



Board of Adjustment Staff Report

Meeting Date: January 5, 2023

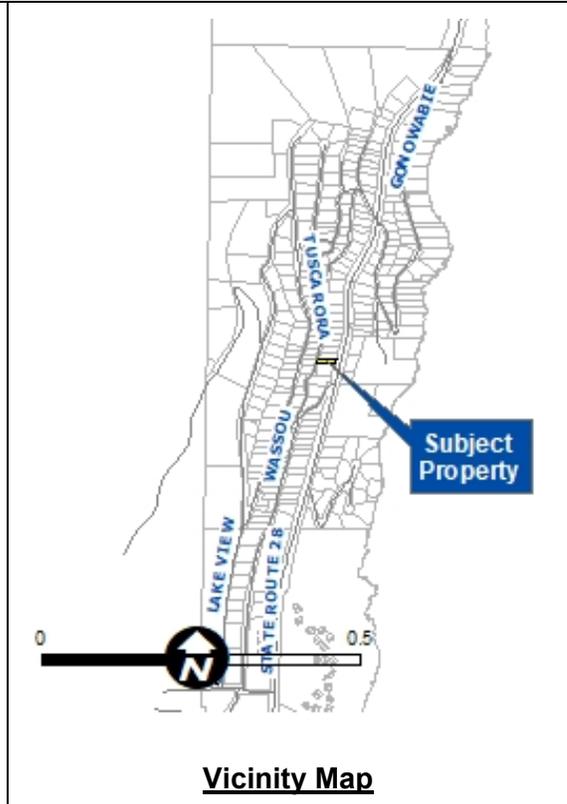
Agenda Item: 8C

ADMINISTRATIVE CASE NUMBER:	WADMIN22-0027 Roberts Garage
BRIEF SUMMARY OF REQUEST:	To allow a detached accessory structure larger than the main residence
STAFF PLANNER:	Julee Olander, Planner Phone Number: 775.328.3627 E-mail: jolander@washoecounty.gov

CASE DESCRIPTION

For hearing, discussion, and possible action to approve an administrative permit for a ±1,136 SF detached accessory structure that is larger than the existing ±1,070 SF main residence.

Applicant/ Owner: John Roberts
 Location: 354 Wassou Road
 APN: 123-152-05
 Parcel Size: 7,623 SF
 Master Plan: Tahoe
 Regulatory Zone: TA_CB
 Area Plan: Tahoe
 Development Code: Authorized in Article 808, Administrative Permits
 Commission District: 1 – Commissioner Hill



Vicinity Map

STAFF RECOMMENDATION

APPROVE

APPROVE WITH CONDITIONS

DENY

POSSIBLE MOTION

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Board of Adjustment approve Administrative Permit Case Number WADMIN22-0027 for John Roberts, with the conditions included as Exhibit A to this matter, having made all five findings in accordance with Washoe County Development Code Section 110.808.25

(Motion with Findings on Page 9)

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Administrative Permit Definition

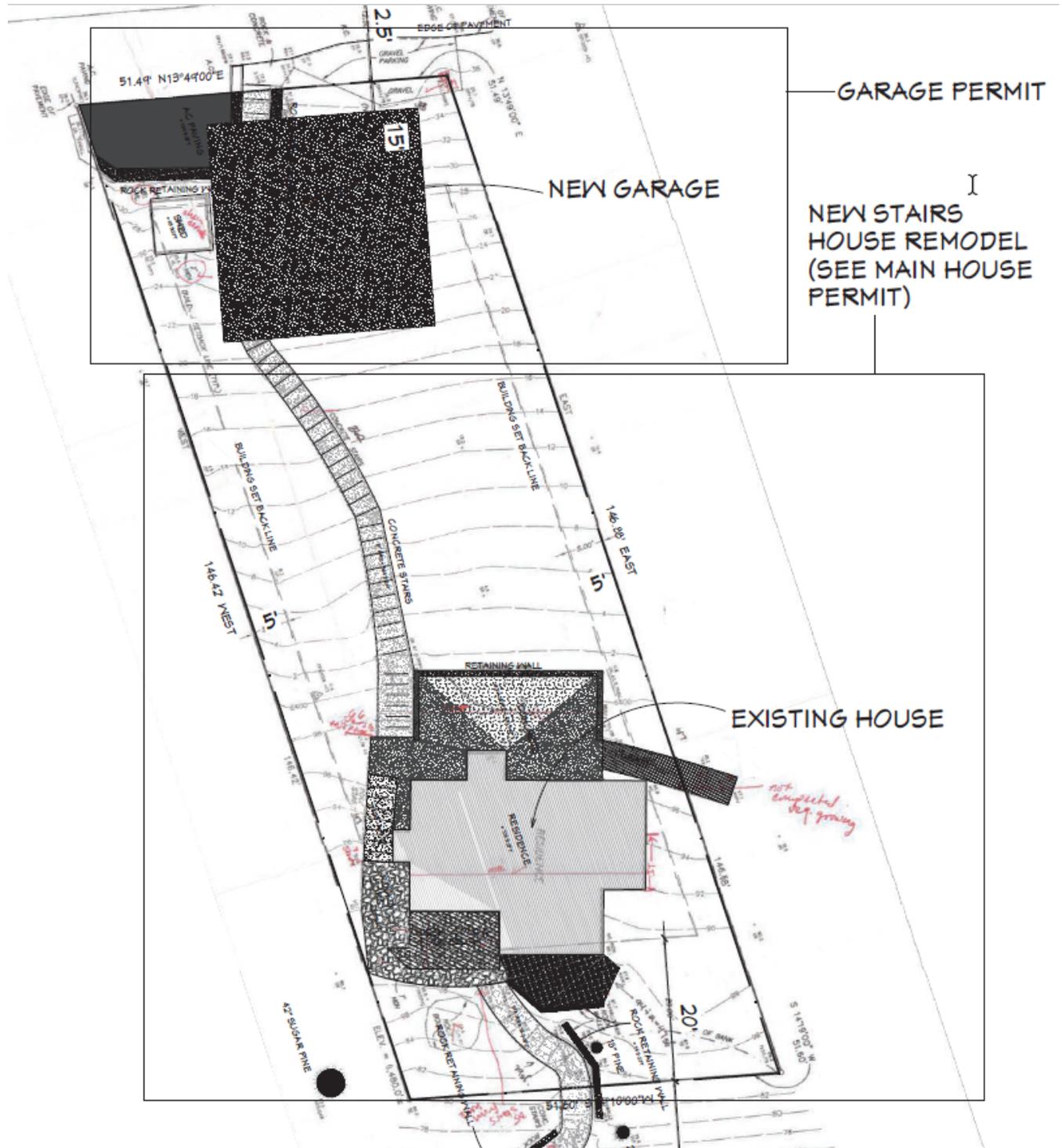
The purpose of an administrative permit is to provide a method of review for a proposed use which possess characteristics that requires a thorough appraisal in order to determine if the use has the potential to adversely affect other land uses, transportation or facilities in the vicinity. The Board of Adjustment or the Hearing Examiner may require conditions of approval necessary to eliminate, mitigate, or minimize to an acceptable level any potentially adverse effects of a use, or to specify the terms under which commencement and operation of the use must comply. Prior to approving an application for an administrative permit, the Board of Adjustment must find that all of the required findings, if applicable, are true.

The conditions of approval for Administrative Permit Case Number WADMIN22-0027 is attached to this staff report and will be included with the action order.

The subject property is designated as Tahoe Crystal Bay (TA_CB) in the Tahoe Area Plan. Accessory structures that are larger than the main residence are permitted within the TA_CB regulatory zone subject to approval of an administrative permit per Washoe County Code 110.306.10(d).



Vicinity Map



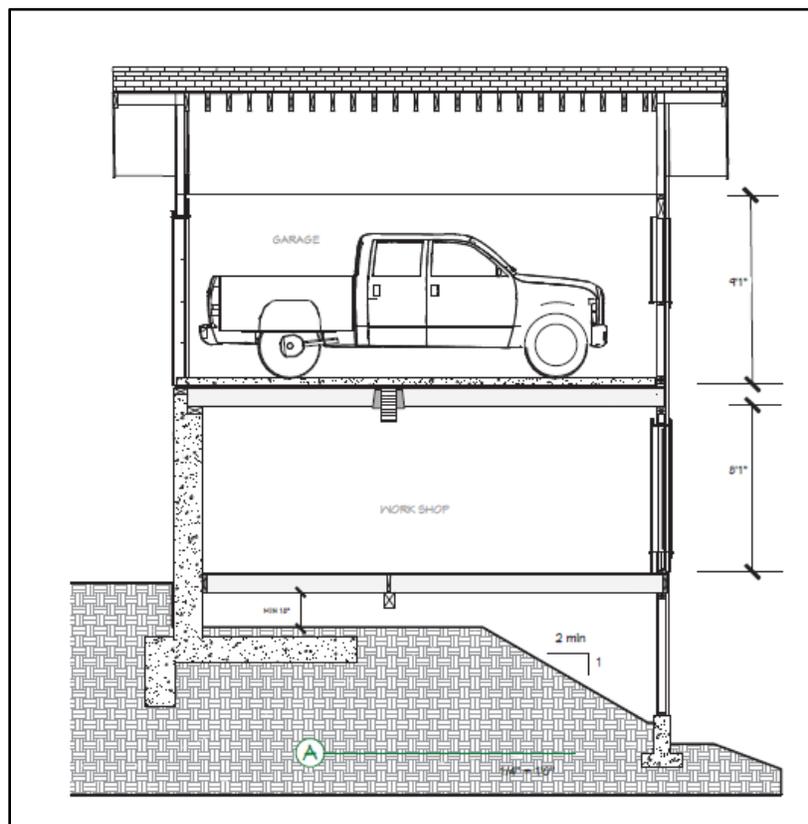
Site Plan

Project Evaluation

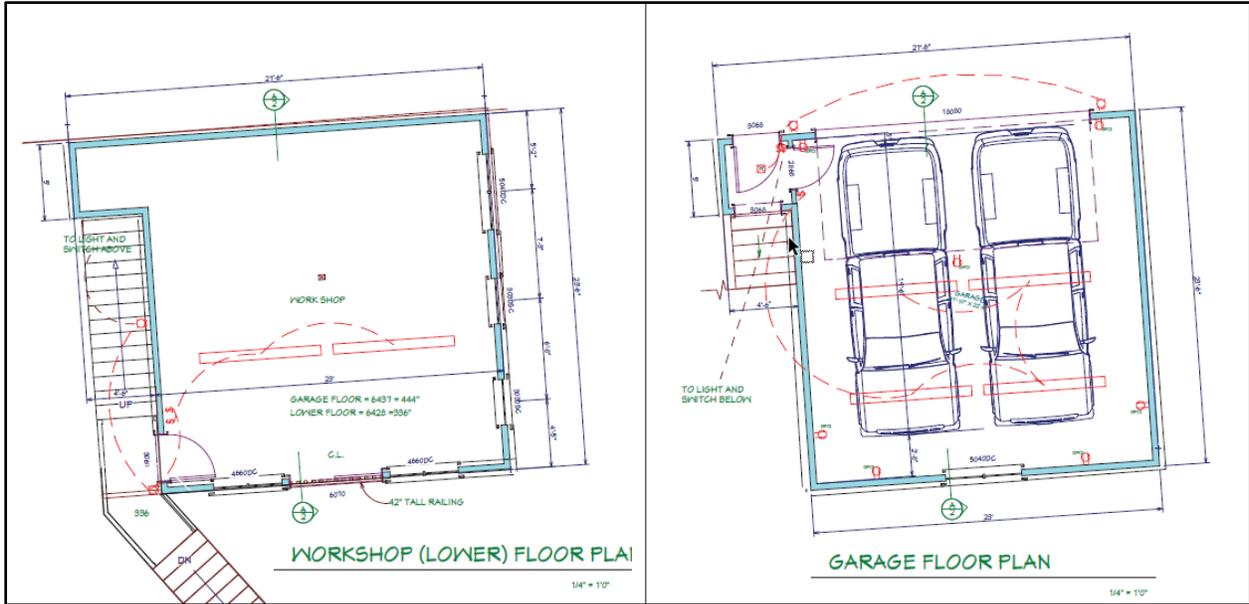
The applicant is requesting an administrative permit to approve a ±1,136 SF detached accessory structure on a ±7,623 SF parcel of land where an existing ±1,070 SF main residence is located. An administrative permit is required per Washoe County Code section 110.306.10(d), for an accessory structures that is larger than the main residence.

The parcel has a regulatory zoning of Tahoe Crystal Bay (TA_CB) as do the surrounding parcels. The structure setbacks are 20 feet in the front and rear and 5 feet on the sides. The setbacks for parcels in the Tahoe Area Plan are based on the size of the parcel, however, the front yard setbacks may be reduced under certain circumstances within the Tahoe Area Plan. The applicant states that the location of the proposed garage has a 54 degree slope along the front portion of the property. Washoe County Code (WCC) allows the garages to be located at the property line when the slope is 14% or greater (WCC 110.220.60(a)). The proposed detached accessory structure will be located at the front of the parcel, 2.5 feet off Wassou Road (See the vicinity map on page 4). The detached accessory structure will provide off-street parking for two vehicles. The garage will create a safer parking area for the site. The parking will bring the site into conformance with Washoe County Code, which requires at least one enclosed parking space. .

