

## Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

<b>Project Information</b>		Staff Assigned Case No.: _____	
Project Name:			
Project Description:			
Project Address:			
Project Area (acres or square feet):			
Project Location (with point of reference to major cross streets <b>AND</b> area locator):			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
<b>Applicant Information</b> (attach additional sheets if necessary)			
<b>Property Owner:</b>		<b>Professional Consultant:</b>	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone:                      Fax:		Phone:                      Fax:	
Email:		Email:	
Cell:                              Other:		Cell:                              Other:	
Contact Person:		Contact Person:	
<b>Applicant/Developer:</b>		<b>Other Persons to be Contacted:</b>	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone:                      Fax:		Phone:                      Fax:	
Email:		Email:	
Cell:                              Other:		Cell:                              Other:	
Contact Person:		Contact Person:	
<b>For Office Use Only</b>			
Date Received:                      Initial:		Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	



## Administrative Review Permit Application for a Detached Accessory Dwelling Supplemental Information

(All required information may be separately attached)

1. What is the size (square footage) of the main dwelling or proposed main dwelling (exclude size of garage)?

2. What is the size of the proposed detached accessory dwelling (exclude size of garage)? If a manufactured or modular home is the secondary dwelling, list the age and size of the unit.

3. How are you planning to integrate the main dwelling and secondary dwelling to provide architectural compatibility of the two structures?

5. How many off-street parking spaces are available? Parking spaces must be shown on site plan. Are any new roadway, driveway, or access improvements be required?

6. What will you do to minimize any potential negative impacts (e.g. increased lighting, removal of existing vegetation, etc.) your project may have on adjacent properties?

7. Is the subject property part of an active Home Owners Association (HOA) or Architectural Control Committee?

<input type="checkbox"/> Yes	<input type="checkbox"/> No	If yes, please list the HOA name.
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8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit a detached accessory dwelling on your property?

<input type="checkbox"/> Yes	<input type="checkbox"/> No	If yes, please attach a copy.
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9. Only one accessory dwelling unit, whether attached or detached, is allowed per parcel. Is there a guest apartment, mother-in-law unit, next-gen addition with kitchen or any other type of secondary dwelling on the subject property?

<input type="checkbox"/> Yes	<input type="checkbox"/> No	If yes, please provide information on the secondary unit.
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10. List who the service providers are for the main dwelling and accessory dwelling:

	Main Dwelling	Accessory Dwelling
Sewer Service		
Electrical Service		
Solid Waste Disposal Service		
Water Service		



12-5-22  
7-8-22  
REVISIONS:  
1 9-8-22 FLANCHER  
2 12-5-22 ADU SIZE REDUCTION  
3

**new residence & a.d.u.**  
JEREMY MUNOZ  
5020 MAYBERRY DRIVE  
RENO, NEVADA  
FOR:

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DRAWING TITLE:  
SITE PLAN, COVER SHEET

APPROVALS:

JOB NO.: 2042

**general notes:**

- ALL CONSTRUCTION SHALL MEET THE CURRENT REQUIREMENTS OF THE I.R.C., WASHOE COUNTY BUILDING & PLANNING DEPARTMENTS & ANY APPLICABLE C.C.A.R.'S WITHIN THIS DEVELOPMENT.
- FIELD VERIFY EXISTING SITE GRADES AND CONDITIONS.
- FIELD VERIFY ALL UTILITY LOCATIONS - CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH ALL APPLICABLE CODES & REQUIREMENTS.
- ALL PREFABRICATED PRODUCTS SHALL BE INSTALLED PER MANUF. SPECIFICATIONS.
- PROPERTY IS LOCATED IN A MODERATE FIRE HAZARD WILDLAND URBAN INTERFACE (WUI) ZONE. SEE SHEET A-5 FOR WUI REQUIREMENTS & NOTES.

