

#### **Board of Adjustment Staff Report**

Meeting Date: July 7, 2022

Agenda Item: 9D

SPECIAL USE PERMIT CASE NUMBER:		WSUP22-0014 (Vater DAD)	
BRIEF SUMMARY OF REQUEST:		To allow a ±768 sq. ft. detached accessory dwelling unit	
STAFF PLANNER:		Julee Olander, Planner Phone Number: 775.328.3627E-mail: jolander@washoecounty.gov	
CASE DESCRIPTION			
For hearing, discussion approve a special use detached accessory of Street with an existing regulatory zone of the Suburban (MDS), and required per Washe 110.302.05.1. and 110 Applicant/ Owner: Location: APN: Parcel Size: Master Plan: Regulatory Zone: Area Plan: Development Code:	on, and possible action to permit to allow a ±768 sq. ft. dwelling unit at 505 E 1 <sup>st</sup> ±1,568 sq. ft. residence; the e parcel is Medium Density d a special use permit is De County Code Table .306.25. Ben Vater 505 E 1st Ave 085-182-08 0.35 acres Suburban Rural (SR) Medium Density Suburban (MDS) Sun Valley Authorized in Authorized in Article 306, Accessory Uses and Structures; and	Vicinity Map	
Commission District:	Article 810, Special Use Permits Special Use Permits 3 – Commissioner Jung		

#### STAFF RECOMMENDATION

APPROVE

APPROVE WITH CONDITIONS

DENY

#### **POSSIBLE MOTION**

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment approve with conditions Special Use Permit Case Number WSUP22-0014 for Ben Vater, with the conditions included as Exhibit A to this matter, having made all five findings in accordance with Washoe County Code Section 110.810.30.

(Motion with Findings on Page 7)

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#### **Exhibits Contents**

Conditions of Approval	Exhibit A
Agency Comments	Exhibit B
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#### Special Use Permit

The purpose of a special use permit is to allow a method of review to identify any potential harmful impacts on adjacent properties or surrounding areas for uses that may be appropriate within a regulatory zone; and to provide for a procedure whereby such uses might be permitted by further restricting or conditioning them so as to mitigate or eliminate possible adverse impacts. If the Board of Adjustment grants an approval of the special use permit, that approval is subject to conditions of approval. Conditions of approval are requirements that need to be completed during different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e. a grading permit, a building permit, etc.)
- Prior to obtaining a final inspection and/or a certificate of occupancy on a structure
- Prior to the issuance of a business license or other permits/licenses
- Some conditions of approval are referred to as "operational conditions." These conditions must be continually complied with for the life of the business or project.

The conditions of approval for Special Use Permit Case Number WSUP22-0014 are attached to this staff report and will be included with the action order.

The subject property is designated as Medium Density Suburban (MDS). The proposed use of detached accessory dwelling unit which is classified as a residential use is permitted in MDS with a special use permit per WCC Table 110.302.05.1. and WCC 110.306.25. Therefore, the applicant is seeking approval of this SUP from the Board of Adjustment.



Site Plan







#### **Elevations**

#### Project Evaluation

The applicant is requesting a special use permit to approve a  $\pm$ 768 sq. ft. detached accessory dwelling unit (DAD) on the same parcel of land where a  $\pm$ 1,568 sq. ft. residence is located. The parcel has a regulatory zone of Medium Density Suburban (MDS) and a special use permit is required for MDS regulatory zoned properties per WCC Table 110.302.05.1 and 110.306. 25.

The detached accessory dwelling (DAD) will include two bedrooms, a bathroom, kitchen and living room (See floor plans above). Parking is available on the parcel. The new DAD will connect to community sewer and water as well as power and gas service. The setbacks for MDS are 20 feet in the front and rear and 8 feet on the sides, the DAD will meet all MDS setback requirements.

#### Area Plan Evaluation

The subject parcel is located within the Sun Valley Area Plan. Staff was unable to find any relevant policies related to detached accessory dwellings.

#### **Reviewing Agencies**

The following agencies/individuals received a copy of the project application for review and evaluation.

Agencies 🗐	Sent to Review	Responded	Provided Conditions	Contact
US Postal Service	x			
Washoe County Engineering & Capital Projects	x	x	x	Robert Wimer, rwimer@washoecounty.gov
Washoe County Water Rights Manager	х	x	x	Timber Weiss, tweiss@washoecounty.gov
WCHD Environmental Health	x	x		James English, jenglish@washoecounty.gov
TMFPD	х	X	X	Brittany Lemon, blemon@TMFPD.us
Regional Transportation Commission (All Apps)	x			
Washoe-Storey Conservation District (All Apps)	x			r
Sun Valley GID	х	X		Chris Melton, cmelton@svgid.com

All conditions required by the contacted agencies can be found in Exhibit A, Conditions of Approval.

#### **Staff Comment on Required Findings**

WCC Section 110.810.30, Article 810, *Special Use Permits*, requires that all of the following findings be made to the satisfaction of the Washoe County Board of Adjustment before granting approval of the request. Staff has completed an analysis of the special use permit application and has determined that the proposal is in compliance with the required findings as follows.

(a) <u>Consistency.</u> That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Sun Valley Area Plan.

<u>Staff Comment:</u> The application request is consistent with Master Plan and the Sun Valley Area Plan.

2. <u>Improvements.</u> That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven.

<u>Staff Comment:</u> The proposed detached accessory dwelling unit will connect to the existing services, including sewer service, water service and power that are used by the existing residence on the site.

3. <u>Site Suitability.</u> That the site is physically suitable for detached accessory dwelling unit, and for the intensity of such a development.

<u>Staff Comment:</u> The parcel is being used for residential housing and the proposed detached accessory dwelling unit will be constructed to meet all Washoe County codes. The detached dwelling unit will meet the setbacks for the MDS regulatory zone.

4. <u>Issuance Not Detrimental.</u> That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.

<u>Staff Comment</u>: The site has a residence on the property, as doing the surrounding properties. The addition of a detached accessory dwelling unit will have minimum impact to the area.

5. <u>Effect on a Military Installation.</u> Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

<u>Staff Comment:</u> There are no military installations in the area.

#### **Recommendation**

After a thorough analysis and review, Special Use Permit Case Number WSUP22-0014 is being recommended for approval with conditions. Staff offers the following motion for the Board's consideration.

#### <u>Motion</u>

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Washoe County Board of Adjustment approve with conditions Special Use Permit Case Number WSUP22-0014 for Ben Vater, with the conditions included as Exhibit A to this matter, having made all five findings in accordance with Washoe County Code Section 110.810.30:

- (a) <u>Consistency.</u> That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Sun Valley Area Plan;
- (b) <u>Improvements.</u> That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven;
- (c) <u>Site Suitability.</u> That the site is physically suitable for a detached accessory dwelling unit and for the intensity of such a development;
- (d) <u>Issuance Not Detrimental.</u> That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area;
- (e) <u>Effect on a Military Installation.</u> Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

#### Appeal Process

Board of Adjustment action will be effective 10 calendar days after the written decision is filed with the Secretary to the Board of Adjustment and mailed to the applicant, unless the action is appealed to the Washoe County Board of County Commissioners, in which case the outcome of the appeal shall be determined by the Washoe County Board of County Commissioners. Any appeal must be filed in writing with the Planning and Building Division within 10 calendar days from the date the written decision is filed with the Secretary to the Board of Adjustment and mailed to the applicant.

Applicant / Owner: Ben Vater ben.vater.bv@gmail.com



**Conditions of Approval** 

Special Use Permit Case Number WSUP22-0014

The project approved under Special Use Permit Case Number WSUP22-0014 shall be carried out in accordance with the conditions of approval granted by the Board of Adjustment on July 7, 2022. Conditions of approval are requirements placed on a permit or development by each reviewing agency. These conditions of approval may require submittal of documents, applications, fees, inspections, amendments to plans, and more. These conditions do not relieve the applicant of the obligation to obtain any other approvals and licenses from relevant authorities required under any other act.

<u>Unless otherwise specified</u>, all conditions related to the approval of this special use permit shall be met or financial assurance must be provided to satisfy the conditions of approval prior to issuance of a grading or building permit. The agency responsible for determining compliance with a specific condition shall determine whether the condition must be fully completed or whether the applicant shall be offered the option of providing financial assurance. All agreements, easements, or other documentation required by these conditions shall have a copy filed with the County Engineer and the Planning and Building Division.

Compliance with the conditions of approval related to this special use permit is the responsibility of the applicant, his/her successor in interest, and all owners, assignees, and occupants of the property and their successors in interest. Failure to comply with any of the conditions imposed in the approval of the special use permit may result in the institution of revocation procedures.

Washoe County reserves the right to review and revise the conditions of approval related to this Special Use Permit should it be determined that a subsequent license or permit issued by Washoe County violates the intent of this approval.

For the purpose of conditions imposed by Washoe County, "may" is permissive and "shall" or "must" is mandatory.

Conditions of approval are usually complied with at different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e., grading permits, building permits, etc.).
- Prior to obtaining a final inspection and/or a certificate of occupancy.
- Prior to the issuance of a business license or other permits/licenses.
- Some "conditions of approval" are referred to as "operational conditions." These conditions must be continually complied with for the life of the project or business.

The Washoe County Commission oversees many of the reviewing agencies/departments with the exception of the following agencies.

• The DISTRICT BOARD OF HEALTH, through the Washoe County Health District, has jurisdiction over all public health matters in the Health District. Any conditions set by the Health District must be appealed to the District Board of Health.

FOLLOWING ARE CONDITIONS OF APPROVAL REQUIRED BY THE REVIEWING AGENCIES. EACH CONDITION MUST BE MET TO THE SATISFACTION OF THE ISSUING AGENCY.

Washoe County Planning and Building Division

1. The following conditions are requirements of Planning and Building, which shall be responsible for determining compliance with these conditions.

Contact Name – Julee Olander, Planner, 775.328.3627, jolander@washoecounty.gov

- a. The applicant shall attach a copy of the action order approving this project to all permits and applications (including building permits) applied for as part of this special use permit.
- b. The applicant shall demonstrate substantial conformance to the plans approved as part of this special use permit.
- c. The applicant shall submit construction plans, with all information necessary for comprehensive review by Washoe County, and initial building permits shall be issued within two years from the date of approval by Washoe County. The applicant shall complete construction within the time specified by the building permits.
- d. Construction hours are 7am to 7pm Monday through Saturday.
- e. A note shall be placed on all construction drawings and grading plans stating:

#### NOTE

Should any cairn or grave of a Native American be discovered during site development, work shall temporarily be halted at the specific site and the Sheriff's Office as well as the State Historic Preservation Office of the Department of Conservation and Natural Resources shall be immediately notified per NRS 383.170.

#### Washoe County Engineering and Capital Projects

2. The following conditions are requirements of the Engineering Division, which shall be responsible for determining compliance with these conditions.