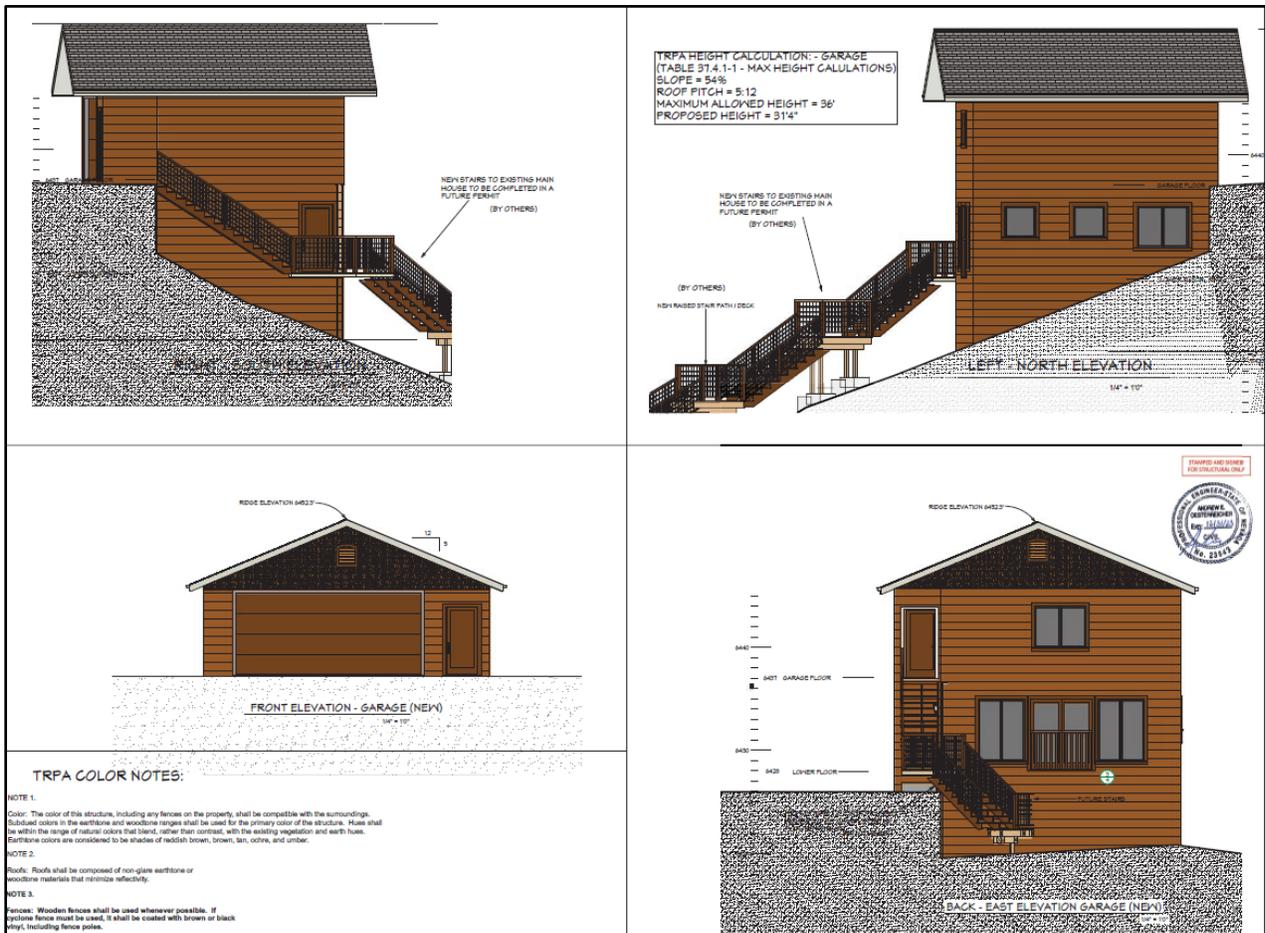
The applicant indicates that the structure will be 2-storeys with 568 SF on each floor. A 2-car garage will be located on the main floor accessing Wassou Road and a workshop will be located in the lower floor (see the garage layout below). The structure will have electricity and no plumbing. Additional native shrubs maybe added as needed. The structure will be painted to conform with Tahoe Regional Planning Agency (TRPA) standards (see Elevations on page 7).



Garage Layout



Floor Plan



Elevations

Tahoe Area Plan

The subject parcel is located within the Tahoe Area Plan. There are no other relevant policies related to detached accessory structures.

Reviewing Agencies

The following agencies/individuals received a copy of the project application for review and evaluation.

Agencies	Sent to Review	Responded	Provided Conditions	Contact
Washoe County Engineering & Capital Projects	X	X		Robert Wimer, rwimer@washoecounty.gov
Washoe County Land Development (All Apps)	X			
Washoe County Water Rights Manager (All Apps)	X	X		Timber Weiss, tweiss@washoecounty.gov
WCHD Environmental Health	X	X		James English, jenglish@washoecounty.gov
IVGID	X	X		Tim Buxton, tlb@ivgid.org
North Lake Tahoe FPD	X	X		John James, jjames@nltpd.net
Tahoe Regional Planning Agency	X			

All conditions required by the contacted agencies can be found in Exhibit A, Conditions of Approval.

Staff Comment on Required Findings

WCC 110.808.25 requires that all of the following findings be made to the satisfaction of the Washoe County Board of Adjustment before granting approval of the administrative permit request. Staff has completed an analysis of the application and has determined that the proposal is in compliance with the required findings as follows.

- (a) Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Tahoe Area Plan.

Staff Comment: Staff Comment: The requested detached accessory structure does not conflict with the policies, action programs, standards, and maps of the Master Plan and the Tahoe Area Plan. Washoe County Code Article 306 requires the applicant applied for an administrative permit.

- (b) Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven.

Staff Comment: A detached accessory structure will not create a significant demand on the existing utilities, roadway improvements, sanitation, or water supply. The detached accessory structure will only connect to the existing power utility. The proposed project was reviewed by relevant agencies and conditions were provided that are necessary to meet applicable Code requirements.

- (c) Site Suitability. That the site is physically suitable for detached accessory structure and for the intensity of such a development.

Staff Comment: The detached accessory structure will provide off-street parking. The garage will bring the site into conformance with Washoe County Code, which requires at least one enclosed parking space. The site is steep and the proposed 2-storey structure is designed to be suitable for the site.

- (d) Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.

Staff Comment: The subject property is located on a residentially zoned parcel. Permitting a garage for off-street parking will be safer parking for the site. Issuance of a permit for a detached accessory structure will not be significantly detrimental to the public health, safety, or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.

- (e) Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Staff Comment: There is no military installation in the required noticing distance of the proposed structure; therefore, this finding is not required to be made.

Recommendation

After a thorough analysis and review, Administrative Permit Case Number WADMIN22-0027 is being recommended for approval with conditions. Staff offers the following motion for the Board's consideration.

Motion

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Board of Adjustment approve Administrative Permit Case Number WADMIN22-0027 for John Roberts, with the conditions included as Exhibit A to this matter, having made all five findings in accordance with Washoe County Development Code Section 110.808.25.

- (a) Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Tahoe Area Plan;
- (b) Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven;
- (c) Site Suitability. That the site is physically suitable for detached accessory structure and for the intensity of such a development;
- (d) Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area;
- (e) Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Appeal Process

Board of Adjustment action will be effective 10 calendar days after the written decision is filed with the Secretary to the Board of Adjustment and mailed to the original applicant, unless the action is appealed to the Washoe County Board of County Commissioners, in which case the outcome of the appeal shall be determined by the Washoe County Board of County Commissioners. Any

appeal must be filed in writing with the Planning and Building Division within 10 calendar days from the date the written decision is filed with the Secretary to the Board of Adjustment and mailed to the original applicant.

Applicant/Owner: John Roberts, Email: johnr@toolup.com :



Conditions of Approval

Administrative Permit Case Number WADMIN22-0027

The project approved under Administrative Permit Case Number WADMIN22-0027 shall be carried out in accordance with the conditions of approval granted by the Board of Adjustment on January 5, 2023. Conditions of approval are requirements placed on a permit or development by each reviewing agency. These conditions of approval may require submittal of documents, applications, fees, inspections, amendments to plans, and more. These conditions do not relieve the applicant of the obligation to obtain any other approvals and licenses from relevant authorities required under any other act or to abide by all other generally applicable codes, and neither these conditions nor the approval by the County of this project/use override or negate any other applicable restrictions on uses or development on the property.

Unless otherwise specified, all conditions related to the approval of this administrative permit shall be met or financial assurance must be provided to satisfy the conditions of approval prior to issuance of a grading or building permit. The agency responsible for determining compliance with a specific condition shall determine whether the condition must be fully completed or whether the applicant shall be offered the option of providing financial assurance. All agreements, easements, or other documentation required by these conditions shall have a copy filed with the County Engineer and the Planning and Building Division.

Compliance with the conditions of approval related to this administrative permit is the responsibility of the applicant, his/her successor in interest, and all owners, assignees, and occupants of the property and their successors in interest. Failure to comply with any of the conditions imposed in the approval of the administrative permit may result in the initiation of revocation procedures.

Operational conditions are subject to review by the Planning and Building Division prior to the renewal of a business license each year. Failure to adhere to the operational conditions may result in the Planning and Building Division recommending that the business license not be renewed until conditions are complied with to the satisfaction of Washoe County.

Washoe County reserves the right to review and revise the conditions of approval related to this Administrative Permit should it be determined that a subsequent license or permit issued by Washoe County violates the intent of this approval.

For the purpose of conditions imposed by Washoe County, “may” is permissive and “shall” or “must” is mandatory.

Conditions of approval are usually complied with at different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e., grading permits, building permits, etc.).
- Prior to obtaining a final inspection and/or a certificate of occupancy.
- Prior to the issuance of a business license or other permits/licenses.
- Some “conditions of approval” are referred to as “operational conditions.” These conditions must be continually complied with for the life of the project or business.

FOLLOWING ARE CONDITIONS OF APPROVAL REQUIRED BY THE REVIEWING AGENCIES. EACH CONDITION MUST BE MET TO THE SATISFACTION OF THE ISSUING AGENCY.

Washoe County Planning and Building Division

1. The following conditions are requirements of the Planning and Building Division, which shall be responsible for determining compliance with these conditions.

Contact Name – Julee Olander, Planner, 775.328.3627, jolander@washoecounty.gov

The applicant shall attach a copy of the action order approving this project to all permits and applications (including building permits) applied for as part of this administrative permit.

- a. The applicant shall demonstrate substantial conformance to the plans approved as part of this administrative permit. Planning and Building shall determine compliance with this condition.
- b. The applicant shall submit construction plans, with all information necessary for comprehensive review by Washoe County, and initial building permits shall be issued within two years from the date of approval by Washoe County. The applicant shall complete construction within the time specified by the building permits. Compliance with this condition shall be determined by the Planning and Building Division.
- c. A note shall be placed on all construction drawings and grading plans stating:

NOTE

Should any cairn or grave of a Native American be discovered during site development, work shall temporarily be halted at the specific site and the Sheriff's Office as well as the State Historic Preservation Office of the Department of Conservation and Natural Resources shall be immediately notified per NRS 383.170.

- d. Construction activities shall be limited to the hours between 7am to 7pm, Monday through Saturday only. Construction machinery or construction personal gatherings are also limited to these hours. No construction activities shall take place on Sundays.
- e. The structure will be painted to meet Tahoe Regional Planning Agency (TRPA) requirements.
- f. The roof of the accessory structure shall be non-reflective.

*** End of Conditions ***

From: [COOPER, CLIFFORD E](#)
To: [Olander, Julee](#)
Subject: WADMIN22-0027 Roberts Garage
Date: Wednesday, November 16, 2022 9:55:00 AM

[**NOTICE:** This message originated outside of Washoe County -- **DO NOT CLICK** on **links** or open **attachments** unless you are sure the content is safe.]

Julee,

AT&T does not have any adverse comments to this project.

Thanks!

Cliff Cooper
MGR OSP PLNG & ENGRG DESIGN
AT&T NEVADA
ROW Office: 775-683-5282
E-mail: cc2132@att.com
TEXTING and DRIVING... It Can Wait.



INTEROFFICE MEMORANDUM

DATE: November 28, 2022
TO: Julee Olander, Planner, Planning and Building Division
FROM: Robert Wimer, P.E., Engineering and Capital Projects Division
SUBJECT: WADMIN22-0027
APN 123-152-05
Roberts Detached Garage

GENERAL PROJECT DISCUSSION

Washoe County Engineering staff has reviewed the above referenced application. The Engineering and Capital Projects Division recommends approval.



QUALITY
PUBLIC SERVICE



INTEGRITY



EFFECTIVE
COMMUNICATION

Date	11-21-22
Attention	Julee Olander
Re	WADMIN22-0027
APN	123-152-05
Service Address	354 Wassou Road
Owner	John Roberts

Project Name: Roberts Garage/Workshop			
Project Description: Construction of New Garage/Workshop Description: Permit # WBLD22-103569			
Project Address: 354 Wassou Road, Crystal Bay NV 89402			
Project Area (acres or square feet): 7,332 ft2 (verified)			
Project Location (with point of reference to major cross streets AND area locator): Between Beoway Road and Tuscarora Road			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
123-152-05	7,332 ft2 (verified)		
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: John Roberts		Name:	
Address: 354 Wassou Road		Address:	
Crystal Bay NV	Zip: 89402		Zip:
Phone: 415.889.31032	Fax:	Phone:	Fax:
Email: johnr@toolup.com		Email:	
Cell: 415.889.3102	Other:	Cell:	Other:
Contact Person: John Roberts		Contact Person:	
Applicant/Developer:		Other Persons to be Contacted:	
Name: John Roberts		Name:	
Address: 354 Wassou Road		Address:	
Crystal Bay NV	Zip: 89402		Zip:
Phone: 415.889.3102	Fax:	Phone:	Fax:
Email: johnr@toolup.com		Email:	
Cell: 415.889.3102	Other:	Cell:	Other:
Contact Person: John Roberts		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	

IVGID Comments: No Impact to the Incline Village General Improvement District.

**WASHOE COUNTY
HEALTH DISTRICT**
ENHANCING QUALITY OF LIFE

November 29, 2022

Washoe County Community Services
Planning and Development Division

RE: Roberts Garage; 123-152-05
Administrative Permit; WADMIN22-0027

Dear Washoe County Staff:

The following conditions are requirements of the Washoe County Health District, Environmental Health Division, which shall be responsible for determining compliance with these conditions.

Contact Name – James English - jenglish@washoecounty.us

- a) Condition #1: The WCHD has reviewed the application, the project is proposed on a property that is served by community water and sewerage systems.
- b) Condition #2: WCHD does not have a concern with a garage larger than the primary residence.

If you have any questions or would like clarification regarding the foregoing, please contact James English, EHS Supervisor at jenglish@washoecounty.us regarding all Health District comments.

Sincerely,



James English, REHS, CP-FS
EHS Supervisor
Environmental Health Services
Washoe County Health District



From: [John James](#)
To: [Olander, Julee](#)
Subject: RE: WADMIN22-0027 Roberts Garage
Date: Thursday, November 17, 2022 1:41:42 PM
Attachments: [image011.png](#)
[image012.png](#)
[image013.png](#)
[image014.png](#)
[image015.png](#)

[**NOTICE:** This message originated outside of Washoe County -- **DO NOT CLICK** on **links** or open **attachments** unless you are sure the content is safe.]

