (1) tree every twenty (20) linear feet of property frontage as outlined in Sections 110.412.40 (a) and (c).

Section 110.414.00 Noise and Lighting - Commnet Wireless would like to modify the Section 110.414.00 to allow for the request to waive the entire section of Noise and Lighting. The site will be powered from a nearby transformer to a new meter bank located within the fenced compound. There will be a generator installed at the site in the event of extended power outages. First Net responder equipment is proposed at this site. Per Section 110.414.20 (b) emergency equipment is exempt from this section.

Unless lighting is required by the FAA, no lighting is proposed at the unmanned facility. Commnet proposes Washoe County's current best practice of "dark-sky" standards. There will be lighting inside the shelter that is turned on only during a technician's site visit.

Section 110.804.35 Minor Deviations – Commnet Wireless is proposing a 150' monopole and is seeking approval for the height deviation per table 110.324.55.1 . As stated, this site is located in a remote area of northern Nevada where there is currently limited to no cellular service. This site will include First Net responder emergency equipment as well as multi users and due to the diverse topography and the remoteness of the area, the height is needed to overcome that terrain to obtain optimal coverage.

The following is a list of parcels that abut the subject property parcel. The closets parcels to the proposed facility, as indicated by an asterisk, are at a distance of 2,000 feet. The nearest residence is approximately one (1) mile away and this facility will not impose any negative impacts. The impact this proposed facility will have is a communication source that is vital to today's safety and quality of life.

061-010-02 – Zoned GR
*061-010-03 – Zoned GR
*061-010-04 – Zoned GR
061-010-05 – Zoned GR
061-010-07 – Zoned GR
* 061-010-55 – Zoned GR
061-260-08 – Zoned GR
061-260-09 – Zoned GR
061-260-03 – Zoned GR
061-260-02– Zoned GR
061-260-01– Zoned GR
061-050-46 – Zoned GR
061-050-30– Zoned GR

BEING A PORTION OF SECTION 5, TOWNSHIP 42 NORTH, RANGE 19 EAST, MDB&M., WASHOE COUNTY,
NEVADA. DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER (NW1/4) OF SECTION 5,
TOWNSHIP 42 NORTH, RANGE 19 EAST, M.D.B.&M.:

THENCE CONTINUING SOUTH 89°49'37"EAST, 5.00 FEET;
THENCE NORTH 00°10'23"EAST, 97.00 FEET;

THENCE NORTH 89°49'37" WEST, 38.50 FEET TO A POINT HEREINAFTER REFERRED TO AS POINT B;

THENCE CONTINUING, NORTH 89°49'37" WEST, 38.50 FEET;
SOUTH 00°10'23" WEST, 97.00 FEET TO THE POINT OF BEGINNING

CONTAINING 7,469 SQ.FT. MORE OR LESS.

PARCEL B* (UTILITY EASEMENT)

BEING A STRIP OF LAND 10.00 FEET IN WIDTH, LYING 5.00 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:

BEGINNING AT THE AFOREMENTIONED POINT 'A';

THENCE SOUTH 12°50'26"EAST, 54.25 FEET TO THE POINT OF TERMINATION

THE SIDELINES OF THIS STRIP OF LAND ARE TO BE LENGTHENED OR SHORTENED TO INTERSECT AT ALL ANGLE POINTS, AND TO BEGIN ON THE SOUTH LINE OF "PARCEL A".

CONTAINING 542 SQ.FT. MORE OR LESS.

PARCEL C* (ACCESS EASEMENT)

BEING A STRIP OF LAND 12.00 FEET IN WIDTH, LYING 6.00 FEET ON EACH SIDE OF THE FOLLOWING DESCRIBED CENTERLINE:

BEGINNING AT THE AFOREMENTIONED POINT 'B';

THENCE NORTH 00°00'00"EAST, 30.57 FEET

THENCE NORTH 14°37'01" WEST, 54.43 FEET;

THENCE NORTH 25°42'17" WEST 39.11 FEET

THENCE NORTH 23°04'12" WEST 13.14 FEET

THENCE NORTH 13°34'41" WEST, 14.10 FEET,

BEACON NORTH 4.443730 WEST, 63.05, 555

THENCE NORTH 14.33° WEST, 37.25 FEET;

THENCE NORTH 24 09 31 WEST, 97.94 FEET;

THENCE NORTH 18°44'16" WEST, 85.71 FEET;

THE SIDELINES OF THIS STRIP OF LAND ARE TO BE LENGTHENED OR SHORTENED TO INTERSECT AT ALL

ANGLE POINTS, AND TO BEGIN ON THE N

LYING WITHIN SECTION 5, TOWNSHIP 42 NORTH, RANGE 19 EAST,
M.D.M., WASHOE COUNTY, NEVADA.

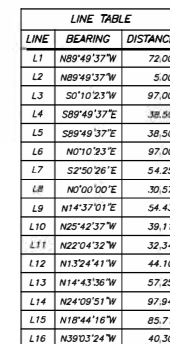
OWNER = UNITED STATES OF AMERICA
CONTACT = N/A

ASSESSOR'S PARCEL NUMBER = 061-010-49
VESTING DOCUMENT = N/A

NO TITLE REPORT PROVIDED

GRID NORTH BASED UPON THE NORTH AMERICAN DATUM OF 1983/94 (2011), NEVADA WEST ZONE (2703) COORDINATES PROVIDED BY OPUS SOLUTION; THE DISTANCES ARE BASED ON A GROUND SCALE FACTOR OF 1.0002506172 REFERENCED FROM A POINT NEAR THE PROJECT WITH A LATITUDE OF 41°35'30.19834" N AND A LONGITUDE OF 119°52'47.01529" W AND A NORTH AMERICAN VERTICAL DATUM OF 1988 HEIGHT OF 6167.50 FEET USING GEGID2A

NAD 83 LATITUDE = 41°35'30.76358" N
LONGITUDE = 119°52'47.14752" W
SITE GROUND ELEVATION = 6236.20'
STATE PLANE COORDINATES NAD 83, NEVADA WEST ZONE
METERS (GROUND) = NORTHING = 4760184.649
EASTING = 691916.598
FEET (GROUND) = NORTHING = 15617372.47
EASTING = 2270063.04

[illegible]

DATE: 03/29/2001
DRAFTER: M
FIELD: BH/
CHECKED: M
JOB NO.
ECOM-18020
SHEET
1
0003

WAC24-0007
EXHIBIT E

GENERAL NOTES

THE ARCHITECTS/ENGINEERS HAVE MADE EVERY EFFORT AS SET FORTH IN THE CONSTRUCTION DRAWINGS, CONTRACT DOCUMENTS AND THE COMPLETE SCOPE OF WORK. CONTRACTORS BIDDING THE JOB ARE NEVERTHELESS CAUTIONED THAT MINOR OMISSIONS OR ERRORS IN THE DRAWINGS AND SPECIFICATIONS SHALL NOT EXCUSE SAID CONTRACTOR FROM COMPLETING THE PROJECT AND IMPROVEMENTS IN ACCORDANCE WITH THE INTENT OF THESE DOCUMENTS. THE BIDDER SHALL BEAR THE RESPONSIBILITY OF NOTIFYING (IN WRITING) THE ARCHITECT/ENGINEER OF ANY CONFLICTS, ERRORS OR OMISSIONS PRIOR TO THE SUBMISSION OF THE CONTRACTOR'S PROPOSAL. IN THE EVENT OF DISCREPANCIES THE CONTRACTOR SHALL PRICE THE MORE COSTLY OR EXTENSIVE WORK UNLESS OTHERWISE DIRECTED.

CODE COMPLIANCE

ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUED TO PERMIT WORK NOT CONFORMING TO THESE CODES.

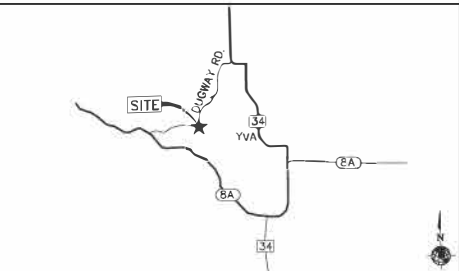
2012 INTERNATIONAL BUILDING CODE (IBC)
2012 INTERNATIONAL MECHANICAL CODE (IMC)
2012 INTERNATIONAL PLUMBING CODE (IPC)
2011 NATIONAL ELECTRICAL CODE (NEC)
TIA/EIA-222-F STRUCTURAL STANDARDS FOR STEEL ANTENNA TOWERS AND ANTENNA SUPPORTING STRUCTURES
LOCAL BUILDING CODE(S)
CITY AND/OR COUNTY AMENDED

JURISDICTION: WASHOE COUNTY

STATE MAP



VICINITY MAP



DRIVING DIRECTIONS

FROM VYA, NEVADA: HEAD NORTH ON COUNTY RD 34 N (1.4 MILES) CONTINUE STRAIGHT ONTO DUGWAY RD. (1.5 MILES). TURN LEFT ONTO UNNAMED DIRT ROAD TO SITE.

PROJECT TEAM

PROJECT OWNER: COMMNET WIRELESS, LLC
1562 NORTH PARK STREET
CASTLE ROCK, COLORADO 80109

PROJECT MANAGER: 1562 NORTH PARK STREET
CASTLE ROCK, COLORADO 80109
CONTACT: POLLEY WISE
PHONE: (720) 733-5399
EMAIL: pwiese@ctnl.com

CONSTRUCTION MANAGER: 1562 N. PARK STREET
CASTLE ROCK, CO 80104
CONTACT: DAVE TILLER, CM
PHONE: (720) 357-5384
EMAIL: DTiller@ctnl.com

LEASE ACQUISITION: 1562 NORTH PARK STREET
CASTLE ROCK, COLORADO 80109
CONTACT: ALEXIS LEDIGH
CASTLE ROCK CO.
PHONE: (501) 448-1545

CIVIL ENGINEER: Abn ENGINEERING, LLC
1337 E. DESERT FLOWER LANE
PHOENIX, AZ 85048
CONTACT: SANDEEP A. MANE, P.E.
PHONE: (480) 213-8524
EMAIL: smane@abneng.com

ELECTRICAL ENGINEERING: EE LLC
12005 ANTELOPE TRAIL
PARKER, CO 80138
PHONE: (303) 748-1189

SURVEYOR: WALLACE MORRIS URBAN SURVEYING, LLC
1250 LAMOLLE HIGHWAY, UNIT 628
ELKO, NV 89801
PHONE: (775) 753-3610

POWER PROVIDER: SURPRISE VALLEY ELECTRIFICATION CORP
516 US HWY 395
ALTURAS, CA 96101
PHONE: (530) 233-3511
CONTACT: DJ NORTHUP - COMPLIANCE TECH
EMAIL: DJNSV@FRONTIER.COM

PROJECT DESCRIPTION

INSTALLING A NEW MONOPOLE TO INCLUDE: NEW ANTENNAS, RRHS, MOUNTS, PRE-FABRICATED SHELTER, PROPANE TANK, GENERATOR AND A METER SERVICE WITHIN A NEW CHAIN LINK FENCE.

SITE NAME:
VYA, NEVADA

PROJECT:
RAW LAND MONOPOLE

PROJECT INFORMATION

SITE NAME: VYA, NEVADA

SITE ADDRESS: 89000A DUGWAY ROAD
GERLACH, NV 89413

SITE COORDINATES: LATITUDE: 41° 35' 30.76358"N (NAD 83)
LONGITUDE: 119° 52' 47.14752"W (NAD 83)
ELEVATION: ±6,236.20' (AMSL) (NAVD 88)

APPLICANT: COMMNET WIRELESS, LLC
1562 NORTH PARK STREET
CASTLE ROCK, COLORADO 80109

CONTACT: DAVE TILLER
(720) 357-5384

PROPERTY OWNER: UNITED STATES OF AMERICA

APN NUMBER: 061-010-49

CURRENT ZONING: BLM

CONSTRUCTION TYPE: VB

NEW USE: U

OCCUPANCY: VACANT LAND

CURRENT USE: UNMANNED TELECOMMUNICATIONS FACILITY

LEASE AREA: 7,469 SQ.FT.

UTILITY TABLE

UTILITY:	PROVIDER:
WATER	N/A
SEWER	N/A
ELECTRICAL	NV ENERGY
TELEPHONE/FIBER	TBD
POLICE	WASHOE COUNTY
FIRE	WASHOE COUNTY



SHEET INDEX

TITLE:	DESCRIPTION:
T-1	TITLE SHEET & PROJECT INFORMATION
GN-1	GENERAL NOTES
SN-1	SITE SIGNATURE DETAILS
A-1	OVERALL SITE PLAN
A-2.0	ENLARGED SITE PLAN
A-2.1	SHELTER LAYOUT
A-3	SITE ELEVATION & DETAILS
A-4	NOT USED
A-5	CONSTRUCTION DETAILS
A-6	CONSTRUCTION DETAILS
A-7	CONSTRUCTION DETAILS
A-8	CONSTRUCTION DETAILS
S-1	SHELTER FOUNDATION DETAILS
E-1	OVERALL ELECTRICAL PLAN & ELECTRICAL NOTES
E-2	PANEL SCHEDULE & ONE LINE DIAGRAM
E-3	DETAILS
G-1	GROUNDING PLAN
G-2	GROUNDING DETAILS

APPROVAL BOX

DEPARTMENT:	SIGNATURE:	DATE:
PROJECT MANAGER		
CONSTRUCTION MANAGER		
RF MANAGER		
PROPERTY OWNER REPRESENTATIVE		



1337 E DESERT FLOWER LANE
PHOENIX, AZ 85048
PHONE: (480) 213-8524

PE SEAL



DESIGNER: JASON NGO

LEAD EE: SB

LEAD CE/SE: SAM

REV.	DATE	DESCRIPTION	BY
H	1/25/19	COMMENTS	JN
I	2/13/19	COMMENTS	JN
J	2/18/19	COMMENTS	JN
K	2/19/19	FINAL CD	JN
L	4/3/19	REVISED CD	JN

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO COMMNET WIRELESS IS STRICTLY PROHIBITED.

SITE NAME

VYA, NEVADA

PROJECT

RAW LAND MONOPOLE

SITE ADDRESS

LAT: 41° 35' 30.76358"N
LONG: 119° 52' 47.14752"W
89000A DUGWAY ROAD
GERLACH, NV 89413

SHEET TITLE

TITLE SHEET

SHEET NUMBER

T-1

**WAC24-0007
EXHIBIT E**

GENERAL NOTES - SCOPE OF WORK REVISION 9-19-16

THE CONTRACTOR SHALL CONDUCT ALL ACTIVITIES WHETHER CONSTRUCTION RELATED OR AFTER-HOURS WITH A HIGH DEGREE OF ETHICS AND APPROPRIATE BEHAVIOR.

THE CONTRACTOR SHALL PROVIDE A COMPLETE INSTALLATION IN ACCORDANCE WITH THE CONSTRUCTION PLANS PROVIDED AND DIRECTION OF THE CONSTRUCTION/PROJECT MANAGERS.

THE GC WILL NOT START CONSTRUCTION UNTIL EACH OF THE FOLLOWING HAS BEEN COMPLETED: PRE-CONSTRUCTION MEETING HAS BEEN HELD; BUILDING PERMIT HAS BEEN SECURED, AND THE PROJECT ENGINEER HAS AUTHORIZED START OF CONSTRUCTION.

THE CONTRACTOR SHALL NOT BE EXPECTED TO POWER-UP, COMMISSION OR BRING ON-LINE ANY EQUIPMENT.

THE CONTRACTOR SHALL ENSURE SITE AREA IS CLEAN AND FREE OF CONSTRUCTION DEBRIS ON A DAILY BASIS.

THE CONTRACTOR MAY BE REQUIRED TO ASSIST WITH PERMIT APPLICATIONS AND PLAN SUBMITTALS.

THE CONTRACTOR SHALL CALL-IN AND COORDINATES ALL NECESSARY INSPECTIONS WITH THE PROPER CITY, COUNTY, STATE AUTHORITY.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR INITIATING, MAINTAINING AND SUPERVISING ALL SAFETY PRECAUTIONS AND PROGRAMS IDENTIFIED BY OSHA REGULATIONS. UPON REQUEST, THE CONTRACTOR SHALL PROVIDE DOCUMENTS SHOWING COMPLIANCE.

THE CONTRACTOR SHALL SUPPLY ALL TOOLS NECESSARY TO COMPLETE CONSTRUCTION INCLUDING INSTALLATION OF GROUNDING SYSTEM, IN ACCORDANCE WITH THE PLANS.

THE CONTRACTOR SHALL PROVIDE AS-BUILT DRAWINGS THAT DEMONSTRATE COMPLETION OF CONSTRUCTION AND THAT NOTE ANY DEVIATIONS FROM THE PLANS.

BID WALK

A BID WALK WILL BE HELD ON-SITE TO DISCUSS ANY QUESTIONS OR POSSIBLE SUGGESTIONS THAT GC'S MAY HAVE IN REGARDS TO THIS INSTALLATION. BID WALK IS OPTIONAL BUT NO CHANGE ORDERS WILL BE ALLOWED UNLESS APPROVED CM. BID WALK IS DESIGNED TO CLEAR UP ANY CONCERNS OR QUESTIONS THAT GC'S MAY HAVE ABOUT THE INSTALLATION.

DATE:
TIME:

GENERAL CONTRACTOR'S PROJECT MANAGER (CONTRACTOR PM) BEFORE THE COMMENCEMENT OF ANY WORK, THE GC WILL ASSIGN A CONTRACTOR PROJECT MANAGER (CONTRACTOR PM) WHO WILL ACT AS A SINGLE POINT OF CONTACT FOR ALL PERSONNEL INVOLVED IN THIS PROJECT. THIS CONTRACTOR PM WILL DEVELOP A MASTER SCHEDULE FOR THE PROJECT, WHICH WILL BE SUBMITTED TO THE CWM CM PRIOR TO THE COMMENCEMENT OF ANY WORK. THIS CONTRACTOR PM WILL ALSO:

SCHEDULE AN ON-SITE MEETING PRIOR TO PROJECT START, WITH ALL MAJOR PARTIES PRESENT. APPROPRIATE PARTIES INCLUDE (BUT ARE NOT LIMITED TO) CWM CM, CWM LOCAL OPERATIONS POC (MANAGER, SUPERVISOR OR TECHNICIAN), LOCAL POWER COMPANY, DESIGNATED ELECTRICIAN, LOCAL TELEPHONE COMPANY, GC CREW CHIEF / FOREMAN.