#### Contact Name – Robert Wimer, P.E. 775.328.2059, rwimer@washoecounty.gov

- a. A complete set of construction improvement drawings, including an on-site grading plan, shall be submitted when applying for a building/grading permit. Grading shall comply with best management practices (BMP's) and shall include detailed plans for grading, site drainage, erosion control (including BMP locations and installation details), slope stabilization, and mosquito abatement. Placement or removal of any excavated materials shall be indicated on the grading plan. Silts shall be controlled on-site and not allowed onto adjacent property.
- b. All disturbed areas left undeveloped for more than 30 days shall be treated with a dust palliative. Disturbed areas left undeveloped for more than 45 days shall be revegetated. Methods and seed mix must be approved by the County Engineer with technical assistance from the Washoe-Storey Conservation District. The applicant shall submit a revegetation plan to the Washoe-Storey Conservation District for review.
- c. The following note shall be added to the construction drawings; "All properties, regardless if they are located within or outside of a FEMA designated flood zone, may be subject to flooding. The property owner is required to maintain all drainage easements and natural drainages and not perform or allow unpermitted and unapproved modifications to the property that may have detrimental impacts to surrounding properties."

#### **Truckee Meadows Fire Protection District**

3. The following condition is a requirement of the Truckee Meadows Fire Protection District, which shall be responsible for determining compliance with this condition.

#### Contact Name – Brittany Lemon, Title, 775.326.6079, <u>blemon@tmfpd.us</u>

a. This project shall meet and comply with all requirements of currently adopted TMFPD fire codes, ordinances, and standards at the time of construction to include infrastructure for fire apparatus access roads and water supply. <u>https://tmfpd.us/fire-code/</u>

#### Washoe County Water Management Planner Coordinator

- The following conditions are requirements of Washoe County Water Management Planner Coordinator, who shall be responsible for determining compliance with these conditions.
   Contact: Timber Weiss, 775.328.3699, <u>tweiss@washoecounty.gov</u>
  - a. The applicant must provide a will serve letter in support of the proposed project, or an acknowledgment letter from SVGID, the water supplier, indicating that sufficient water rights are available to the proposed project prior to building permit issuance. Please email a copy of the SVGID approval to: <u>tweiss@washoecounty.gov</u>

\*\*\* End of Conditions \*\*\*



**WASHOE COUNTY** COMMUNITY SERVICES DEPARTMENT Engineering and Capital Projects 1001 EAST 9<sup>TH</sup> STREET RENO, NEVADA 89512 PHONE (775) 328-3600 FAX (775) 328.3699

- Date: May 26, 2022
- To: Julee Olander, Planner
- From: Robert Wimer, P.E., Licensed Engineer
- Re: Special Use Permit for *Vater Detached Accessory Dwelling WSUP22-0014* APN 085-182-08

#### **GENERAL PROJECT DISCUSSION**

Washoe County Engineering staff has reviewed the above referenced application. The Special Use Permit is for the construction of a detached accessory dwelling unit and is located on approximately 0.35 acres at the northeast corner of E 1<sup>st</sup> Ave and Oetting Ln in Sun Valley. The Engineering and Capital Projects Division recommends approval with the following comments and conditions of approval which supplement applicable County Code and are based upon our review of the site and the application prepared by Ben Vater. The County Engineer shall determine compliance with the following conditions of approval.

For questions related to sections below, please see the contact name provided.

#### **GENERAL CONDITIONS**

Contact Information: Robert Wimer, P.E. (775) 328-2059

- A complete set of construction improvement drawings, including an on-site grading plan, shall be submitted when applying for a building/grading permit. Grading shall comply with best management practices (BMP's) and shall include detailed plans for grading, site drainage, erosion control (including BMP locations and installation details), slope stabilization, and mosquito abatement. Placement or removal of any excavated materials shall be indicated on the grading plan. Silts shall be controlled on-site and not allowed onto adjacent property.
- 2. All disturbed areas left undeveloped for more than 30 days shall be treated with a dust palliative. Disturbed areas left undeveloped for more than 45 days shall be revegetated. Methods and seed mix must be approved by the County Engineer with technical assistance from the Washoe-Storey Conservation District. The applicant shall submit a revegetation plan to the Washoe-Storey Conservation District for review.

#### DRAINAGE (COUNTY CODE 110.416, 110.420, and 110.421)

Contact Information: Robert Wimer, P.E. (775) 328-2059

1. The following note shall be added to the construction drawings; "All properties, regardless if they are located within or outside of a FEMA designated flood zone, may be subject to flooding. The

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WSUP22-0014 EXHIBIT B

#### Subject: Vater Detached Accessory Dwelling WSUP22-0014

Date: May 26, 2022 Page: 2

property owner is required to maintain all drainage easements and natural drainages and not perform or allow unpermitted and unapproved modifications to the property that may have detrimental impacts to surrounding properties."

#### TRAFFIC AND ROADWAY (COUNTY CODE 110.436)

Contact Information: Mitch Fink, (775) 328-2050

1. No traffic related conditions.

#### UTILITIES (County Code 422 & Sewer Ordinance)

Contact Information: Tim Simpson, P.E. (775) 954-4648

1. No utility related conditions.

Lemon, Brittany
<u>Olander, Julee</u>
Way, Dale
WSUP22-0014 (Vater Detached Accessory Dwelling) Conditions of Approval
Monday, May 23, 2022 8:48:31 AM
image001.png

Good Morning Julee,

"This project shall meet and comply with all requirements of currently adopted TMFPD fire codes, ordinances, and standards at the time of construction to include infrastructure for fire apparatus access roads and water supply." https://tmfpd.us/fire-code/.

Thank you.

Brittany Lemon Fire Captain - Fire Prevention | Truckee Meadows Fire & Rescue blemon@tmfpd.us | Office: 775.326.6079 | Cell: 775.379.0584 3663 Barron Way, Reno, NV 89511



"Committed to excellence, service, and the protection of life and property in our community"



May 23, 2022

Washoe County Community Services Planning and Development Division

RE: Vater Detached Accessory Dwelling; 085-182-08 Special Use Permit; WSUP22-0014

Dear Washoe County Staff:

The following conditions are requirements of the Washoe County Health District, Environmental Health Services Division (WCHD), which shall be responsible for determining compliance with these conditions.

#### Contact Name – James English - jenglish@washoecounty.us

- a) Condition #1: The WCHD has no requirements or conditions for this project as submitted.
- b) Condition #2 The WCHD does note, the parcel is actually served by Sun Valley General Improvement District for public water and sewerage service.

If you have any questions or would like clarification regarding the foregoing, please contact James English, EHS Supervisor at jenglish@washoecounty.us regarding all Health District comments.

Sincerely,

James English, R∕∉HS, CP

Environmental Health Services Washoe County Health District



#### [NOTICE: This message originated outside of Washoe County -- DO NOT CLICK on links or open attachments unless you are sure the content is safe.]

Julee,

No comment on this item, not in SVGID service area. Let me know if you have any questions or concerns.

Thanks,

Chris Melton General Manager Sun Valley General Improvement District 5000 Sun Valley Blvd. Sun Valley, NV 89433 Phone: 775-673-7700 Fax: 775-673-7707 <u>CMelton @ svgid.com</u> Website: <u>www.svgid.com</u>

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#### WASHOE COUNTY

COMMUNITY SERVICES INTEGRITY COMMUNICATION SERVICE 1001 East 9th Street Reno, Nevada 89520-0027 Phone: (775) 328-3600 Fax: (775) 328-3699

May 26, 2022

TO:	Julee Olander, Planner, CSD, Planning & Development Division
FROM:	Timber Weiss, PE, Licensed Engineer, CSD
SUBJECT:	Special Use Permit Case Number WSUP22-0014 (Vater Detached Accessory Dwelling)

#### **Project description:**

The applicant is proposing to approve a special use permit to allow a  $\pm 768$  sq. ft. detached accessory dwelling unit on the parcel with the regulatory zoning of Medium Density Suburban (MDS) as required by Washoe County Code 110.306.25 at 505 E 1st Street.

Assessor's Parcel Number: 085-182-08.

#### The Community Services Department (CSD) recommends approval of this project with the following Water Rights conditions:

This property is served by Sun Valley General Improvement District (SVGID). Applicant must provide a will serve letter in support of the proposed project, or an acknowledgment letter from SVGID, the water supplier, indicating that sufficient water rights are available to the proposed project prior to building permit issuance.

Please email a copy of the SVGID approval to: tweiss@washoecounty.gov





#### WASHOE COUNTY

COMMUNITY SERVICES INTEGRITY COMMUNICATION SERVICE 1001 East 9th Street Reno, Nevada 89520-0027 Phone: (775) 328-3600 Fax: (775) 328-3699

May 26, 2022

TO:	Julee Olander, Planner, CSD, Planning & Development Division
FROM:	Timber Weiss, PE, Licensed Engineer, CSD
SUBJECT:	Special Use Permit Case Number WSUP22-0014 (Vater Detached Accessory Dwelling)

#### **Project description:**

The applicant is proposing to approve a special use permit to allow a  $\pm 768$  sq. ft. detached accessory dwelling unit on the parcel with the regulatory zoning of Medium Density Suburban (MDS) as required by Washoe County Code 110.306.25 at 505 E 1st Street.

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Please email a copy of the SVGID approval to: tweiss@washoecounty.gov





**Community Services Department** 

#### **Planning and Building**

#### SPECIAL USE PERMIT (see page 7)

#### SPECIAL USE PERMIT FOR GRADING (see page 9)

SPECIAL USE PERMIT FOR STABLES (see page 12)

#### **APPLICATION**



Community Services Department Planning and Building 1001 E. Ninth St., Bldg. A Reno, NV 89512-2845

Telephone: 775.328.6100

#### Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information St		taff Assigned Case No.:		
Project Name: Vater Detached Accessory Dwelling			elling	
Project Single story, wood framed, detached accessory dwelling.				
Project Address: 505 E 1st Av	ve, Sun Valley NV 894	433		
Project Area (acres or square fe	eet): 768			
Project Location (with point of r	reference to major cross	streets AND area locator):		
west corner lot	on e1st Av	e and Oetting		
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:	
085-182-08	0.35			
Indicate any previous Wash Case No.(s).	oe County approval	s associated with this applica	tion:	
Applicant In	formation (attach	additional sheets if necess	sary)	
Property Owner:		Professional Consultant:		
Name:Ben Vater		Name: Ben Vater		
Address: 505 e 1st Ave		Address: 505 E 1st Ave		
Sun Valley	Zip: 89433	Sun Valley	Zip: 89433	
Phone: 408 710 2903 Fax:		Phone: 4087102903 Fax:		
Email: ben.vater.bv@gmail.com		Email: ben.vater.bv@gmail,com		
Cell: Other: Cell:		Other:		
Contact Person: Ben Vater		Contact Person:		
Applicant/Developer:		Other Persons to be Contacted:		
Name: Ben Vater		Name:		
Address: 505 e 1st Ave		Address:		
Sun Valley	Zip: 89433		Zip:	
Phone: 408 710 2903 Fax:		Phone: Fax:		
Email: ben.vater.bv@gmail.com		Email:		
Cell: Other:		Cell: Other:		
Contact Person: Ben		Contact Person:		
	For Office	e Use Only		
Date Received:	Initial:	Planning Area:		
County Commission District:		Master Plan Designation(s):		
CAB(s):		Regulatory Zoning(s):		

#### **Property Owner Affidavit**

#### Applicant Name: Benjamin Vater

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

state of Nevada county of Washoe

(please print name)

being duly sworn, depose and say that I am the owner\* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 085-182-08

Pri	nted Name Benjamin Vater
	Signed Rr Whi
	Address 505 Eist Aum
	Sun Valling, NV, Si 43)
Subscribed and sworn to before me this, 2022, 2022	(Notary Stamp)
Notary Public in and for said county and state My commission expires: MANVARY 25, 2024	S. VAMPOLA Notary Public, State of Nevada Appointment No, 16-1967-2 Hy Appt. Expires Jan 25, 2024
*Owner refers to the following: (Please mark appropr	iate box.)
Owner	
Corporate Officer/Partner (Provide copy of red	cord document indicating authority to sign.)
Power of Attorney (Provide copy of Power of	Attorney.)

- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- D Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

#### Special Use Permit Application Supplemental Information

(All required information may be separately attached)

1. What is the project being requested?

Detached accessory dwelling.

2. Provide a site plan with all existing and proposed structures (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.)

Please see attached.

3. What is the intended phasing schedule for the construction and completion of the project?

intended start date 8-1-22 intended finish date 8-1-23

4. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

The property has ample room to handle an additional structure with out being too crowded. The property is a corner lot so an additional driveway is convenient and will not look out of place.

5. What are the anticipated beneficial aspects or affects your project will have on adjacent properties and the community?

This project will benefit the adjacent properties by encouraging stick built construction as opposed to manufactured construction.

6. What are the anticipated negative impacts or affect your project will have on adjacent properties? How will you mitigate these impacts?

I do not foresee any major negative impacts on adjacent properties. There will be small increase in traffic in the neighborhood. However, I don't see this as a major dilemma.

7. Provide specific information on landscaping, parking, type of signs and lighting, and all other code requirements pertinent to the type of use being purposed. Show and indicate these requirements on submitted drawings with the application.

#### Please see attached plans

8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the special use permit request? (If so, please attach a copy.)

Yes	No No

9. Utilities:

a. Sewer Service	Washoe County Utilities
b. Electrical Service	NV energy
c. Telephone Service	Charter
d. LPG or Natural Gas Service	NV energy
e. Solid Waste Disposal Service	Waste Managment
f. Cable Television Service	Charter
g. Water Service	ТМWА

For most uses, Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required.

h. Permit #	acre-feet per year	
i. Certificate #	acre-feet per year	
j. Surface Claim #	acre-feet per year	
k. Other #	acre-feet per year	

Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources).

10. Community Services (provided and nearest facility):

a. Fire Station	Reno Fire Department, 110 Quartz Ln, Sun Valley, NV 89433
b. Health Care Facility	Renown Regional Medical Center, 1155 Mill St, Reno, NV 89502
c. Elementary School	Sun Valley Elementary, 5490 Leon Dr, Sun Valley, NV 89433
d. Middle School	Fred Tanner middle school, 1700 Carville Dr, Reno, NV 89512
e. High School	Procter R Hug High School, 2880 Sutro St, Reno, NV 89512
f. Parks	Sun Valley Community Park, 115 W 6th Ave, Sun Valley, NV 89433
g. Library	North Valleys Library, 1075 N Hills Blvd, Reno, NV 89506
h. Citifare Bus Stop	Sun Valley Boulevard and E 1st Avenue

- 8. How many improved parking spaces, both on-site and off-site, are available or will be provided? (Please indicate on site plan.) Have you provided for horse trailer turnarounds?
- 9. What are the planned hours of operation?
- 10. What improvements (e.g. new structures including the square footage, roadway/driveway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.) will have to be constructed or installed and what is the projected time frame for the completion of each?
- 11. What is the intended phasing schedule for the construction and completion of the project?
- 12. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

The property has ample room to handle an additional structure with out being too crowded. The property is a corner lot so an additional driveway is convenient and will not look out of place.

- 13. What are the anticipated beneficial aspects or affects your project will have on adjacent properties and the community?
- 14. What are the adverse impacts upon the surrounding community (including traffic, noise, odors, dust, groundwater contamination, flies, rats, mice, etc.) and what will you do to minimize the anticipated negative impacts or effects your project will have on adjacent properties?
- 15. Please describe operational parameters and/or voluntary conditions of approval to be imposed on the administrative permit to address community impacts.







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SYMBOL LEGEND









# **GENERAL SITE NOTES**

- ALL WORK MUST CONFORM W/ LOCAL BUILDING CODES, CITY, COUNTY AND STATE ORDINANCES, SUBDIVISION REGULATIONS AND THE INTERNATION INTERNATIONAL RESIDENTIAL CODE, UNIFORM MECHANICAL CODE, UNIFORM PLUMBING CODE, INTERNATIONAL ENERGY CONSERVATION CODE (2018 2011 NATIONAL ELECTRICAL CODE. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING AND PROPOSED GRADES, UTILITIES, AND DIMENSIONS PRIOR TO THE START OF CONSTRUCTION.
- ω N
- 4 PLACEMENT OF STRUCTURE WITHIN SETBACKS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. NOTIFY OWNER OF ANY THE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING AND COORDINATING ALL SERVICE REQUIREMENTS WITH THE APPROPRIATE PUBLIC AGENCY OR UTILITY PROVIDER. CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REQUIREMENTS.
- ហ CONC. FLATWORK TO BE FINISHED PER OWNERS REQUIREMENTS.
- $\overline{\mathbf{v}}$ -OPE LAWN AREAS FOR DRAINAGE MIN. 1/4" PER 1'-O".
- Ξ. 0 MAINTAIN EXISTING DRAINAGE WITH 5% (2% MIN.) SLOPE AWAY FROM PROPOSED STRUCTURE FOR A MINIMUM OF IØ' AND DRAINAGE SW. LINES AS REQUIRED TO PREVENT DRAINAGE ONTO ADJACENT PRIVATE PROPERTY. MINIMUM SLOPE OF DRAINAGE SWALE SHALL BE
- <u>,</u>00 CH IS DETERMINED TO BE OUTSIDE OF THE 100 YEAR FLOOD PL AIN. BOL NDARY Å
- ų THIS SITE IS LOCATED IN FEMA FLOOD ZONE  $\times$  whin not within 100 feet of property. THIS SITE IS SERVICED BY MUNICIPAL WATER AND MUNICIPAL SEWER.
- <u>Ø</u> THE DESIGN FOR THIS SITE HAS BEEN BASED ON THE BEST AVAILABLE INFORMATION. ALL ASSUMED EXISTING AND PROPOSED INFOR THE CONTRACTOR PRIOR TO CONSTRUCTION. ALL PARTIES SHOULD ANTICIPATE THE POTENTIAL NEED FOR MODIFICATIONS TO THE INI ACCOMMODATE ACTUAL FIELD CONDITIONS. ALL DISCREPANCIES DISCOVERED IN THE FIELD SHALL BE BROUGHT TO THE ATTENTION
- ≓ EITHER A TOPOGRAPHICAL OR BOUNDARY SURVEY WAS PERFORMED FOR THIS SITE. THE TOPOGRAPHY SHOWN IS FROM THE WASHOE COUNTY GIS WEBSITE AND THE OUNDARY SHOWN IS BASED ON RECORD INFORMATION. IT IS RECOMMENDED THAT PRIOR TO CONSTRUCTION A FULL SURVEY IS PERFORMED IN ORDER TO CCURATELY PLACE THE IMPROVEMENTS.
- 12. SHOULD ANY PREHISTORIC OR HISTORIC REMAINS/ARTIFACTS BE DISCOVERED DURING SITE DEVELOPMENT, WORK SHALL TEMPORARILY BE HALTED AT THE SPECIFIC SITE AND THE STATE HISTORIC PRESERVATION OFFICE OF THE DEPARTMENT OF MUSEUMS, LIBRARY AND ARTS, SHALL BE NOTIFIED TO RECORD AND PHOTOGRAPH THE SITE. THE PERIOD OF TEMPORARY DELAY SHALL BE LIMITED TO A MAXIMUM OF TWO (2) WORKING DAYS FROM THE DATE OF NOTIFICATION.
- THERE ARE NO WATERCOURSES WITHIN 100' OF PROPERTY.

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Site Plan



Shecked	Irawn	late		
BWV	BWV	1-29-22		

Revisions



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505E 1st Ave A.P.N.: 085-182-08	Sun Valley, Nevada 89433	Dr., Ste. <i>i</i> 89511 55-0505 55-0566 ng.net





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EARTHWORK ANALYSIS

CODE (2018 EDITIONS) AND THE

DISCREPANCIES.

SITE AREAØ.138 ACRESSITE DISTURBANCEØ.04 ACRESPROPOSED CUTØ.00 YD3PROPOSED FILLØ.00 YD3NET EARTHWORKØ.00 YD3 CUTNET EARTHWORKØ.00 YD3 CUTNY OVER EXCAVATION, SHRINKAGE OREXPANSION OF MATERIALS. THE CONTRACTORSHALL REVIEW THE GEOTECHNICALINVESTIGATION IF AVAILABLE AND PERFORM ANINDEPENDENT EARTHWORK ANALYSIS FORCONSTRUCTION PURPOSES.

ALE 2'-6" MIN. 1%. IN FROM PROPERTY

ΗΗ IØØ-YEAR FLOOD 민 A N S

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NET EARTHWORK TO BE DISPERSED EVENLY WITHIN THIS PROPERTY.

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RESEED DISTURBED AREAS WITH NATIVE SEED MIX AND/OR VEGETATION.

MATION SHALL BE VERIFIED BY TIAL DESIGN IN ORDER TO OF THE ENGINEER IMMEDIATELY.

WSUP22-0014 EXHIBIT D

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## ELECTRICAL LEGEND

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FAN & LIGHT COMBO	2 LAMP FLUORESCENT LIGHT	T.V. CABLE OUTLET	INCANDESCENT 3-LIGHT BATH BAR LIGHT	EXHAUST FAN / LIGHT COMBO	CEILING MOUNTED LIGHT FIXTURE	WALL MOUNTED LIGHT FIXTURE	CARBON MONOXIDE DETECTOR	SMOKE/CARBON MONOXIDE	RECESSED LIGHT	3-WAY WALL SWITCH - +52" U.N.O.	WALL SWITCH - +52" U.N.O.	220 VOLT GFI WALL OUTLET	120 VOLT GEI WALL OUTLET

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OOR OUTLET

ELECTRICAL

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### ELECTRICAL P

LAN NOTES

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- 12. HALL BE LISTED

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- ហ៊  $\overline{4}$
- -ROVIDE CARBON REQUIRED BY 2018 LOCAL BUILDING CO

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TOIS PEOF 7039 PLDR -24'-0"

#### Ţ $\overline{4}$ $\overline{\omega}$ 12 = $\overline{\mathcal{O}}$ ጣ 0 ថ ų ,00 1 0 4 WATER HEATER IGNITION SOURCE SHALL BE 18" ABY. GARAGE FLOOR. LANDINGS AT DOORS PER R311.3. AND LANDINGS AT STAIRWAYS PER R311.7.6. EGRESS WINDOW: MIN. OPEN AREA = 5.7 SQ.FT., 5 SQ.FT. (GRADE FLOOR). MIN. CLEAR OPENING WIDTH = 20" MAX. 44" FROM FIN. FLR TO CLR. OPENING 90% OF LAMPS IN PERMANENTLY INSTALLED LIGHTING TO BE HIGH-EFFICACY. PROVIDE R-3 INSULATION AT ALL HOT WATER PIPING CONT. 24" FROM H.W.T. TO FIXTURE PER IECC R4Ø3.4. ALL 4× AND LARGER LUMBER TO BE DF\*1 OR BETTER ALL SMALLER LUMBER TO BE DF\*2 OR BETTER UNLESS NOTED OTHERWISE. CONTRACTOR TO VERIFY OVERHEAD GARAGE DOOR CLEARANCE IN RAISED POSITION. CENTRAL HEATING EQUIPMENT OTHER THAN FIXED ELECTRIC SPACE-HEATING EQUIPMENT SHALL BE SUPPLIED BY AN INDIVIDUAL BRANCH CIRCUIT PER IRC E3703.1. SIDING SHALL BE INSTALLED PER MFGR.'S INSTRUCTIONS AND R103. PROVIDE SAFETY GLAZING IN HAZARDOUS LOCATIONS PER I.R.C. R308.4 TYPICAL EXTERIOR WALL - EXT. SIDING O/ SHEAR PLY. O/ $2\times4^{\circ}$ @ 24" O.C. WALL FRAMING. SEE RES CHECK FOR INSULATION VALUES. ALL DUCT WORK TO CONFORM WITH CHAPTER 16. ALL EXHAUST FANS REQUIRE RIGID, SMOOTH INTERIOR DUCT. WOOD STRUCTURAL PANEL ROOF SHEATHING EXPOSED ON THE UNDERSIDE SHALL BE BONDED WITH EXTERIOR GLUE PER R803.2.1.1. PROVIDE WATER-RESISTANT GYPSUM BOARD AT LOCATIONS REQUIRED PER I.R.C. SECTION RTØ2.3.8. SOUND INSULATE ALL INTERIOR PLUMBING WALLS (BATH ROOMS) AND WALL AREAS W/ DRAIN LINES FROM ABOVE.