Building permit enough process should be enough.

I think traffic concerns during construction and snow removal might be something to talk about with WC road folks as far as conditions.



John James
Fire Marshal
Office: 775 831-0351 x 8131 | Cell: [775.413.9344](tel:775.413.9344)
Email: jjames@nltfpd.net
[866 Oriole Way | Incline Village | NV 89451](#)



From: Olander, Julee <JOlander@washoecounty.gov>
Sent: Thursday, November 17, 2022 1:38 PM
To: John James <jjames@nltfpd.net>; Buxton, Tim (External Contact) <tim_buxton@ivgid.org>; Jeffrey Smith <jsmith@nltfpd.net>
Subject: RE: WADMIN22-0027 Roberts Garage

Thank you. Should I add this as a condition or are the comments in the Building permit enough?



Julee Olander
Planner | Community Services Department- Planning & Building Division
jolander@washoecounty.us | Office: 775.328.3627 | Fax: 775.328.6133
1001 E. Ninth St., Bldg A., Reno, NV 89512



From: John James <jjames@nltfpd.net>
Sent: Thursday, November 17, 2022 1:33 PM
To: Olander, Julee <JOlander@washoecounty.gov>; Buxton, Tim (External Contact) <tim_buxton@ivgid.org>; Jeffrey Smith <jsmith@nltfpd.net>
Subject: RE: WADMIN22-0027 Roberts Garage

[NOTICE: This message originated outside of Washoe County -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.]

We have informed the applicant Fire sprinklers are required per Table 903.2.2, Resolution 18-1



John James
Fire Marshal

Office: 775 831-0351 x 8131 | Cell: [775.413.9344](tel:775.413.9344)

Email: jjames@nltfpd.net

[866 Oriole Way | Incline Village | NV 89451](#)



From: Olander, Julee <JOlander@washoecounty.gov>

Sent: Thursday, November 17, 2022 1:20 PM

To: Buxton, Tim (External Contact) <tim_buxton@ivgid.org>; Jeffrey Smith <jsmith@nltfpd.net>; John James <jjames@nltfpd.net>

Subject: WADMIN22-0027 Roberts Garage

Could you please review this application and let me know if you have any comments/conditions.

Need a reply by 11/28

Thank you,



Julee Olander

Planner | Community Services Department- Planning & Building Division

jolander@washoecounty.us | Office: 775.328.3627 | Fax: 775.328.6133

1001 E. Ninth St., Bldg A., Reno, NV 89512



From: [Steve Shell](#)
To: [Olander, Julee](#)
Subject: FW: November Agency Review Memo II
Date: Thursday, November 17, 2022 2:37:41 PM
Attachments: [Outlook-54vml1sk.png](#)
[Outlook-bam1r1ve.png](#)
[Outlook-eevodse.png](#)
[Outlook-mwt2d4y.png](#)
[Outlook-z3re5is5.png](#)
[Outlook-0xif3bqi.png](#)
[Outlook-oyqjru0u.png](#)
[Outlook-0eq0nwn.png](#)
[Outlook-f01gzwin.png](#)
[Outlook-vvybzrmy.png](#)
[November Agency Review Memo II.pdf](#)

[**NOTICE:** This message originated outside of Washoe County -- **DO NOT CLICK** on **links** or open **attachments** unless you are sure the content is safe.]

Regarding #3, WADMIN22-0027, The Division of Water Resources has no comment.

As of June 1, 2021, the Office of the State Engineer is open to the public. Please call 684-2800 upon arrival and a representative will come down to escort you to our office.

Steve Shell
Nevada Division of Water Resources
775-684-2836

#1 - #5 are due by November 28, 2022. Comments for Items #6 - #9 are due by December 2, 2022.