THE CONTRACTOR PM WILL PROVIDE DAILY VERBAL UPDATES ON SITE WORK PROGRESS TO THE CWM CM.

CIVIL

THE CONTRACTOR SHALL VERIFY LOCATION OF UNDERGROUND PIPES/CONDUITS USING AN INDEPENDENT UNDERGROUND LOCATOR SERVICE.

THE CONTRACTOR SHALL COORDINATE EXCAVATION WORK WITH CM/OWNER SO AS NOT TO INTERFERE WITH COMPOUND ACCESS BY SITE OWNER AND/OR CURRENT TENANTS.

ALL EXCAVATION SHALL BE DONE WITH CARE TO AVOID DAMAGING UNDERGROUND PIPES/CONDUITS. ANY DAMAGE CAUSED BY CONSTRUCTION SHALL BE REPAIRED IMMEDIATELY AND MONITORED BY THE CONTRACTOR UNTIL REPAIRS ARE COMPLETED. THE CONTRACTOR SHALL NOTIFY THE CM BY PHONE IMMEDIATELY IF DAMAGE TO UNDERGROUND FACILITIES IS CAUSED BY CONSTRUCTION AND THE CONTRACTOR SHALL SUBMIT A WRITTEN REPORT OF THE INCIDENT TO THE CM AND TO THE OWNER OF THE DAMAGED FACILITIES WITHIN 24 HOURS.

THE CONTRACTOR SHALL ENSURE THAT THE SITE IS GRADED PROPERLY DURING CONSTRUCTION TO AVOID STANDING WATER AND USE APPROVED BACKFILL METHODS FOR ANY TRENCH WORK REQUIRED. THE CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS TO THEIR ORIGINAL CONDITIONS USING LIKE MATERIALS.

ELECTRICAL

THE CONTRACTOR SHALL INSTALL SECONDARY ELECTRICAL SERVICES ACCORDING TO THE PLANS AND CURRENT NEC AND LOCAL CODES. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED ELECTRICAL INSPECTIONS.

TELCO - SHELTER (IF APPLICABLE)

IT IS THE CONTRACTOR RESPONSIBILITY TO PROVIDE AND RUN TELEPHONE CABLE FROM THE TELCO BOX ON THE H-FRAME TO THE TELCO TERMINATION POINT INSIDE THE EQUIPMENT SHELTER. CABLE SHALL CONSIST OF TWO (2) EACH 25-PAIR SHIELDED TELEPHONE CABLES AND 1 PULL STRING. CABLE WILL BE RUN INSIDE A 3" PVC PIPE. CONDUITS WILL BE OUTFITTED WITH ABOVE-GROUND FROST-SLEEVES ON BOTH ENDS, AND INTERNAL CABLES MUST BE INSTALLED WITH ABOUT 8" OF SLACK TO ALLOW FOR POTENTIAL FROST-HEAVE RELIEF. ALSO, LEAVE ONE PULL-STRING INSIDE THE CONDUIT - TIED OFF AT BOTH ENDS - FOR POTENTIAL FUTURE USE.

TELCO - OUTDOOR EQUIPMENT (IF APPLICABLE)

IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSTALL 2 TELEPHONE CABLE (CAT5) AND A PULL STRING FROM THE TELCO BOX ON THE H-FRAME TO THE TELCO TERMINATION POINT INSIDE THE EQUIPMENT CABINET OR DSX LOCATION.

EQUIPMENT SHELTER (IF APPLICABLE)

THE CONTRACTOR PM MUST PREPARE A "SPREAD-FOOTING AND PERIMETER-TYPE" (OR PERIMETER WITH SLAB) FOUNDATION FOR THE SHELTER BASED ON SITE PLANS. DIMENSIONS AND SPECIFICATIONS (INCLUDING REBAR PLAN) WILL BE AS INDICATED ON APPROVED FINAL SITE DRAWINGS. ALL CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH AS SHOWN IN THE BUILDING SPECIFICATIONS. CONCRETE SAMPLES ARE TO BE TESTED AND THE RESULTS PROVIDED TO THE SITE DEVELOPMENT ENGINEER. IF THE RESULTS DO NOT MEET MINIMUM REQUIREMENTS AND IS DETERMINED TO BE UNACCEPTABLE, CONTRACTOR IS RESPONSIBLE FOR CORRECTING THE DEFICIENCIES.

THE GC'S FOUNDATION INSTALLATION SHALL INCLUDE:

- FOUNDATION LAYOUT
- EXCAVATION
- REINFORCING STEEL
- CONCRETE
- CONCRETE TESTING
- PITCHING TO PREVENT WATER COLLECTION ON THE 4' x 4' SHELTER ENTRANCE
- BACK FILL AND COMPACTION

COORDINATION OF SHELTER DELIVERY, OFFLOAD, AND SET, ALONG WITH ALL NECESSARY PERMITS TO TRAVERSE PUBLIC ROADS AND GAIN ACCESS TO THE SITE, AND APPROPRIATE OFFLOAD TOOLS, ARE THE RESPONSIBILITY OF THE CONTRACTOR PM (THIS APPLIES TO THINGS SUCH AS: SHELTER DELIVERY VEHICLE(S), CRANE, CULVERTS, CURB-CUTS, TRAFFIC CONTROL, ROAD RESTRICTIONS, ETC).

THE CONTRACTOR PM WILL COMMUNICATE DIRECTLY WITH THE DRIVER OF THE SHELTER DELIVERY VEHICLE TO VERIFY ACTUAL SHELTER AND CONTENTS WEIGHT - AS WEIGHED BY HIGHWAY SCALES. THE CONTRACTOR PM IS RESPONSIBLE TO COORDINATE THE APPROPRIATELY SIZED / RATED CRANE AND LIFTING EQUIPMENT (IE: SPREADER BARS, LIFTING CABLES, LIFTING SHACKLES, ETC), BASED ON THE ACTUAL WEIGHT OF SHELTER AND CONTENTS.

POWER AND EQUIPMENT BAYS (IF APPLICABLE)

THE CONTRACTOR SHALL INSTALL ALL INTER-BAY CONNECTIONS ACCORDING TO THE PLANS, WHICH INCLUDE TELCO, DC CIRCUITS, ALARM CABLES, AND BATTERIES.

ALL EQUIPMENT BAY CONTACT AND SECURE POINTS ARE MADE OF ALUMINUM. IT IS EXPECTED THAT NO POWER TOOLS SHALL BE UTILIZED TO SECURE THE CARDS AND CABLES IN TO PLACE.

ANTENNAS/COAX/POWER/FIBER

THE CONTRACTOR SHALL USE TRUE NORTH TO SET ALL ANTENNA AZIMUTHS.

THE CONTRACTOR, IN ORDER TO MEET THE PERFORMANCE REQUIREMENTS FOR E-911 FOR COMMNET, AND OTHER PERFORMANCE/QUALITY CONTROL, SHALL USE AN ANTENNA ALIGNMENT TOOL IN ORDER TO ACCURATELY CAPTURE ALIGNMENT IN AZIMUTH, TILT, ROLL AND (OPTIONALLY) AGL HEIGHT. THE CONTRACTOR SHOULD USE EQUIPMENT OF GOOD QUALITY AND PREFERRED THOUGHT THE WIRELESS INDUSTRY.

THE CONTRACTOR SHALL TRANSPORT ANTENNAS IN A MANNER THAT WILL NOT DAMAGE OR EFFECT THE ANTENNAS PERFORMANCE AND PRE-SWEEP OR IF AVAILABLE PIM TEST PRIOR TO INSTALL.

THE CONTRACTOR SHALL INSPECT, CLEAN AND TEST FIBER CABLES PRIOR TO INSTALLING AND RECORD THE RESULTS TO CWM CM.

THE CONTRACTOR SHALL, BY USE OF A TORQUE WRENCH, PROPERLY TORQUE JUMPER, COAX ANTENNAS, CONNECTIONS TO INSURE A SECURE CONNECTION AND TO AVOID OVER TIGHTENING.

THE CONTRACTOR WILL ATTACH ANTENNAS USING PROPER MOUNTING BRACKETS.

THE CONTRACTOR SHALL VERIFY THAT PIPE MOUNTS ARE VERTICAL (PLUMB).

THE CONTRACTOR SHALL COLD GALVANIZE SPRAY ALL DAMAGED PARTS OF THE HOT DIP GALVANIZATION.

THE CONTRACTOR SHALL INSTALL GROUNDING IN ACCORDANCE WITH THE PLANS AND MANUFACTURER'S RECOMMENDATIONS. GROUNDING KITS TO BE INSTALLED AT INTERVALS OF 100' ON TOWER.

THE CONTRACTOR SHALL INSTALL ICE-BRIDGE FROM TOWER TO THE APPROPRIATE RF BAY OR EQUIPMENT SHELTER, IF REQUIRED.

THE CONTRACTOR SHALL ROUTE SPECIFIED COAX/POWER/FIBER CABLES ALONG CABLE TRAY/ICE-BRIDGE USING HANGERS ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

THE CONTRACTOR SHALL MARK EACH COAXIAL/POWER/FIBER CABLE IN ACCORDANCE WITH THE ANTENNA/FEEDLINE COLOR CODE SHEET AS SHOWN IN THE PLANS.

THE CONTRACTOR SHALL INSTALL HOISTING GRIPS, ACCORDING TO MANUFACTURER'S RECOMMENDATIONS (AS APPLICABLE).

THE CONTRACTOR SHALL INSTALL SURGE ARRESTORS/BIAS-T, IF REQUIRED, AND BUSS BARS IN APPROVED LOCATIONS.

THE CONTRACTOR SHALL WEATHERPROOF ALL COAX CONNECTIONS IN ACCORDANCE TO MANUFACTURER'S RECOMMENDATIONS.

THE CONTRACTOR SHALL PERFORM A "TAPE DROP" MEASUREMENT TO CONFIRM / VALIDATE ANTENNA CENTER LINE (ACL) HEIGHT.

GROUNDING

THE CONTRACTOR SHALL INSTALL THE GROUNDING SYSTEM IN ACCORDANCE WITH THE PLAN.

THE CONTRACTOR SHALL ROUTE GROUND LEADS TO ALL GROUNDING POINTS AND GROUND LEADS BY USING EXOTHERMIC WELDS OR APPROVED MECHANICAL COMPRESSION CONNECTIONS.

THE CONTRACTOR SHALL APPLY OXIDE-INHIBITING COMPOUND IN ALL REQUIRED LOCATIONS.

FOR NEW CONSTRUCTION, THE CONTRACTOR SHALL PERFORM A MEGGER TEST AFTER ALL ATTACHMENTS HAVE BEEN MADE TO THE EQUIPMENT AND PROVIDE READINGS TO THE CM FOR CLOSE OUT REPORTS.

IF REQUIRED, THE CONTRACTOR SHALL PROVIDE PHOTOS VERIFYING THAT ALL GROUND LEADS ARE IN PLACE, AND CONNECTED TO SUBSURFACE GROUND RING PRIOR TO BACKFILLING GROUND SYSTEM EXCAVATION (CAD WELD OR BURNDY HY-GROUND CONNECTIONS BELOW GRADE).

MATERIALS

SECURITY AND PRESERVATION OF SITE MATERIALS AND EQUIPMENT ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. IN THE EVENT OF DAMAGE, THE CONTRACTOR SHALL PRESERVE THE ORIGINAL CONTAINER AND CONTACT CWM/CWL CM IMMEDIATELY.

THE CONTRACTOR SHALL COMPLETE INVENTORY VERIFICATION NO LATER THAN ONE (1) BUSINESS DAY AFTER RECEIPT OF MATERIALS. TO INDICATE COMPLETION OF INVENTORY, THE CONTRACTOR SHALL SIGN AND DATE A COPY OF MATERIAL LIST AND GIVE TO THE CM. ANY MISSING MATERIAL SHALL BE REPORTED THE CM IMMEDIATELY.

NOTE: FAILURE TO PERFORM INVENTORY VERIFICATION AS REQUIRED INDICATES ACKNOWLEDGEMENT FROM THE CONTRACTOR THAT THE MATERIALS AND EQUIPMENT WERE RECEIVED IN THEIR ENTIRETY AND THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY AND REPLACEMENT COSTS FOR EQUIPMENT SHORTAGES.

MISCELLANEOUS NOTES

THE CONTRACTOR SHALL REQUEST APPROVAL FROM THE CM FOR ANY CHANGES OR DEVIATIONS FROM THE PLANS.

FOR CHANGES THAT REQUIRED ADDITIONAL COSTS, THE CM WILL COMPLETE A CHANGE ORDER FORM OUTLINE THE REASON FOR THE CHANGE AND ITS COSTS.

SWEEP/PIM/FIBER TEST

AFTER THE INSTALLATION OF ANTENNAS & LINES, THE GENERAL CONTRACTOR SHALL SWEEP AND TEST ALL COMPONENTS AND PROVIDE HARD COPY REPORT OF THE RESULTS. A GRAPH PRINTOUT IS TO BE PROVIDED TO THE LOCAL NETWORK OPERATIONS MANAGER AND CM BY THE GC FOR APPROVAL. SWEEP TESTS SHOULD BE PERFORMED BY THE GC TERMINATING EACH RUN OF COAX WITH A SHORT, 50 OHM LOAD, AND ANTENNA WITH JUMPER AND PROVIDING RETURN LOSS RESULTS.

AFTER THE INSTALLATION OF FIBER TRUNKS AND JUMPERS, THE GC SHOULD PROPERLY RE-TEST THE FIBER TO CONFIRM THE RESULTS ARE WITHIN TOLERANCE OF THE MANUFACTURERS SUGGESTED LIMITS.

IF CONTRACTORS OFFER PIM TESTING, PIM TEST SHOULD BE CONDUCTED ON JUMPERS AND ANTENNAS TO CONFIRM THEY ARE IN TOLERANCE AND WORKING PROPERLY.

PIM TESTING STANDARD

REQUIREMENTS FOR PIM TESTING TO A LOAD

PASSING: -103DBM OR -146DBC TO A LOAD
REQUIRES APPROVAL: -102DBM TO -97DBM (-145DBC TO -140DBC) TO A LOAD
FAILING: BELOW -96DBM (-139DBC) TO A LOAD

SWEEP TEST REQUIRED PER EACH COAXIAL CABLE/ANTENNA SYSTEM

-ANTENNA ON GROUND BEFORE INSTALLING ON TOWER

-RETURN LOSS WITH 50 OHM LOAD CONNECTED TO MAIN COAXIAL LINE AND JUMPER

-DISTANCE TO FAULT (DTF) WITH 50 OHM LOAD CONNECTED TO MAIN COAXIAL LINE AND JUMPER

-RETURN LOSS WITH PRECISION SHORT CONNECTED TO MAIN COAXIAL LINE AND JUMPER

-DISTANCE TO FAULT (DTF) WITH PRECISION SHORT CONNECTED TO MAIN COAXIAL LINE AND JUMPER

-RETURN LOSS SYSTEM W/ANTENNA CONNECTED TO MAIN COAXIAL LINE AND JUMPER

-DISTANCE TO FAULT (DTF) SYSTEM W/ANTENNA CONNECTED TO MAIN COAXIAL LINE AND JUMPER

-18 IS THE PASS / FAIL LINE - ALL TESTS PERFORMED FROM THE POINT AT WHICH THE JUMPERS CONNECT TO THE DVPS INSIDE THE GSM CABINET AND AT THE JUMPER GOING INTO THE CDMA CABINET. ALL LINES, REGARDLESS OF USE, ARE TO BE TESTED.

LEGEND

- NORTH ARROW
- ANTENNA
- GROUND ACCESS WELL
- GROUND ROD
- GROUND BUSS BAR
- MECHANICAL GRND. CONN.
- EXOTHERMIC WELD
- ELECTRIC BOX
- TELEPHONE BOX
- LIGHT POLE
- FND. MONUMENT
- SPOT ELEVATION
- SET POINT
- REVISION
- KEYED NOTE
- DETAIL REFERENCE
- ELEVATION REFERENCE
- SECTION REFERENCE
- GROUT OR PLASTER
- EXISTING BRICK
- EXISTING MASONARY
- CONCRETE
- EARTH
- GRAVEL
- PLYWOOD
- SAND
- WOOD CONT.
- WOOD BLOCKING
- STEEL
- CENTERLINE
- PROPERTY/LEASE LINE
- RIGHT OF WAY
- MATCH LINE
- WORK POINT
- GROUND CONDUCTOR
- TELEPHONE CONDUIT
- ELECTRICAL CONDUIT
- COAXIAL CABLE
- OVERHEAD SERVICE CONDUCTORS
- CHAIN LINK FENCING
- RET (REMOTE ELECTRICAL TILT)
- PDU (POWER DISTRIBUTION UNIT)
- ALARM
- RAILROAD TRACKS



1337 E DESERT FLOWER LANE
PHOENIX, AZ 85048
PHONE: (480) 213-8524

PE SEAL



DESIGNER JASON NGO

LEAD EE: SB

LEAD CE/SE: SAM

SUBMITTALS				
REV.	DATE	DESCRIPTION	BY	
H	1/25/19	COMMENTS	JN	
I	2/13/19	COMMENTS	JN	
J	2/18/19	COMMENTS	JN	
K	2/19/19	FINAL CD	JN	
L	4/3/19	REVISED CD	JN	

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO COMMNET WIRELESS IS STRICTLY PROHIBITED.

SITE NAME

VYA, NEVADA

PROJECT

RAW LAND MONOPOLE

SITE ADDRESS

LAT: 41° 35' 30.76358"N
LONG: 119° 52' 47.14752"W
89000A DUGWAY ROAD
GERLACH, NV 89413

SHEET TITLE

GENERAL NOTES

SHEET NUMBER

GN-1

**WAC24-0007
EXHIBIT E**

 GREY
  RED
  BLACK

 BLUE
  YELLOW

The image displays four safety signs with their dimensions and content:

- Top Left Sign:** Dimensions 14" x 16". Text: **FLAMMABLE PROPANE**, **NO SMOKING**. Includes hazard diamonds for flammability (2, 4) and health (1075, 3).
- Top Right Sign:** Dimensions 14" x 16". Text: **DANGER**, **No Smoking Or Spark Producing Activities**.
- Bottom Left Sign:** Dimensions 14" x 16". Text: **WARNING**, **THIS FACILITY CONTAINS CORROSIVE LIQUID TOXIC LIQUID CLASS 1 WATER REACTIVE LIQUID**.
- Bottom Right Sign:** Dimensions 14" x 16". Text: **DANGER**, **HAZARDOUS MATERIALS STORAGE AREA**. Includes a warning symbol (exclamation mark in a triangle). A note points to the text: "WHITE LETTERING ON RED BACKGROUND (TYP.)".