Floor Electric	Revision:	Brandt T. Ker Jared A. K	Accessory Dwelling	860 Maestro Reno, NV P: (775) 3 F: (775) 3 www.K2e
Plan al Plan	S 1-29-22 BWV 22-BWV	505E 1st Ave 505E 1st Ave A.P.N.: 085-182-08	Sun Valley, Nevada 89433	GINEERING TURAL DESIGN Dr., Ste. A 7 89511 55-0505 55-0566 55-0566 ing.net
				WSUP22-0014

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MAXIMUM STATIC WATER PRESSURE SHALL BE 80 P.S.I. WHEN MAIN PRESSURE EXCEEDS 65 P.S.I., AN APPROVED PRESSURE REDUCING VALVE CONFORMING TO ASSE 1003 SHALL BE INSTALLED.

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GAS PIPE SIZING PER CHAPTER 24 AND CONFORMANCE WITH LOCAL FUEL GAS SUPPLIER.

HOWERS AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE YPE. THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A SUITABLE CONTROL FOR MEETING THIS PROVISION PER P2108.3.



SOUTH ELEVATION Scale 14" = 1"-0"















A-3	Elevations		Date 1-29-22 Drawn BWV Checked BWV Project No. 22-BWV	Revisions		Brandt T. Kennedy, P.E. Jared A. Krupa, P.E.
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# SECTION SCALE 1/4" = 1'-0"

THE NET FREE AREA SHALL NOT BE LESS THAN  $_{\rm BO}$  of the AREA of the space ventilated. ATTIC VENTILATION PER 2018 IRC SECTION RE06

THE OPENING AREA MAY BE  $\frac{1}{300}$  of the Area of the space ventilated provided one of the following is provided.

1.) AT LEAST 50 PERCENT (80% MAX.) OF THE REQUIRED OPENING AREA IS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED (AT LEAST 3' FEET ABOVE THE EAVE VENTS).

2.) A CLASS I OR II VAPOR BARRIER IS INSTALLED ON THE WARM SIDE OF THE ATTIC INSULATION. CLASS I (.ØI PERM.). CLASS II (.ØI PERM I.Ø PERM.)

MAINTAIN I" AIR SPACE BETWEEN THE INSULATION AND ROOF SHEATHING. INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR (USE INSULATION BAFFLES)

PROVIDE 2.56 SQ. FT. (50%) OF REQUIRED VENTILATION AT OR NEAR RIDGE (WITHIN 2' OF RIDGE IS RECOMMENDED). (USE (1) 14"  $\times$  24" GABLE VENT @ EACH GABLE END ) 168 SQ. FT. / 300 = 2.56 SQ. FT. OF NET FREE VENTILATION AREA

PROVIDE 2.56 SQ. FT. (50%) OF REQUIRED VENTILATION AT EAVE LINE. (USE VENTED BLOCKING  $\Rightarrow$  EVERY OTHER BLOCK)

## SECTION NOTES

- TYPICAL ROOF/ CEILING
   ROOFING MATERIAL SEE EXT. ELEV.
   I LAYER ICE AND WATER SHEILD
   SHEATHING SEE STRUCT.
   TRUSS FRAME ROOF SEE ROOF FRAMING PLAN
   R-40 BLOWN IN INSUL.
   \$6" GYP. BD.
- $(\mathbf{N})$ BARGE
- NTPICAL FASCIA °2X6 PVC FASCIA
- 3 TYPICAL FLOOR FLOOR FINISH PER OWNER/CONTRACTOR FLOOR JOISTS PER STRUCT. R-38 FIBERGLASS INSUL.

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   TYPICAL EXTERIOR WALL

   • CORRUGATED METAL SIDING

   • EXT. SHEAR - SEE STRUCT.

   • 2x4 @ 24" O.C. STUDS UN.O.

   • R-IØ RIGID FOAM BOARD INSULATION

   • R-I3 FIBERGLASS BATT INSULATION

   °<sup>1</sup>/2" GYP. BD.
- TYPICAL FOUNDATION 8" STEM WALL AND FOOTING BOTTOM OF FOOTING MIN. 2'-0" BELOW FIN. GRADE.
- $\bigcirc$ FINISH GRADE •SLOPE A MINIMUM OF 5% AWAY FROM BUILDING AT ALL AREAS, TYP.





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SEE SHEET SD-I FOR ADDITIONAL NOTES AND SCHEDULES

TYPICAL LEGEND

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AND HOLDOWNS.

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SCHEDULE ON SHEET SD-1

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NDICATES CONCRETE PIER FOOTING PER SCHEDULE ON SHEET SD-1

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SHEARWALL TYPE - SEE SHEET FOR ADDITIONAL INFORMATION

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P.T. 3x SILL  $\mathbb{H}$  w/ $\frac{5}{6}$ "\*x12" AB's, SPACING AS INDICATED ON PLANS. AT TYPE 3 WALLS, 2x SILL  $\mathbb{H}$  MAY BE USED w/ $\frac{5}{6}$ "\*x10" AB's & HALF THE SPECIFIED SPACING.

ALL GLU-LAM BEAMS SHALL BE DOUG-FIR 24F-V4 U.N.O.

D

PROVIDE G.I. FLASHING @ ALL VALLEYS & ROOF-TO-WALL CONNECTIONS, TYP PROVIDE BITUTHANE MEMBRANE @ CRICKETS SLOPING LESS THAN 3:12 & AS NOTED ON ROOF

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ROVIDE ATTIC ACCESS (22"×30") PER I.R.C. SECTION R801.1 ROVIDE ROOF VENTILATION PER I.R.C. SECTION R800.1

ROVIDE BLOCKING @ ALL RIDGES, HIPS & VALLEYS TYP DNL ZNL

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Shear and Roof Foundation Plan

Date	1-29-22
Drawn	BWV
Checked	BWV
Project No.	22-BWV

Revisions

Vater Detached	Accessory Dwelling
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# CONCRETE NOTES

SOILS ENGINEER SHALL EXAMINE SITE AFTER EXCAVATION PRIOR TO SETTING ANY CONC. FORMS. SOIL ENGINEER'S RECOMMENDATIONS CONCERNING OVER EXCAVATION, COMPACTION, ETC. SHALL BE FOLLOWED.

ONC. FOOTINGS 16"  $\times$  10"  $\pm$ /2-#4 REBAR CONT,, TYP. U.N.O. STEP DOTINGS AS REQ'D. TO BEAR ON NATIVE GRADE OR AS IRECTED BY SOILS ENGINEER. FOOTING SHALL BE A MIN. OF -0" BELOW FINISHED GRADE.

NR 2× SILL PLATE, USE ‰" ♦ × IØ" A.B. FOR 3× OR DOUBLE SILL \_ATE, USE ‰" ♦ × I2" A.B. EXTEND SILL BOLTS T" INTO DUNDATION MINIMUM; MAXIMUM SPACING SHALL BE 4'-Ø" O.C. TH MINIMUM (2) BOLTS IN EACH SILL BOARD. BOLTS SHALL BE DCATED NOT MORE THAN (12) NOR LESS THAN (1) BOLT IAMETERS FROM EACH END OF SILL PIECE. MINIMUM 3"×3"×4" IICK PLATE WASHERS SHALL BE INSTALLED ON EACH SILL

SILL PLATE: USE FOUNDATION GRADE REDWOOD OR TIMBERSTRAND LSL TREATED w/ ZINC BORATE OR PRESSURE TREATED DOUGLAS FIR MUDSILL. SEE SHEARWALL SCHEDULE FOR IMPORTANT INFORMATION REGARDING SILL PLATES. FOR ALL SILL PLATES NOTED, USE 2× WALL WIDTH WOOD SILL. ALL SHEAR WALLS, EXCEPT TYPE "6" 4 "4", REQUIRE FOUNDATION SILL PLATES 4 ALL FRAMING MEMBERS RECEIVING EDGE NAILING FROM ABUTTING PANELS TO BE NOT LESS THAN A SINGLE 3" NOMINAL MEMBER. PLYWOOD JOINT 4 SILL PLATE NAILING SHALL BE STAGGERED IN ALL CASES.

INTERIOR BEARING	X ANCHOR BOLT SPA	H-X AND HOLDOWNS.	(N) ROOF RAFTERS/		SEE SHEET SD-1 FOR AND SCHEDULE	TYPICAL LE
	9ACING, 48" 0/c TYP.	' SHEARPLY	8/FLOOR JOIST	R/BEAM	R ADDITIONAL	EGEND

## FLOOR FRAMING NOTES

3/4" T&G PLYWOOD APA RATED STURD-I-FLOOR - 48/24 w/ IØd @ 6" O.C. BOUNDARY, EDGES, & DRAG STRUTS w/ IØd @ IØ" O.C. FIELD - GLUE & NAIL THROUGHOUT, TYP.

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2×10 FLOOR JOISTS © 16" O.C. TYP. BLK. SOLID © ALL SUPPORT LINES. PROVIDE 1/4" LSL RIM BOARD THROUGHOUT, TYP. BLOCK SOLID UNDER ALL HOLDOWNS. PROVIDE CRUSH BLOCK, WEB STIFFENERS, ETC. PER MFR.

ROVIDE INSULATION @ RIM JOISTS & FLOOR.

INSULATE ALL PIPES & DUCTWORK.

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PROVIDE SOLID BLKG. UP TO SUB-FLOOR, REQUIRED, TO SUPPORT POSTS ABOVE.

ALL FRAMING HARDWARE SHALL BE 'SIMPSON'. INSTALL PER MANUF, REQUIREMENTS.

VERIFY THE ENTIRE CRAWLSPACE IS COVERED BY VAPOR BARRIER TYP.