Please remember to send any agency review responses/comments directly to the Planner for the case, rather than replying to me.

~~~~~

Ormat Geothermal Exploration - **Item 1**

Regards,



**Adriana Albarran**

**Office Support Specialist, Planning & Building Division | Community Services Department**

[aalbarran@washoecounty.gov](mailto:aalbarran@washoecounty.gov) | Direct Line: 775.328.2721

**My working hours: Monday-Friday 7:30am to 4:00pm**

Visit us first online: [www.washoecounty.gov/csd](http://www.washoecounty.gov/csd)

Planning Division: 775.328.6100 | [Planning@washoecounty.gov](mailto:Planning@washoecounty.gov)

CSD Office Hours: Monday-Friday 8:00am to 4:00pm

1001 East Ninth Street, Reno, NV 89512



Have some kudos to share about a Community Services Department employee or experience?

[Submit a Nomination](#)

**From:** [Weiss, Timber A.](#)  
**To:** [Olander, Julee](#)  
**Cc:** [Behmaram, Vahid](#)  
**Subject:** Water Right Comments - Administrative Permit Case Number WADMIN22-0027 (Roberts Garage)  
**Date:** Wednesday, November 16, 2022 3:14:08 PM  
**Attachments:** [image001.png](#)  
[image002.png](#)  
[image003.png](#)  
[image004.png](#)  
[image005.png](#)

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Hello,

No water right comments for this permit, it is within IVGID service area.

Thank you,



**Timber Weiss, PE | Professional Engineer**

**Engineering & Capital Projects Division | Community Services Department**

1001 E. 9th Street, Bldg A Reno, NV 89512

[tweiss@washoecounty.gov](mailto:tweiss@washoecounty.gov) | Office Voice Mail: 775.954.4626 or 775.433.0769

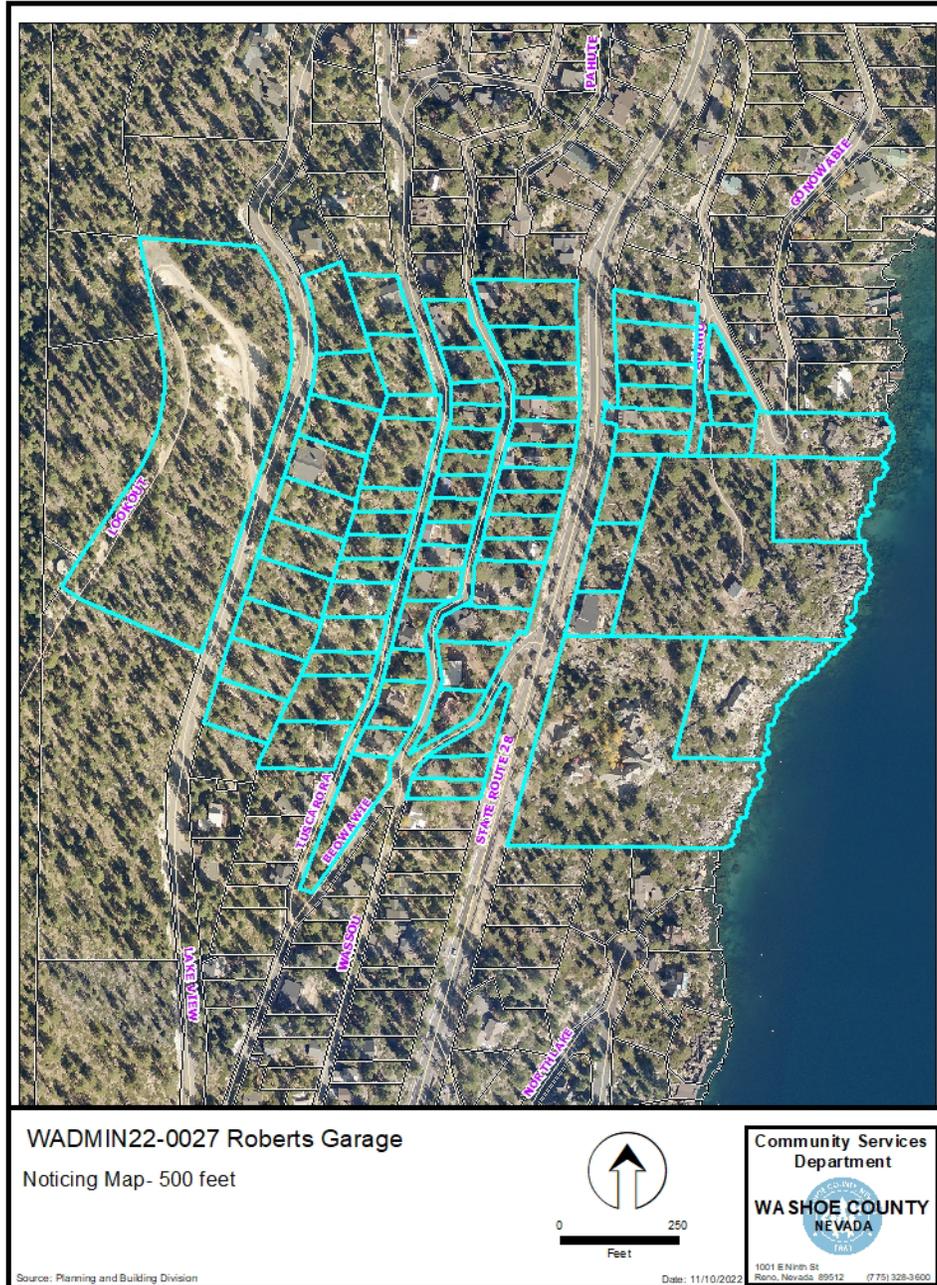
Visit us first online: [www.washoecounty.us/csd](http://www.washoecounty.us/csd)

For additional information, email [engineering@washoecounty.us](mailto:engineering@washoecounty.us) or call 775.328.2040



**Public Notice**

Washoe County Code requires that public notification of an Administrative Permit be mailed to a minimum of 30 separate property owners within a minimum 500 foot radius of the subject property a minimum of 10 days prior to the public hearing date. This proposal was noticed within a 500-foot radius of the subject property, noticing 32 separate property owners a minimum of 10 days prior to the public hearing date.



**Public Notice Map**

**Administrative Permit Case Number WADMIN22-0027**

## Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

|                                                                                                                                             |                      |                                       |                 |
|---------------------------------------------------------------------------------------------------------------------------------------------|----------------------|---------------------------------------|-----------------|
| <b>Project Information</b>                                                                                                                  |                      | Staff Assigned Case No.: _____        |                 |
| Project Name: <b>Roberts Garage/Workshop</b>                                                                                                |                      |                                       |                 |
| Project Description: Construction of New Garage/Workshop<br>Permit # WBLD22-103569                                                          |                      |                                       |                 |
| Project Address: 354 Wassou Road, Crystal Bay NV 89402                                                                                      |                      |                                       |                 |
| Project Area (acres or square feet): 7,332 ft2 (verified)                                                                                   |                      |                                       |                 |
| Project Location (with point of reference to major cross streets <b>AND</b> area locator):<br><b>Between Beoway Road and Tuscarora Road</b> |                      |                                       |                 |
| Assessor's Parcel No.(s):                                                                                                                   | Parcel Acreage:      | Assessor's Parcel No.(s):             | Parcel Acreage: |
| 123-152-05                                                                                                                                  | 7,332 ft2 (verified) |                                       |                 |
| Indicate any previous Washoe County approvals associated with this application:<br>Case No.(s).                                             |                      |                                       |                 |
| <b>Applicant Information</b> (attach additional sheets if necessary)                                                                        |                      |                                       |                 |
| <b>Property Owner:</b>                                                                                                                      |                      | <b>Professional Consultant:</b>       |                 |
| Name: John Roberts                                                                                                                          |                      | Name:                                 |                 |
| Address: 354 Wassou Road                                                                                                                    |                      | Address:                              |                 |
| Crystal Bay NV                                                                                                                              | Zip: 89402           |                                       | Zip:            |
| Phone: 415.889.31032                                                                                                                        | Fax:                 | Phone:                                | Fax:            |
| Email: johnr@toolup.com                                                                                                                     |                      | Email:                                |                 |
| Cell: 415.889.3102                                                                                                                          | Other:               | Cell:                                 | Other:          |
| Contact Person: John Roberts                                                                                                                |                      | Contact Person:                       |                 |
| <b>Applicant/Developer:</b>                                                                                                                 |                      | <b>Other Persons to be Contacted:</b> |                 |
| Name: John Roberts                                                                                                                          |                      | Name:                                 |                 |
| Address: 354 Wassou Road                                                                                                                    |                      | Address:                              |                 |
| Crystal Bay NV                                                                                                                              | Zip: 89402           |                                       | Zip:            |
| Phone: 415.889.3102                                                                                                                         | Fax:                 | Phone:                                | Fax:            |
| Email: johnr@toolup.com                                                                                                                     |                      | Email:                                |                 |
| Cell: 415.889.3102                                                                                                                          | Other:               | Cell:                                 | Other:          |
| Contact Person: John Roberts                                                                                                                |                      | Contact Person:                       |                 |
| <b>For Office Use Only</b>                                                                                                                  |                      |                                       |                 |
| Date Received:                                                                                                                              | Initial:             | Planning Area:                        |                 |