HAZARDOUS MATERIALS SIGNAGE	SCALE: NTS	4
-----------------------------	------------	---

14"


IN CASE OF AN EMERGENCY
CALL
(720) 733-5630
COMMNET WIRELESS
Site Name: _____

NOTES:

1. SIGN MATERIAL: 18 GA SHEET ALUMINUM
ALLOY 6061-T6, 5052+H38, 5154+H38 OR EQUIVALENT.
2. LETTERING COLOR: NON REFLECTIVE BLACK SCREENED, CUT OUT PERMANENT OR REMOVABLE LEGEND.
3. BACKGROUND COLORS:
REFLECTIVE WHITE, SILVER WHITE ASTM TYPE III OR TYPE IV SHEETING U.S.A.O. NON REFLECTIVE YELLOW RED BLUE AND GREY TRANSPARENT PASTES APPLIED OVER THE SILVER WHITE SHEETING.
4. REFERENCE ANSI C95.2 FOR COLOR, SYMBOLS AND CONTENT CONVENTIONS.
5. SIGNS SHALL BE POSTED ON ACCESS GATE AND SHELTER DOOR OR OUTDOOR EQUIPMENT CABINETS.


FENCE SIGNAGE	SCALE: NTS	3
----------------------	------------	----------

RF SIGNAGE	SCALE: NTS	5
-------------------	------------	----------



Commnet


Connecting Rural America



**AIDN
ENGINEERING**

1337 E DESERT FLOWER LANE
PHOENIX, AZ 85048
PHONE: (480) 213-8524

PE SEAL



4/3/19

DESIGNER:	JASON NG
LEAD EE:	SE
LEAD CE/SE:	SAM

SUBMITTALS

REV.	DATE	DESCRIPTION	BY
H	1/25/19	COMMENTS	JN
I	2/13/19	COMMENTS	JN
J	2/18/19	COMMENTS	JN
K	2/19/19	FINAL CD	JN
L	4/3/19	REVISED CD	JN

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO COMMNET WIRELESS IS STRICTLY PROHIBITED.

SITE NAME

VYA, NEVADA

PROJECT

RAW LAND MONOPOLE

SITE ADDRESS

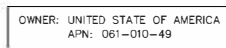
LAT: 41° 35' 30.76358"N
LONG: 119° 52' 47.14752"W
89000A DUGWAY ROAD
GERLACH, NV 89413

SHEET TITLE

SITE SIGNAGE DETAILS

SHEET NUMBER

SN-1

WISUP19-0003
EXHIBIT E

1. (E) DIRT ROAD
2. (N) 12' WIDE DIRT ACCESS ROAD
3. (N) 12' WIDE ACCESS EASEMENT
4. CONSTRUCTION WORK AREA $\pm 100'$ RADIUS, THE AREA WITHIN THIS BOUNDARY TO BE USED AS TEMPORARY CONSTRUCTION ZONE, STAGING MATERIAL AREA, VEHICLE ACTIVITY AREA AND GENERAL CONSTRUCTION PURPOSE. THIS AREA WILL RECLAIMED AND CLEANED UP AFTER CONSTRUCTION IS COMPLETE.



1337 E DESERT FLOWER LANE
PHOENIX, AZ 85048
PHONE: (480) 213-8524

PE SEAL



DESIGNER: JASON NGO

LEAD EE: SB

LEAD CE/SE: SAM

SUBMITTALS

REV.	DATE	DESCRIPTION	BY
H	1/25/19	COMMENTS	JN
I	2/13/19	COMMENTS	JN
J	2/18/19	COMMENTS	JN
K	2/19/19	FINAL CD	JN
L	4/3/19	REVISED CD	JN

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO COMMNET WIRELESS IS STRICTLY PROHIBITED

SITE NAME

VYA, NEVADA

PROJECT

RAW LAND MONOPOLE

SITE ADDRESS

LAT: 41° 35' 30.76358"N
LONG: 119° 52' 47.14752"W
89000A DUGWAY ROAD
GERLACH, NV 89413

SHEET TITLE

OVERALL SITE PLAN

SHEET NUMBER

 $A-1$ 

22"x34" SCALE: 1" = 30'-0"
11"x17" SCALE: 1" = 60'-0"

OVERALL SITE PLAN

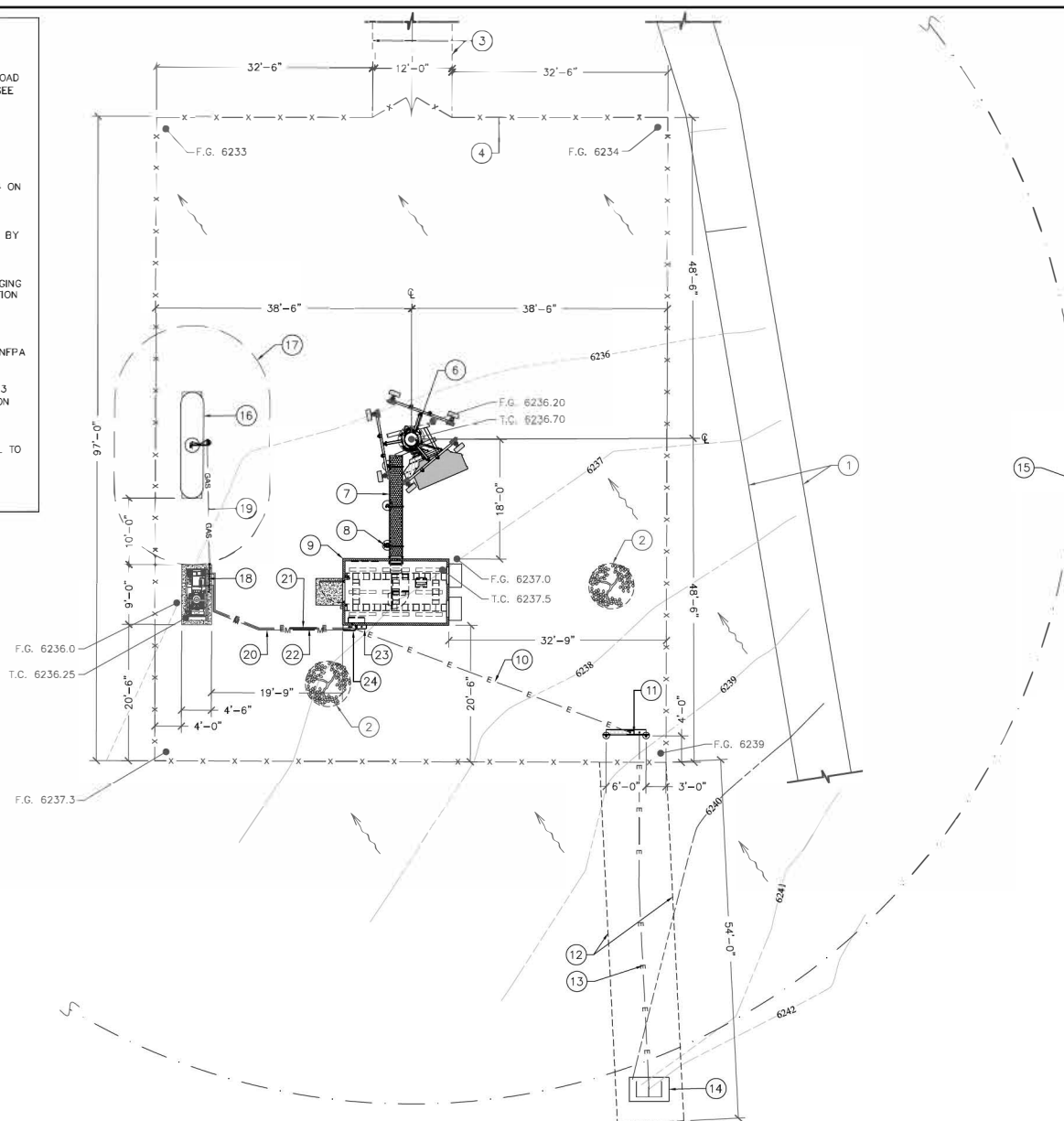
WAC24-0007
EXHIBIT E

Copyright © 2019, All Rights Reserved. This document is a proprietary work of ABE Engineering and contains information that is confidential and not to be distributed or reproduced in any form without the written permission of ABE Engineering. The use of this document for any purpose other than that for which it was prepared is prohibited. The user agrees to indemnify, defend, and hold harmless ABE Engineering from all claims, suits, liability, damages, judgments, or expenses arising from or related to the use or re-use of the electronic files. All rights reserved.

- COMPOUND PLAN KEYED NOTES: #
1. (E) DIRT ROAD
 2. (E) TREE TO BE REMOVED (TYP.)
 3. (N) 12' WIDE ACCESS EASEMENT AND (N) 12' WIDE DIRT ACCESS ROAD
 4. (N) 7' CHAIN LINK FENCE WITH 12' WIDE DOUBLE ACCESS GATES, SEE DETAIL 3 ON SHEET A-5
 5. NOT USED
 6. (N) 150' TALL MONOPOLE, SEE STRUCTURAL DRAWINGS BY OTHERS
 7. (N) ICE BRIDGE, SEE DETAIL 4 ON SHEET A-5
 8. (N) GPS ANTENNA, SEE DETAIL 5 ON SHEET A-5
 9. (N) EQUIPMENT SHELTER (PROVIDED BY OTHERS), SEE DETAIL 1 ON SHEET S-1
 10. (N) 2" Ø U.G. CONDUIT FOR POWER RUN, SEE FOUNDATION DETAIL 4 ON SHEET E-3
 11. (N) METER BANK, SEE DETAIL 3 ON SHEET E-3
 12. (N) 10' WIDE UTILITY EASEMENT
 13. (N) U.G. CONDUIT FOR POWER RUN FROM SOURCE TO METER BANK BY PROVIDER
 14. (E) PAD MOUNTED TRANSFORMER, (N) COMMNET POWER SOURCE
 15. CONSTRUCTION WORK AREA ±100' RADIUS, THE AREA WITHIN THIS BOUNDARY TO BE USED AS TEMPORARY CONSTRUCTION ZONE, STAGING MATERIAL AREA, VEHICLE ACTIVITY AREA AND GENERAL CONSTRUCTION PURPOSE. THIS AREA WILL RECLAIMED AND CLEANED UP AFTER CONSTRUCTION IS COMPLETE.
 16. (N) PROPANE TANK ON INTERLOCK PAVES, SEE DETAILS 2 & 6 ON SHEET A-8
 17. LINE OF 10' PROPANE TANK IGNITION SOURCE SPARK RADIUS PER NFPA 58
 18. (N) GENERATOR, SEE DETAILS 1, 3 & 5 ON SHEET A-8
 19. (N) U.G. CONDUIT FOR GAS LINE RUN, SEE DETAIL 2 ON SHEET E-3
 20. (N) U.G. CONDUIT FOR START/STOP AND MONITOR, SEE DETAIL 5 ON SHEET E-3 AND ONLINE DIAGRAM
 21. (N) U.G. CONDUIT FOR POWER RUN FROM GENERATOR TO ATS, SEE DETAIL 5 ON SHEET E-3 AND ONLINE DIAGRAM
 22. (N) U.G. CONDUIT FOR GENERATOR BATTERY CHARGER FROM PANEL TO GENERATOR, SEE DETAIL 5 ON SHEET E-3 AND ONLINE DIAGRAM
 23. (N) DISCONNECT SWITCH
 24. (N) 200A ATS

LEGEND:

---	EXISTING CONTOUR LINE
---	GRADE TO DRAIN
F.G. 6236.20	FINISHED GRADE
T.C. 6236.70	TOP OF CONCRETE



ENLARGED SITE PLAN

22'x34' SCALE: 1/8" = 1'-0"
11'x17' SCALE: 1/16" = 1'-0"



1337 E DESERT FLOWER LANE
PHOENIX, AZ 85048
PHONE: (480) 213-8524

PE SEAL



DESIGNER: JASON NGO

LEAD EE: SB

LEAD CE/SE: SAM

SUBMITTALS			
REV.	DATE	DESCRIPTION	BY
H	1/25/19	COMMENTS	JN
I	2/13/19	COMMENTS	JN
J	2/18/19	COMMENTS	JN
K	2/19/19	FINAL CD	JN
L	4/3/19	REVISED CD	JN

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO COMMNET WIRELESS IS STRICTLY PROHIBITED.

SITE NAME

VYA, NEVADA

PROJECT

RAW LAND MONOPOLE

SITE ADDRESS

LAT: 41° 35' 30.76358"N
LONG: 119° 52' 47.14752"W
89000A DUGWAY ROAD
GERLACH, NV 89413

SHEET TITLE

ENLARGED SITE PLAN

SHEET NUMBER

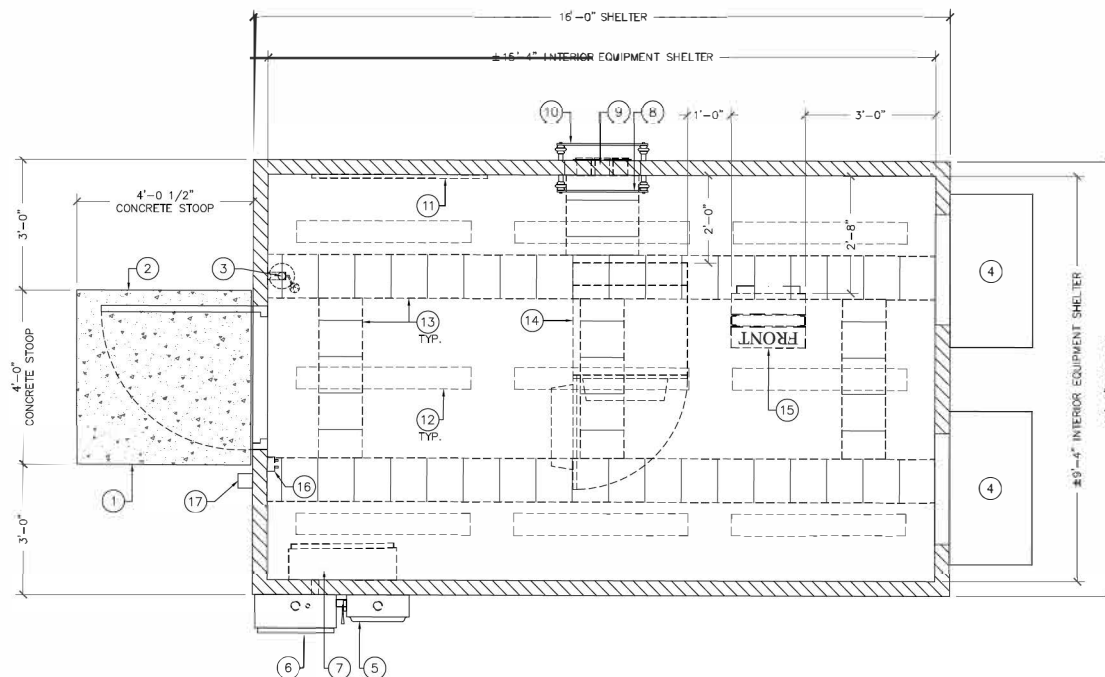
A-2.0

WAC24-0007
EXHIBIT E

COMPOUND PLAN KEYED NOTES:

1. (N) CONCRETE STOOP (TYP.)
2. (N) EQUIPMENT SHELTER ACCESS DOOR
3. (N) FIRE EXTINGUISHER (TYP.)
4. (N) HVAC UNIT (TYP.)
5. (N) 200A DISCONNECT SWITCH
6. (N) 200A ATS
7. (N) 200A AC PANEL
8. (N) INTERIOR GROUND BUS BAR (MGB)
9. (N) ENTRY PORTS
10. (N) EXTERIOR GROUND BUS BAR (EGB)
11. (N) TELCBOARD
12. (N) 1'X4' FLUORESCENT LIGHT (TYP. OF 8)
13. (N) 18" WIDE CABLE TRAY ASSEMBLY, INSTALL PER MANUFACTURER SPECIFICATIONS (INDOOR APPLICATION)
14. (N) ALU CABINET
15. (N) MW RACK & FIRST NET BBU EQUIPMENT
16. (N) LIGHT SWITCH (TYP.)
17. (N) EXTERIOR LIGHT

NOTE:
ELECTRICAL PACKAGE FOR BUILDING
INCLUDED EXCEPT FOR CONDUIT AND
WIRING.



1337 E DESERT FLOWER LANE
PHOENIX, AZ 85048
PHONE: (480) 213-8524

PE SEAL



DESIGNER: JASON NGO

LEAD EE: SB

LEAD CE/SE: SAM

SUBMITTALS				
REV.	DATE	DESCRIPTION	BY	
H	1/25/19	COMMENTS	JN	
I	2/13/19	COMMENTS	JN	
J	2/18/19	COMMENTS	JN	
K	2/19/19	FINAL CD	JN	
L	4/3/19	REVISED CD	JN	

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO COMMNET WIRELESS IS STRICTLY PROHIBITED.