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UM CLEARANCE FROM GROUND UNDER GIRDERS

ALL EXTERIOR WALLS SHALL BE CONSIDERED SHEARWALLS NAILED AS TYPE "6" WALLS (SEE SHEARWALL SCHEDULE).

- ALL WORK, DETAILS OF DEBIGN, WORKTANGHIP, AND MATERIALS SHALL CONFORM TO REQUIREMENTS OF THE 2018 EDITION OF THE NITERNATIONAL BUILDING CODE (IBC) OF THE NITERNATIONAL CODE COUNCIL AND THE APPLICABLE COUNTRICT BUILDING CODES.
   CE BRANEERING EXERGES IN RECEIVES INS COMMON LAW COPYRIGHT AND OTHER PROFERENT RIGHTS OF THESE PLANS. HERE PLANS ARE THEY TO BE ASSIGNED TO A THIND PARTY WITHOUT THE EXPRESS WRITTEN CONSENT OF KE ENGNETION VISITS TO THE PROFERENT RIGHTS IN THESE PLANS BY A THIRD PARTY. THE THIRD PARTY SHALL HOLD KE DIGNERATIONE RELIEF OF THESE PLANS BY A THIRD PARTY. THE THIRD PARTY SHALL HOLD KE DIGNERATIONE RELIEF OF THE RIGHT TO PERFORM CONSENT ON THE PLANS OBSERVATIONS DO NOT GUARANTEE CONTACTORS FERRORMACE AND ARE NOT TO BE DETERMINED FOR CONTRACTOR WORKING SHALL FOR THE PROPOSE OBSERVATIONS DO NOT GUARANTEE CONTACTORS FERRORMACE AND ARE NOT TO BE DETERMINED AS SUPERVISION OF THE REQUEST.
   NI THE EVENT THAT CERTAIN EXISTING DYNER EXOLOGIC CONDITIONS ARE FOUND TO BE DIFFERENT FROM THOSE SHOWN ON THE PLANS AND DETAILS. THE INVERTIGATION OF THE DISCREPANCIES, OR OMISSIONS WHICH THE CONTRACTOR FAILED TO NOTIFY KE BYAINEERING TO BEFORE CONSISTING THE UNDER FROME THE DIATELY NOTIFIED SO THAT THE PROPER REVISIONS FAILED TO NOTIFY KE BYAINEERING TO BEFORE CONSISTING THE EVAN BE MADE F INCESSARY. THE CONTRACTOR SHALL BE INFORMATION OF THE RESONAL DEFINITION OF THE WORK SC TRANEERING TO BEFORE CONSISTING THE EVAN BE MADE F INCESSARY. THE CONTRACTOR SHALL SEE THE CONTRACTOR FAILED TO NOTIFY KE BYAINEERING TO CHARGES DE MADE. OR SHOULD THE RESULTS OF THESE CALCULATIONS NOT BE REALLY FOR THE SHALL FOR THE STRUCTURE.
   THE DETAILS SHOWN ON THE DRAWNES ARE TITICAL. SIMILAR DETAILS APPLY TO SIMILAR DEVOLUD ANT CHANGES BE MADE. OR SHOULD THE RESULTS OF THESE CALCULATIONS ONE BE REAL REFERNES. SHOULD AN ONTHE DRAWNES AND EMPORTS.
   THE DETAILS SHOWN ON THE DRAWNES ARE TITICAL. SIMILAR DETAILS AND LINFORMARE MUP OR THE SHALL BE MADE WITHOUT THE FRANK WITHING AR
- 1. K2 ENGINEERING HAS NOT MADE A GEOTECHNICAL REVIEW OF THE BUILDING SITE AND IS NOT RESPONSIBLE FOR GENERAL SITE STABILITY OR SOIL SUITABILITY FOR THE PROPOSED PROJECT. K2 ENGINEERING RECOMMENDS A REVIEW OF THE SITE BY A GEOLOGICAL ENGINEER OR A QUALIFIED CIVIL ENGINEER TO DETERMINE GENERAL SITE STABILITY AND SOIL SUITABILITY FOR THE PROJECT.
  2. BUILDING SITES ARE ASSUMED TO BE DRAINED AND FREE OF CLAY OR EXPANSIVE SOIL ALL FOOTINGS SHALL BE LEVEL OR STEPPED AND BEAR ON FIRM, STABLE, NATURAL, UNDISTURBED SOIL OR AN APPROVED COMPACTED FILL.
  4. PERIMETER OR EXTERIOR FOOTING DEPTHS MUST EXTEND BELOW FROSTLINE (IS' OR 24' AS PER LOCAL CODE REQUIREMENTS). ALL OTHER FOOTINGS (INTERIOR) SHALL BOTTOM I2' MINIMUM BELOW NATURAL UNDISTURBED GRADED 5. BUILDING PADS SHALL BE GRADED 2% TOWARD APPROVED DRAINAGE FACILITIES AND PROVISIONS SHALL BE MADE TO CONTROL AND DRAIN SUFFACE WATER AROUND BUILDING. 6. ASSUME CLASS D SOILS WITH ALLOWARD APPROVED DRAINAGE FACILITIES AND PROVISIONS SHALL BE MADE TO CONTROL AND DRAIN SUFFACE WATER AROUND BUILDING. 6. ASSUME CLASS D SOILS WITH ALLOWARD ESCING PRESSURE OF 2000 PSF WITH A CONSTANT EXPANSION INDEX LESS THAN 20. SOIL BEARING PRESSURE OF 2000 PSF WITH A CORSTANT EXPANSION INDEX LESS THAN 20. SOIL BEARING PRESSURE HAS BEEN DETERMINED IN ACCORDANCE WITH IBC TABLE 1806.2. SITE WOR

- FILL MATERIAL SHALL BE FREE FROM DEBRIS, VEGETATION, AND OTHER FOREIGN SUBSTANCES.
  BACKFILL TRENCHES SHALL BE COMPACTED TO 90% DENSITY PER ASTM 1651 TO WITHIN 12' OF FINISHED GRADE. THE TOP 12' SHALL BE LANDSCAPE FILL.
  BACKFILL AT PIPE TRENCHES SHALL BE COMPACTED ON BOTH SIDES OF PIPE IN 6' LIFTS.
  WATERPROOF EXTERIOR FACES OF ALL FOUNDATION WALLS ADJACENT TO USABLE SPACES. WATERPROOFING OF ALL FOUNDATION AND RETAINING WALLS TO BE THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR.
  ALL BACKFILL AGAINST FOUNDATION WALLS MUST BE COMPACTED TO 90% RELATIVE DENSITY.
  PROVIDE A 4' DIAMETER PVC PERFORATED DRAINPIPE AT GRADE SIDE OF ALL RETAINING WALLS. SLOPE PIPE TO DRAIN TO DATUGHT AND DRYWELL.

- **CONCRETE** 1. REINFORCED CONCRETE WORK SHALL CONFORM TO APPLICABLE REQUIREMENTS OF THE IBC AND ACI STANDARD 318-11. 2. AGGREGATE SHALL CONFORM TO ASTM C33 FOR STONE CONCRETE. 3. CONCRETE STOOPS TO BE MACHINED MIXED AND PLACED IN ACCORDANCE WITH THE IBC.

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- HE IBC.
  COMPRESSION STRENGTH OF ALL REINFORCED CONCRETE SHALL NOT BE LESS THAN 3000 PSI AT 28 DAYS.
  SIRUCTURAL DESIGN BASED ON FC = 2500 PSI (OPECIAL INSPECTION NOT REQUIRED).
  USE NORMAL WEIGHT CONCRETE (145 PCF) FOR ALL CONCRETE. USE TYPE II CEMENT TYPICAL, IF SOIL CONTAINS SULFATE CONCENTRATIONS OF 2% OR MORE.
  HAXIMUT SLUMP SHALL NOT EXCEED 3'. PLASTICIZERS MAY BE USED TO INCREASE SUMPT TO 8' MAXIMUT RATIO SHALL BE 35 FOR 3000 PSI CONCRETE.
  MAXIMUT SLUMP SHALL NOT EXCEED 3'. PLASTICIZERS MAY BE USED TO INCREASE SUMPT TO 8' MAXIMUT REVIEWED THEY DO NOT INCREASE SHRINKAGE.
  MAXIMUT MATER/CEMENT RATIO SHALL BE 35 FOR 3000 PSI CONCRETE.
  MAXIMUT MATER/CEMENT RATIO SHALL CONTAIN NOT LESS THAN 5% NOR MORE THAN 6% ENTRENCES ON GRADE SHALL CONTAIN NOT LESS THAN 5% NOR MORE THAN 6% ENTRENCES ON GRADE SHALL BE STOR 3000 PSI CONCRETING BY OBSERVING ACI 305 AND ACI 306 GUIDELINES.
  IN PROVIDE STANDARD CRACK CONTROL JOINTS IN ALL SLABS ON GRADE USING MAXIMUM DIMENSION OF 10 HEET FOR 4' SLABS AND 12 HEET FOR 6' SLABS ON GRADE USING MAXIMUM DIMENSION OF 10 HEET FOR 4' SLABS AND 12 HEET FOR 6' SLABS. JOINT DEPTH SHALL NOT BE ENDEDED THEREIN PIPES OR DUCTS EXCEEDING ONE-THIRD THE SLAB OR WALL.
  IN DO NOT PLACE CONCRETE UNTIL ALL REINFORCEMENT, CONDUIT, OUTLET BOXES, ANCHORS, HAVGERS SHALL NOT BE FLACED IN STRUCTURAL CONCRETE.
  IN DO NOT PLACE CONCRETE UNTIL ALL REINFORCEMENT, CONDUIT, OUTLET BOXES, ANCHORS, HAVEN'S AND PROFERLY AND PROFERLY FASTENED IN THEIR PROPER PLACES AND PROFENELY AND PROFERLY FASTENED IN THEIR PROPER PLACES AND PROFENELY AND PROFERLY FASTENED IN THEIR PROPER PLACES
- ALL CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM CSØ, GRADE N. FM = 1500 PSI. USE 85 PCF MINIMUM WEIGHT UNITS ABOVE GRADE AND 110 PCF MINIMUM WEIGHT UNITS BELOW GRADE. USE MOISTURE CONTROLLED UNITS ONLY. USE OPEN-END MASONRY UNITS AS MUCH AS POSSIBLE AND AT WALL INTERSECTIONS.
   ALL BRICK SHALL CONFORM TO ASTM C62, GRADE MW.
   MORTAR FOR CONCRETE MASONRY SHALL CONFORM TO ASTM C219, TYPE 5.
   GROUT FOR CONCRETE MASONRY SHALL BE IN ACCORDANCE WITH IBC SECTION 2103. MINIMUM 28-DAY COMPRESSIVE STRENGTH SHALL NOT BE LESS THAN 2000 PSI.
   ALL WALLS SHALL BE GROUTED SOLID. GROUT SHALL BE VIBRATED INTO PLACE AND SHALL BE PLACED IN LIFTS NOT EXCEEDING 4" UNLESS APPROPRIATE CLEANOUT HOLES ARE PROVIDED IN ACCORDANCE WITH IBC.
   AGGREGATES FOR MORTAR AND GROUT SHALL BE NATURAL SAND AND ROCK CONFORMING TO ASTM C-144 (MORTAR) AND C-404 (GROUT).
   CEMENT SHALL BE PORTLAND CEMENT CONFORMING TO ASTM C-150, TYPE I OR II, LOW ALKALI.