| County Commission District:                                                                                                                 |                      | Master Plan Designation(s):           |                 |
| CAB(s):                                                                                                                                     |                      | Regulatory Zoning(s):                 |                 |

**Administrative Permit Application  
Supplemental Information**

(All required information may be separately attached)

1. What is the type of project or use being requested?

New construction of garage/workshop

2. What section of the Washoe County code requires the Administrative permit required?

See supplemental Info sheet

3. What currently developed portions of the property or existing structures are going to be used with this permit?

See supplemental Info sheet

4. What improvements (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.) will have to be constructed or installed and what is the projected time frame for the completion of each?

See supplemental Info sheet

5. Is there a phasing schedule for the construction and completion of the project?

No

6. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

See supplemental Info sheet

7. What are the anticipated beneficial aspects or effect your project will have on adjacent properties and the community?

See supplemental Info sheet

8. What will you do to minimize the anticipated negative impacts or effect your project will have on adjacent properties?

See supplemental Info sheet

9. Please describe any operational parameters and/or voluntary conditions of approval to be imposed on the administrative permit to address community impacts.

None

10. How many improved parking spaces, both on-site and off-site, are available or will be provided? (Please indicate on site plan.)

2 garage parking spaces as shown on plans

11. What types of landscaping (e.g. shrubs, trees, fencing, painting scheme, etc.) are proposed? (Please indicate location on site plan.)

See supplemental Info sheet

12. What type of signs and lighting will be provided? On a separate sheet, show a depiction (height, width, construction materials, colors, illumination methods, lighting intensity, base landscaping, etc.) of each sign and the typical lighting standards. (Please indicate location of signs and lights on site plan.)

See supplemental Info sheet

13. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the administrative permit request? (If so, please attach a copy.)

|                              |                                        |
|------------------------------|----------------------------------------|
| <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
|------------------------------|----------------------------------------|

14. Utilities:

|                  |       |
|------------------|-------|
| a. Sewer Service | IVGID |
| b. Water Service | IVGID |

For most uses, the Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required:

|                    |  |                    |  |
|--------------------|--|--------------------|--|
| c. Permit #        |  | acre-feet per year |  |
| d. Certificate #   |  | acre-feet per year |  |
| e. Surface Claim # |  | acre-feet per year |  |
| f. Other, #        |  | acre-feet per year |  |

Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources):

NA

Washoe County Administrative Permit Application Supplemental Responses

John Roberts APN 123-152-05 Permit # WBLD22-103569

The following responses follow the format and numbering as listed on the Administrative Permit Supplemental Information sheet:

We are seeking an Administrative Permit to allow us to construct the Garage/Workshop prior to securing permits for the addition of 1378 sq feet to the existing home which is currently in Engineering Review with AO Structures. The proposed garage is a total of 1136 consisting of a street level garage of 568 square feet and a workshop below the garage of 568 square feet on a 54 degree slope. We originally applied for a permit that included the addition and new garage/workshop and was asked to reapply for separate permits (one for remodel and the other for new construction). By splitting this into two permits we now fall under the criteria where we need an approved Administrative Permit to enable us to build the garage prior to doing the addition to the home next spring. TRPA has already approved the addition and the garage/workshop and the addition to the home. The TRPA stamped approval is loaded in Accela as well as a set of the home addition plans.

1. Construction of a new garage and workshop below garage.
2. The proposed garage/workshop would be larger than the main residence. Per WCC Section 110.306.10 (d), "A proposal to establish a detached accessory structure that is larger (i.e. has more square footage or a larger building footprint) than the existing main structure shall require the approval of an Administrative Permit." An approved administrative permit would be required for this garage/workshop.
3. An approved administrative permit would be required for this garage/workshop. The original permit application included the addition to the home of 1378 sq ft bringing the total square footage of the home to 2437 sq ft. so the proposed garage was in compliance and did not require an Administrative Permit. The reviewer asked that reapply for two separate permits (New Construction & Remodel). TRPA approved the remodel and garage as one package.
4. Construct new garage/workshop. Time line is 60 days for completion.
5. No
6. 54 Degree slope at the top of the property allowing for a garage to be placed inside the setback near street. Garage on the top (street level) and workshop below it.

7. Safer parking will be achieved by having cars parked in the garage versus street parking on the narrow street.
8. Utilize log siding and stone for siding that meets new fire code requirements to match the historical nature of the existing log cabin.
9. None
10. Two parking spaces as shown on plans
11. The property has existing natural landscaping that meets the defensible space requirements. Other native shrubs may be added. Colors conform to TRPA standards.
12. The address will be on a lit sign attached to the garage. All other lighting conforms to TRPA standards.
13. No
14. A & B IVGID

Please feel free to contact me at (415) 889-3102 for any additional details needed or concerns

Respectfully,

John F. Roberts – Owner/Builder

CONNECTION NAILING DERIVED FROM TABLE 2304.10.1

|                                                          |                                  |
|----------------------------------------------------------|----------------------------------|
| JOIST TO SILL OR GIRDER, TOE NAIL                        | 3-5D                             |
| 1" X 6" SUBFLOOR OR LESS TO EACH JOIST, FACE NAIL        | 2-3D OR 2-1 3/4" STAPLES         |
| SOLE PLATE TO JOIST OR BLOCKING, FACE NAIL               | 16D @ 16" O.C.                   |
| TOP OR SOLE PLATE TO STUD, END NAIL                      | 2-16D                            |
| STUD TO SOLE PLATES, TOE NAIL                            | 4-3D OR 3-10D                    |
| DOUBLE STUDS, FACE NAIL                                  | 10D @ 24" O.C.                   |
| DOUBLE TOP PLATES, FACE NAIL                             | 16D @ 16" O.C.                   |
| DOUBLE TOP PLATES, AT END JOINTS, FACE NAIL              | 8-16D                            |
| SOLE PLATE TO JOIST OR BLOCKING AT BRACED WALL PANELS    | 3-16D @ 16" O.C.                 |
| DOUBLED TOP PLATES, FACE NAIL OR LAP SPICE               | 5-16D                            |
| BLOCKING BETWEEN JOIST OR RAFTERS TO TOP PLATE, TOE NAIL | 3-3D                             |
| RIM JOIST TO TOE PLATE, TOE NAIL                         | 3D @ 6" O.C.                     |
| TOP PLATES, LAP AND INTERSECTIONS, FACE NAIL             | 2-10D                            |
| BUILT-UP OR CONTINUOUS HEADER                            | 16D @ 16" O.C., EDGE NAIL        |
| CEILING JOIST TO PLATE, TOE NAIL                         | 3-3D OR 3-10D                    |
| CONTINUOUS HEADER TO STUD, TOE NAIL                      | 4-3D                             |
| CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL          | 3-10D                            |
| CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL            | 3-10D                            |
| RAFTER TO PLATE, TOE NAIL                                | 2-16D                            |
| 1" BRACE TO EACH STUD AND PLATE, FACE NAIL               | 2-3D OR 2-1 3/4" STAPLES         |
| 1" X 6" SHEATHING TO EACH BEARING, FACE NAIL             | 2-3D OR 2-1 10D                  |
| 1" X 3" SHEATHING TO EACH BEARING, FACE NAIL             | 3-3D OR 3-1 10D                  |
| WIDER THAN 1" X 3" SHEATHING TO EACH BEARING, FACE NAIL  | 3-3D OR 4-1 3/4" STAPLES         |
| BUILT-UP CORNERS STUDS                                   | 10D @ 12" O.C. OR 16D @ 16" O.C. |