**site legend:**

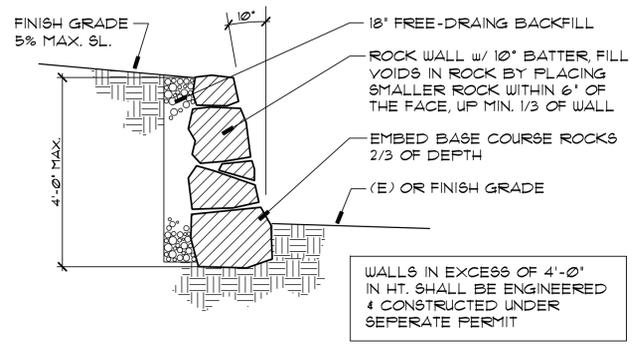
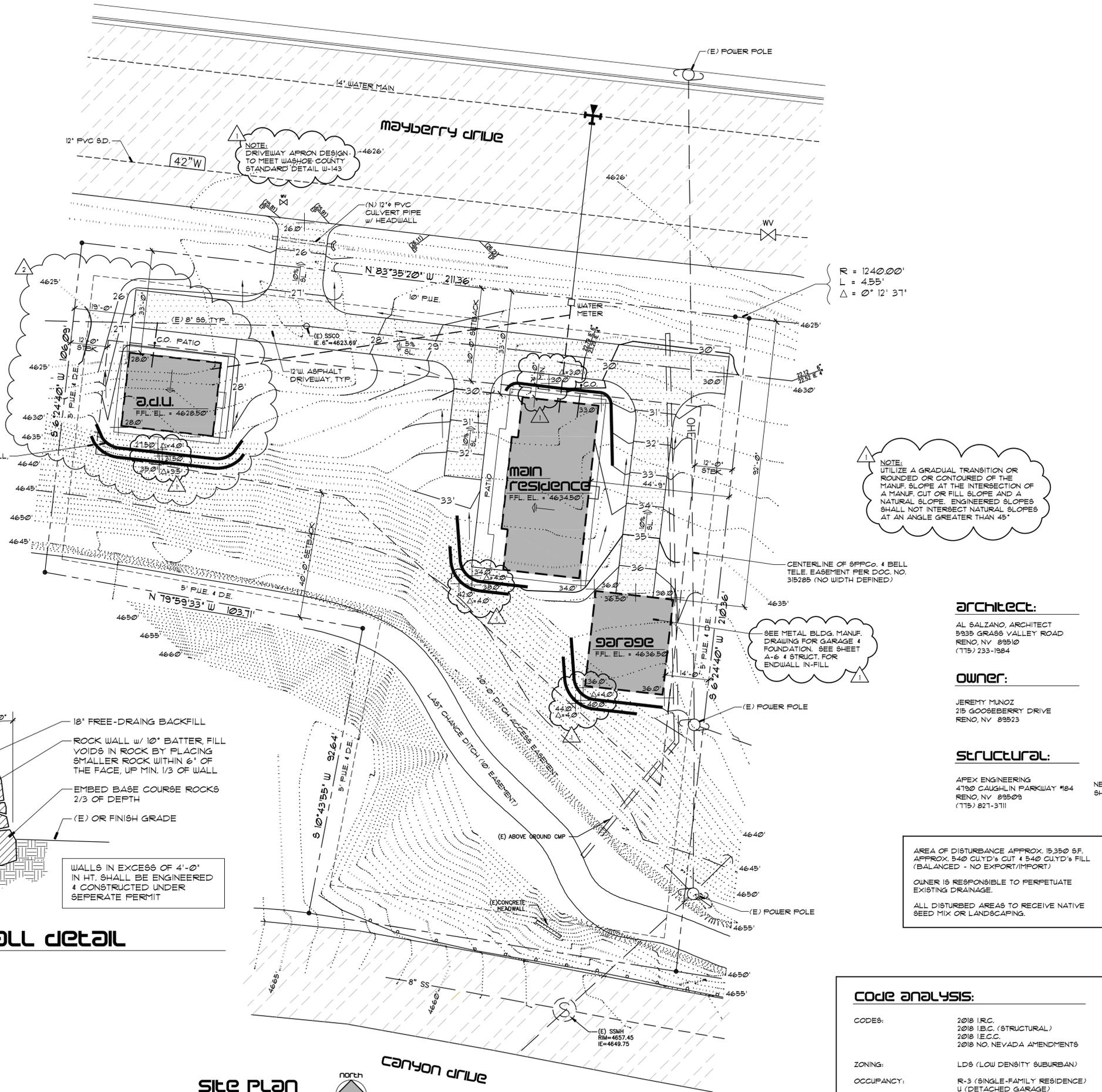
- EXISTING CONTOURS
- FINISH CONTOURS
- FINISH GRADES
- BUILDING ENVELOPE LINES
- DRAINAGE SLOPE - 2% MIN.