- 9. ALL CONCRETE BLOCK AND BRICK SHALL BE LAID IN RUNNING BOND.
  9. WHEN ABSOLUTELY NECESSARY FOR CONSTRUCTION PURPOSES TO STOP OFF LONGITUDINAL RUNS OF MASONRY, STOP OFF ONLY BY RACKING BACK ONE-HALF UNIT LENGTH IN EACH COURSE. TOOTHING SHALL NOT BE PERMITTED.
  10. MASONRY WALLS SHALL BE REINFORCED WITH \*4'S VERT © 16" O.C. EACH WAY.
  4 \*4 © 24" O.C. HORIZ. BAR SPLICES SHALL BE STAGGERED.

- REINFORCING BARS SHALL BE DEFORMED BARS CONFORMING TO THE REQUIREMENTS OF ASTM A615 GRADE 60 FOR ALL \*5 AND LARGER BARS AND GRADE 40 FOR ALL \*4 AND SMALLER BARS.
   ALL DETAILS OF FABRICATION AND INSTALLATION OF REINFORCING STEEL SHALL BE IN ACCORDANCE WITH THE ACI MANUAL OF STANDARD PRACTICE.
   WELDED FABRIC (MESH) SHALL CONFORM TO LATEST REVISED ASTM A125 AND BE FURNISHED IN FLAT SHEETS. SMOOTH WIRE FABRIC SHALL CONFORM TO ASTM A-25 HAVING A TIELD STRENGTH OF 60 KSI.
   WELDING OF REINFORCING STEEL SHALL CONFORM TO AWS D12-1 USING LOW HYDROGEN ELECTRODES.
   ALL BARS SHALL BE LAPPED WITH A MINIMUM OF 40 BAR DIAMETERS (2' MINIMUM) AT ALL BARS SHALL BE LAPPED WITH A MINIMUM OF 40 BAR DIAMETERS (2' MINIMUM) AT ALL
- ALL BE LAPPED WITH A MINIMUM OF 40 BAR DIAMETERS (2' MINIMUM) AT ALL

TO BE HANDLED, INSTALLED, AND ATE INSTITUTE (TPI).

BRACED IN

RDANCE WITH HIB-91 OF

- ICES OF HORIZONTAL REBAR IN WALLS AND FOOTINGS SHALL BE STAGGERED 4' MINIMUM. ICES OF HORIZONTAL REBAR IN WALLS AND FOOTINGS SHALL BE STAGGERED 4' MINIMUM. IELS FOR WALLS AND COLUMNS SHALL BE THE SAME SIZE AND SPACING AS THE L/COLUMN REINFORCING. REINFORCING STEEL SHALL BE ACCURATELY LOCATED AND ADEQUATELY SECURED IN ITION BEFORE AND DURING PLACEMENT OF CONCRETE. ONRY REINFORCEMENT, BOLTS, ETC. SHALL HAVE MINIMUM GROUT COVERAGE OF EE-FOURTHS OF AN INCH. FORCEMENT COVER IN CAST-IN-PLACE CONCRETE SHALL BE AS FOLLOWS: 3' CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH 2' FORMED SURFACES EXPOSED TO GROUND OR WEATHER

STRUCTURAL STEEL

**Design Parameters** 

BS(B/S) BOT CANT

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PROJ

ECT ELEVATION

< 5000'

2018 IBC AND LOCAL DESIGN CRITERIA

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CLASS

- STRUCTURAL STEEL AND MISCELLANEOUS IRON SHALL CONFORM TO ASTM AS92, GRADE 50.
   STEEL PIPE COLUMNS SHALL CONFORM TO ASTM A592, GRADE 50.
   STEEL PIPE COLUMNS SHALL CONFORM TO ASTM A500, GRADE 5.
   STEEL PIPE COLUMNS SHALL CONFORM TO ASTM A500, GRADE 5.
   STEEL PLATES SHALL CONFORM TO CURRENT AISC SPECIFICATIONS.
   ALL DETAILING SHALL CONFORM TO CURRENT AISC SPECIFICATIONS.
   ALL WELDING SHALL CONFORM TO CURRENT AISC SPECIFICATIONS.
   ALL COMPLETE JOINT PENETRATION WELDS REQUIRE SPECIFIC NURES WIT OR EQUAL TO 100 KSI.
   BOLTS, MUTS, AND SCREWS SHALL BE INTO ASTM A301 GRADE 'A'.
   BOLTS, MUTS, AND SCREWS SHALL BE ASTM A325. CONTACT FACES OF STEEL WHERE HIGH STRENGTH BOLTS SHALL BE ASTM A325. CONTACT FACES OF STEEL WEINSHED BOLTS. ALL SILL BOLTS IN SEISMIC ZONE 4 SHALL DE FIVE UNFINISHED BOLTS. ALL SILL BOLTS IN SEISMIC ZONE 4 SHALL BE FIVE UNFINISHED BOLTS. ALL SILL BOLTS IN SEISMIC ZONE 4 SHALL BE FIVE UNFINISHED BOLTS. ALL SITEL AND MISCELLANEOUS IRON NOT ENCASED IN O AN INCH LARGE THAN STEEL AND MISCELLANEOUS IRON NOT ENCASED IN O AN INCH LARGES ARY, PROVIDE ONE-HALF INCH DIAMETER X THREE NCH AT 36' OC.
- ALL GROUT UNDER STEEL BEARING PLATES SHALL BE SOLID DRY GROUT PLACED AS DIRECTED BY THE MANUFACTURER PROVIDE WELDER'S CERTIFICATE FOR ALL SINGLE-PASS FILLET WE IN SIZE, OR PROVIDE THE CERTIFICATE OF COMPLIANCE THAT THE IN AN APPROVED FABRICATOR'S SHOP.
- Image: Note of the second state second state second state of the second st
- SILE
   SHANK DIA.
   LENGTH
   Exclusion of the problem of t

- ROOF IRAMING NOTES
   ROOF LOADS: LIVE = <u>21 PSF</u> : DEAD = <u>20 PSF</u>
   USE (1)-LAYER <u>5/8' (40/20)</u> CDX APA RATED ROOF SHEATHING OR OS APPLY FACE GRAIN/LONG DIMENSION PERPENDICUL AR TO SUPPORT F PANELS AND NAIL WITH <u>10/d'S</u> AT 6' O.C. EDGES AND BOUNDARIES AND FIELD. NAIL ALL DRAG MEMBERS, SHEAR PANELS, BLOCKING, E.T.C. W/ 4' O.C. SEE DETAIL FOR ADDITIONAL NAILING REQUIREMENTS.
   USE (2) TRIMMERS AND (1) KING STUD UNDER ALL OPENINGS <u>6'-0'</u> OR ( CONNECT TRUSS BLOCKING AND GABLE END TRUSSES TO TOP PLATE WITH A35'S, LTP4'S, LT0'S, OR L550'S & 48' O.C. UNLESS NOTED OTHERW 5. DOUBLE TOP PLATE LAP SPLICES SHALL BE <u>4'-0'</u> MINIMUM AND FACE (12)-16d NAILS.

- (12)-16d NAILS.
  E. THE FOLLOWING COLUMN/POST CAPS ARE INTERCHANGEABLE: CC, ECG
  T. WHERE HEADERS ARE PLACED HIGH IN THE WALL AND BREAK THE DC AN MSTC28 SHALL CONNECT THE HEADER TO THE TOP PLATE AT EACH
  E. ENCLOSED ATTIC AND RAFTER SPACES SHALL HAVE CROSS VENTILATE AREAUAL TO 1/150/TH OF THE AREA. WHERE EAVE OR CORNICE VENTS ARE NOWLATION SHALL NOT BLOCK THE FREE FLOW OF AIR A MINIMUM OF 1
  SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING RAFTERS, BAYS AND/OR VAULTED CEILINGS MUST BE VENTILATED TO

- TRE-MANUFACTURED WOOD ROOF TRUSSES
   TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR ALL ENGINEERING, LAYOUT DRAWINGS, CONNECTIONS, BLOCKING, BRACING, AND TRUSS ERECTION INFORMATION THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER COORDINATION BETWEEN ENGINEERARCHITECT DRAWINGS, TRUSS MANUFACTURER INFORMATION, ANY REQUIRED FIELD CHANGES, PROPER INSTALLATION OF FINAL PRODUCT AND ITS CONFORMANCE TO THE ARCHITECT'S DESIGN THE SECTIVE FOR FRODUCT AND ITS CONFORMANCE TO THE ARCHITECT'S DESIGN. THE SECTIVE FOR A PRODUCT AND ITS CONFORMANCE TO THE ARCHITECT'S DESIGN. THE SUPPORT OF ANY FRODUCT AND ITS CONFORMANCE TO THE ARCHITECT'S DESIGN.
   TRUSS MANUFACTURER TO VERIFY LOCATION OF AND PROVIDE REINFORCED TRUSSES FOR THE SUPPORT OF ANY FINDINGS TO BOTH ALE CAUPTOR AND DESIGN FOR ALL CELLING HEIGHT CHANGES, ATTIC ACCESSES, RETURN AIR GRILLS, ETC. TRUSS MANUFACTURER TO COORDINATE ANY FINDINGS TO BOTH AC ENGINEERING AND THE ARCHITECT.
   DEAD LOAD DEFLECTIONS SHALL BE UNTITED TO L/240.
   GABLE END TRUSSES SHALL BE STRUCTURAL, DESIGNED TO SUPPORT OVERHANG AND THE BOTTOM CHORD OF THE TRUSSES. SECURE BOTTOM CHORD TO WALL BELOW WITH SIMPSON STC CLIPS.
   USE FRE-ENGINEERED MANUFACTURED TRUSSES # 24' OC. SOLID BLOCK \* ALL SUPPORT AND FER MANUFACTURER'S SPECIFICATIONS. USE SIMPSON HI \* EACH SUPPORT WALL/BEAM TO EACH TRUSSES AND HE \* EACH SUPPORT MALL/BEAM TO EACH GIRDER TRUSS.
   HANG TRUSSES AND HE & EACH SUPPORT WALL/BEAM TO EACH GIRDER TRUSS.
   HANG TRUSSES AND HE & EACH SUPPORT WALL/BEAM TO EACH TRUSSES AND HE & EACH SUPPORT WALL/BEAM TO EACH TRUSSES AND HE & EACH SUPPORT WALL/BEAM TO EACH TRUSSES AND HE & EACH SUPPORT WALL/BEAM TO EACH TRUSSES AND HE & EACH SUPPORT WALL/BEAM TO EACH TRUSSES AND HE & EACH SUPPORT WALL/BEAM TO EACH TRUSSES AND HE & EACH SUPPORT WALL/BEAM TO EACH TRUSSES AND HE & EACH SUPPORT WALL/BEAM TO EACH TRUSSES AND HE & EACH SUPPORT WALL/BEAM TO EACH TRUSSES AND HE & EACH SUPPORT WALL/BEAM TO EACH TRUSSES AND HE AND FRECED