SITE NAME

VYA, NEVADA

PROJECT

RAW LAND MONOPOLE

SITE ADDRESS

LAT: 41° 35' 30.76358"N
LONG: 119° 52' 47.14752"W
89000A DUGWAY ROAD
GERLACH, NV 89413

SHEET TITLE

SHELTER LAYOUT

SHEET NUMBER

A-2.1

SHELTER LAYOUT

22"x34" SCALE: 3/4" = 1'-0"
11"x17" SCALE: 3/8" = 1'-0"



1

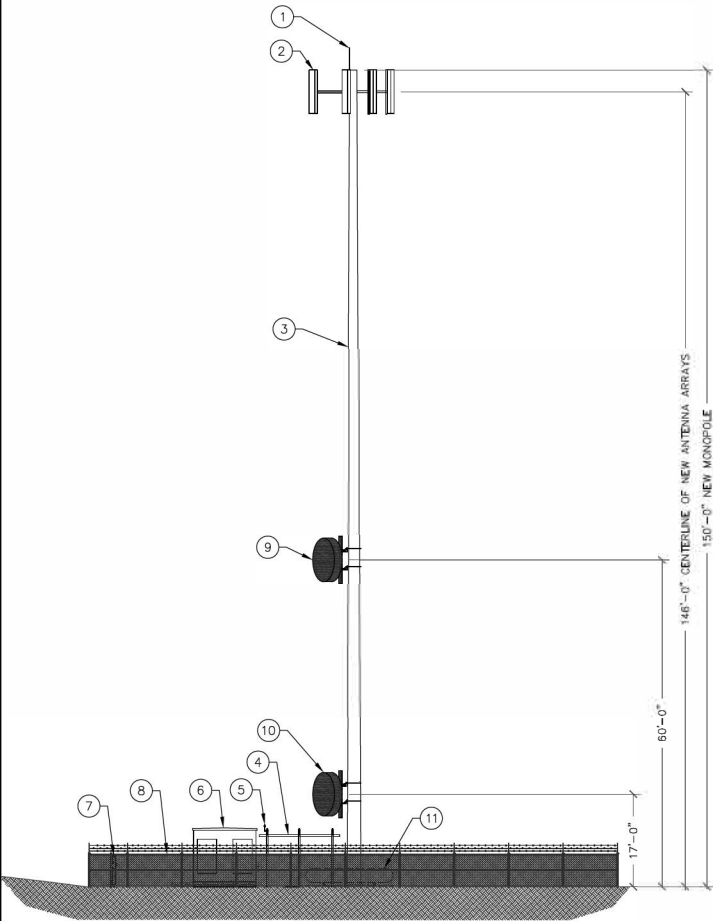
**WAC24-0007
EXHIBIT E**

Copyright © Atn Engineering (AtnE), 2018. This document is a proprietary plan of Atn Engineering and contains information solely for use on a specific project. It cannot be used, disclosed or reproduced in any form without AtnE's prior written permission. Only our customer has the right to use this document. Any unauthorized use of this document is strictly prohibited. AtnE shall not be held liable for any damages, including consequential damages, or expenses arising from or related to the use or re-use of the electronic files. All rights reserved.

WSP19-0003
EXHIBIT E

ELEVATION KEYED NOTES (#)

1. (N) 4' LIGHTNING ROD
2. (N) PANEL ANTENNAS
3. (N) 150' TALL MONOPOLE
4. (N) ICE BRIDGE
5. (N) GPS ANTENNA
6. (N) EQUIPMENT SHELTER
7. (N) METER BANK
8. (N) 6" CHAIN LINK FENCE WITH 1' OF BARBED WIRES (7" TALL TOTAL)
9. (N) (1) 8" MW DISH
10. (N) (1) 8" MW DISH [DIVERSITY]
11. (N) PROPANE TANK (BEYOND)
12. (N) GENERATOR (NOT VISIBLE ON THIS ELEVATION)

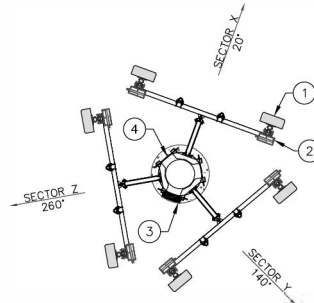


SITE ELEVATION

22"x34" SCALE: 3/32" = 1'-0"
11"x17" SCALE: 3/64" = 1'-0"

FIRSTNET ANTENNA LAYOUT KEYED NOTES (#)

1. (N) (2) PANEL ANTENNAS, (3) SECTORS, TOTAL OF (6) ANTENNAS @ 20°, 140° & 260° AZIMUTH, MOUNTED ON (3) NEW SECTOR GATES @ 146'-0" RAD CENTER. REFER TO SHEET A-4 FOR ANTENNA MODEL DETAILS
2. (N) (2) RRHs PER SECTOR. TOTAL OF (6) RRHs
3. (N) (1) FTTA BOX
4. (N) 150' TALL MONOPOLE

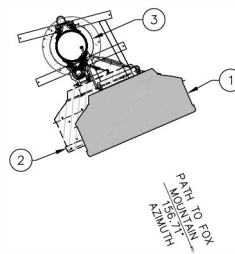


ANTENNA LAYOUT

SCALE: NTS 2

MW DISH LAYOUT KEYED NOTES (#)

1. (N) (1) 8" MW DISH @ 60° RAD CENTER (156.71° AZIMUTH)
2. (N) (1) 8" MW DISH [DIVERSITY] @ 17° RAD CENTER (156.71° AZIMUTH)
3. (N) 150' TALL MONOPOLE

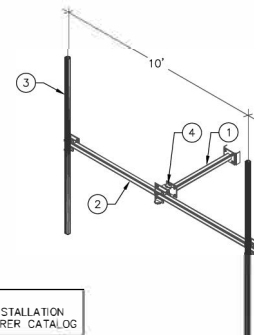


MW DISH LAYOUT

SCALE: NTS 3

STANDOFF KEYED NOTES (#)

1. 3' STANDOFF
2. T-ARM
3. PIPE MOUNT (TYP.)
4. SWIVEL ASSEMBLY



NOTE:
FOR MORE INFORMATION AND INSTALLATION,
PLEASE REFER THE MANUFACTURER CATALOG

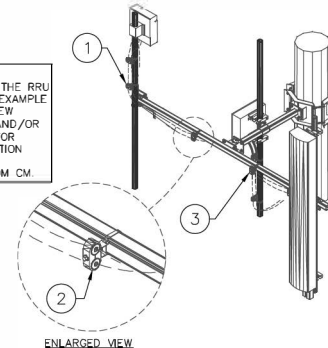
TYPICAL STANDOFF

SCALE: NTS 5

CABLE SECURED KEYED NOTES (#)

1. TYPICAL CABLE DRESSING ALONG MOUNTING PIPE
2. CABLE BLOCK WITH UNIVERSAL SNAP-IN STANDOFF AND BANDING STRAP/ROUND MEMBER ADAPTER (TYP.)
3. TYPICAL CABLE DRESSING ALONG SECTOR GATE

NOTE:
THE LOCATION OF THE RRU
IS SHOWN AS AN EXAMPLE
ONLY. GO TO REVIEW
ANTENNA DETAIL AND/OR
SCOPE OF WORK FOR
SPECIFIC INSTALLATION
DETAIL OR SEE
CLARIFICATION FROM CM.



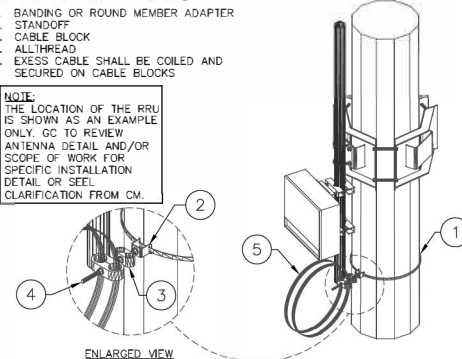
CABLE SECURED DETAIL

SCALE: NTS 6

CABLE SECURED KEYED NOTES (#)

1. BANDING OR ROUND MEMBER ADAPTER
2. STANDOFF
3. CABLE BLOCK
4. ALLTHREAD
5. EXCESS CABLE SHALL BE COILED AND SECURED ON CABLE BLOCKS

NOTE:
THE LOCATION OF THE RRU
IS SHOWN AS AN EXAMPLE
ONLY. GO TO REVIEW
ANTENNA DETAIL AND/OR
SCOPE OF WORK FOR
SPECIFIC INSTALLATION
DETAIL OR SEE
CLARIFICATION FROM CM.



EXCESS CABLE SECURED DETAIL

SCALE: NTS 7



1337 E DESERT FLOWER LANE
PHOENIX, AZ 85048
PHONE: (480) 213-8524

PE SEAL



DESIGNER: JASON NGO

LEAD EE: SB

LEAD CE/SE: SAM

SUBMITTALS			
REV.	DATE	DESCRIPTION	BY
H	1/25/19	COMMENTS	JN
I	2/13/19	COMMENTS	JN
J	2/18/19	COMMENTS	JN
K	2/19/19	FINAL CD	JN
L	4/3/19	REVISED CD	JN

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO COMMNET WIRELESS IS STRICTLY PROHIBITED.

SITE NAME

VYA, NEVADA

PROJECT
RAW LAND MONOPOLE

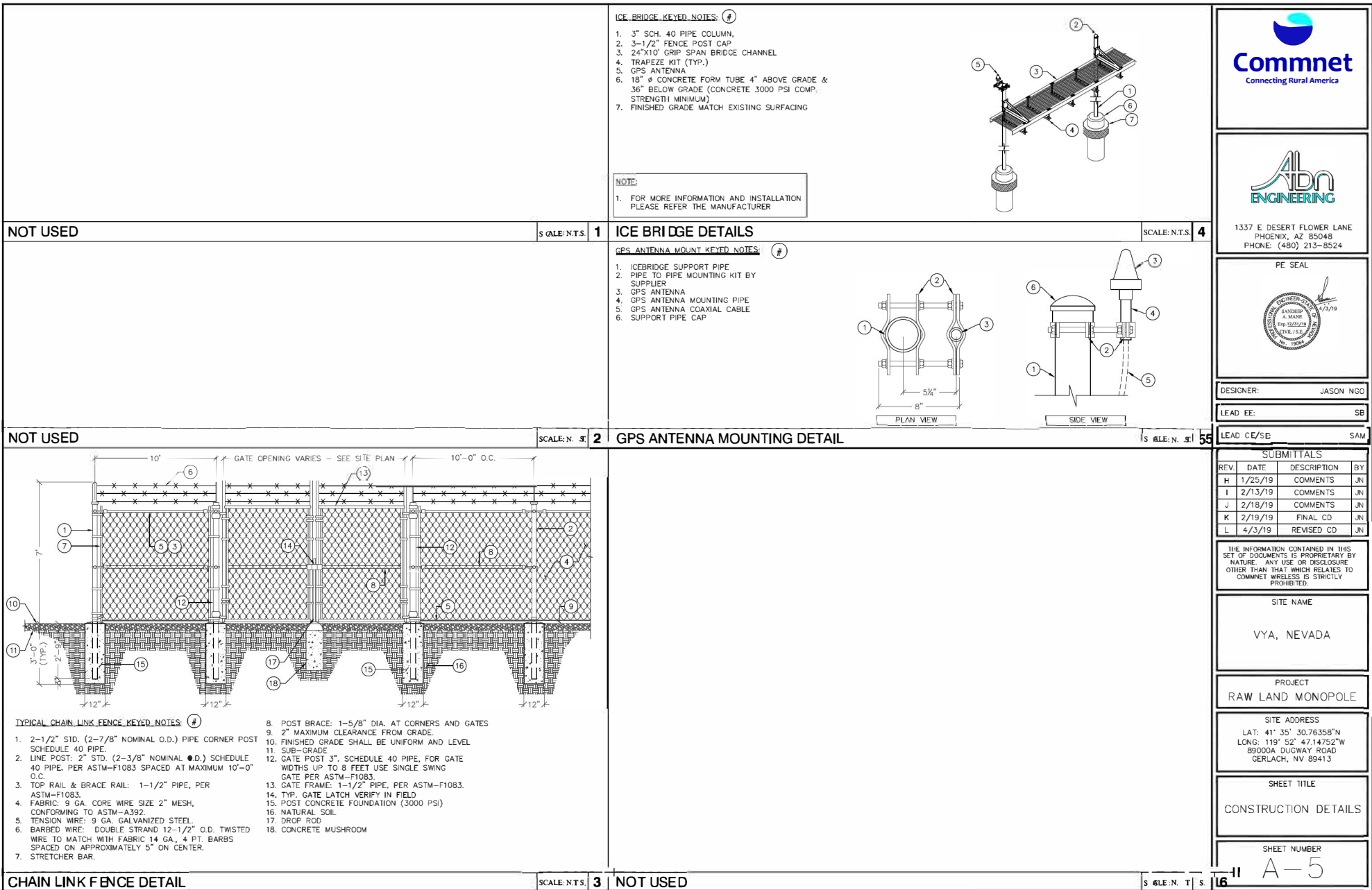
SITE ADDRESS
LAT: 41° 35' 30.76358"N
LONG: 119° 52' 47.14752"W
89000A DUGWAY ROAD
GERLACH, NV 89413

SHEET TITLE
SITE ELEVATION
& DETAILS

SHEET NUMBER
A-3

WAC24-0007
EXHIBIT E

Copyright © the Engineering (A/E/C) 2018. This document is a proprietary work of the Engineering and contains information that is confidential to the Engineering. It cannot be used, disclosed or reproduced in any form without the Engineering's prior written permission. Only the Engineering has the right to make any changes to this document. The use of this document for any purpose other than that for which it was prepared is strictly prohibited. A total release of all claims, suits, liability, damages, or expenses arising from or related to the use of this document is hereby agreed to by the user of the electronic files. All rights reserved.

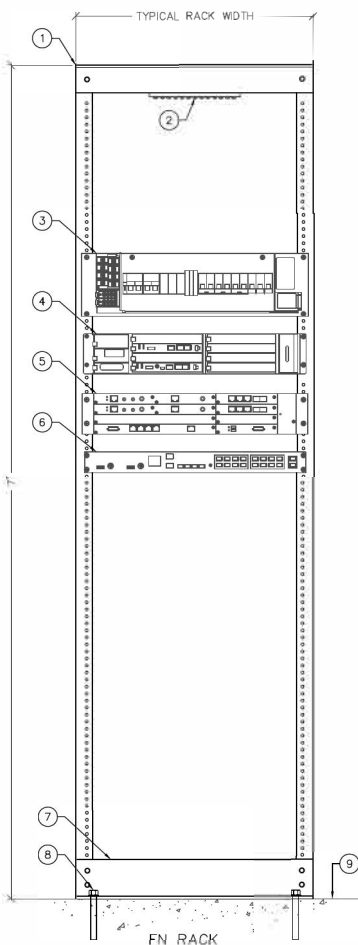


Copyright © 2019, All Rights Reserved. This document is a proprietary document of Alden Engineering and contains information that is confidential and/or otherwise protected by law. It is not to be used, disclosed or reproduced in any form without the written permission of Alden Engineering. The user agrees to indemnify, defend, and hold harmless Alden Engineering from all claims, suits, liability, damages, judgments, or expenses arising from or related to the use or re-use of the electronic files. All rights reserved.

WAC24-0007
EXHIBIT E

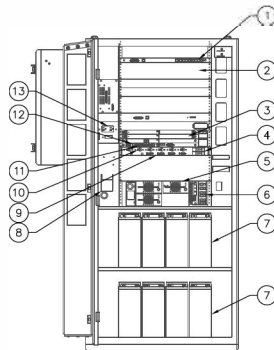
FN RACK KEYED NOTES: (#)

1. RACK
2. GROUND BAR
3. RECTIFIER
4. BBU
5. MICROWAVE RADIO RACK
6. ROUTER
7. RACK ASSEMBLY
8. ATTACHED RACK TO FLOOR PER MANUFACTURER'S SPECIFICATIONS
9. FLOOR



ALU 9929 CABINET KEYED NOTES: (#)

1. ALARM SHELF: EXTERNAL ALARMS
2. EMPTY EXPANSION BBU RACK
3. BBU SHELF
4. RRH POWER BLOCK
5. RECTIFIERS (TYP.)
6. BATTERY CONNECTIONS
7. BATTERY SHELF (TYP.)
8. AC POWER CONNECTION
9. PDP
10. RRH BREAKERS
11. FIBER OPTIC PORTS
12. DAT CABLE CONNECTION
13. AC OUTLET



FRONT - DOOR OPEN

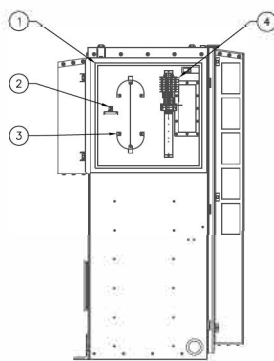
ALU 9929 CABINET - FRONT ELEVATION

SCALE: N.T.S.

2

ALU 9929 CABINET KEYED NOTES: (#)

1. DC DISTRIBUTION/FIBER MANAGEMENT BOX
2. FIBER PATCH PANEL
3. EXCESS FIBER OPTIC CABLE STORAGE
4. RRH DC BLOCK



RIGHT SIDE - DOOR OPEN

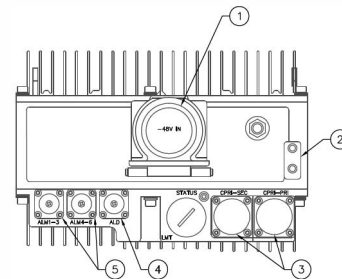
ALU 9929 CABINET - SIDE ELEVATION

SCALE: N.T.S.

3

RRH KEYED NOTES: (#)

1. RRH DC POWER CONNECTION (UNDER RED CAP) - SEE DETAIL 4 ON THIS SHEET
2. GROUND CONNECTION
3. FIBER OPTIC CONNECTION FROM FTTH BOX (POLE MOUNTED) OR INSIDE OF LTE CABINET (BASE MOUNTED)
4. RET CONNECTIONS
5. EXTERNAL ALARMS (IF REQUIRED)



BOTTOM VIEW OF LTE REMOTE RADIO HEAD (RRH)

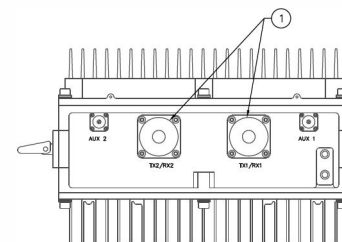
LTE RRH - BOTTOM VIEW

SCALE: N.T.S.

4

RRH KEYED NOTES: (#)

1. ANTENNA JUMPER CONNECTIONS



TOP VIEW OF LTE REMOTE RADIO HEAD (RRH)

LTE RRH - TOP VIEW

SCALE: N.T.S.

5

MW RACK DETAIL

SCALE: N.T.S.

1



1337 E DESERT FLOWER LANE
PHOENIX, AZ 85048
PHONE: (480) 213-8524

PE SEAL



DESIGNER: JASON NGO

LEAD EE: SB

LEAD CE/SE: SAM

SUBMITTALS

REV.	DATE	DESCRIPTION	BY
H	1/25/19	COMMENTS	JN
I	2/13/19	COMMENTS	JN
J	2/18/19	COMMENTS	JN
K	2/19/19	FINAL CD	JN
L	4/3/19	REVISED CD	JN

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO COMMNET WIRELESS IS STRICTLY PROHIBITED.