**site notes:**

- SOILS ENGINEER SHALL EXAMINE SITE AFTER EXCAVATION AND PRIOR TO SETTING ANY CONC. FORMS. SOILS ENGINEER RECOMMENDATIONS CONCERNING FOOTING SIZE, DEPTH, COMPACTION, ETC. SHALL BE FOLLOWED.
- DRIVEWAY SHALL BE 2 1/2" TYPE-III AC-20 ASPHALT PAVEMENT OVER 6" TYPE-II BASE COMPACTED TO 95%.
- ALL WALKS & PATIOS NOTED ON SITE PLAN SHALL BE 4" CONC. w/ FIBER MESH OVER 6" TYPE-II BASE COMPACTED TO 95%.
- CARE SHALL BE TAKEN THAT ALL VEGETATION IN UNDEVELOPED AREAS IS PROTECTED DURING CONSTRUCTION. ALL VEHICLES & MATERIAL STORAGE SHALL BE RESTRICTED TO DRIVE AREA.
- RETAIN ALL STONES FROM EXCAVATION. LARGER BOULDERS SHALL BE PLACED RANDOMLY IN PLANTER AREAS.
- GRADE SITE TO DRAIN 5% MIN. FOR 10'-0" AWAY FROM RESIDENCE.

DRAWING INDEX	
A-1	SITE PLAN, DRAWING INDEX
A-2	FLOOR PLANS
A-3	EXTERIOR ELEV. - MAIN HOUSE
A-4	EXTERIOR ELEVATIONS - A.D.U.
A-5	BUILDING SECTIONS
A-6	DETACHED GARAGE ELEV. & ELEC.
Q01	DETACHED GARAGE ENDWALLS
S1	FOUNDATION PLANS & DETAILS
S2	ROOF FRAMING PLANS & DETAILS
S01	STRUCTURAL NOTES
S02	STRUCTURAL DETAILS
ME-1	MECH./ELEC. PLANS
1 of 1	GARAGE DRAWING

APPROVALS:



**1 ROCK WALL DETAIL**  
NO SCALE

**Site Plan**  
SCALE 1/16" = 1'-0"  
A.P.N. 009-111-15  
PARCEL 2, P.M. 4891

**code analysis:**

CODES: 2018 I.R.C.  
2018 I.B.C. (STRUCTURAL)  
2018 I.E.C.C.  
2018 NO. NEVADA AMENDMENTS  
ZONING: LD6 (LOW DENSITY SUBURBAN)  
OCCUPANCY: R-3 (SINGLE-FAMILY RESIDENCE)  
U (DETACHED GARAGE)  
CONSTRUCTION TYPE: V-B (NON-RATED)  
DESIGN LOADS: SEE STRUCTURAL SHEET S01



11-14-22

REVISIONS:

1	12-5-22 ADU SIZE REDUCTION
2	
3	

**new residence & a.d.u.**

JEREMY MUNOZ  
5020 MAYBERRY DRIVE  
RENO, NEVADA

FOR:

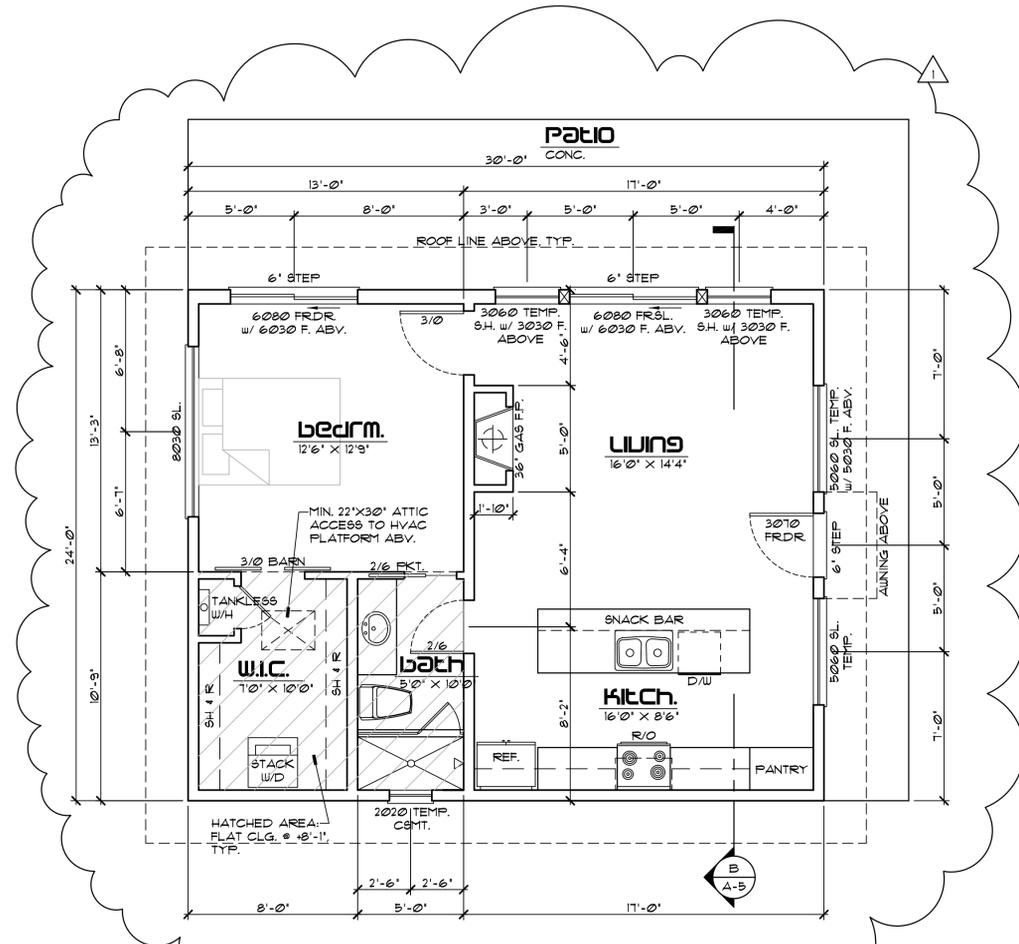
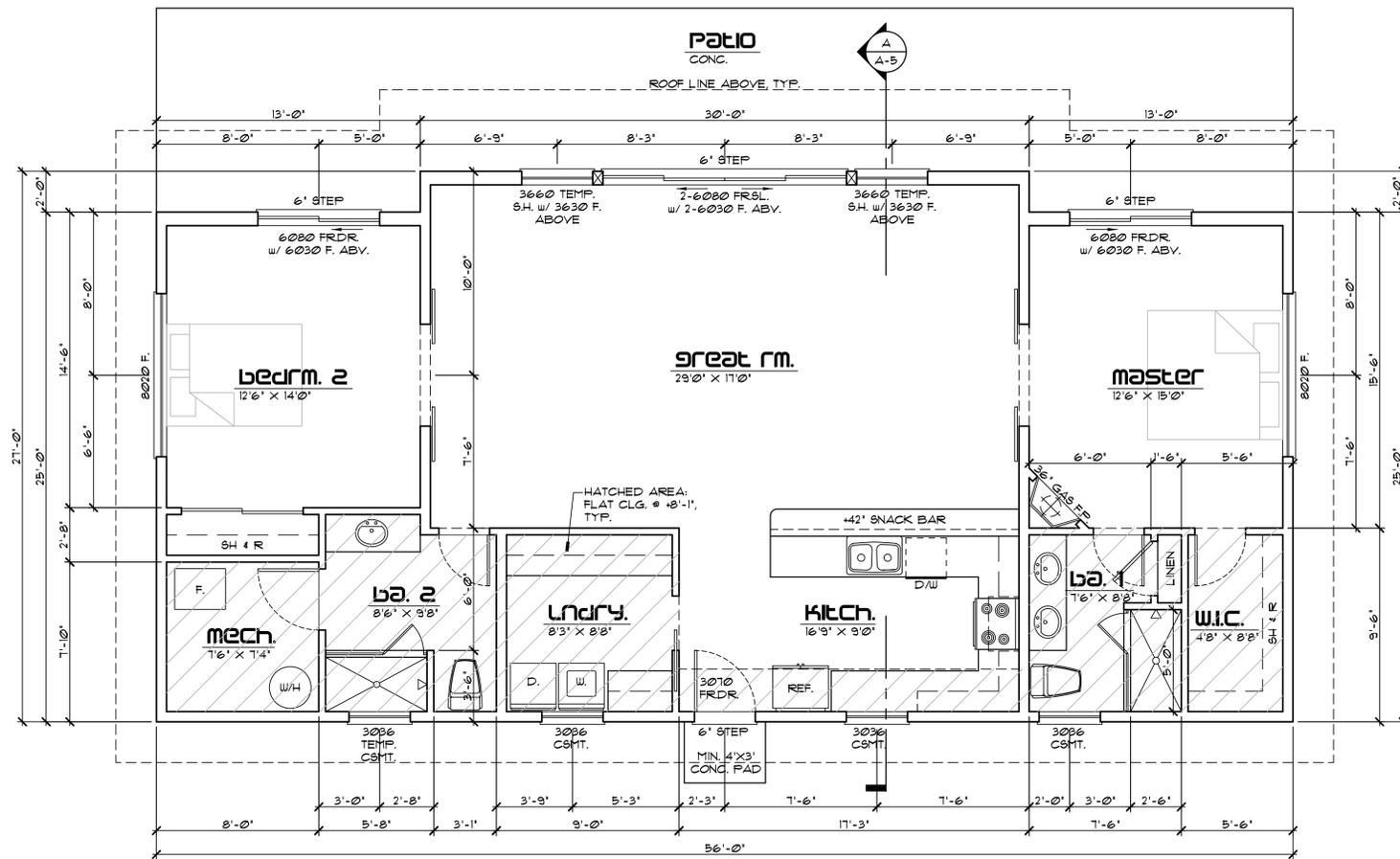
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DRAWING TITLE:

FLOOR PLANS

APPROVALS:

JOB NO.: 2042

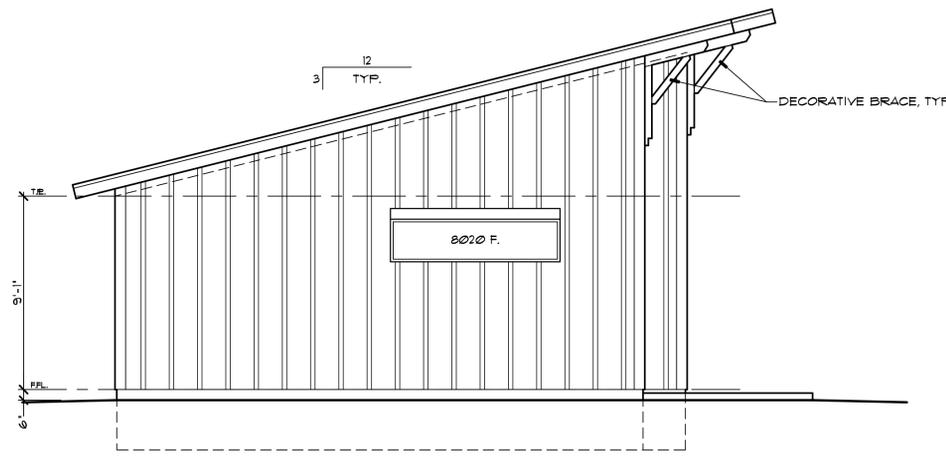


**FLOOR PLAN NOTES:**

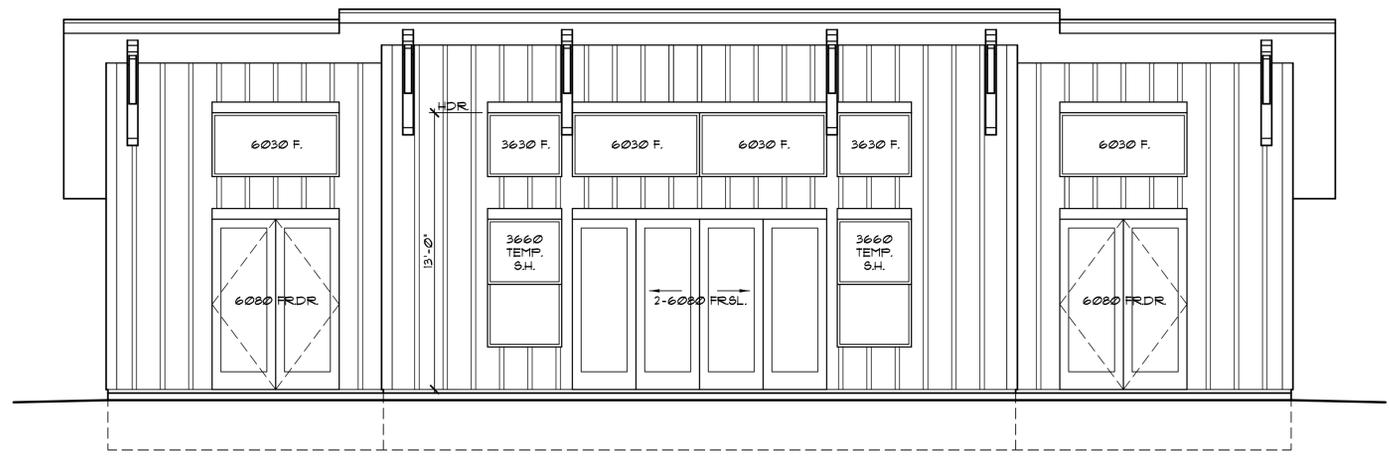
- EXTERIOR WALLS SHALL BE 2X6 STUDS @ 16" O.C. W/ MIN. 1/2" CDX FLYTD. (OR EQUAL) SHEATHING (1/8" GAP @ ALL EDGES), VAPOR BARRIER & R-21 INSUL., TYP. INTERIOR NON-BEARING WALLS SHALL BE 2X4 @ 16" O.C. UNO. PROVIDE FOAM GILL SEAL @ ALL EXTERIOR WALLS.
- 1/2" G.W.B. @ WALLS & 5/8" G.W.B. @ CEILINGS TYP. USE TILE BACKER BD. IN WET AREA. DRYWALL CORNERS & TEXTURE PER OWNER.
- SEE FOUNDATION PLAN FOR ADDITIONAL DIMENSIONS.
- TYPICAL PLATE HEIGHT IS 9'-1" AFF. (UNO.); WINDOW HEADER HEIGHT IS 1'-0" AFF. (UNO.); INTERIOR DOOR HEIGHT IS 8'-0" AFF. (UNO.)
- ALL CEILING FRAMING SHALL BE @ 24" O.C. AS FOLLOWS:  
2X4'S MAX. SPAN 9'-0"  
2X6'S MAX. SPAN 14'-0"  
2X8'S MAX. SPAN 18'-6"
- WHERE POSSIBLE VENT PLUMBING & FLUES TO REAR OF RESIDENCE.
- SEE EXTERIOR ELEVATIONS FOR SPECIALTY WINDOWS. ALL GLAZING SHALL BE LOW-E COATED, DUAL GLAZED.
- PROVIDE SILL PANS @ ALL EXTERIOR DOORS & WINDOWS.
- PROVIDE CIRCULATION PUMP FOR HOT WATER SYSTEM & INSULATE ALL PIPES (MIN. R-3). SEE SCHEMATIC ON ME-1.
- GAS FIREPLACE(S) SHALL BE A.G.A. RATED & INSTALLED PER MANUF. SPECIFICATIONS.
- INSULATE ALL INTERIOR WALLS, USE R-11 @ 2X4 WALLS & R-13 @ 2X6 WALLS, TYP.
- ALL SHOWER HEADS TO BE MOUNTED @ 6'-6" AFF.
- MAX. LENGTH OF HVAC FLEX-DUCT NOT TO EXCEED 25'-0".
- PROVIDE FIRE BLOCKING @ MAX. 10'-0" O.C. HORIZ. AT ANY WALL(S) THAT EXCEED 10'-0" IN HEIGHT.
- SEE STRUCT. FOR ADDITIONAL NOTES & SCHEDULES.