	(2) <b>*</b> 4' <del>5</del>	Ø	6	6	(2) #4's	Ø	14	4	RING, LAYOUT DRAWINGS, ATION, THE CONTRACTOR INGINEER/ARCHITECT
	(2) *4	Ø	12	12	(2) <b>*</b> 4' <sub>5</sub>	Ø	12'	2	to outside at Ridge.
	<u>STEEL</u> (CONTINUOUS)		(NA TO ONOPOUR)		<u>STEEL</u> (EACH WAY)	DEPTH	(EACH SIDE)	<u>STMBOL</u>	ARE INSTALLED, OF 1' OF AIR SPACE HING: ROOFS WITH
	NG SIZE	DENOTES FOOTIN	2	_	oting size	DENOTES FOR	2		E DOUBLE TOP PLATE, EACH END. ILATION BY OPENINGS
	hedule	oting Sc	uous Fc	Continu	dule	ng Sche	ier Footi	P	ECC, CCQ, 4 ECCQ.
		DF NO. 1 RMT 4x16 LVL 1.9E 114 PSL 2.0E 112 GLB 24F-V4	6x14 I (2) 1-3/ 5-1/4x 5-1/8x13-	6×14	F NO, 1 RMT 11-7/8 LVL 1.9E 1/2 PSL 2.0E 72 GLB 24F-V4	6×10 D (2) 1-3/4× 5-1/4×9- 5-1/8×10-1	ØXØ		), W/ NAILS SPACED AT OR GREATER ATE OR BEAM BELOW ERWISE.
9 PLATE Inters I STEEL ICAL ICAL ISS NOTED OTHERWISE		9F NO. 1 RMT 14x14 LVL 1.9E -7/8 PSL 2.0E 2.GLB 2.4F	6x12 [ (2) 1-3/ 5-1/4x11- 5-1/8x12	6x12	F NO. 1 RMT 19-1/2 LVL 1.9E 1/2 PSL 2.0E 2 GLB 2.4F-V4	6x8 D (2) 1-3/4x 5-1/4X9- 5-1/8x7-1/	6x8		R OSB EQUIVALENT, RT FRAMING. STAGGER AND <u>10d'S</u> AT 12 <sup>+</sup> O.C.
EADED GUE & GROOVE * & BOTTOM		ALENT BEAM	H EQUIV	DF No. 1 BEA	LENT BEAM		DF NO. 1 BEAD		AT: EQUIVALENT
	STAL STEE		able	alent Ta	am Equiv	AND MUST PR	ECCR VENIO OH		NCEEDS 10'-6' UNO. IULTIPLE OPENINGS.
ARCHITECTURAL DRAWINGS AR WALL LAR				SHALL BE 12 IN	NDER GIRDERS	ROM GROUND L	CLEARANCE FR	20. MINIMUM	
ERENCE EDULE		st I' above NRY PIERS R Posts	RS OR METAL AND AT LEAS ITE OR MASON E COLUMNS O	NUMBER PIER	UPPORTED BY 03ED EARTH A 0 IS USED. INDIV EXPOSED GROU	13 SHALL BE S 14 ABOVE EXF REATED WOOL AST 8" ABOVE	ALS PROJECTIN	PERMAN PEDEST SUCH FL SHALL F	
ND PER SQUARE INCH IDER DRIVEN FASTENER ISERVATIVE TREATED	PQL	IPPORT	ALL COVER AND THAT SU	RIOR LATH SHA EED. Sonry Floors	, and the exter Ige of the scr Norete or max	ACHMENT FLANGE	_AP THE ATTACH ATE ON THE ATT, IS OR POSTS LC	SHALL 1 TERMIN	The same as the
ND PER SQUARE FOOT	POLI PLY	UATION W TRAPPED	AT WILL ALLO	THE WEATHER	THE BUILDING	DVE GRADE O E EXTERIOR C	INE AND 4" AB	REX EX	,TTACHMENT REQUIREMENTS.
CENIER OR OVER ETRATION		HORIZONTAL		AL COUES, FO SHALL BE F VALENT.	GAUGE OR EQUIN	URE OF NO. 9	ENFORCEMENT	II. INGLALL	ERING OR LANS. ALL NAILS EXPOSED
TO SCALE		INSTALLED	ION SHALL BE	LE CONSTRUCTI	AND COMBUSTIBL	H CHIMNEYS / OTH VERTICAL	DOCKING BETWEE OCKING BETWEE 0" INTERVALS, B	16, FIRE BL AT 10'-6	3/4"
		DIAMETER	SPHERE 6' N	H SIZE THAT A	TO BE OF SUCH	THE RISER, TR	SA STAIRWAY A		PLE SIZES
HINE BOLT	A A A		NOT LESS THAT	A SPACE OF N AIL:	AND THE R	A SMOOTH GRI	ON AND HAVE A	DIMENS	
INATED VENEER LUMBER		AL RTION OF	IDENTIAL OCC IANDGRIP POI 055-SECTION	URNED. IN RES FIRST TREAD. H THAN 2' IN CR	S SHALL BE RET ELS WITHIN THE T	AND THE END STARTING NEW NOT LESS THAT	OF THE STAIRS AILS MAY HAVE	HANDR	TACKED IN ALL WALL NG SIMILAR IN SIZE TE WAY DOWN
			E THAN 38' AF	ALL BE CONTIN	NOT LESS THAN READS. THEY SH	AN 9". L BE PLACED	ANDRAILS SHAL	14. STAIR H LANDIN	ICENTER CAPPROVED EQUAL: CGS SHALL BE IN
ITAL IZONTAL IZMATION		NDINGS IS	AND THE THE	VERY STAIRWA EIGHT ALLOWED	UM VERTICAL HE	DE LESS THAN DE LESS THAN DM. THE MAXIM	AYS SHALL NOT	13. STAIRWA	AL.
ED-LAMINATED BEAM DER HT		SOIL SOIL	ABRIC REINFO L BE PLACED RBED NATIVE :	VELDED WIRE F VT. SLAB SHALI Y ON UNDISTUR	EW/6x6 10/10 U ADDITIVE 9 PLAI ALATIVE DENSIT	HICK CONCRET	ABS TO BE 4" TH ETE SHALL HAVE BASE COMPAC	II. ALL SL	TION GRADE OR BETTER
VDATION Æ VANIZED	GAL GAL	S & CBSQ.	CBQ OR CB	IED BT SOLS	ARE INTERCHA	VPOST BASES	LOUING COLUM	NEQUIN EXTERIO	7= 290 PSI EQUIVALENT
D NAIL			EP FOOTING A	) #4's CONT. STE		E HOOKS) FOOTINGS TO	ING (ALTERNAT	9. CONTINU	TH (2) ROWS 16D BOX ECT PLIES WITH (3) _ING SPECIFIED IS FROM
Т Т Т Т Т Т Т Т Т Т Т Т Т Т Т Т Т Т Т	FINIS	DOTING	CONTINUOUS FO	ALL CASES.	ALL SHALL BE O	OUNDATION W	BILL PLATE NAIL	8. AN 8" W	D. 1285 PSI EQUIVALENT OR
SEDMENT AL STING		AFROM D JOINT	EDGE NAILIN	EXCEPTION ERS RECEIVING	- SHEAR WALLS, FRAMING MEMBI THAN A SINGLE	ATES AND ALL BE NOT LESS	NATION SILL PLA	ABUT	V4. GLU-LAMS EXPOSED JFACTURER OR AN
H WAY ₩ NAIL	EDG		SCHEDULE FOI PLATES NOT	FOR ALL SILL	ED MUDSILL. SEI	ION REGARDIN	SORATE OR PRI RTANT INFORMAT		_ARCH WITH MOISTURE
H FACE	EAC	CE WASHER	NF SILL PIECE.	ED ON EACH SI	DIAMETERS FRO	HAN (T) BOLT	(12) NOR LESS T	14AN	ELDS NOT EXCEEDING 5/16' WORK WAS PERFORMED
± LUING A TRUSS	EAC	4-0 0.0,	NG SHALL BE	14XIMUM SPACI	E 5% * x 12" A.B. Ation minimum, m Board Boi 1	SILL PLATE, US; 1" INTO FOUND, 15 IN FACH SII	NUMER (2) BOLTS		PACK OR NON-SHRINK
ension IBLE GLAS FIR	200 200 200				ய	5E <sup>5</sup> ∕8 ¢ × 10/ A	vost below. R Bolts: x Sill Plate, u	1. ANCHOR • FOR 2	ED AFTER FABRICATION OR ENT RESULTS MAY BE USED. INCH NELSON STUDS
		SIMPSON	BOVE. USE (2) ROUGH THE FLO	NTICAL POST AND A PIER I	ST TO STRAP PO	SIDES OF POS	A ON OPPOSITE	PROV	IN CONCRETE SHALL
ITROL JOINT NTERSINK		3, DOUBLE				THERS ABOVE	E FULL BEARING	6. PROVID STUDS, C	FIVE-EIGHTHS INCHES IN TO ONE-SIXTEENTH OF
ILERELINE ICRETE ICRETE MASONRY UNIT		AR PLY	THE IS MULTIFLE	OMMON MEMBE	ATTACHED TO C	IN ATATES	HAS POSSIBLE, NIS SO THAT HO	AND AC	- 'A'. Steel connections Ainted. Ainted.
'H Sides Tom Tilever	CAN CAN	FRAMED	ns <u>.</u> Iembers are	SPECIFICATION	AT THE TIME AF	83, ETC. PER M 3HALL BE BET BE INSTALLED	), web stiffener Dor openings ( LDowns Shall	5. ALL FLC	9ECTION AND UT TESTING. 3 WITH FY GREATER THAN
			PROVIDE CR	D THROUGHOUT	LSL. RIM BOARD	LS. PROVIDE	R-BEARING WAL	BEARN NTERIO	OP AUTHORIZED BY
THREAD ROD			HROUGHOUT,	PORT LINES (C	OLID & ALL SUF	AND IN AT IN	IEMBERS, ETC.), JOISTS SHALL B	3. FLOOR	SUIL DATIONS, AND SHALL
HOR BOLT ROXIMATE	APP	AIN/LONG	LY FACE GRA	I-FLOOR APF	A RATED STURD	LL BE T. 4G. AF	EARWALL SCHE SHEATHING SHAI ON PERPENDICI	2. FLOOR : DIMENSI	S, GRADE B.
bbreviations		WALLS	) AS TYPE '6'	WALLS NAILED	SIDERED SHEAR	HALL BE CON	TIONFLOOR FRA	I. ALL EX	O ASTM A-36.