SITE NAME

VYA, NEVADA

PROJECT

RAW LAND MONOPOLE

SITE ADDRESS

LAT: 41° 35' 30.76358"N
LONG: 119° 52' 47.14752"W
89000A DUGWAY ROAD
GERLACH, NV 89413

SHEET TITLE

CONSTRUCTION DETAILS

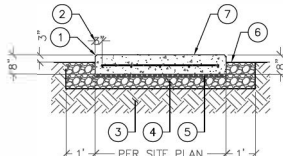
SHEET NUMBER

A-6

WAC24-0007
EXHIBIT E

CONCRETE SLAB KEYED NOTES:

- 3/4" CHAMFER EDGE (TYP.)
- 3" REINFORCEMENT CLEARANCE FROM SLAB PERIMETER
- NATURAL SOIL
- 6" THK. MIN. CRUSHED STONE OR COMPACTED GRANULAR FILL
- USE 6 MIL PLASTIC MOISTURE BARRIER
- FINISHED GRADE LEVEL
- 8" THK. SLAB W/ #4 @ 12" O.C. EACH WAY; SLAB FINISH 4" ABOVE GRADE



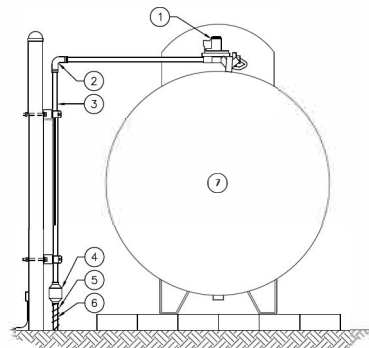
NOTE:
USE ITW RED HEAD TRUBOLT + WEDGE ANCHOR 1/2" DIA. ANCHOR BOLT W/ 3-1/4" MIN EMBEDMENT (TOTAL 4"); VERIFY SIZE W/ MANUFACTURER SPECS.

GENERATOR SLAB DETAILS

N.T.S. 1

FIRST STAGE REGULATOR KEYED NOTES:

- FIRST STAGE REGULATOR; COORDINATE W/ PROPANE SUPPLIER
- 1-1/2" A53/53M PIPE FITTING 90° ELBOW
- 1-1/2" A53/53M PIPE (VERIFY PIPE BY INSPECTOR OF RECORD PRIOR TO COATING WITH COAL TAR EPOXY)
- PIPE FITTING
- TRACER WIRE INSTALLED ON ALL POLYETHYLENE PIPE
- 1-1/2" POLYETHYLENE PIPE
- PROPANE TANK



1ST STAGE REGULATOR DETAIL

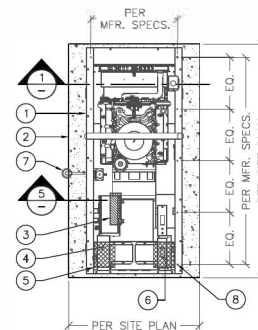
N.T.S. 2

GENERATOR CONCRETE SLAB KEYED NOTES:

- OUTLINE OF GENERATOR
- 3/4" CHAMFER EDGE (TYP.)
- LOW VOLTAGE STUB-UP AREA (SEE NOTE 3)
- PRIMARY CB CONNECTION BOX OPENING
- PRIMARY HIGH VOLTAGE STUB-UP AREA
- SECONDARY HIGH VOLTAGE STUB-UP AREA
- SECOND STAGE REGULATOR; SEE DETAIL 5 ON THIS SHEET
- ITW RED HEAD TRUBOLT + WEDGE ANCHOR 1/2" DIA. ANCHOR BOLT W/ 3-1/4" MIN EMBEDMENT (MIN. 4); VERIFY SIZE W/ MANUFACTURER SPECS.

GENERATOR FOUNDATION NOTES:

- VERIFY DIMENSIONS WITH GENERATOR MANUFACTURER ALONG WITH LOCATION OF BASE FRAME CONNECTIONS
- VERIFY DIMENSIONS WITH GENERATOR MANUFACTURER ALONG WITH LOCATION OF OPEN STUB-UP AREA THROUGH FUEL TANK BASE
- CONNECTION POINTS FOR CONTROL WIRES PROVIDED IN THE LOW VOLTAGE CONNECTION BOX (USE LOW VOLTAGE STUB UP AREA)
- REMOVE ALL LOOSE INORGANIC OR UNSUITABLE SOIL TO UNDISTURBED BEARING STRATA W/ ALLOWABLE SOIL BEARING PRESSURE OF 1500 PSF
- CONCRETE STRENGTH SHALL BE 2500 PSI, MIN.
- SUB-GRADE SHALL BE COMPACTED 95% AND INDEPENDENTLY TESTED
- GENERAL SUBCONTRACTOR TO FOLLOW SUBGRADE PREPARATION STATED IN GEOTECHNICAL REPORT



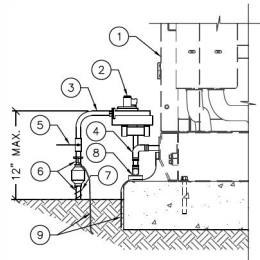
PLAN VIEW

GENERATOR CONC. SLAB DETAIL

N.T.S. 3

2ND STAGE REGULATOR KEYED NOTES:

- OUTDOOR GENERATOR
- SECOND STAGE REGULATOR - CONTRACTOR TO VERIFY WITH GENERATOR MANUFACTURER PRIOR TO INSTALL
- 1-1/2" A53/53M PIPE (VERIFY PIPE BY INSPECTOR PRIOR TO COATING WITH COAL TAR EPOXY)
- 1-1/2" A53/53M PIPE FITTING 90° ELBOW
- SHUT OFF VALVE
- 1-1/2" POLYETHYLENE PIPE
- TRACER WIRE INSTALLED ON ALL POLYETHYLENE PIPE
- STRUT STRAP & P-1000T UNISTRUT ANCHORED TO CONC. SLAB W/ 1/4"x2" (L) RED HEAD HAMMER-SET NAIL DRIVE OR EQUIV
- MECHANICAL GROUND & #2 TINNED GROUND LEAD TO EXTERIOR GROUND RING

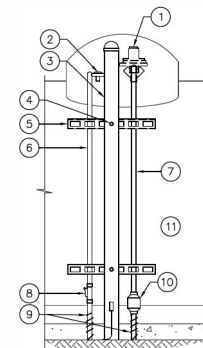


2ND STAGE REGULATOR DETAIL

N.T.S. 4

MONITOR & GAS LINE KEYED NOTES:

- FIRST STAGE REGULATOR; COORDINATE WITH PROPANE SUPPLIER
- REMOTE READY HALL EFFECT MODULE TWINSTES AND R30 HALL EFFECT MODULE
- 2" STAND OFF PIPE CALLED 4" ABOVE GRADE WITH 18" EMBEDMENT IN CONCRETE PIER
- 3/8" GALV. THRU BOLT (TYP.)
- 14" LONG P1000T UNISTRUT WITH SUPERSTRUT PIPE STRAP (TYP.)
- 3/4" SCH. 40 UV RATED PVC PIPE
- 1-1/2" A53/53M PIPE (VERIFY PIPE BY INSPECTOR OF RECORD PRIOR TO COATING WITH COAL TAR EPOXY)
- EXPLOSION-PROOF FITTING RESPA-EYF75-AL
- TRACER WIRE INSTALLED ON ALL POLYETHYLENE PIPE
- PIPE FITTING
- PROPANE TANK



MONITOR & GAS LINE DETAIL

N.T.S. 6



1337 E DESERT FLOWER LANE
PHOENIX, AZ 85048
PHONE: (480) 213-8524

PE SEAL



DESIGNER: JASON NGO

LEAD EE: SB

LEAD CE/SE: SAM

SUBMITTALS

REV.	DATE	DESCRIPTION	BY
H	1/25/19	COMMENTS	JN
I	2/13/19	COMMENTS	JN
J	2/18/19	COMMENTS	JN
K	2/19/19	FINAL CD	JN
L	4/3/19	REVISED CD	JN

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO COMMNET WIRELESS IS STRICTLY PROHIBITED.

SITE NAME

VYA, NEVADA

PROJECT

RAW LAND MONOPOLE

SITE ADDRESS

LAT: 41° 35' 30.76358"N
LONG: 119° 52' 47.14752"W
89000A DUGWAY ROAD
GERLACH, NV 89413

SHEET TITLE

CONSTRUCTION DETAILS

SHEET NUMBER

A-8

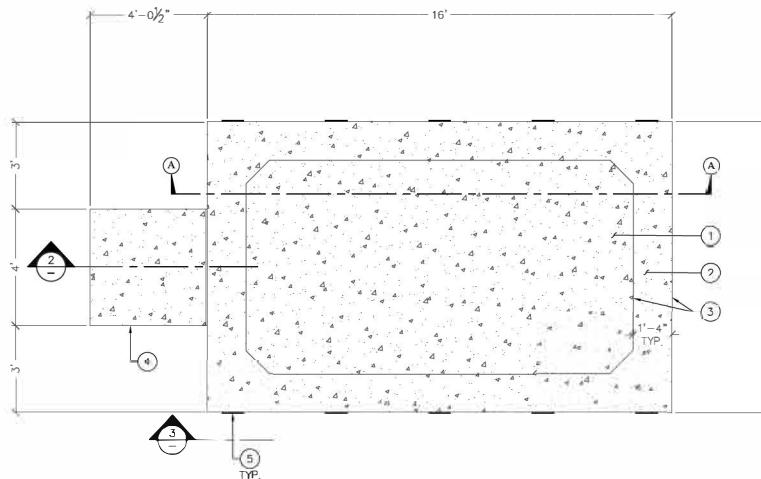
WAC24-0007
EXHIBIT E

FOUNDATION KEYED NOTES:

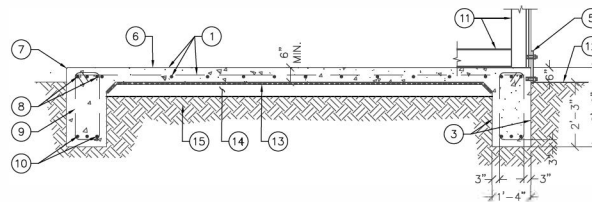
- 6" CONCRETE SLAB W/ #4 @ 8" O.C. EACH WAY
- (3) #5 CONTINUOUS REINFORCING TYP. TOP & BOTTOM OF PERIMETER FOOTING
- TYPICAL TURNDOWN AT PERIMETER
- CONCRETE STOOP (TYP.)
- ANCHOR BOLTS AND TIE DOWN PLATE IN ACCORDANCE WITH MANUFACTURER'S SHELTER DRAWINGS
- USE SPRAY ON CURING AGENT
- MIN. 1/2" CHAMFER ON ALL EXPOSED EDGES BOTH VERTICAL & HORIZONTAL
- (3) #5 TOP
- #4 STIRRUPS @ 14" O.C. (TYP.)
- (3) #5 BOTTOM
- SHELTER WALL AND FLOOR
- FINISH GRADE
- 6 MIL PLASTIC MOISTURE BARRIER
- 6" THK MIN. CRUSHED STONE OR COMPACTED GRANULAR FILL (SEE NOTE 6). ALSO REFER GEOTECHNICAL REPORT FOR REQUIRED BACKFILL SPECIFICATION
- FILL TO LEVEL W/ NATURAL BACKFILL

SHELTER FOUNDATION NOTES

- CONTRACTOR TO VERIFY DIMENSIONS WITH SHELTER MANUFACTURER.
- REMOVE ALL LOOSE INORGANIC OR UNSUITABLE SOIL TO UNDISTURBED BEARING STRATA W/ ALLOWABLE SOIL BEARING PRESSURE OF 1500 PSF.
- CONCRETE STRENGTH SHALL BE 4000 PSI, MIN.
- SLAB SHALL BE LEVEL $\pm 1/4"$
- SHELTER TIE DOWN DETAIL PROVIDED BY SHELTER MANUFACTURER.
- SUB-GRADE SHALL BE COMPACTED 95%.
- FINISH SLAB ELEVATION TO BE 6" ABOVE HIGHEST ADJACENT EXISTING GRADE



PLAN



SECTION "A-A"

SHELTER FOUNDATION DETAILS

SCALE: N.T.S.

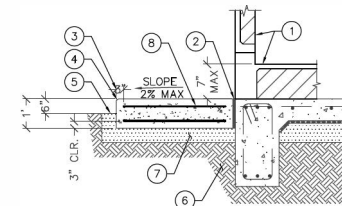
NOT USED

SCALE: N.T.S.

4

TYPICAL CONCRETE STOOP KEYED NOTES:

- SHELTER WALL AND FINISHED FLOOR
- 1/2" NEOPRENE FILLER
- 3" REINFORCEMENT CLEARANCE FROM SLAB PERIMETER
- 3/4" CHAMFER EDGE (TYP.)
- TRANSITION FINISH GRADE
- NATURAL SOIL OR BEDROCK
- 6" THK MIN. CRUSHED STONE OR COMPACTED GRANULAR FILL (SEE NOTE 6). ALSO REFER GEOTECHNICAL REPORT FOR REQUIRED BACKFILL SPECIFICATION
- 12" SLAB WITH #5 @ 12" O.C. EACH WAY TOP & BOTTOM, SLAB FINISH 6" ABOVE FINISH GRADE



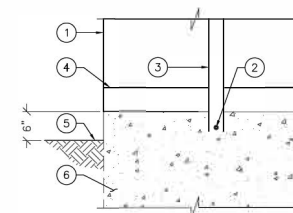
CONCRETE STOOP DETAIL

SCALE: N.T.S.

2

SHELTER ANCHOR KEYED NOTES:

- SHELTER
- ANCHOR BOLT SUPPLIED BY MANUFACTURER (TYP.)
- STEEL TIE DOWN TRAP PROVIDED BY SHELTER MANUFACTURER (VERIFY W/ SHELTER MANUFACTURER)
- SHELTER FLOOR
- FINISH GRAVEL LEVEL
- CONCRETE TURNDOWN AT PERIMETER



SHELTER ANCHORING DETAIL

SCALE: N.T.S.

3



1337 E DESERT FLOWER LANE
PHOENIX, AZ 85048
PHONE: (480) 213-8524

PE SEAL



DESIGNER: JASON NGO

LEAD EE: SB

LEAD CE/SE: SAM

SUBMITTALS

REV	DATE	DESCRIPTION	BY
H	1/25/19	COMMENTS	JN
I	2/13/19	COMMENTS	JN
J	2/18/19	COMMENTS	JN
K	2/19/19	FINAL CD	JN
L	4/3/19	REVISED CD	JN

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO COMMNET WIRELESS IS STRICTLY PROHIBITED.

SITE NAME

VYA, NEVADA

PROJECT

RAW LAND MONOPOLE

SITE ADDRESS

LAT: 41° 35' 30.76358"N
LONG: 119° 52' 47.14752"W
89000A DUGWAY ROAD
GERLACH, NV 89413

SHEET TITLE

SHELTER FOUNDATION
DETAILS

SHEET NUMBER

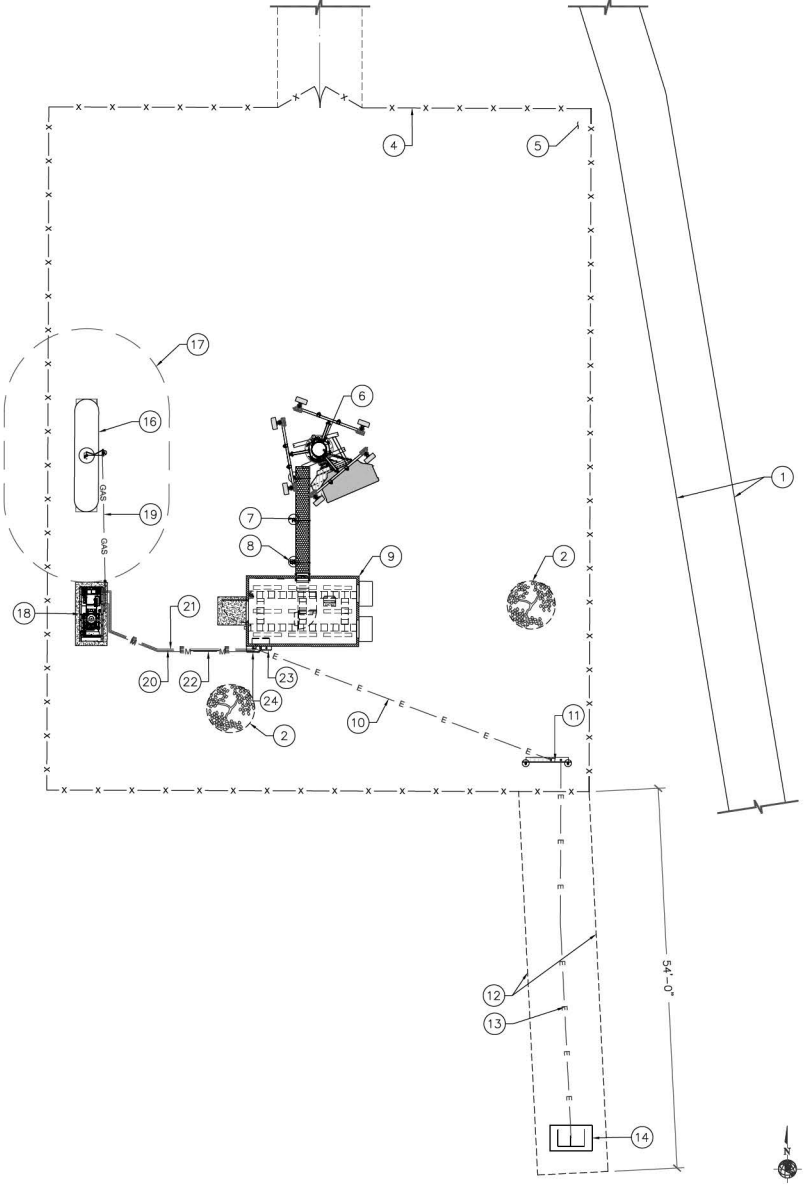
S-1

WAC24-0007
EXHIBIT E

Copyright © Albn Engineering (AlbnE), 2018. This document is a proprietary item of Albn Engineering and contains information solely for use on a specific project. It cannot be used, disclosed or reproduced in any form without AlbnE's prior written permission. Only one customer has the right to use the information contained in this document for construction purposes of this project up to 12 months from seal & stamped date on this document. The user agrees to indemnify AlbnE from all claims, suits, liability, demands, judgments, or expenses arising from or related to the use or re-use of the electronic files. All rights reserved.