| 2" PLANKS                                                | 2-16D @ EACH BEARING             |
| ROOF RAFTERS TO RIDGE, VALLEY, OR HIP RAFTERS, TOE NAIL  | 4-16D                            |
| ROOF RAFTERS TO RIDGE, VALLEY OR HIP RAFTERS, FACE NAIL  | 3-16D                            |
| COLLAR TIES TO RAFTERS, FACE NAIL                        | 3-10D OR PER PLANS               |

APPLICABLE CODES:  
2018 IBC

- FOUNDATION**
- MUDSILL SHALL BE PRESSURE TREATED DOUG FIR (P.T.D.F.)
  - PROVIDE SOLID BEARING BETWEEN ALL POST TO FOUNDATION.
  - INSTALL HOLD-DOWNS PER MANUFACTURER'S SPECIFICATIONS. REFER TO FLOOR PLAN FOR EXACT LOCATIONS.
  - USE 2500 PSI CONCRETE UNLESS OTHERWISE SPECIFIED.
  - USE GRADE 40 OR BETTER FOR #4 BARS, GRADE 60 FOR #5 OR LARGER. SPLICE LENGTHS: #4 BARS = 41", #5 BARS = 51".
  - ANCHOR BOLTS SHALL BE A307 - 5/8" DIAMETER W/ MIN. 7" EMBEDMENT, 12" LONG. USE 3" X 3" X 1/4" SQUARE WASHERS. MIN 2 ANCHORS PER PLATE. EDGE OF SILL PLATE TO BE 1/2" MAX FROM THE FACE OF WALL SHEATHING.
  - UNDER FLOOR VENTILATION: 1 SQFT FOR 150 SQFT OF CRAWL SPACE.
  - FOOTINGS AND FOUNDATION PADS SHALL BEAR ON FIRM, UNDISTURBED NATURAL SOIL UNLESS OTHERWISE INDICATED.
  - ALL CONCRETE SHALL BE REINFORCED UNLESS NOTED "NON REINFORCED".
  - ALL DRAINAGE TO BE DIRECTED AWAY FROM THE FOUNDATION
  - MINIMUM CONCRETE COVER: 3" EXPOSED OR AGAINST EARTH, 2" OPEN TO WEATHER.
  - IF NO SOILS REPORT IS PROVIDED, FOUNDATION WILL BE DESIGNED TO MINIMUM STANDARDS AND / OR MATCH EXISTING FOUNDATION TYPE. CLIENT ASSUMES RESPONSIBILITY FOR FOUNDATION PERFORMANCE.
  - EPOXY FOR IMBEDS SUCH AS ALL-THREAD RODS FOR HOLD-DOWNS, REBAR DOMES TO BE "SIMPSON SET-XP". ICC-ES-ESR-2508
  - DRILLED PIERS TO BE OBSERVED AND PIER DEPTHS CERTIFIED BY GEOTECHNICAL ENGINEER OR SPECIAL INSPECTOR

- CARPENTRY**
- SUBFLOOR SHALL BE 3/4" T & G STURDFLOOR PLYWOOD GLUED AND SCREWN W/ 2" #10 SCREW AT 6" O.C. EDGES, 10" O.C. FIELD.
  - ROOF SHALL BE 1/2" CDX OR OSB WITH 8 PENNY NAILS AT 6" O.C. EDGES, 12" O.C. FIELD.
  - ALL SHEARWALL PLYWOOD JOINTS SHALL BE BLOCKED PER SHEARWALL SCHEDULE
  - ALL GLUE-LAMINATED MEMBERS SHALL BE A COMBINATION 24F-V4 FABRICATED AND ERECTED IN COMPLIANCE WITH THE CBC 2016
  - ADHESIVE SHALL BE EXTERIOR TYPE ADHESIVE MEETING THE REQUIREMENTS OF U.S. COMMERCIAL STANDARD PS-56-T8 AND ASTM 2559-10. ALL PARALLAMS TO BE MIN 2400 PSI BENDING, 240 PSI SHEAR, MODULUS OF ELASTICITY TO BE MIN 2.0 X 10-6 PSI
  - MINIMUM NAILING REQUIREMENTS TO MEET 2018 CBC 2304.10.1 FASTENER SCHEDULE
  - FRAMING LUMBER SHALL BE DOUG FIR - LARCH, MAX 14% MOISTURE CONTENT AT TIME OF INSTALLATION AND FABRICATION
  - STUDS: CONSTRUCTION OR BETTER  
JOISTS: #2 OR BETTER  
4" X BEAMS: #2 OR BETTER  
6" X BEAMS: #1 OR BETTER
  - ALIGN CENTERLINE OF STUDS WITH CENTERLINE OF FLOOR JOIST.
  - ALL WOOD IN CONTACT WITH CONCRETE OR EXPOSED TO WEATHER TO BE PRESSURE TREATED
  - CUTTING AND NOTCHING: DO NOT CUT OR NOTCH WOOD MEMBERS UNLESS SHOWN IN DETAILS.  
WALL STUDS MAY BE BORED IN THE CENTER OF THE STUD, MAXIMUM SIZE HOLE MAY NOT EXCEED 40% OF THE STUD MEMBER.
  - ALL STEEL, FASTENERS, AND CONNECTIONS TO BE GALVANIZED.
  - DOUBLE TRIMMER RAFTERS AND HEADERS AROUND OPENINGS IN ROOF AND CEILING FRAMING. ANCHORS OR HANGERS WHERE HEADER RAFTERS EXCEED 6'

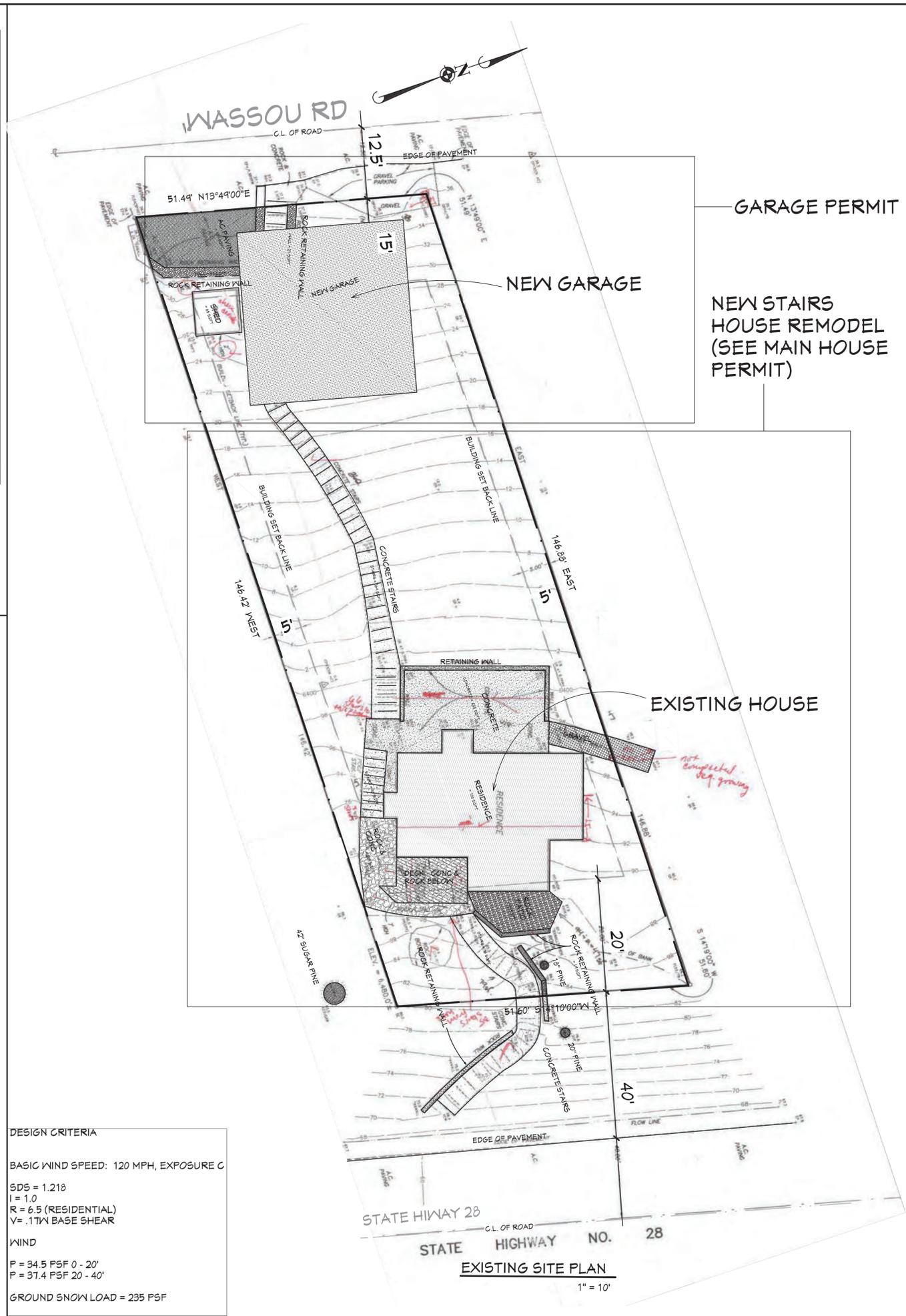
**DESIGN CRITERIA**

BASIC WIND SPEED: 120 MPH, EXPOSURE C

SDS = 1.218  
I = 1.0  
R = 6.5 (RESIDENTIAL)  
V = 1.7W BASE SHEAR

WIND  
P = 34.5 PSF 0 - 20'  
P = 37.4 PSF 20 - 40'

GROUND SNOW LOAD = 235 PSF

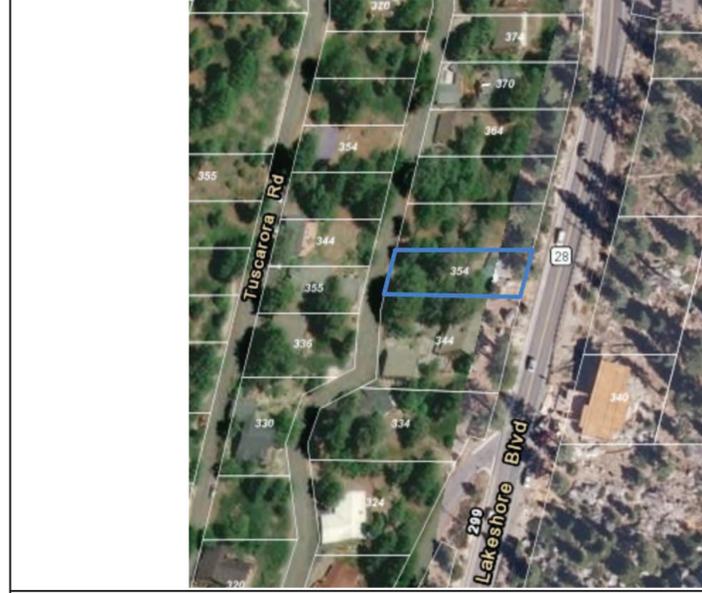
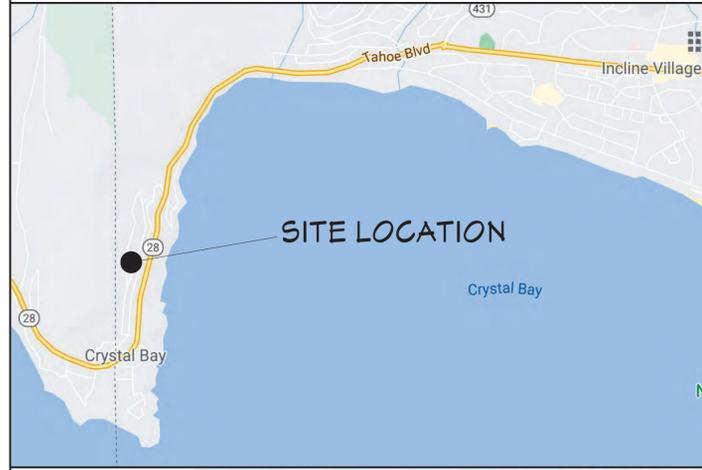


**SCOPE OF WORK**

**NEW GARAGE**

OCCUPANCY: TYPE (R-3)  
CONSTRUCTION: TYPE Y-B  
SPRINKLERS: NO

- All permits exceeding \$1,000.00 in valuation shall require installation of approved smoke and carbon monoxide detectors within the dwelling.
  - All permits exceeding \$10,000.00 in valuation shall require the installation of an approved automatic gas shut-off device on the customer owned piping at the utility meter.
  - Deferred submittals for: Gas line sizing calculations to be a deferred submittal
    - Skylite Mnfr details
    - Hot water tank
    - HVAC systems
    - Electrical Panel Capacity
- Per the Green Building Standards Code, the Construction and Demolition Ordinance (C&D) Applies.
  - "HERS Verification Required" by Title 24 Energy Report. Provide evidence of Third Party Verification (HERS) to project building inspector, prior to final inspection



**TABLE OF CONTENTS**

SHT 1.) PLOT PLAN  
SHT 2.) FLOOR PLAN GARAGE  
SHT 2.) FLOOR PLAN BASEMENT  
SHT 2.) SECTIONS  
SHT 3.) ELEVATIONS  
SHT 4.) FOUNDATION PLAN  
SHT 4.) GARAGE FLOOR FRAMING PLAN  
SHT 5.) ROOF FRAMING PLAN  
SHT 6.) DETAILS  
SHT 7.) TRPA  
SHT 8.)  
SHT 9.) COVERAGE  
SHT S1 -S4.) DETAILS

STAMPED AND SIGNED FOR STRUCTURAL ONLY

PROFESSIONAL ENGINEER - STATE OF NEVADA  
ANDREW E. OESTERREICHER  
Exp: 12/31/23  
No. 23543

Design by: RCW  
Scale: VARIES  
Date: 8/3/22

SHT: **1**  
OF 9

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**R & S HOMES, INC.**  
10 CAMINO MONTE SOL  
ALAMO, CALIFORNIA  
94507 925 943-7735

**ROBERTS RESIDENCE - NEW GARAGE**  
354 WASSOU - LOT 7, BLOCK 9  
CRYSTAL BAY, NEVADA

Design by: RCW  
Scale: VARIES  
Date: 8/3/22

SHT: **1**  
OF 9

- R LV MINI RECESSED LIGHT
- R RECESSED LIGHT
- SD SMOKE / CARBON MONOXIDE DETECTOR
- PENDANT OR CEILING FIXTURE
- UNDERCOUNTER LIGHT
- 110V OUTLET
- 220V OUTLET
- S = SWITCH



### ELECTRICAL NOTES

FOR ALTERATIONS, EXISTING LUMINAIRES MAY STAY IN PLACE BUT ALL NEW PERMANENTLY INSTALLED LUMINAIRES SHALL MEET THE REQUIREMENTS OF CENc.

ALL LIGHTING IN NEW CONSTRUCTION TO BE HIGH EFFICACY

ALL COUNTER SPACE OUTLETS TO BE GFCI

PLUGS AT:  
 6' WITHIN CORNERS  
 ANY WALL 2' OR MORE  
 12' O.C. MAX  
 ANY HALLWAY 10' OR MORE  
 WITHIN 36" OF BASIN IN BATHROOMS AND WALL ADJACENT TO BASIN  
 LOCATED ON WALL ADJACENT, ON , OR 12" MAX BELOW COUNTER TOP

GFCI PER CEC210.8  
 AFCI PER CEC210.12

ALL EXTERIOR RECEPTACLE OUTLETS TO BE BOTH GFCI/MP.  
 STORAGE AREAS TO BE GFCI.  
 ALL NEW RECEPTACLES TO BE TAMPER RESISTANT  
 OUTDOOR LIGHTING MUST BE HIGH EFFICACY AND CONTROLLED BY MANUAL ON AND OFF SWITCH AND USE OF AUTOMATIC CONTROL TYPES.  
 CLOSETS LARGER THAN 70 SQFT MUST BE ON A VACANCY SENSOR  
 LIGHT FIXTURES IN TUB OR SHOWER ENCLOSURES WITH LABEL "SUITABLE FOR DAMP LOCATIONS". NEC 410-4 (A).

PERMANENTLY INSTALLED LUMINAIRES LOCATED IN BATHROOM, GARAGE, LAUNDRY AND UTILITY ROOMS SHALL BE HIGH EFFICACY AND CONTROLLED BY AN OCCUPANCY SENSOR AND PROVIDE AUTOMATIC-OFF FUNCTIONALITY.  
 OUTDOOR LIGHTING SHALL BE HIGH EFFICACY LUMINAIRES UNLESS THEY ARE CONTROLLED BY A MANUAL OFF AND ON SWITCH, A MOTION SENSOR AND INTEGRAL PHOTO CONTROL.  
 LUMINAIRES THAT ARE OR CONTAIN LIGHT SOURCES THAT MEET REF JOINT APPENDIX JA8 REQUIREMENTS FOR DIMMING, AND THAT ARE NOT CONTROLLED BY OCG OR VAC SENSOR SHALL HAVE DIMMING CONTROLS (NOT REQD FOR CLOSETS LESS THAN 70 SQFT OR HALLWAYS).  
 OUTDOOR LIGHTING TO BE HIGH EFFICACY, UNLESS THE REQUIREMENTS PERMITTING LOW EFFICACY LIGHTING ARE MET PER CENc.

ALL PROPOSED LIGHTING TO BE HIGH EFFICACY IN ACCORDANCE WITH TABLE 150.0-A PER CENc 150.0(K)(1)(A)

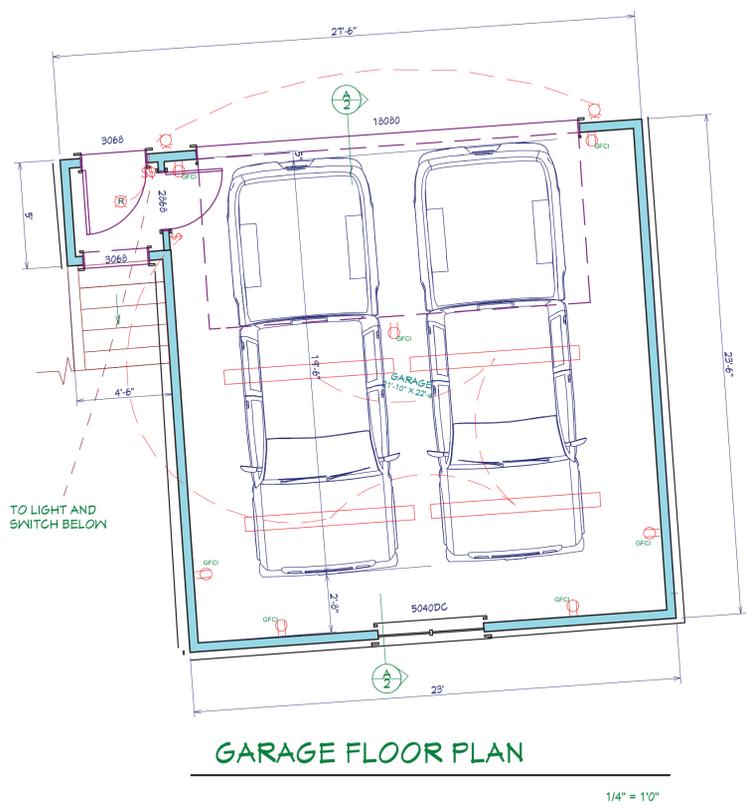
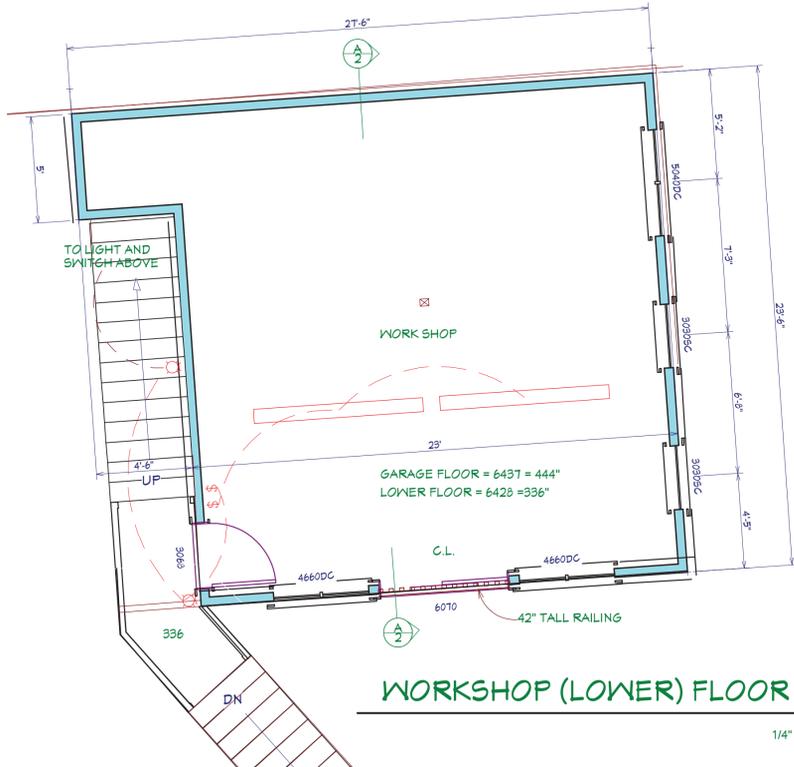
ALL RECESSED CAN LIGHTS TO BE:  
 IC RATED AND CERTIFIED AIR TIGHT  
 LUMINAIRES SHALL BE HIGH EFFICACY AND MEET THE REQUIREMENTS OF CEC 150.0(K)2  
 ZERO CLEARANCE INSULATION CONTACT  
 AIRTIGHT WITH AIR LEAKAGE LESS THAN 2.0 CFM AT 75 PASCALS  
 BE SEALED WITH A GASKET OR CAULK BETWEEN THE LUM. HOUSING AND CEILING  
 SHALL NOT CONTAIN SCREW SOCKETS

ALL SCREW SOCKETS SHALL CONTAIN LAMPS THAT COMPLY WITH REFERENCE JOINT APPENDIX JA8

GARAGE DOORS SHOULD HAVE BATTERY BACKUP PER HEALTH AND SAFETY CODE SECTION 19892

NEW SMOKE AND CARBON MONOXIDE DETECTOR'S WITH BATTERY BACK-UP AT FOLLOWING LOCATIONS:  
 ALL BEDROOMS, OUTSIDE OF ALL BEDROOMS  
 ANY CEILING WITH 2' CHANGE  
 ALL SMOKE DETECTORS TO BE HARD WIRED.  
 ALL SMOKE DETECTORS AND CARBON MONOXIDE DETECTORS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS. PRIMARY POWER FROM THE BUILDING WIRING.

CARBON MONOXIDE DETECTOR OFF HALLWAY OF SLEEPING AREA - EACH LEVEL



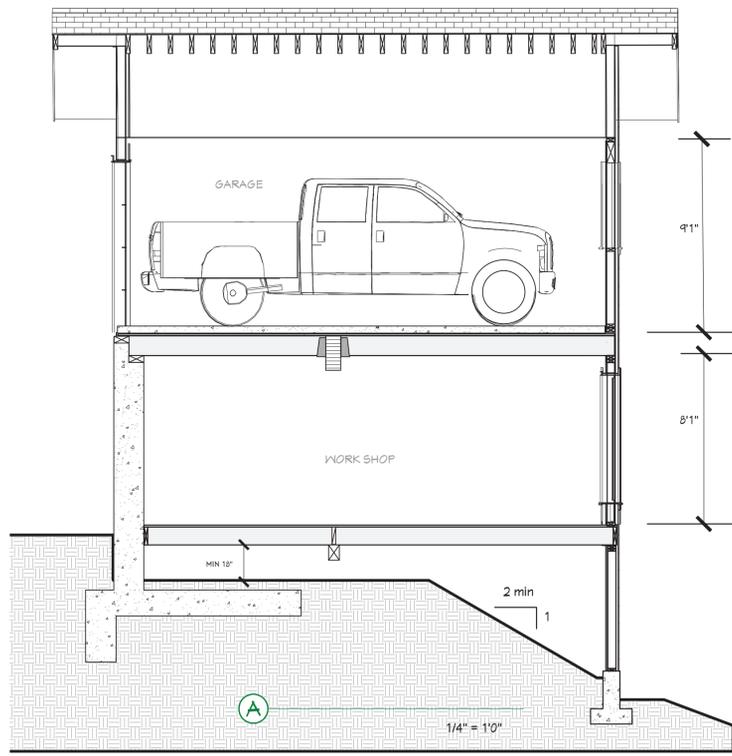
### ELECTRICAL VEHICLE CHARGING

- A. INSTALL A LISTED RACEWAY TO ACCOMMODATE A DEDICATED 208/240 VOLT BRANCH CIRCUIT.
- B. THE RACEWAY SHALL NOT BE LESS THAN 1" IN DIAMETER
- C. THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR SUBPANEL AND SHALL TERMINATE INTO A LISTED CABINET, BOX, OR OTHER ENCLOSURE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF THE EV CHARGER.
- D. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENTLY AND VISIBLY MARKED AS "EV CAPABLE"
- E. THE SERVICE PANEL AND/OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMP MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.
- F. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE RESERVED OVERCURRENT PROTECTIVE DEVICE SPACE(S) AS "EV CAPABLE".

### MECHANICAL NOTES

INSTALLATION INSTRUCTIONS FOR ALL LISTED EQUIPMENT SHALL BE PROVIDED TO THE INSPECTOR AT TIME OF INSPECTION.  