60	54	43	42	36	32	28	24	21	8	31	<b>4</b>	2	STMBOL		Pi		
60'	54_	48'	42	36-	32	28'	24'	21"	<u>8</u>	6	4 <u></u>	12"	(EACH SIDE)		er Footin		Øxa
14"	4	4	12	12	12	12	Ø	ø	Ø	Ø	Ø	ø	DEPTH	DENOTES FOO	lg Sche	5-1/4x9-1, 5-1/8x1Ø-1/2	6x10 DF (2) 1-3/4x11
(9) #4's	( <i>8</i> ) *4's	(T) <b>#</b> 4' <del>5</del>	(6) *4's	(5) <b>*</b> 4's	(4) *4'5	(3) #4's	(3) #4'9	(3) #4'9	(3) #4'5	(2) #4'8	(2) #4's	(2) #4'5	<u>STEEL</u> (EACH WAY)	ting size	dule	12 PSL 2.ØE 9 GLB 24F-∀4	No. I RAMT
		2			36	32	28	24	21	8	6	12	LOBALS		Contir	()	6×14
llood	SEISMIC DA BASE SHE, R = 65 (LI	ROOF LOA EARTHQUAKE 5% = 1.59, 5	OADING: FLOOR LO	DING: AN	36'	32'	28'	24	21"	'ଶ	<u>6</u>	12	MONOPOUR)	5	nuous F	5-1/2 5-1/8x13	6×14
STRUCTURAL PA	AR V = Cs*W = (1 GHT FRAMED WC	D5: LIVE = <u>30</u> DESIGN DATA: 1 = 0.12, 5D5 = 1.	ADS: LIVE = 40	DEARTHO	Ø	Ø	Ø	Ø	Ø	Ø	Ø	Ø	(MIN)	DENOTES FOO	ooting S	1x14 PSL 2.0E 1/2 GLB 24F-V4	DF NO. 1 RMT
NELS RATED FO	T: D Tho F:SDS/1.4:R DOD WALLS SHE	06, SDI = 0.12	PSF : DEAD		(4) #4'8	(3) #4's	(3) #4'8	(3) #4'8	(2) #4's	(2) <b>*</b> 4' <del>3</del>	(2) #4's	(2) #4	<u>STEEL</u> (CONTINUOUS)	ting size	chedule		
OR SHEAR RESISTANCE).		<u>20 P9</u>	= <u>10 PSF</u>	SIGN DATA:													DED WIRE MESH



## Structural Notes & Schedules

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:	H112	(2) - 2x Studs	5/8" W/ 14" Embed	58 5/8x24 W/ 18" Embed	5/8" W/ 12" Embed	1-3/8"	(26) 16d
	HDU4-6D62.5	(2) - 2x Studs	5/8' W/ 14' Embed	5B 5/8x24 W/ 18" Embed	5/8' W/ 12' Embed	1-5/16'	(1Ø) SDS
- 3	HDU5-6D62.5	(2) - 2x Studs	5/8' W/ 20' Embed	5B 5/8x24 W/ 18" Embed	5/8' W/ 16' Embed	I-5/I6'	(14) SDS
71-1	BITCH	(2) - 2x Studs	7/8" W/ 20" Embed	5B T/8x24 W/ 18" Embed	7/8' W/ 16' Embed	- /4"	(3) 3/4" Bolts
1	HDQ8-5D53	3-1/2'	7/8' W/ 20' Embed(3)	SB T/8x24 W/ 18' Embed	N/A	-1/4"	(20) SDS
<del> </del>   5	BECTH	3-1/2'	7/8" W/ 20" Embed(3)	5B T/8x24 W/ 18' Embed	N/A	I-1/4"	(3) 7/8' Bolts
1-1/	HHDQII	5-1/2'	l' W/ 8' Embed Into Ftg. (3)	N/A	N/A	1-1/2"	(24) SDS
+ + +	HD12	5-1/2'	1' W/ 8' Embed Into Ftg. (3)	N/A	N/A	2-1/8"	(4)  ' Bolts
- īī	HHDQ14	5-1/2'	l' W/ 8' Embed Into Ftg. (3)	N/A	N/A	1-1/2"	(3Ø) SDS
<del> </del>   0	HDU14-5D52.5	5-1/2'	l' W/ 8' Embed Into Ftg. (3)	N/A	N/A	1-9/16"	(36) SDS
	1.1. ALL HOLDOWNS F 1.1 & BAR VERTICAL MBEDMENTS ARE FOR DOUBLE POUR APPL	PER SIMPSON'S SPEC NNECTED BY (2) RC EACH SIDE OF 1/8' ( R SINGLE POUR INST ICATIONS	CIFICATIONS, MAINTAI NUS OF 16d NAILS AT OR GREATER THREA ALLATION ONLY. RE	NING REQUIRED EDG 4' O.C. STAGGERED DED ROD (TOTAL O HER TO LATEST VER	HE CLEARANCES. = 2) TO CONNECT STE SION OF SIMPSON CL	emwall to Atalog	) Footing.
	IAL INSPECTION IS R	EQUIRED AT ALL EF	POXY-SET ANCHORS.	EPOXY FOR CONC	R OF RECORD 2-WOR RETE DRILL & EPOX	AKING	
	HOLES SHALL BE A ACCEPTABLE TO SUE	STITUTE HOLDOWNS	SPECIFIED HIGHER	incho 6" Larger Than Thi In the Table with H	e specified bolt d Oldowns occurring	NAMETER	
	K IN THE TAPLE. S IS THE DIMENSION STHDRJ WHEN RIM JOI	to the centerline St is present. Aded Rods typic.	OF AB HOLE IN HOL AL.	.Doun.			
τυ Γ	ASIM ASO ALL INCE		AL.				

H-14

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H-13

H-12

	>	
(6) SDS		
(24) 16d	)	- 00 00
	Date	77-A7-T
(26) 60	Drawn	BWV
(10) SDS	Checked	BWV
(14) 505	Project No.	22-BWV

<u>Revisions</u>

Symbol (T)

Holdown Options (1)

in. Vert Wood Thickness (2)

Dbl. Nutted BP

Simpson : (4)

Threaded Rod Retrofit w/ SET-XP Epoxy (5)

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us, Bolts, Nails (6)

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TO FOUNDATION HOL

N HOLDOWN CONNECTION Foundation 1 Threaded Rod w/

NS (SEE DET, Installation O

-OR APPLICATIC

Strap to be at Least 102' Long

otrap to be at Least 80" Long

N/A

N A VA

A'N

Ients

(2) - 2x Studs

STHDIØ (9)

(2) -

2x Studs

Z Þ

AN A

Z Þ

N A

(20)

60

4-5-

CMST12

+ -4

CMSTI4

H-∐Ø

HTT4

(2) - 2x Studs

5/8" W/ 12" Embed

6B 5/8x24 W/ 18' Embed 6B 5/8x24 W/ 18' Embed

5/8" W/ 12" Embed

1-5/16'

5/8" W/ 12" Embed

1-3/8

(18) 16d

HDU2-SDS2.5

(2) - 2x Studs

5/8" W/ 14" Embed

STHD14 (9)

(2) - 2x Studs

NA

NA

AN A

AN A

± ±



ater	Detached	Accessory
E 1st Av	e	

Va 505

A.P.N.: 085-182-08

Dwelling Sun Valley, Nevada 89433



	5	LJ	IZ	Le	8	A	2/2	ED / 3/2	4/2	2	3	4	6	C Shearwall		3/S) DESIG		
SHALL BE COMMON ELD NAILING SHEAR APPLICABLE STUDE APPLICABLE STUDE IL SHEAR WALL STUDE IL SHEAR WALL STUDE INCH NOMINAL CONCETHER WITH M OGETHER WALLS INCH NOMINAL CONCETHER WITH M DE BLOCKING OR E SHEAR WALL TYPE ING OR THICKER FI TPSON MSTCAS ON ATTOSING OR RIM ING OR RIM INCKER FI THICK STEET ING OR RIM INCKER FI	7/16' Smart Panel Siding	7/16' Smart Panel Siding	7/16' Smart Panel Siding	7/16" Smart Panel Siding	5/8'	1/2"	3/8' B/S	3/8' B/S	3/8' B/S	3/8'	3/8'	3/8'	3/8'	Sheathing Thickness		N INCLUDES SNOL	EXPOSURE:	SPEED:
HORS 10 HORS 17 HORS 17 HOR	8	8 Q	<u>8</u>	80	lød	Ø	8d	8 d	Ø	8	8	8	80	Nail Size				
$A_{L}^{A}$ (ANZED) $A_{L}^{A}$ (ANZED) (ANZE	2' O.C.	3' O.C.	4 O.C.	6' O.C.	2" O.C.	2' O.C.	2" O.C.	3' O.C.	4" O.C.	2' O.C.	3' O.C.	4' O.C.	6' O.C.	Shear Na E.N.	I> IS	OR DRIFT 1	ი	1200
HI-II SHEATI BOX. NAIL O. S FIR LARC S FIR LARC S WITH HOL SILL PLATE LE WITH SPEC MINAL SILL SPACING: SPACING: ALL PANEL ALL PANEL SPACING: SPACING: ALL PANEL SPACING: SPACING: ALL PANEL SPACING: ALL PANEL SPACING: ALL PANEL SPACING: ALL PANEL SPACING: SPACING: ALL PANEL SPACING:	12" O.C.	12" O.C.	12" O.C.	12" O.C.	12" O.C.	12" O.C.	12" O.C.	12" O.C.	12" O.C.	12" O.C.	12" O.C.	12" O.C.	12" O.C.	il Spacing F.N.	hearwa	AND UNBAL		MPH (3 SEC
HEADS AR P PLATES, I P PLATES, I NAILING S NOR DOUB 12" OC. AI PLATE MA PLATE MA PLATE MA PLATE MA PLATE MA PLATE MA PLATE MA PLATE MA	2' O.C.	3' O.C.	4" O.C.	6' O.C.	N/A	N/A	N/A	NVA	2" O.C.	2' O.C.	3' O.C.	4" O.C.	6' O.C.	i6d Nail Spacing	all Sch	ANCED LO,		COND GUST
A APPROVE E NOT TO P E NOT TO P E NOT TO P HALL BE SI HALL BE SI E'S AND (2) LE 2X FRAM I ALL ADJO I ALL ADJO I E USED I EDGES, E ANY BREAK ANY BREAK	8" O.C.	12" O.C.	16 O.C.	16 O.C.	5-1/2' O.C.	6' O.C.	3' O.C.	4" O.C.	5-1/2" O.C.	6' O.C.	8 <u>0,C</u>	12" O.C.	16° 0.C.	1/4" SDS Spacing	nedule	ADING.		
D EQUAL UNO. ENETRATE PLYWOO AGGERED IN ALL O 200 BOX NAILS FO ING MEMBERS STITO INNG PANEL EDGE INNG PANEL EDGE IN TOP PLATES, UN 1 ALL EXTERIOR WA	Yes*	Yes <b>∗</b>	R	No	Yes	Υœ	٢æ	Υœ	Υœ	, ₩	Ťesŧ	No	No	3x Framing at Adj. Panel Edgee				
	42" O.C.	48' O.C.	48' O.C.	48' O.C.	26' O.C.	29' O.C.	18' O.C.	23' O.C.	32" O.C.	35' O.C.	46' O.C.	48' O.C.	48' O.C.	***5/8" A.B. Spacing				
PI ATE	27' O.C.	36' O.C.	39' O.C.	48' O.C.	16 O.C.	19 <b>'</b> 0,0	II' O.C.	<u>ੇ</u> ਹ	21" O.C.	23' O.C.	30" O.C.	35' O.C.	48' O.C.	***1/2" A.B. Spacing				
	35' O.C.	45' O.C.	48' O.C.	48' O.C.	21" O.C.	24" O.C.	14" O.C.		26' O.C.	29' O.C.	38' O.C.	48' O.C.	48' O.C.	**MASA SPACING				

Holdown Schedule

FLOOR TO FLOOR HOLDOWN CONNECTIONS (SEE DETAILS FOR APPLICATIONS) Min. Vertical Wood Thickness (2) Additional Com

loamfig

Holdown (1)

MSTC4Ø

 ±
 ±
 ±

 3
 2
 ±

MSTC52

MSTC66

WSUP22-0014 EXHIBIT D





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Structural Details

1-29-22
BWV
BWV
22-BWV

Revisions







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