COMPOUND PLAN KEYED NOTES: #

- (E) DIRT ROAD
- (E) TREE TO BE REMOVED (TYP.)
- (N) 12' WIDE ACCESS EASEMENT AND (N) 12' WIDE DIRT ACCESS ROAD
- (N) 7' CHAIN LINK FENCE WITH 12' WIDE DOUBLE ACCESS GATES, SEE DETAIL 3 ON SHEET A-5
- NOT USED
- (N) 150' TALL MONOPOLE, SEE STRUCTURAL DRAWINGS BY OTHERS
- (N) ICE BRIDGE, SEE DETAIL 4 ON SHEET A-5
- (N) GPS ANTENNA, SEE DETAIL 5 ON SHEET A-5
- (N) EQUIPMENT SHELTER (PROVIDED BY OTHERS), SEE DETAIL 1 ON SHEET S-1
- (N) U.G. CONDUIT FOR POWER RUN, SEE DETAIL 4 ON SHEET E-3 AND SINGLE LINE DIAGRAM
- (N) METER BANK, SEE DETAIL 3 ON SHEET E-3
- (N) 10' WIDE UTILITY EASEMENT
- (N) U.G. CONDUIT FOR POWER RUN FROM SOURCE TO METER BANK BY PROVIDER
- (E) PAD MOUNTED TRANSFORMER, (N) COMMNET POWER SOURCE
- NOT USED
- (N) PROPANE TANK ON INTERLOCK PAVES, SEE DETAILS 2 & 6 ON SHEET A-8
- LINE OF 10' PROPANE TANK IGNITION SOURCE SPARK RADIUS PER NFPA 58
- (N) GENERATOR, SEE DETAILS 1, 3 & 5 ON SHEET A-8
- (N) U.G. CONDUIT FOR GAS LINE RUN, SEE DETAIL 2 ON SHEET E-3
- (N) U.G. CONDUIT FOR START/STOP AND MONITOR, SEE DETAIL 5 ON SHEET E-3 AND ONLINE DIAGRAM
- (N) U.G. CONDUIT FOR POWER RUN FROM GENERATOR TO ATS, SEE DETAIL 5 ON SHEET E-3 AND ONLINE DIAGRAM
- (N) U.G. CONDUIT FOR GENERATOR BATTERY CHARGER FROM PANEL TO GENERATOR, SEE DETAIL 5 ON SHEET E-3 AND ONLINE DIAGRAM
- (N) DISCONNECT SWITCH
- (N) 200A ATS



OVERALL ELECTRICAL PLAN

22'x34" SCALE: 1/8" = 1'-0"
11'x17" SCALE: 1/16" = 1'-0"
8' 6' 4' 2' 0' 8'

ELECTRICAL GENERAL NOTES:

- SUBMITTAL OF BID INDICATES CONTRACTOR IS COGNIZANT OF ALL JOB SITE CONDITIONS AND WORK TO BE PERFORMED UNDER THIS CONTRACT. CONTRACTOR IS RESPONSIBLE FOR ALL FIELD VERIFICATION.
- THESE PLANS ARE DIAGRAMMATIC ONLY, AND ARE NOT TO BE SCALED.
- ELECTRICAL CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, INSURANCE, EQUIPMENT, INSTALLATION, CONSTRUCTION TOOLS, TRANSPORTATION, ETC. AS REQUIRED FOR A COMPLETE AND PROPERLY OPERABLE SYSTEM ENERGIZED THROUGHOUT AND AS INDICATED ON DRAWINGS, AS SPECIFIED HEREIN AND/OR AS OTHERWISE REQUIRED.
- ALL MATERIALS AND EQUIPMENT SHALL BE NEW AND IN PERFECT CONDITION WHEN INSTALLED AND SHALL BE OF THE BEST GRADE AND OF THE SAME MANUFACTURER THROUGHOUT FOR EACH CLASS OR GROUP OF EQUIPMENT. MATERIALS SHALL BE LISTED AND APPROVED BY UNDERWRITER'S LABORATORY (UL) AND SHALL BEAR THE INSPECTION LABEL "J" WHERE SUBJECT TO SUCH APPROVAL. MATERIALS SHALL MEET WITH APPROVAL OF THE DIVISION OF INDUSTRIAL SAFETY AND ALL GOVERNING BODIES HAVING JURISDICTION (AIHJ). MATERIALS SHALL BE MANUFACTURED IN ACCORDANCE WITH APPLICABLE STANDARDS ESTABLISHED BY ANSI, NEMA, AND NBFU. ALL CONDUIT INSTALLED SHALL BE SURFACE MOUNTED UNLESS OTHERWISE NOTED.
- ELECTRICAL CONTRACTOR SHALL CARRY OUT HIS WORK IN ACCORDANCE WITH ALL GOVERNING STATE, COUNTY, LOCAL CODES AND O.S.H.A.
- ELECTRICAL CONTRACTOR SHALL SECURE ALL NECESSARY ELECTRICAL PERMITS, AND PAY ALL REQUIRED FEES.
- COMPLETE JOB SHALL BE GUARANTEED FOR A PERIOD OF NO LESS THAN ONE YEAR AFTER THE DATE OF JOB COMPLETION. DATE OF JOB COMPLETION SHALL BE THE DATE ON THE CONTRACTOR'S "NOTICE OF COMPLETION" SUBMITTED TO THE OWNER. ANY WORK, MATERIAL, OR EQUIPMENT FOUND TO BE FAULTY DURING THAT PERIOD SHALL BE CORRECTED AT ONCE, UPON WRITTEN NOTIFICATION, AT THE EXPENSE OF THE ELECTRICAL CONTRACTOR.
- ALL CONDUIT ONLY (C.O.) SHALL HAVE A PULL WIRE OR ROPE, AND TRUE TAPE.
- ELECTRICAL CONTRACTOR SHALL PROVIDE THE OWNER WITH ONE SET OF COMPLETE ELECTRICAL "AS BUILT" DRAWINGS, SHOWING ACTUAL DIMENSIONS AND CIRCUITS, WITHIN 10 WORKING DAYS OF PROJECT COMPLETION.
- ALL BROCHURES, OPERATING MANUALS, CATALOGS, SHOP DRAWINGS, ETC. SHALL BE TURNED OVER TO PROJECT MANAGER AT JOB COMPLETION.
- USE T-TAP CONNECTIONS ON ALL MULTI-CIRCUITS WITH COMMON NEUTRAL CONDUCTOR FOR LIGHTING FIXTURE. ALL CONDUCTORS SHALL BE COPPER.
- THE EXTERIOR GROUND RING SHALL BE TESTED PER COMMNET WIRELESS SPECIFICATIONS USING A 3-POINT FALL OF POTENTIAL TEST. IF THE GROUNDING SYSTEM RESISTANCE TO EARTH IS GREATER THAN 5 OHMS, THE ELECTRICAL CONTRACTOR SHALL NOTIFY THE RESPONSIBLE ENGINEER.
- ALL CIRCUIT BREAKERS, FUSES AND ELECTRICAL EQUIPMENT SHALL HAVE AN AMP INTERRUPT RATING (AIC) NOT LESS THAN THE MAXIMUM SHORT CIRCUIT CURRENT TO WHICH THEY MAY BE SUBJECTED, AND A MINIMUM OF 10,000 A.I.C.
- THE ENTIRE ELECTRICAL INSTALLATION SHALL BE GROUNDED AS REQUIRED BY ALL APPLICABLE CODES.
- PATCH, REPAIR AND PAINT ANY AREA THAT HAS BEEN DAMAGED IN THE COURSE OF THE ELECTRICAL WORK.
- IN DRILLING HOLES INTO CONCRETE (WHETHER FOR FASTENING OR ANCHORING PURPOSES OR PENETRATIONS THROUGH THE FLOOR FOR CONDUIT RUNS, PIPE RUNS, ETC.) IT MUST BE CLEARLY UNDERSTOOD THAT TENDONS AND REBARS WILL NOT BE DRILLED INTO, CUT, OR DAMAGED UNDER ANY CIRCUMSTANCES.
- LOCATION OF TENDONS AND REBARS ARE NOT DEFINITELY KNOWN AND THEREFORE MUST BE SEARCHED FOR BY APPROPRIATE METHODS AND EQUIPMENT VIA X-RAY, OR OTHER DEVICES THAT CAN ACCURATELY LOCATE THE REINFORCING STEEL TENDONS.
- PENETRATIONS IN FIRE RATED WALLS SHALL BE FIRE STOPPED IN ACCORDANCE WITH APPLICABLE LOCAL BUILDING CODES, USING U.L. RATED MATERIALS.
- ELECTRICAL CONTRACTOR IS TO COORDINATE WITH UTILITY COMPANY FOR CONNECTION OF TEMPORARY AND PERMANENT POWER TO THE SITE. THE TEMPORARY POWER AND ALL HOOK-UP COSTS SHALL BE PAID BY THE CONTRACTOR.
- ELECTRICAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND/OR CATALOG CUT-SHEETS ON ALL NON-SPECIFIED ORIGINAL MATERIALS AND EQUIPMENT, TO PROJECT MANAGER PRIOR TO COMMENCEMENT OF THE WORK.
- ALL GROUNDING SYSTEM LEADS SHALL BE TESTED FOR CONTINUITY WITH THE GROUND LOOP CONDUCTOR. ALL FAULTY CONNECTIONS OR CONDUCTORS SHALL BE REPAIRED OR REPLACED AS REQUIRED.
- CLEAN PREMISES DAILY OF ALL DEBRIS RESULTING FROM WORK AND LEAVE WORK PREMISES IN A COMPLETE AND UNDAUNAGED CONDITION.
- ALL EXTERIOR WALL PENETRATIONS SHALL BE SEALED WITH POLYSEAM SEALANT.
- ALL #2 TINNED BARE COPPER DOWNLEADS TO BE PROTECTED BY 1/2" P.V.C. PIPE AND SECURED.
- COMPRESSION FITTINGS TO BE USED ON ALL CONDUITS (NO SETSCREWS).
- ALL #6 STRANDED COPPER WITH GREEN INSULATION TO BE ATTACHED WITH CRIMPED DOUBLE LUG, ATTACHED WITH NUTS, BOLTS AND STAR WASHERS TYPICAL AND NO-OX GREASE BETWEEN LUG AND BUSS BAR.
- ALL ABOVE GROUND CONDUIT SHALL BE SCHEDULE 80 PVC WITH UV PROTECTION OR GRC.

1 ELECTRICAL NOTES

SCALE: NTS

2

1337 E DESERT FLOWER LANE
PHOENIX, AZ 85048
PHONE: (480) 213-8524

PE SEAL

DESIGNER: JASON NGO
LEAD EE: SB
LEAD CE/SE: SAM

SUBMITTALS			
REV.	DATE	DESCRIPTION	BY
H	1/25/19	COMMENTS	JUN
I	2/13/19	COMMENTS	JUN
J	2/18/19	COMMENTS	JUN
K	2/19/19	FINAL CD	JUN
L	4/3/19	REVISED CD	JUN

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO COMMNET WIRELESS IS STRICTLY PROHIBITED.

SITE NAME
VYA, NEVADA

PROJECT
RAW LAND MONOPOLE

SITE ADDRESS
LAT: 41° 35' 30.76358"N
LONG: 119° 52' 47.14752"W
89000A DUGWAY ROAD
GERLACH, NV 89413

SHEET TITLE
OVERALL ELECTRICAL
PLAN & ELECTRICAL
NOTES

SHEET NUMBER
E-1

ILC PANEL SCHEDULE 'A'

NOTES:

1. ALL EQUIPMENT SHOWN IS NEW UNLESS OTHERWISE NOTED.
2. CONTRACTOR TO INSTALL AC DISCONNECT AT SHELTER FOR EACH HVAC UNIT.

CONTRACTOR WILL TRENCH 5' SHORT OF
TRANSFORMER AND LEAVE SWEEP/ELBOW ON
SITE. UTILITY COMPANY WILL FINISH TRENCH
TO TRANSFORMER, INSTALL LARGE RADIUS
SWEEP, AND PULL CONDUCTORS.

SCALE: N.T.S.	1	FAULT CURRENT CALCULATIONS
---------------	---	----------------------------

NOTE: DISTANCES INDICATED ARE FOR FAULT-CURRENT ANALYSIS ONLY. CONTRACTOR SHALL USE FIELD MEASUREMENTS ESTABLISH CONDUCTOR LENGTHS FOR ORDERING PURPOSES. CALCULATIONS ARE BASED ON A 50KVA TRANSFORMER AND (2) RUNS 350mm CU FROM TRANSFORMER TO METERBANK. PLEASE CONTACT ENGINEER IF SIZE IS DIFFERENT.



1337 E DESERT FLOWER LANE
PHOENIX, AZ 85048
PHONE: (480) 213-8524



LEAD EE: _____ SF _____

LEAD CF/SE: SAM

SUBMITTALS

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO COMMNET WIRELESS IS STRICTLY PROHIBITED.

SITE NAME

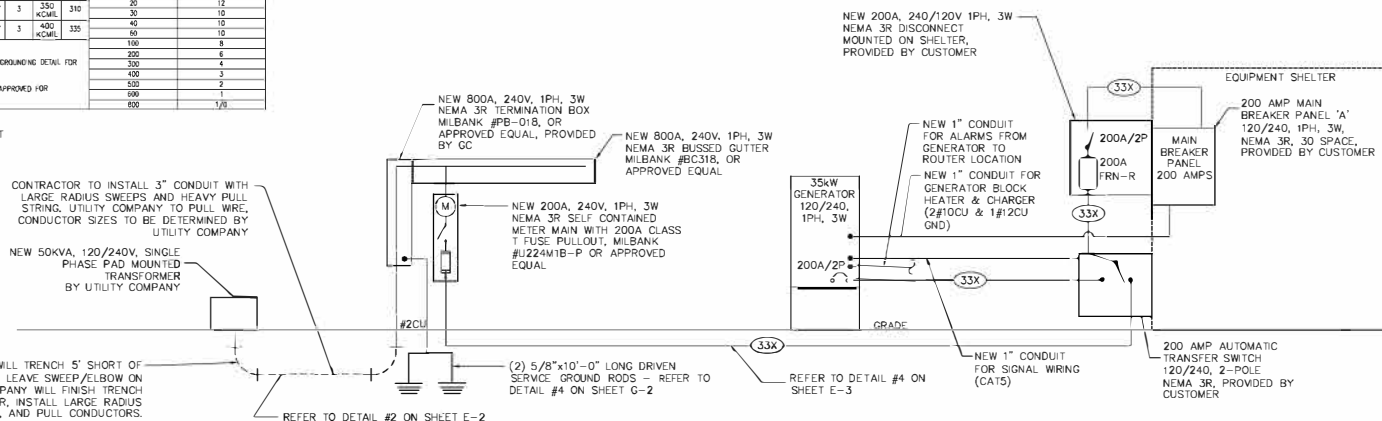
VYA, NEVADA

PROJECT
RAW LAND MONOPOLE

SITE ADDRESS
LAT: 41° 35' 30.76358"N
LONG: 119° 52' 47.14752"W
89000A DUGWAY ROAD
GERLACH, NV 89413

SHEET TITLE
PANEL SCHEDULE &
ONE LINE DIAGRAM

SHEET NUMBER
F-2



SCALE: N.T.S.	2
---------------	---

Copyright © Abu Engineering (AbuE), 2018. This document is a proprietary item of Abu Engineering and contains information solely for use on a specific project. It cannot be used, disclosed or reproduced in any format without AbuE's prior written permission. Only our customer has the right to use the information contained in this document for construction purposes of this project up to 12 months from the date of issue. The user agrees to indemnify AbuE from all claims, suits, liability, demands, judgments, or expenses arising from or related to the use or re-use of the electronic files. All rights reserved.

NOT USED

SCALE: N.T.S. 1

NOT USED

SCALE: N.T.S. 3

NOT USED

SCALE: N.T.S. 2

NOT USED

SCALE: N.T.S. 4

NOT USED

SCALE: N.T.S. 5

H-FRAME POST KEYED NOTES:

- PIPE CAP 3/8" (TYP.)
- 1 1/2"x1 1/2"x12 GAUGE GALV. CHANNEL (TYP.)
- UNISTRUT P-1119 GALV. SUPPORT PIPE CLAMP (TYP.)
- H-FRAME DIRECT BURIAL 3/8" PIPE COLUMN (TYP.)
- MECHANICAL GROUND BONDING (TYPE YA-2) (TYP.)
- RIGID CONDUIT(S)
- ROUND TOP OF FOUNDATION
- EXOTHERMIC WELD (TYPE PT) (TYP.)
- GROUND RING
- #2 AWG SOLID TINNED BARE COPPER CONDUCTOR ROUTED IN FLEXIBLE NON-METALLIC LIQUID TIGHT CONDUIT (CARFLEX) (TYP.)
- EXOTHERMIC WELD (TYPE VS)
- GFI USE DUPLEX RECEPTACLE W/ ENCLOSURE
- METER GANG - MILBANK #U224M/P 4-JAW / TERMINAL, OR APPROVED EQUAL
- 200A, 240V, DISCONNECT SWITCH, NEMA 3R
- 200A AC PANEL "A", NEMA 3R
- CONCRETE FOUNDATION, 2500 PSI
- FINISHED GRADE OR ASPHALT
- NATURAL SOIL
- BUSSED CUTTER - MILBANK #BC318, OR APPROVED EQUAL
- TERMINATION BOX - MILBANK #PB-018, OR APPROVED EQUAL

PLAN

FRONT

SECTION B

H-FRAME SUPPORT PIPE NOTES:

- 3" RGS (RIGID GALVANIZED STEEL) CONDUIT SHALL BE A MAXIMUM LENGTH OF 10 FEET.
- THE 3" RGS CONDUIT SHALL BE PLACED IN THE CENTER OF A 12" MINIMUM DIAMETER CONCRETE FOOTING. THE FOOTING SHALL BE A MINIMUM OF 36" IN THE GROUND AND EXTEND A MINIMUM OF 4" ABOVE GROUND LEVEL AND HAVE A 1/2" SLOPE AWAY FROM THE CONDUIT TO ALLOW FOR DRAINAGE.