 30" X 36" SERVICE WORK AREAS IN FRONT OF ALL DISCONNECTS, AC COMPRESSORS, SERVICE EQUIP. PANELS, SUBPANELS ETC. WITH A MIN. OF 6'5" HEADROOM. NEC 110-26.  
 FURNACE MUST BE HARD-WIRED WITH A FUSIBLE LINK.

NON REMOVABLE BACK FLOW PREVENTION DEVICE ON ALL EXTERIOR HOSE BIBS.  
 BOND ALL METAL AND GAS WATER PIPES TO GROUND. ALL GROUND CLAMPS SHALL BE ACCESSIBLE AND OF AN APPROVED TYPE. TWO GROUNDING ELECTRODES ARE REQUIRED, NOT LESS THAN 6' APART.  
 UNDERGROUND SERVICE CONDUCTORS NOT IN CONCRETE AND ARE 18" OR MORE DEEP MUST HAVE THEIR LOCATION IDENTIFIED BY A WARNING RIBBON 12" ABOVE INSTALLATION.

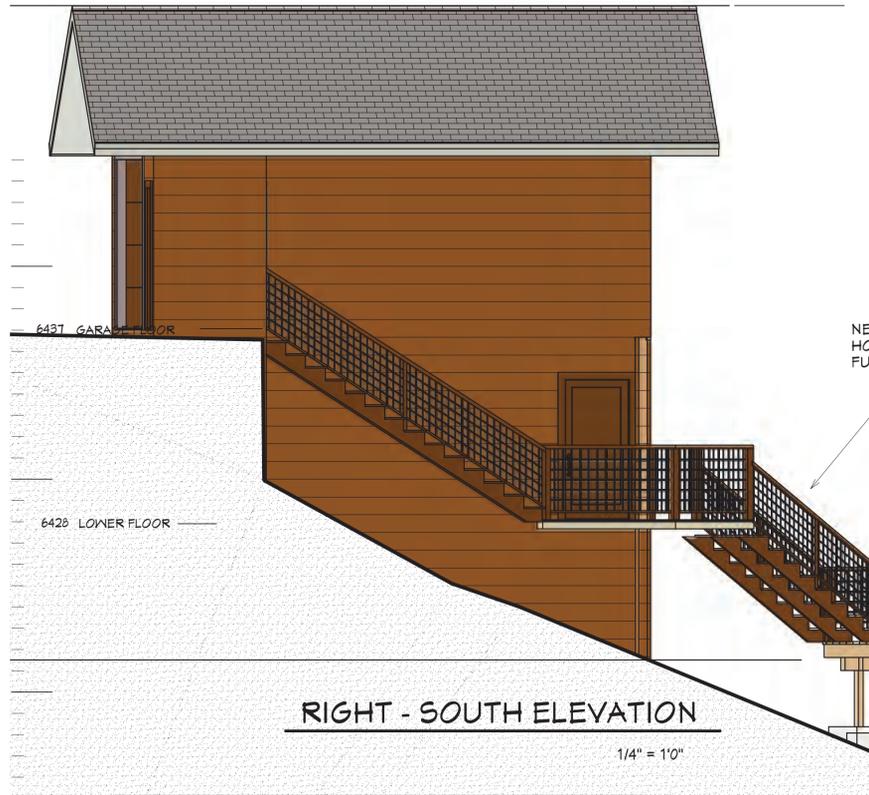


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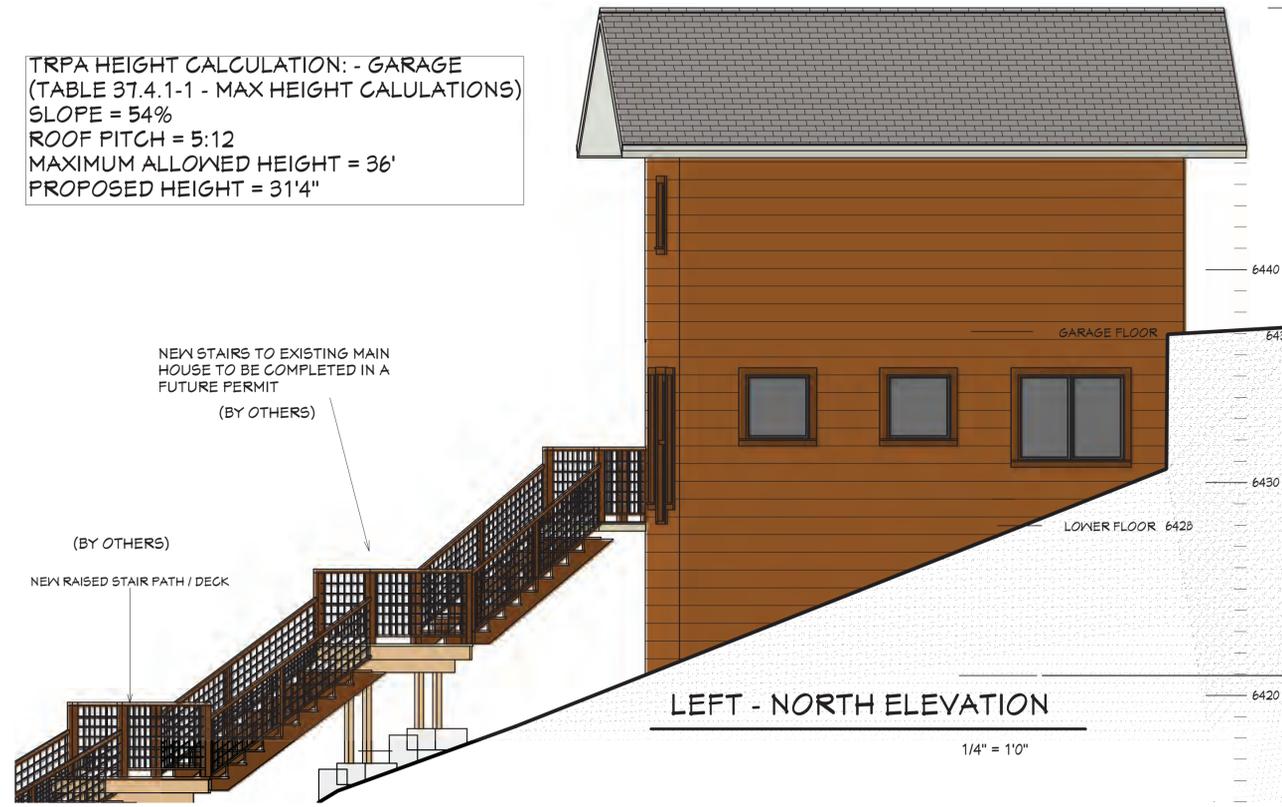
**ROBERTS RESIDENCE - NEW GARAGE**  
 354 WASSOU - LOT 7, BLOCK 9  
 CRYSTAL BAY, NEVADA

Design by: RCW  
 Scale: VARIES  
 Date: 8/3/22

SHT:  
2  
 OF 9



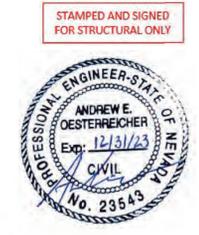
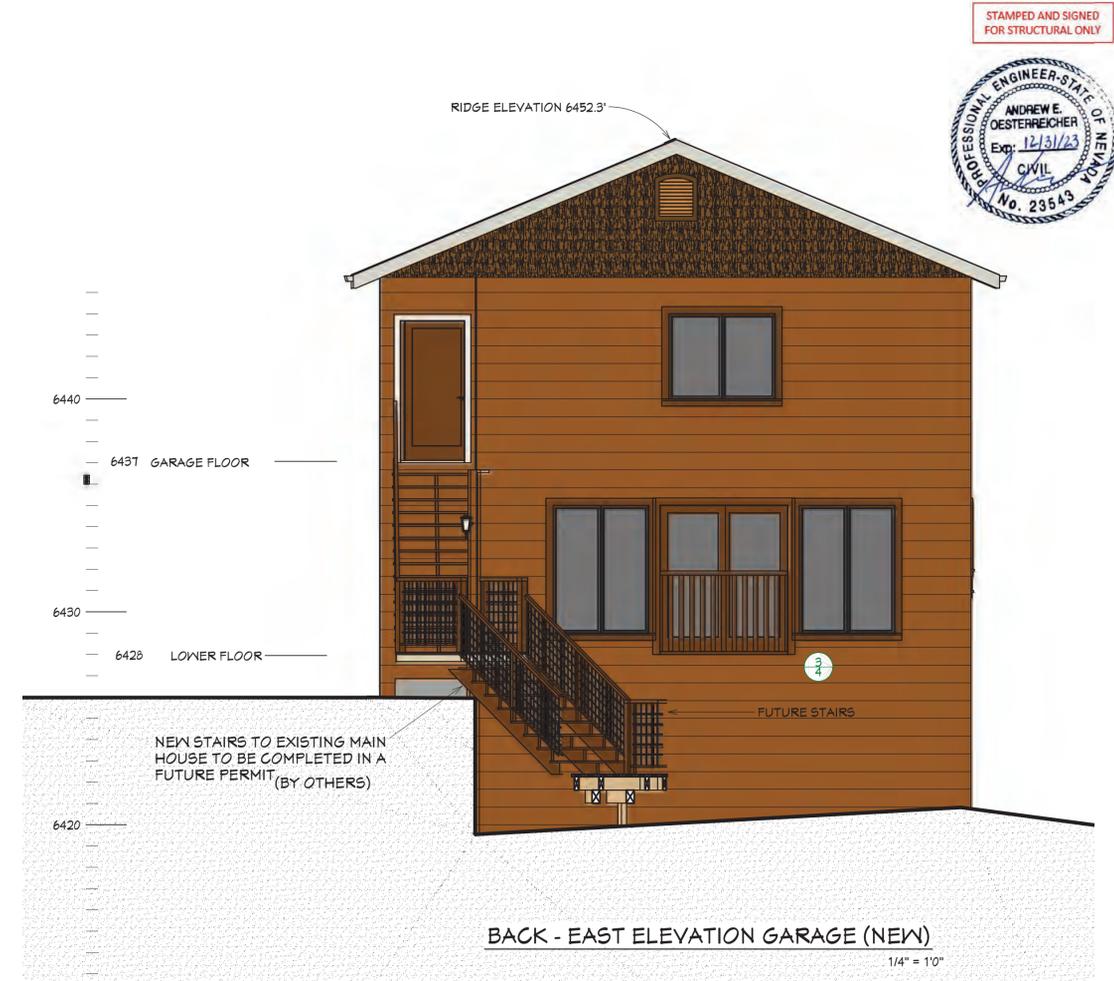
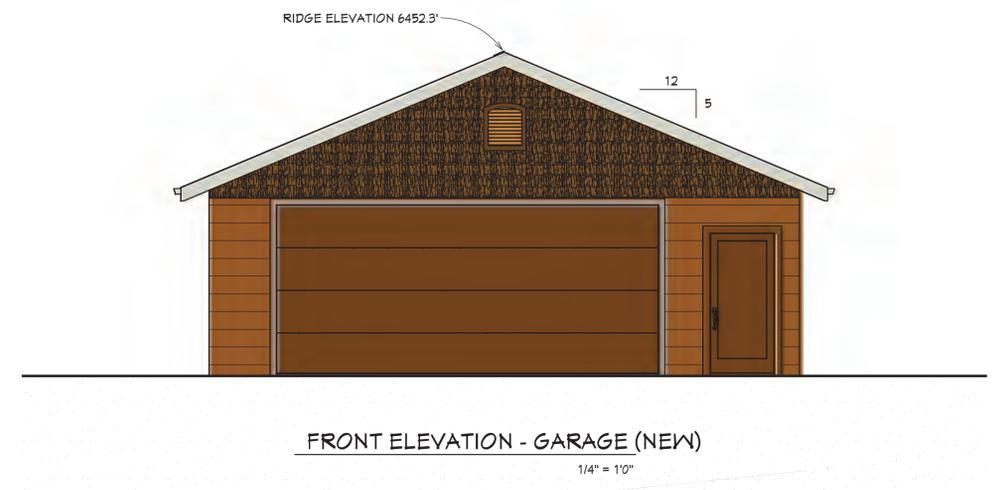
NEW STAIRS TO EXISTING MAIN HOUSE TO BE COMPLETED IN A FUTURE PERMIT (BY OTHERS)



NEW STAIRS TO EXISTING MAIN HOUSE TO BE COMPLETED IN A FUTURE PERMIT (BY OTHERS)

NEW RAISED STAIR PATH / DECK (BY OTHERS)

TRPA HEIGHT CALCULATION: - GARAGE  
 (TABLE 37.4.1-1 - MAX HEIGHT CALCULATIONS)  
 SLOPE = 54%  
 ROOF PITCH = 5:12  
 MAXIMUM ALLOWED HEIGHT = 36'  
 PROPOSED HEIGHT = 31'4"



NEW STAIRS TO EXISTING MAIN HOUSE TO BE COMPLETED IN A FUTURE PERMIT (BY OTHERS)

**TRPA COLOR NOTES:**

- NOTE 1.  
 Color: The color of this structure, including any fences on the property, shall be compatible with the surroundings. Subdued colors in the earthtone and woodtone ranges shall be used for the primary color of the structure. Hues shall be within the range of natural colors that blend, rather than contrast, with the existing vegetation and earth hues. Earthtone colors are considered to be shades of reddish brown, brown, tan, ochre, and umber.
- NOTE 2.  
 Roofs: Roofs shall be composed of non-glare earthtone or woodtone materials that minimize reflectivity.
- NOTE 3.  
 Fences: Wooden fences shall be used whenever possible. If cyclone fence must be used, it shall be coated with brown or black vinyl, including fence poles.

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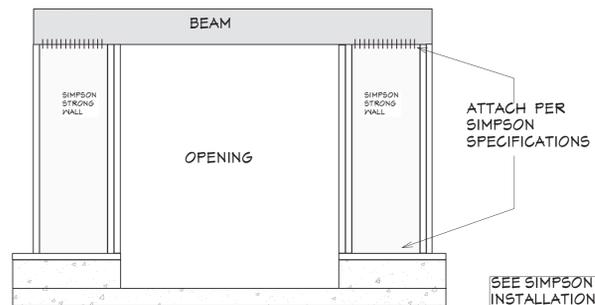
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 354 WASSOU - LOT 7, BLOCK 9  
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SHT:  
**3**  
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SEE ICC-ES EVALUATION REPORT ESR-2652 FOR SIMPSON WALL PANEL



SEE SIMPSON INSTALLATION MANUAL FOR MORE INFORMATION

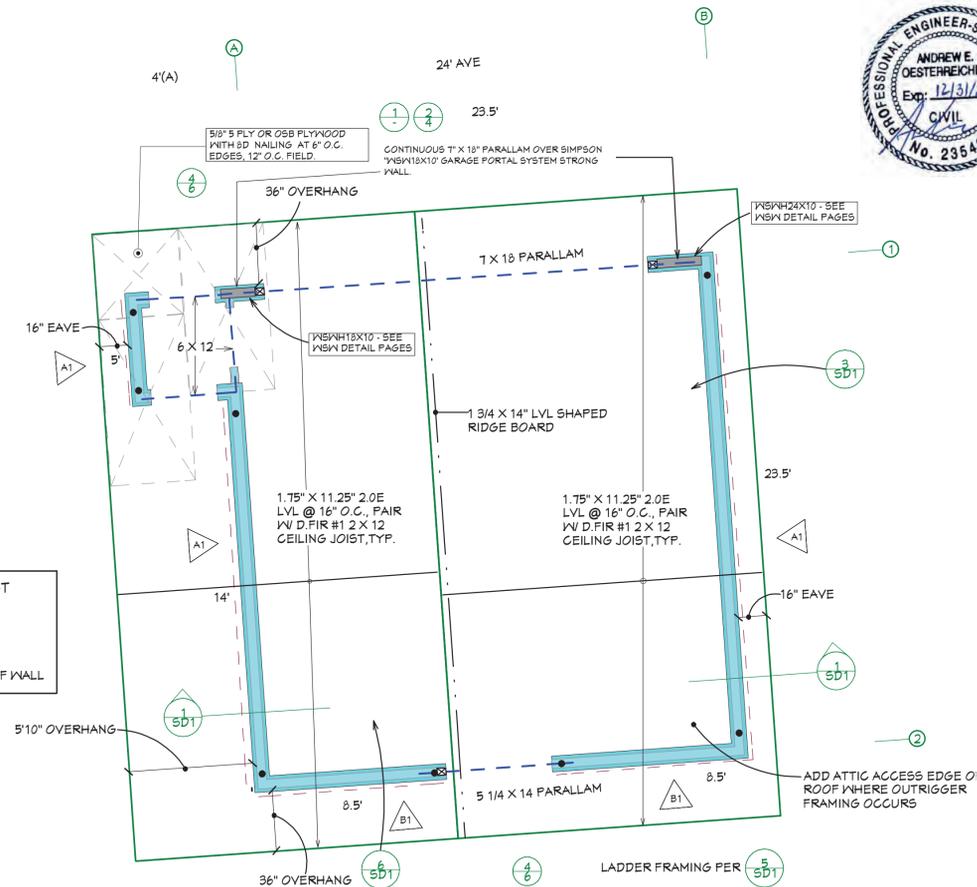
1 GARAGE PORTAL SYSTEM

SHEARWALL SCHEDULE

| SHEAR WALL SCHEDULE |                                      | L-70 SPACING | 20d SILL 5/8" NAILING | ANCHOR BOLT | SHEAR CAPACITY |
|---------------------|--------------------------------------|--------------|-----------------------|-------------|----------------|
| A1                  | 1/2" OSB OR PLYWOOD W/ 8d @ 6" O.C.  | 24" O.C.     | 6" O.C.               | 48" O.C.    | 280            |
| B1                  | "                                    | @ 4" O.C.    | 18" O.C.              | 4" O.C.     | 350            |
| C1                  | "                                    | @ 3" O.C.    | 12" O.C.              | 3" O.C.     | 480            |
| D1                  | "                                    | @ 2" O.C.    | 9" O.C.               | 2.5" O.C.   | 640            |
| A2                  | 1/2" OSB OR PLYWOOD W/ 10d @ 6" O.C. | 21" O.C.     | 4" O.C.               | 48" O.C.    | 310            |
| B2                  | "                                    | @ 4" O.C.    | 15" O.C.              | 3" O.C.     | 460            |
| C2                  | "                                    | @ 3" O.C.    | 10" O.C.              | 2.5" O.C.   | 600            |
| D2                  | "                                    | @ 2" O.C.    | 9" O.C.               | 2" O.C.     | 770            |
| A3                  | 5/8" STR. PLYWOOD W/ 10d @ 6" O.C.   | 18" O.C.     | 4" O.C.               | 45" O.C.    | 340            |
| B3                  | "                                    | @ 4" O.C.    | 12" O.C.              | 3" O.C.     | 510            |
| C3                  | "                                    | @ 3" O.C.    | 10" O.C.              | 2.5" O.C.   | 665            |
| D3                  | "                                    | @ 2" O.C.    | 8" O.C.               | 1.5" O.C.   | 870            |

NOTES: 3" BY MINIMUM MEMBERS USED AT ALL BOTTOM PLATES AND JOINTS FOR ALL WALLS EXCEPT "A" and "B" TYPE WALLS. STAGGER NAILING  
 A1 nailing into 2" x members may use 16d instead of 20d  
 All field nailing to be at 12" o.c.  
 Anchor Bolts to have 3" x 3" x 1/4" square washers  
 1/2" Plywood to be 5 ply cdx  
 Where panels are applied to both sides, nailing to framing shall be staggered  
 Min 1" anchor bolt embedment  
 At double shear walls, reduce connection spacing by half  
 At existing foundations, epoxy 5/8" allthreads T" into foundation in lieu of anchor bolts

STAMPED AND SIGNED FOR STRUCTURAL ONLY



• = HDU5 OR MSTC66 STRAPS W/ 4" X POST OR DOUBLE STUD U.O.N.  
 △ B1 = SHEARWALL  
 B' = LENGTH OF SHEARWALL  
 SHEAR WALL PLYWOOD MAY BE ON EITHER SIDE OF WALL

ROOF FRAMING PLAN

1/4" = 1'0"

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ROBERTS RESIDENCE - NEW GARAGE  
 354 WASSOU - LOT 7, BLOCK 9  
 CRYSTAL BAY, NEVADA

Design by: RCW

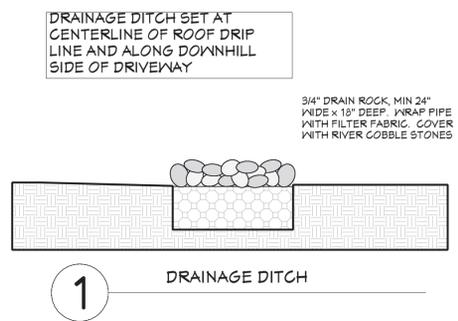
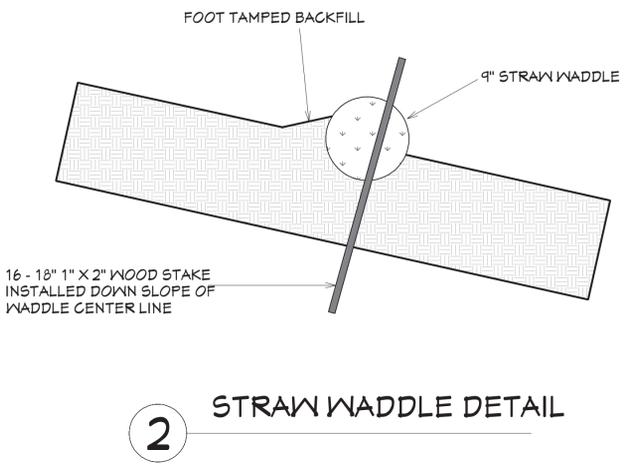
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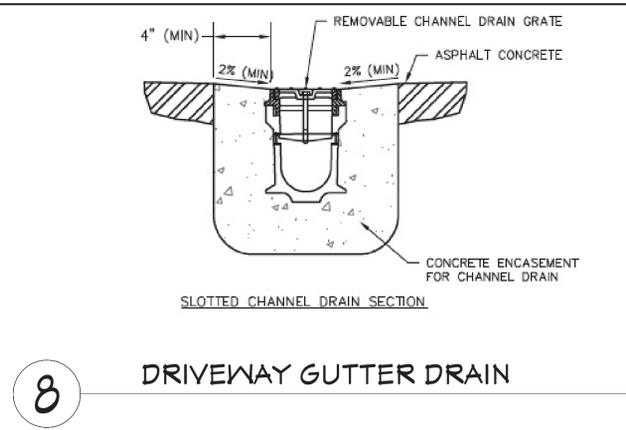
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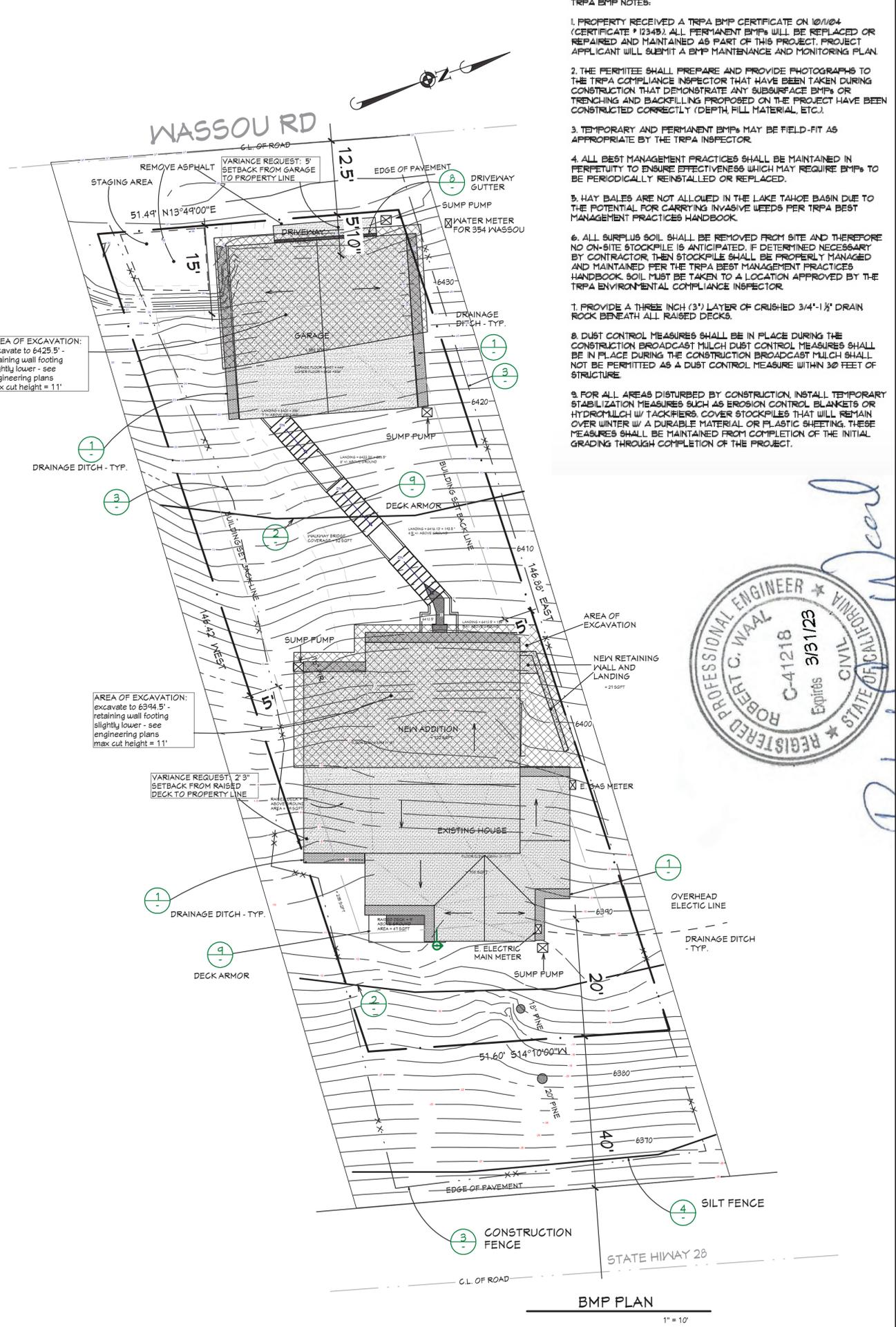
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**BEST MANAGEMENT PRACTICES**



| BMP Calculation Spreadsheet                                                |                                      |              |                 |                        |                                                                                      |           |                    |                        |                 |       |
|----------------------------------------------------------------------------|--------------------------------------|--------------|-----------------|------------------------|--------------------------------------------------------------------------------------|-----------|--------------------|------------------------|-----------------|-------|
| Estimated Soil Erosion Savings of 17.4 pounds per year by doing your BMPs. |                                      |              |                 |                        |                                                                                      |           |                    |                        |                 |       |
| Property Address:                                                          | 154 Wassou Road, Crystal Bay NV89412 | MAP DATA     | DATE OF SURVEY: | 3/28/2024              | DATE OF REPORT:                                                                      | 3/28/2024 | Total Runoff (ft³) | 233.3                  | Amount Treated: | 165.4 |
| Date:                                                                      | 3/28/24                              | Water Table: | >5ft            | Max. Depth of Install: | 15 in. <th>Map Unit:</th> <td>7413</td> <th>Total Excavation (yd³)</th> <td>1.2</td> | Map Unit: | 7413               | Total Excavation (yd³) | 1.2             |       |
| Designer:                                                                  | John Roberts                         | Area:        | 1.21            | Area:                  | 1.21                                                                                 | Area:     | 1.21               | Area:                  | 1.21            |       |
| <b>Contributing Surface</b>                                                |                                      |              |                 |                        |                                                                                      |           |                    |                        |                 |       |
| Area (ft²)                                                                 | 12.0                                 | 12.0         | 12.0            | 12.0                   | 12.0                                                                                 | 12.0      | 12.0               | 12.0                   | 12.0            |       |
| Runoff (ft³)                                                               | 0.0                                  | 0.0          | 0.0             | 0.0                    | 0.0                                                                                  | 0.0       | 0.0                | 0.0                    | 0.0             |       |