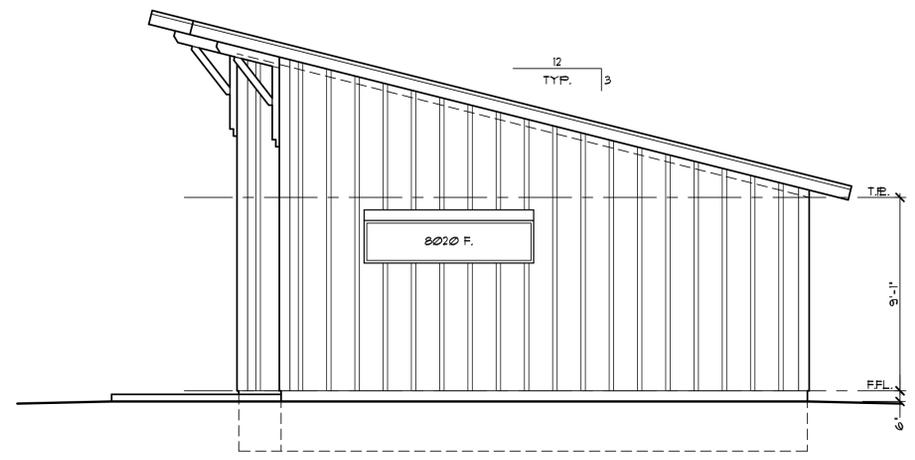
6-28-22  
 REVISIONS:  
 1  
 2  
 3



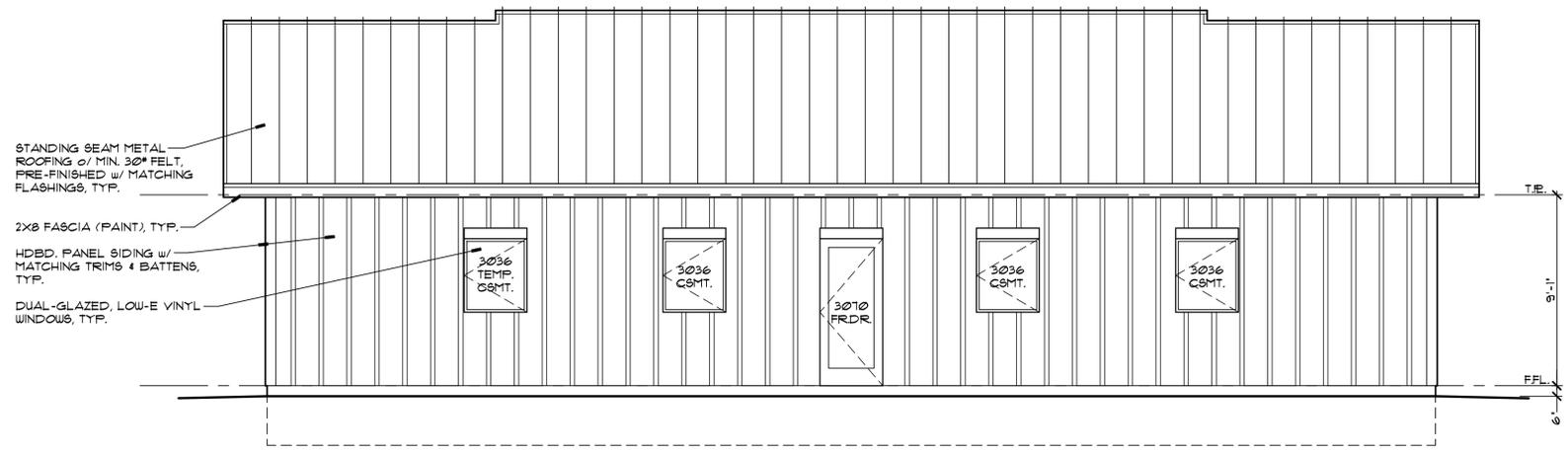
**north elevation**  
 SCALE 1/4" = 1'-0"



**east elevation**  
 SCALE 1/4" = 1'-0"



**south elevation**  
 SCALE 1/4" = 1'-0"



**west elevation**  
 SCALE 1/4" = 1'-0"

**new residence & a.d.u.**  
 JEREMY MUNOZ  
 5020 MAYBERRY DRIVE  
 RENO, NEVADA  
 FOR:

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DRAWING TITLE:  
 EXTERIOR ELEVATIONS MAIN HOUSE

APPROVALS:

JOB NO.: 2042



6-28-22

REVISIONS:

1 12-5-22 ADU SIZE REDUCTION

2

3

**new residence & a.d.u.**

JEREMY MUNOZ  
5020 MAYBERRY DRIVE  
RENO, NEVADA

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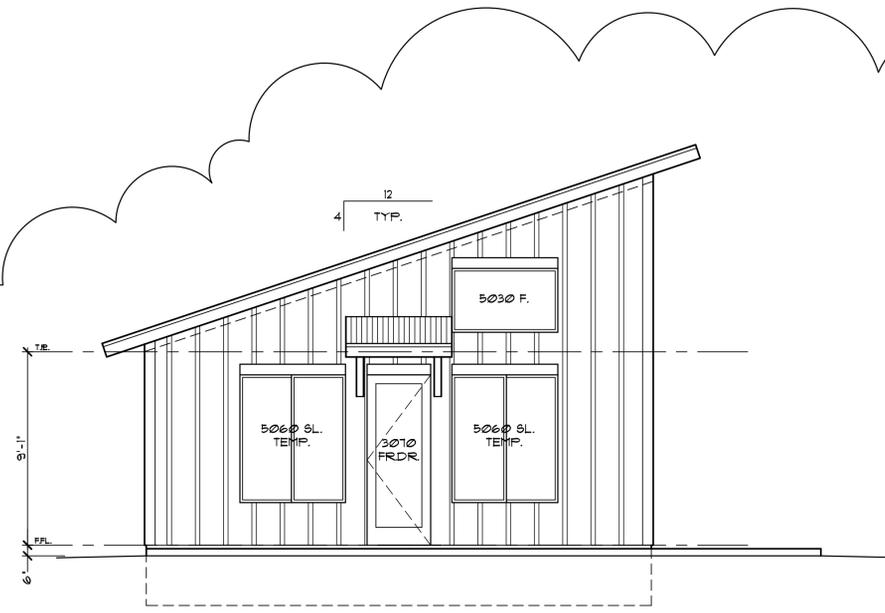
EXTERIOR ELEVATIONS A.D.U.