HIGH VOLTAGE TRENCH KEYED NOTES: #

- MATCH EXISTING SURFACE
- FINISHED GRADE
- VERT. DEPTH W/O SHORING PER GOVERNING CODES
- CLEAR BEDDING W/ MIN. 12" COVERAGE OVER CONDUIT
- MINIMUM 1-1/2" PVC CONDUIT FOR GAS LINE, VERIFY WITH PROPANE GAS PROVIDER.
- FILL MATERIAL
- WARNING TAPE 12" BELOW GRADE

NOTE: THIS DETAIL NOT APPLICABLE TO WATER LINE(S)


HIGH VOLTAGE TRENCH KEYED NOTES: #

- MATCH EXISTING SURFACE
- FINISHED GRADE
- VERT. DEPTH W/O SHORING PER GOVERNING CODES
- CLEAR BEDDING W/ MIN. 12" COVERAGE OVER CONDUIT
- CONDUIT PER SINGLE LINE DIAGRAM, HIGH VOLTAGE POWER CONDUIT WITH PULL STRING, SIZED PER ELECTRICAL ENGINEER; 12" SEPARATION FROM OTHER LINES; CONDUIT W/ GAS & FUEL LINES IN SEPARATE TRENCH; COORDINATE W/ LOCAL UTILITIES
- FILL MATERIAL
- WARNING TAPE 12" BELOW GRADE


NOTE: THIS DETAIL NOT APPLICABLE TO WATER LINE(S)

TRENCH KEYED NOTES: #


- MATCH EXISTING SURFACE
- FINISHED GRADE
- VERT. DEPTH W/O SHORING PER GOVERNING CODES
- CLEAR BEDDING W/ MIN. 12" COVERAGE OVER CONDUIT
- PVC/CONDUIT SIGNAL WIRING OR GENERATOR BLOCK HEATER & CHARGER, SEE SINGLE LINE DIAGRAM.
- PVC PER SINGLE LINE DIAGRAM, FOR ALARM OR POWER
- WARNING TAPE 12" ABOVE CONDUIT
- BACK FILL



1337 E. DESERT FLOWER LANE
PHOENIX, AZ 85048
PHONE: (480) 213-8524



PE SEAL



DESIGNER: JASON NGO

LEAD EE: SB

LEAD CE/SE: SAM

SUBMITTALS			
REV.	DATE	DESCRIPTION	BY
H	1/25/19	COMMENTS	JN
I	2/13/19	COMMENTS	JN
J	2/18/19	COMMENTS	JN
K	2/19/19	FINAL CD	JN
L	4/3/19	REVISED CD	JN

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO COMMNET WIRELESS IS STRICTLY PROHIBITED.

SITE NAME

VYA, NEVADA

PROJECT

RAW LAND MONOPOLE

SITE ADDRESS

LAT: 41° 35' 30.76358"N
LONG: 119° 52' 47.14752"W
89000A DUGWAY ROAD
GERLACH, NV 89413

SHEET TITLE

DETAILS

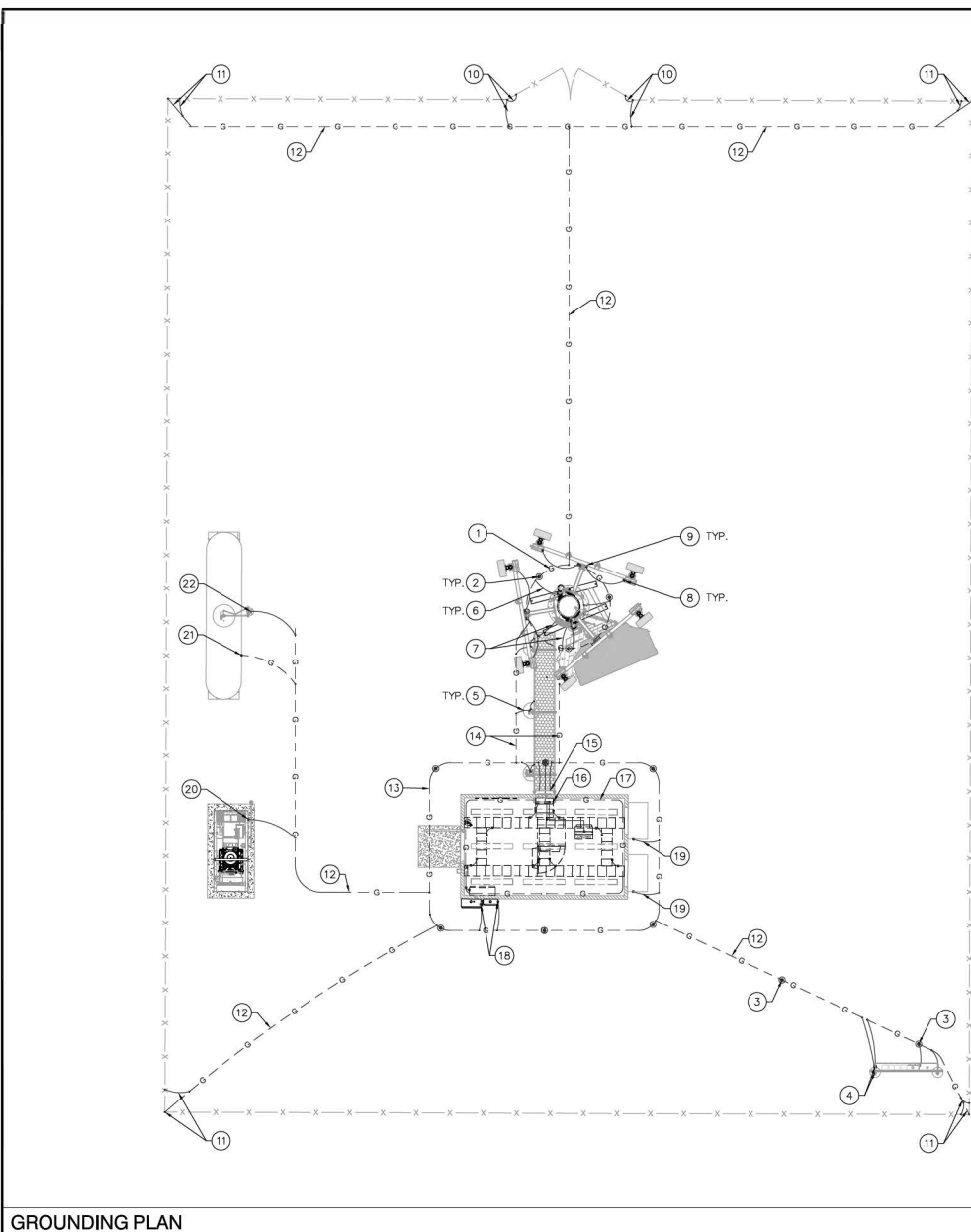
SHEET NUMBER

E-3

WAC24-0007
EXHIBIT E

102

Copyright © Albn Engineering (AlbnE), 2018. This document is a proprietary item of Albn Engineering and contains information solely for use on a specific project. It cannot be used, disclosed or reproduced in any format without AlbnE's prior written permission. Only our customer has the right to use the information contained in this document for construction purposes of this project up to 12 months from date of stamped date on this document. The user agrees to indemnify defend, & hold harmless AlbnE from all claims, suits, liability, demands, judgments, or expenses arising from or related to the use or re-use of the electronic files. All rights reserved.



GROUNDING PLAN

- LEGEND:
- TINNED SOLID ALLOY 110 COPPER POLE BUSS BAR BONDED TO POLE STEEL.
 -
 - GROUND RING, REFER TO DETAIL 6 ON SHEET G-2.
 - EXOTHERMIC WELD OR IRREVERSIBLE HIGH-COMPRESSION CRIMP.
 - MECHANICAL CONNECTION.

GENERAL NOTES:

- A. THESE DRAWINGS REPRESENT THE GENERAL EXTENT AND ARRANGEMENT OF SYSTEMS, BUT ARE NOT TO BE CONSIDERED FABRICATION DRAWINGS. COORDINATE WITH OTHER TRADES, AND PROVIDE EACH SYSTEM COMPLETE, INCLUDING ALL NECESSARY COMPONENTS, FITTINGS AND OFFSETS.
- B. INSTALL SYSTEMS SUCH THAT REQUIRED CLEARANCE AND SERVICE ACCESS SPACE IS PROVIDED AROUND ALL MECHANICAL AND ELECTRICAL EQUIPMENT, AND AROUND ANY COMPONENTS WHICH REQUIRE SERVICE ACCESS.
- C. PROVIDE SUPPLEMENTARY STEEL AS REQUIRED FOR THE PROPER SUPPORT OF ALL SYSTEMS.
- D. REFER TO G-2 FOR GROUNDING DETAILS.
- E. ALL METALLIC SURFACES SHALL BE PREPARED PRIOR TO BONDING, COLD GALV. SPRAY SHALL BE USED ON ANY EXOTHERMIC WELD TO PREVENT CORROSION, ANY AREA TO BE COLD GALV. SPRAY SHALL BE TAPED OFF PRIOR TO APPLICATION.

CONSTRUCTION KEYED NOTES: (E)

1. GROUNDING ELECTRODE CONDUCTOR SYSTEM (GROUND RING). #2 AWG SOLID BARE TINNED COPPER CONDUCTOR. GROUNDING ELECTRODE CONDUCTOR SHALL BE BURIED 30" BELOW GRADE WHERE APPLICABLE. ABOVE GRADE GROUNDING ELECTRODE CONDUCTOR TO BE ROUTED IN FLEXIBLE NON-METALLIC LIQUID TIGHT CONDUIT & FASTENED TO CONCRETE SURFACE EVERY 3' MAX. FASTENERS SHALL BE FLEXIBLE CONDUIT HALF STRAPS W/ 1/4" DIA. x 2" (L) RED HEAD HAMMER-SET NAIL DRIVE ANCHOR OR EQUIV. (TYP.)
2. 5/8" DIA. x 10' LONG COPPER CLAD GROUND ROD PLACED MINIMUM EVERY 10' APART (TYP.). REFER TO DETAIL 4 ON SHEET G-2.
3. SERVICE 5/8" DIA. x 10' LONG COPPER CLAD GROUND ROD PLACED MINIMUM EVERY 10' APART (TYP. OF 2). REFER TO DETAIL 4 ON SHEET G-2.
4. BOND H-FRAME & ELECTRICAL BOX TO GROUND RADIAL (TYP.), REFER TO DETAIL 3 ON SHEET E-2.
5. BOND ICE BRIDGE POST TO POLE GROUND RING (TYP.).
6. BOND POLE BASE PLATE (AT MANUFACTURER INSTALLED BONDING TAB) TO GROUND RING UNDER NO CIRCUMSTANCES WILL EXOTHERMIC WELDING BE PERMITTED ON THE POLE TRUNK, TYPICAL 3 LOCATIONS.
7. BOND POLE GROUND BUSS BAR TO POLE GROUND RING WITH #2 AWG, TYP. OF 2 CONNECTIONS.
8. BOND RRHS TO ANTENNA GROUND BUS BAR WITH #6 AWG (TYP.).
9. ATTACHED ANTENNA GROUND BUS BAR SECTOR GATE (TYP.).
10. BOND GATE TO GATE POST VIA #2 GATE BOND JUMPER (TYP.). REFER TO DETAIL 5 ON SHEET G-2.
11. BOND TO FENCE FABRIC SUPPORT POST. REFER TO DETAIL 5 ON SHEET G-2 (TYP.).
12. #2 AWG SOLID BARE TINNED COPPER CONDUCTOR (TYP.).
13. #2 AWG SOLID BARE TINNED COPPER EQUIPMENT SHELTER GROUND RING.
14. EQUIPMENT SHELTER GROUND RING TO POLE GROUND RING WITH #2 AWG (TYP. OF 2 CONNECTIONS).
15. EXTERIOR GROUND BUS BAR (EGB). BOND TO GROUND RING WITH (2) #2 AWG SOLID TINNED BARE COPPER CONDUCTORS. IN ADDITION, BOND ENTRY PANEL TO EGB WITH #2 AWG THIN COPPER CONDUCTOR PER SHELTER MANUFACTURER SPECIFICATIONS (TYP.).
16. MAIN GROUND BUS BAR (MGB) INSTALLED BY SHELTER MANUFACTURER
17. INTERIOR GROUNDING HALO SUPPLIED AND INSTALLED BY GC
18. BOND ATS & DISCONNECT TO GROUND RING WITH #2 AWG SOLID TINNED BARE COPPER CONDUCTOR
19. SHELTER A/C UNIT. BOND TO GROUND RING WITH #2 AWG SOLID TINNED BARE COPPER CONDUCTOR. BONDING ON THE SHELTER A/C UNIT HOUSING SHALL BE MECHANICAL ONLY (TYP.).
20. BOND GENERATOR TO GROUND RADIAL WITH #2 AWG
21. BOND PROPANE TANK LEG TO GROUND RADIAL WITH #2 AWG
22. BOND SUPPORT PIPE TO GROUND RADIAL WITH #2 AWG

22"x34" SCALE: 3/16" = 1'-0"
11"x17" SCALE: 3/32" = 1'-0"



1337 E. DESERT FLOWER LANE
PHOENIX, AZ 85048
PHONE: (480) 213-8524

PE SEAL



DESIGNER: JASON NGO

LEAD EE: SB

LEAD CE/SE: SAM

SUBMITTALS

REV.	DATE	DESCRIPTION	BY
H	1/25/19	COMMENTS	JUN
I	2/13/19	COMMENTS	JUN
J	2/18/19	COMMENTS	JUN
K	2/19/19	FINAL CD	JUN
L	4/3/19	REVISED CD	JUN

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO COMMNET WIRELESS IS STRICTLY PROHIBITED.

SITE NAME

VYA, NEVADA

PROJECT
RAW LAND MONOPOLE

SITE ADDRESS
LAT: 41° 35' 30.76358"N
LONG: 119° 52' 47.14752"W
89000A DUGWAY ROAD
GERLACH, NV 89413

SHEET TITLE

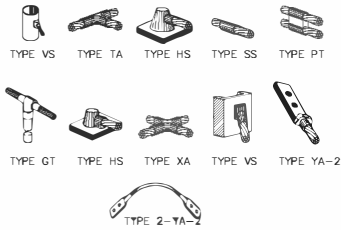
GROUNDING PLAN

SHEET NUMBER

G-1

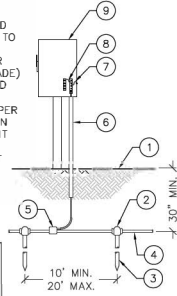
WAC24-0007
EXHIBIT E

NOTE:
ERICO CADWELD "MOLD TYPES" SHOWN HERE ARE EXAMPLES. CONSULT WITH PROJECT MANAGER OR CONSTRUCTION MANAGER FOR SPECIFIC MOLDS TO BE USED FOR THIS PROJECT.



GROUND ROD INSTALLATION KEYED NOTES:

1. FINISHED GRADE
2. EXOTHERMIC CONNECTION (TYPE GT)
3. $\frac{3}{8}$ "x10' LONG COPPER CLAD GROUND ROD WITH EXOTHERMIC CONNECTION TO GROUND RING
4. #2 AWG SOLID TINNED BARE COPPER WIRE (GROUND RING 30" BELOW GRADE)
5. EXOTHERMIC CONNECTION TO GROUND RING (TYPE PT)
6. #8CU AWG SOLID TINNED BARE COPPER WIRE GROUND CONDUCTOR ROUTED IN FLEXIBLE NON-METALLIC LIQUID TIGHT CONDUIT (CARFLEX)
7. #8CU AWG COPPER MAIN EQUIPMENT BONDING JUMPER
8. #8CU AWG COPPER MAIN BONDING JUMPER
9. TERMINATION BOX

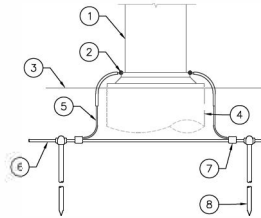


NOTES:

1. ALL GROUNDING AND BONDING AT THE SERVICE ENTRANCE SHALL COMPLY WITH NEC 250.28, 250.50, 250.66, 250.92, 250.102(C) & 250.56
2. GROUNDING SYSTEM RESISTANCE IS 25 OHMS OR LESS

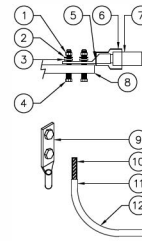
TYPICAL MONOPOLE GROUNDING KEYED NOTES:

1. MONOPOLE
2. EXOTHERMIC WELD TO MANUFACTURER INSTALLED BONDING TAB (TYP.)
3. FINISHED GRADE
4. OUTLINE OF POLE FOUNDATION
5. #2 AWG SOLID TINNED BARE COPPER CONDUCTOR ROUTED IN FLEXIBLE NON-METALLIC LIQUID TIGHT CONDUIT (CARFLEX) (TYP. OF 3)
6. GROUND RING
7. EXOTHERMIC CONNECTION TO GROUND RING (TYPE PT)
8. GROUND ROD (TYP.)



GROUND LUG KEYED NOTES:

1. NUT
2. LOCK WASHER
3. FLAT WASHER
4. BOLT
5. BURNDY GROUND LUG (SEE TABLE FOR SIZE AND MODEL)
6. HEAT SHRINK (CLEAR)
7. GROUNDING CONDUCTOR
8. GROUND BUSS BAR OR METALLIC BONDING SURFACE
9. BURNDY 2-HOLE LUG W/ LONG BARREL FOR #6 AWG STRANDED
10. BARE WIRE TO BE NO-OXID AT BOTH ENDS
11. HEAT SHRINK
12. #6 AWG THIN COPPER WIRE



WIRE SIZE	BURNDY LUG	BOLT SIZE
#6 AWG	YA6C-2TC38	3/8" - 16 NC S 3 BOLT
#2 AWG SOLID	YA3C-2TC38	3/8" - 16 NC S 3 BOLT
#2 AWG STRANDED	YA2C-2TC38	3/8" - 16 NC S 3 BOLT
#2/0 AWG	YA2B-2TC38	3/8" - 16 NC S 3 BOLT
#4/0 AWG	YA2B-2N	1/2" - 16 NC S 3 BOLT

EXOTHERMIC WELD DETAILS

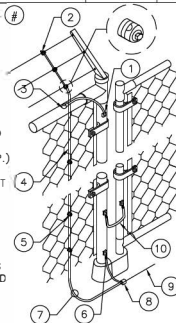
SCALE: N.T.S.

GROUND ROD DETAIL

SCALE: N.T.S.

CORNER FENCE GROUNDING KEYED NOTES:

1. ERICO EXOTHERMIC WELD CONNECTION "VS" OR EQUIVALENT
2. DETERRENT WIRE GROUNDING CLAMP (HARGER FGC2) TRIM LEAD AS CLOSE TO GROUNDING CLAMP AS POSSIBLE
3. ERICO EXOTHERMIC WELD CONNECTION "HA" OR EQUIVALENT
4. #2 AWG SOLID TINNED BARE COPPER WIRE, BOND FENCE FABRIC TO GROUND CONDUCTOR
5. FENCE FABRIC GROUNDING CLAMP (TYP.)
6. GROUND CONDUCTOR WITH ERICO EXOTHERMIC WELD "VS" OR EQUIVALENT
7. CONNECT FENCE BONDING CONDUCTOR TO EXTERNAL GROUNDING ELECTRODE SYSTEM USING EXOTHERMIC WELD OR IRREVERSIBLE HIGH COMPRESSION FITTING
8. ERICO EXOTHERMIC WELD CONNECTION "PC" OR EQUIVALENT TO GROUND RING
9. GROUNDING RADIAL TO SYSTEM GROUND RING
10. GATE JUMPER WITH ERICO EXOTHERMIC WELD "VS" OR EQUIVALENT

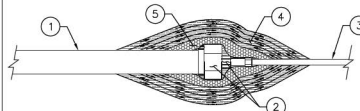


MONOPOLE GROUNDING DETAIL

SCALE: N.T.S.