| <b>Treatment Labels</b>                                                    |                                      |              |                 |                        |                                                                                      |           |                    |                        |                 |       |
| Area (ft²)                                                                 | 12.0                                 | 12.0         | 12.0            | 12.0                   | 12.0                                                                                 | 12.0      | 12.0               | 12.0                   | 12.0            |       |
| Runoff (ft³)                                                               | 0.0                                  | 0.0          | 0.0             | 0.0                    | 0.0                                                                                  | 0.0       | 0.0                | 0.0                    | 0.0             |       |
| <b>Excess Runoff</b>                                                       |                                      |              |                 |                        |                                                                                      |           |                    |                        |                 |       |
| Area (ft²)                                                                 | 0.0                                  | 0.0          | 0.0             | 0.0                    | 0.0                                                                                  | 0.0       | 0.0                | 0.0                    | 0.0             |       |
| Runoff (ft³)                                                               | 0.0                                  | 0.0          | 0.0             | 0.0                    | 0.0                                                                                  | 0.0       | 0.0                | 0.0                    | 0.0             |       |
| <b>Basin</b>                                                               |                                      |              |                 |                        |                                                                                      |           |                    |                        |                 |       |
| Area (ft²)                                                                 | 144.0                                | 144.0        | 144.0           | 144.0                  | 144.0                                                                                | 144.0     | 144.0              | 144.0                  | 144.0           |       |
| Runoff (ft³)                                                               | 12.0                                 | 12.0         | 12.0            | 12.0                   | 12.0                                                                                 | 12.0      | 12.0               | 12.0                   | 12.0            |       |
| <b>Deck Treatments</b>                                                     |                                      |              |                 |                        |                                                                                      |           |                    |                        |                 |       |
| Area (ft²)                                                                 | 144.0                                | 144.0        | 144.0           | 144.0                  | 144.0                                                                                | 144.0     | 144.0              | 144.0                  | 144.0           |       |
| Runoff (ft³)                                                               | 12.0                                 | 12.0         | 12.0            | 12.0                   | 12.0                                                                                 | 12.0      | 12.0               | 12.0                   | 12.0            |       |
| <b>Source Control Treatments</b>                                           |                                      |              |                 |                        |                                                                                      |           |                    |                        |                 |       |
| Area (ft²)                                                                 | 144.0                                | 144.0        | 144.0           | 144.0                  | 144.0                                                                                | 144.0     | 144.0              | 144.0                  | 144.0           |       |
| Runoff (ft³)                                                               | 12.0                                 | 12.0         | 12.0            | 12.0                   | 12.0                                                                                 | 12.0      | 12.0               | 12.0                   | 12.0            |       |



- TRPA BMP NOTES:**
- PROPERTY RECEIVED A TRPA BMP CERTIFICATE ON 10/10/24 (CERTIFICATE #12345). ALL PERMANENT BMPs WILL BE REPLACED OR REPAIRED AND MAINTAINED AS PART OF THIS PROJECT. PROJECT APPLICANT WILL SUBMIT A BMP MAINTENANCE AND MONITORING PLAN.
  - THE PERMITTEE SHALL PREPARE AND PROVIDE PHOTOGRAPHS TO THE TRPA COMPLIANCE INSPECTOR THAT HAVE BEEN TAKEN DURING CONSTRUCTION THAT DEMONSTRATE ANY SUBSURFACE BMPs OR TRENCHING AND BACKFILLING PROPOSED ON THE PROJECT HAVE BEEN CONSTRUCTED CORRECTLY (DEPTH, FILL MATERIAL, ETC.).
  - TEMPORARY AND PERMANENT BMPs MAY BE FIELD-FIT AS APPROPRIATE BY THE TRPA INSPECTOR.
  - ALL BEST MANAGEMENT PRACTICES SHALL BE MAINTAINED IN PERPETUITY TO ENSURE EFFECTIVENESS WHICH MAY REQUIRE BMPs TO BE PERIODICALLY REINSTALLED OR REPLACED.
  - HAY BALES ARE NOT ALLOWED IN THE LAKE TAHOE BASIN DUE TO THE POTENTIAL FOR CARRYING INVASIVE WEEDS PER TRPA BEST MANAGEMENT PRACTICES HANDBOOK.
  - ALL SURPLUS SOIL SHALL BE REMOVED FROM SITE AND THEREFORE NO ON-SITE STOCKPILE IS ANTICIPATED. IF DETERMINED NECESSARY BY CONTRACTOR, THEN STOCKPILE SHALL BE PROPERLY MANAGED AND MAINTAINED PER THE TRPA BEST MANAGEMENT PRACTICES HANDBOOK. SOIL MUST BE TAKEN TO A LOCATION APPROVED BY THE TRPA ENVIRONMENTAL COMPLIANCE INSPECTOR.
  - PROVIDE A THREE INCH (3") LAYER OF CRUSHED 3/4"-1 1/2" DRAIN ROCK BENEATH ALL RAISED DECKS.
  - DUST CONTROL MEASURES SHALL BE IN PLACE DURING THE CONSTRUCTION. BROADCAST MULCH DUST CONTROL MEASURES SHALL BE IN PLACE DURING THE CONSTRUCTION. BROADCAST MULCH SHALL NOT BE PERMITTED AS A DUST CONTROL MEASURE WITHIN 30 FEET OF STRUCTURE.
  - FOR ALL AREAS DISTURBED BY CONSTRUCTION, INSTALL TEMPORARY STABILIZATION MEASURES SUCH AS EROSION CONTROL BLANKETS OR HYDROMULCH W/ TACKIFIERS. COVER STOCKPILES THAT WILL REMAIN OVER WINTER W/ A DURABLE MATERIAL OR PLASTIC SHEETING. THESE MEASURES SHALL BE MAINTAINED FROM COMPLETION OF THE INITIAL GRADING THROUGH COMPLETION OF THE PROJECT.

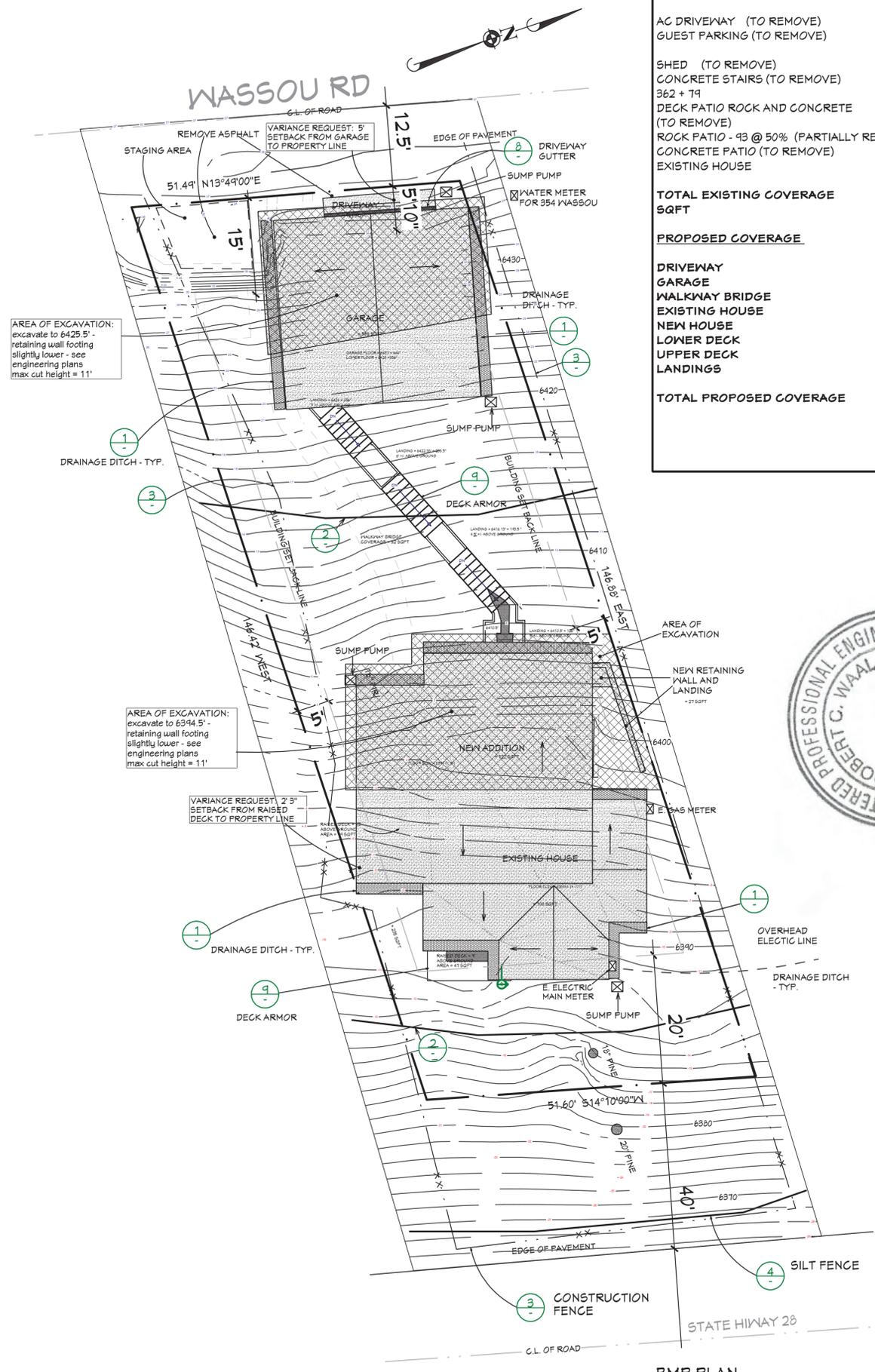


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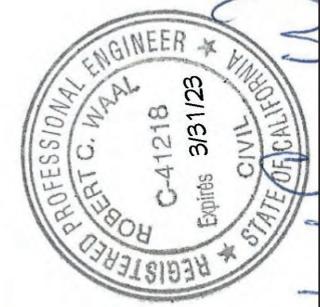
**ROBERTS RESIDENCE - NEW GARAGE**  
 354 WASSOU - LOT 7, BLOCK 9  
 CRYSTAL BAY, NEVADA

Design by: RCIN  
 Scale: VARIES  
 Date: 8/30/22

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**7**  
 OF 9



| EXISTING COVERAGE                         | (SQFT)      |
|-------------------------------------------|-------------|
| AC DRIVEWAY (TO REMOVE)                   | 186         |
| GUEST PARKING (TO REMOVE)                 | 38          |
| SHED (TO REMOVE)                          | 52          |
| CONCRETE STAIRS (TO REMOVE)               | 441         |
| 362 + 74                                  |             |
| DECK PATIO ROCK AND CONCRETE (TO REMOVE)  | 225         |
| ROCK PATIO - 93 @ 50% (PARTIALLY REMOVED) | 47          |
| CONCRETE PATIO (TO REMOVE)                | 419         |
| EXISTING HOUSE                            | 708         |
| <b>TOTAL EXISTING COVERAGE</b>            | <b>2246</b> |
| <b>SQFT</b>                               |             |
| PROPOSED COVERAGE                         | (SQFT)      |
| DRIVEWAY                                  | 121         |
| GARAGE                                    | 563         |
| WALKWAY BRIDGE                            | 52          |
| EXISTING HOUSE                            | 708         |
| NEW HOUSE                                 | 721         |
| LOWER DECK                                | 47          |
| UPPER DECK                                | 19          |
| LANDINGS                                  | 15          |
| <b>TOTAL PROPOSED COVERAGE</b>            | <b>2246</b> |
| <b>SQFT</b>                               |             |



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**ROBERTS RESIDENCE - NEW GARAGE**  
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Design by: RCN  
 Scale: VARIES  
 Date: 8/30/22

SHT:  
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**BMP PLAN**  
 1" = 10'