WEATHERPROOFING KEYED NOTES:

1. COAX
2. COAX TO JUMPER CONNECTION (TYP.)
3. JUMPER (TYP.)
4. 3M SCOTCH SUPER 33+ VINYL ELECTRICAL TAPE (OR EQUIVALENT)
5. VAPOR WRAP SEALANT

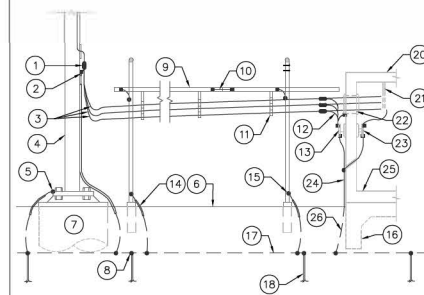


GROUNDING LUG DETAIL

SCALE: N.T.S.

TYPICAL POLE/ICE BRIDGE GROUNDING KEYED NOTES:

1. "SUREGROUND" GROUND KIT
2. TINNED SOLID ALLOY 110 COPPER GROUND BUS BAR AT BOTTOM OF POLE (10B), BOND DIRECTLY TO MONOPOLE STEEL
3. RF TRANSMISSION LINE (COAX)
4. MONOPOLE
5. EXOTHERMIC WELD TO MANUFACTURER INSTALLED BONDING TAB (TYP.)
6. FINISHED GRADE
7. OUTLINE OF POLE FOUNDATION
8. EXOTHERMIC WELD (TYP.)
9. ICE BRIDGE
10. #6 AWG THIN COPPER WIRE W/ MECHANICAL CONNECTION TO EACH ICE BRIDGE SECTION (TYP.)
11. COAX CABLE AND HANGERS
12. "SUREGROUND" GROUND KIT
13. EXTERNAL GROUND BUS BAR (EGB)
14. CONDUCTOR ROUTED IN PVC OR FLEXIBLE NON-CONDUCTIVE CONDUIT (CARFLEX) (TYP.)
15. #2 AWG SOLID TINNED BARE COPPER WIRE TO SUPPORT POST (TYP.)
16. OUTSIDE EDGE OF SHELTER FOUNDATION
17. #2 AWG SOLID TINNED BARE COPPER WIRE (GROUND RING) MIN. 30" BELOW GRADE
18. $\frac{3}{8}$ "x10' LONG COPPER CLAD GROUND ROD (TYP.)
19. NOT USED
20. OUTLINE OF EQUIPMENT SHELTER
21. ARRESTOR TRAPEZE KIT IF NEEDED
22. CABLE ENTRY PORT
23. MAIN GROUND BUS BAR (MGB)
24. #2 AWG SOLID TINNED BARE COPPER GROUND CONDUCTOR TO GROUND RING
25. FINISHED FLOOR OF SHELTER
26. BOND BASE OF GROUNDING STRAP TO GROUND RING

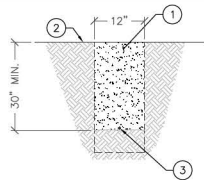


GRND. CONDUCTOR SIZE DETAIL

SCALE: N.T.S.

GROUND RING TRENCHING KEYED NOTES:

1. BACKFILL PER SPECIFICATIONS
2. FINISHED GRADE
3. #2 AWG SOLID TINNED BARE COPPER WIRE



NOTES:

1. DEPTH TO BE 30" OR 6" BELOW FROST LINE, WHICHEVER IS GREATER.
2. GROUND RINGS SHOULD CONSIST OF AT LEAST 20' OF #2 AWG OR LARGER BARE COPPER CONDUCTOR.
3. BURY THE RINGS IN DIRECT CONTACT WITH SOIL.

GROUND RING TRENCH

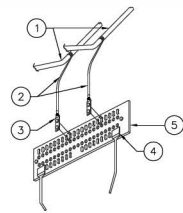
SCALE: N.T.S.

FENCE GROUNDING DETAIL

SCALE: N.T.S.

POLE GROUNDING KEYED NOTES:

1. HYBRID
2. HYBRID GROUNDING KIT
3. HEX BOLTS: APPROVED TWO HOLE LUG CONNECTION WITH STAINLESS HARDWARE
4. EXOTHERMIC WELD #2 AWG STRANDED BARE TINNED COPPER
5. TINNED COPPER POLE GROUND BUSS BAR

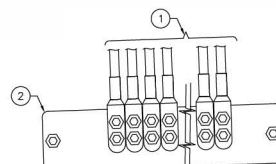


WEATHERPROOF DETAIL

SCALE: N.T.S.

ANTENNA BUSS BAR KEYED NOTES:

1. #2 AWG STRANDED CU WIRE WITH GREEN, 600V, THIN INSULATION OR BLACK MARKED AS REQUIRED BY NEC
2. TINNED COPPER POLE BUSS BAR ATTACHED DIRECTLY TO POLE STEEL



ANTENNA BUSS BAR DETAIL

SCALE: N.T.S.

POLE/ICE BRIDGE DETAIL

SCALE: N.T.S.

Connecting Rural America

1337 E. DESERT FLOWER LANE
PHOENIX, AZ 85048
PHONE: (480) 213-8524

PE SEAL

4-4-19

DESIGNER: JASON NGO

LEAD EE: SB

LEAD CE/SE: SAM

SUBMITTALS

REV.	DATE	DESCRIPTION	BY
H	1/25/19	COMMENTS	JUN
I	2/13/19	COMMENTS	JUN
J	2/18/19	COMMENTS	JUN
K	2/19/19	FINAL CD	JUN
L	4/3/19	REVISED CD	JUN

THE INFORMATION CONTAINED IN THIS SET OF DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO COMMNET WIRELESS IS STRICTLY PROHIBITED.

SITE NAME

VYA, NEVADA

PROJECT

RAW LAND MONOPOLE

SITE ADDRESS

LAT: 41° 35' 30.76358"N
LONG: 119° 52' 47.14752"W
89000A DUGWAY ROAD
GERLACH, NV 89413

SHEET TITLE

GROUNDING DETAILS

SHEET NUMBER

G-2

[Skip to Main Content](#)

EXECUTIVE ORDER 2018-32

ORDER ESTABLISHING USE OF THE NEVADA GREATER SAGE-GROUSE CONSERVATION PLAN AND CREDIT SYSTEM

WHEREAS, restoration and maintenance of the sagebrush ecosystem is essential to Nevada's sagebrush obligate species, domestic livestock, watersheds, biodiversity and productivity; and

WHEREAS, the 78th Nevada State Legislative Session (2013) established the Sagebrush Ecosystem Council as a statutory body "authorized to establish and carry out programs to preserve, restore and enhance sagebrush ecosystems"; and

WHEREAS, in order to maintain and enhance Greater Sage-Grouse populations and the habitats on which this species depends, the State of Nevada Sagebrush Ecosystem Council and partnering federal and local agencies developed and implemented the 2014 Greater Sage-Grouse Conservation Plan (as amended) and the Nevada Conservation Credit System and Scientific Methods Document/Habitat Quantification Tool as the science based program to quantify habitat improvements and offset anthropogenic disturbances to Greater Sage-Grouse habitats; and

WHEREAS, it is in the best interests of the State of Nevada to continue efforts to protect and enhance Greater Sage-Grouse habitats; and

WHEREAS, Article 5, Section 1 of the Nevada Constitution provides: "The supreme executive power of this State, shall be vested in a Chief Magistrate who shall be Governor of the State of Nevada."

NOW, THEREFORE, by the authority vested in me as Governor by the Constitution and laws of the State of Nevada and the United States, it is hereby ordered as follows:

1. The Sagebrush Ecosystem Council shall adopt regulations requiring compliance with the Nevada Sage-Grouse Conservation Plan and Nevada Conservation Credit System for the conservation of the Greater Sage-Grouse and their habitats using compensatory mitigation for anthropogenic disturbances on federal and state lands that cannot be avoided or further minimized as determined through the Conservation Credit System.
2. As these regulations are being developed and finalized, this Executive Order shall serve as direction to state agencies working with their federal counterparts and Nevada stakeholders to implement mitigation strategies in accordance with the Nevada Conservation Credit System.

**WAC24-0007
EXHIBIT E**

**WSUP19-0003
EXHIBIT F**

3. Nevada's Conservation Credit System/Habitat Quantification Tool shall be used as the mechanism to quantify and mitigate direct and indirect impacts to Greater Sage-Grouse habitats as a result of anthropogenic disturbance activities or projects occurring within Greater Sage-Grouse designated habitat areas. The Nevada Conservation Credit System shall be required on lands managed by state or federal agencies. Private land owners will not be required to utilize the Conservation Credit System on private lands but can do so voluntarily.
4. This Executive Order, together with the Nevada Sage-Grouse Conservation Plan and Nevada Conservation Credit System, constitute Nevada's strategy and primary mechanism to conserve and ensure conservation of the Greater Sage-Grouse and their habitats.
5. This Executive Order shall remain in effect in perpetuity, unless rescinded at a future date.

IN WITNESS WHEREOF, I have hereunto set my hand and caused the Great Seal of the State of Nevada to be affixed at the State Capitol in Carson City, this 7th day of December, in the year two thousand eighteen.



[Signature]
Governor of the State of Nevada

By the Governor:

[Signature]
Secretary of State

[Signature]
Deputy Secretary of State

WAC24-0007
EXHIBIT E

WSUP19-0003
EXHIBIT F

Oakley, Katherine

From: Lemon, Brittany
Sent: Monday, July 8, 2024 10:46 AM
To: Oakley, Katherine
Subject: RE: WAC24-0007 (Vya Monopole 2nd Extension of Time)

That looks great. Thank you, Kat!

Brittany Lemon

Fire Captain - Fire Prevention | Truckee Meadows Fire & Rescue

blemon@tmfcpd.us | Office: 775.326.6079 | Cell: 775.379.0584

3663 Barron Way, Reno, NV 89511



"Committed to excellence, service, and the protection of life and property in our community"

From: Oakley, Katherine <KOakley@washoecounty.gov>
Sent: Monday, July 8, 2024 9:32 AM
To: Lemon, Brittany <BLEmon@tmfcpd.us>
Subject: RE: WAC24-0007 (Vya Monopole 2nd Extension of Time)

Hi Brittany,

Here are the changes I'll make to that first condition:

- a. Fire protection of the new structures shall be as required by the current adopt International Fire Code, **the current adopted** (IFC) International Wildland Urban Interface Code (IWUIC) **2012-Ed**, with amendments and the requirements of the NFF standard(s).
<https://codes.iccsafe.org/content/IWUIC2012>
<https://codes.iccsafe.org/content/IFC2012>

Look good?

Thanks,



Kat Oakley

Senior Planner, Planning & Building Division | Community Services Department

koakley@washoecounty.gov | Direct Line: 775.328.3628

My working hours: Monday-Friday 8:00am to 5:00pm

Visit us first online: www.washoecounty.gov/csd

Planning Division: 775.328.6100 | Planning@washoecounty.gov

CSD Office Hours: Monday-Friday 8:00am to 4:00pm

1001 East Ninth Street, Reno, NV 89512



Have some kudos to share about a Community Services Department employee or experience?

[Submit a Nomination](#)

From: Lemon, Brittany <BLemon@tmfpd.us>
Sent: Monday, July 8, 2024 8:38 AM
To: Oakley, Katherine <KOakley@washoecounty.gov>
Subject: RE: WAC24-0007 (Vya Monopole 2nd Extension of Time)

Hi Kat,

I apologize, while the comments are the same, we will want to remove the reference the 2012 WUI code and just go with current adopted edition, and remove the link. All of the other information can stay the same.

Brittany Lemon

Fire Captain - Fire Prevention | Truckee Meadows Fire & Rescue

blemon@tmfpd.us | Office: 775.326.6079 | Cell: 775.379.0584

3663 Barron Way, Reno, NV 89511



"Committed to excellence, service, and the protection of life and property in our community"

From: Oakley, Katherine <KOakley@washoecounty.gov>
Sent: Wednesday, July 3, 2024 12:56 PM
To: Lemon, Brittany <BLemon@tmfpd.us>
Cc: Way, Dale <DWay@tmfpd.us>
Subject: RE: WAC24-0007 (Vya Monopole 2nd Extension of Time)

Hi Brittany,

So I was looking back in the case files for this, and it seems like there are conditions that were in the attachments to the staff report but not in the original action order. I've copied them here:

- a. Fire protection of the new structures shall be as required by the current adopted International Fire Code, (IFC) International Wildland Urban Interface Code (IWUIC) 201 *Ed*, with amendments and the requirements of the NFPA standard(s) <https://codes.iccsafe.org/content/IWUIC2012> <https://codes.iccsafe.org/content/IFC2012>
- b. Provide a vegetation selection, installation, management and Defensible Space Plan as required for the project in accordance with the requirements of the IWUIC.
- c. The length of the road appears to be in excess of 200 feet and would require a 20' width as a Fire Apparatus Access Road, with no greater than 10% grade. IWUIC 403.3 and 403.7.
- d. Provide a 20' gate opening with a TMFPD approved access gate locking device per IFD 103.5.

Do your records show that these conditions should be included? Let me know!

Thanks,



Kat Oakley

Senior Planner, Planning & Building Division | Community Services Department

koakley@washoecounty.gov | Direct Line: 775.328.3628

My working hours: Monday-Friday 8:00am to 5:00pm

Visit us first online: www.washoecounty.gov/csd

Planning Division: 775.328.6100 | Planning@washoecounty.gov

CSD Office Hours: Monday-Friday 8:00am to 4:00pm

1001 East Ninth Street, Reno, NV 89512



Have some kudos to share about a Community Services Department employee or experience?

[Submit a Nomination](#)

From: Lemon, Brittany <BLemon@tmfpd.us>
Sent: Thursday, June 27, 2024 1:03 PM
To: Oakley, Katherine <KOakley@washoecounty.gov>
Cc: Way, Dale <DWay@tmfpd.us>
Subject: WAC24-0007 (Vya Monopole 2nd Extension of Time)

Hi Kat,

Our comments remain the same for this project.

Thank you, and I apologize for the delay.

Brittany Lemon

Fire Captain - Fire Prevention | Truckee Meadows Fire & Rescue

Oakley, Katherine

From: julie@ciscomm.com
Sent: Thursday, July 11, 2024 5:56 AM
To: Oakley, Katherine; Alexis.Leidigh@commnetbroadband.com
Subject: RE: WAC24-0007 Vya Monopole Extension of Time

This Message Is From an External Sender

This message came from outside of Washoe County -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.

Report Suspicious

Katherine,

Yes, Commnet is amenable to this change. Also, I'll have the Affidavit to you today per your request.

Thank you!



Julie M Krekeler

General Manager

CIS Communications

p: 314-569-2275 **m:** 314-640-5182

a: 749 Old Ballas Rd St. Louis MO 63141

w: www.ciscomm.com **e:** julie@ciscomm.com

From: Oakley, Katherine <KOakley@washoecounty.gov>
Sent: Tuesday, July 9, 2024 11:13 AM
To: julie@ciscomm.com; Alexis.Leidigh@commnetbroadband.com
Subject: RE: WAC24-0007 Vya Monopole Extension of Time

Thank you, I appreciate it! As I've been reviewing the extension of time, there's one thing I wanted to ask you about. It appears that there were a couple of fire department conditions from the original conditions of approval that were accidentally excluded from the action order. That mistake has been carried over through the extensions of time. I would like to resolve that previous omission and add them into the new action order, with changes to updated code references for the more recently adopted WUI code. Here are the conditions that fire requested with the original application, with changes for the new code reference denoted in red:

- a. Fire protection of the new structures shall be as required by the current adopted International Fire Code, **the current adopted** (IFC) International Wildland Urban Interface Code (IWUIC) **2012-Ed**, with amendments and the requirements of the NFPA standard(s).
<https://codes.iccsafe.org/content/IWUIC2012> <https://codes.iccsafe.org/content/IFC2012>
- b. Provide a vegetation selection, installation, management and Defensible Space Plan as required for the project in accordance with the requirements of the IWUIC.

- c. The length of the road appears to be in excess of 200 feet and would require a 20' width as a Fire Apparatus Access Road, with no greater than 10% grade. IWUIC 403.3 and 403.7.
- d. Provide a 20' gate opening with a TMFPD approved access gate locking device per IFC D103.5.

Would you be amenable to this change as part of the extension of time? Let me know if you have any questions about it. I believe that most, if not all, of these conditions are required by fire code, but this just helps everyone keep track of the requirements.

Best,



Kat Oakley

Senior Planner, Planning & Building Division | Community Services Department

koakley@washoecounty.gov | Direct Line: 775.328.3628

My working hours: Monday-Friday 8:00am to 5:00pm

Visit us first online: www.washoecounty.gov/csd

Planning Division: 775.328.6100 | Planning@washoecounty.gov

CSD Office Hours: Monday-Friday 8:00am to 4:00pm

1001 East Ninth Street, Reno, NV 89512



Have some kudos to share about a Community Services Department employee or experience?

[Submit a Nomination](#)

From: julie@ciscomm.com <julie@ciscomm.com>

Sent: Monday, July 8, 2024 3:46 PM

To: Oakley, Katherine <KOakley@washoecounty.gov>; Alexis.Leidigh@commnetbroadband.com

Subject: RE: WAC24-0007 Vya Monopole Extension of Time

Hi Katherine,

Yes, the Affidavit is in process, and I will have to you by this Thursday.

Thank you!



Julie M Krekeler

General Manager

CIS Communications

p: 314-569-2275 **m:** 314-640-5182

a: 749 Old Ballas Rd St. Louis MO 63141

w: www.ciscomm.com **e:** julie@ciscomm.com

From: Oakley, Katherine <KOakley@washoecounty.gov>

Sent: Monday, July 8, 2024 5:34 PM

To: julie@ciscomm.com; Alexis.Leidigh@commnetbroadband.com

Subject: RE: WAC24-0007 Vya Monopole Extension of Time