APPROVALS:

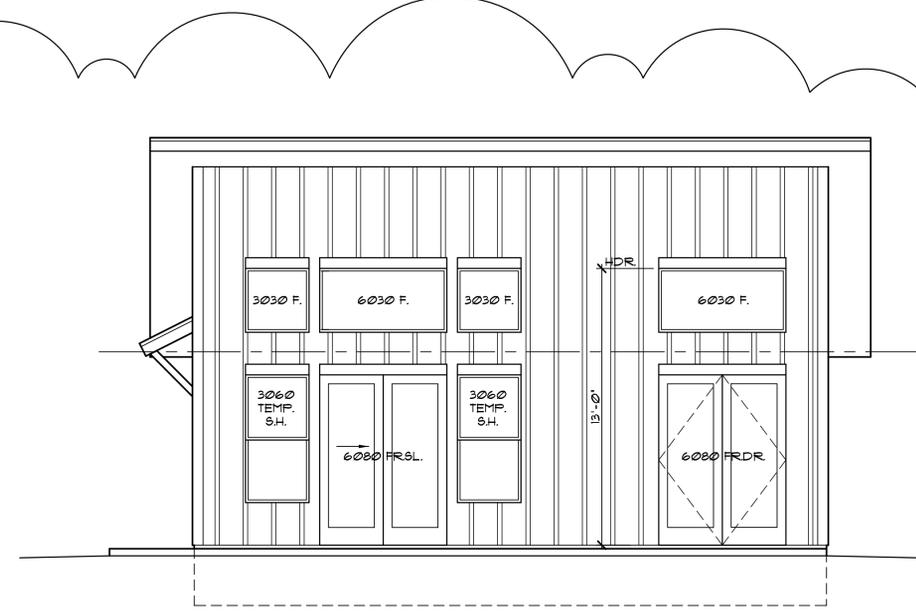
JOB NO.:

2042

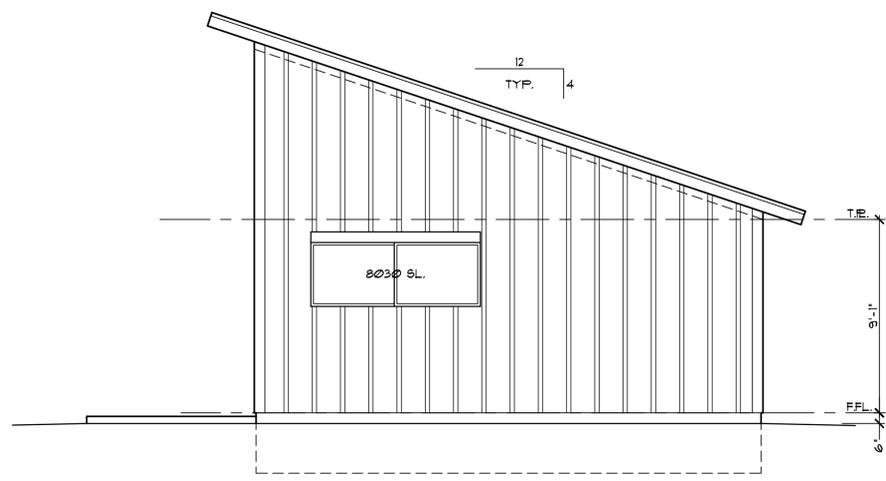
**A-4**



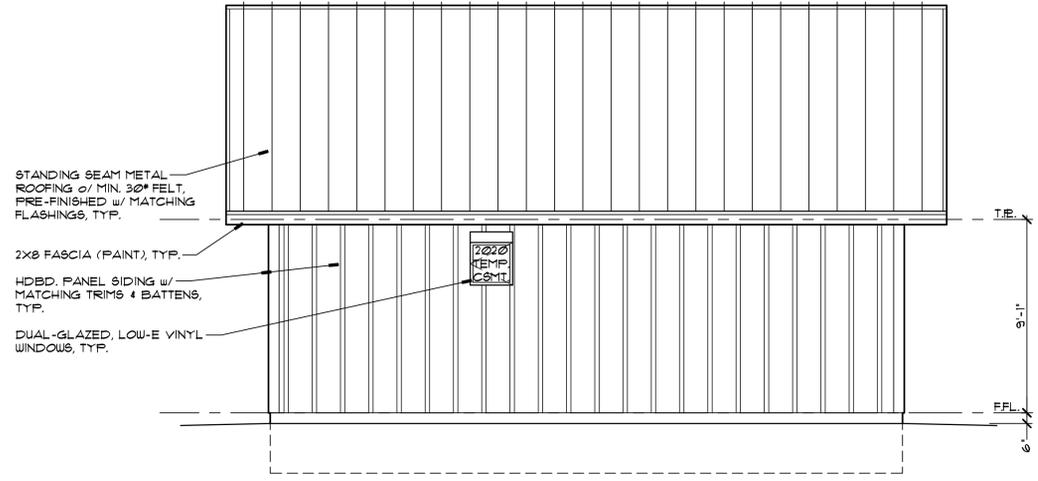
**east elevation**  
SCALE 1/4" = 1'-0"



**north elevation**  
SCALE 1/4" = 1'-0"



**west elevation**  
SCALE 1/4" = 1'-0"



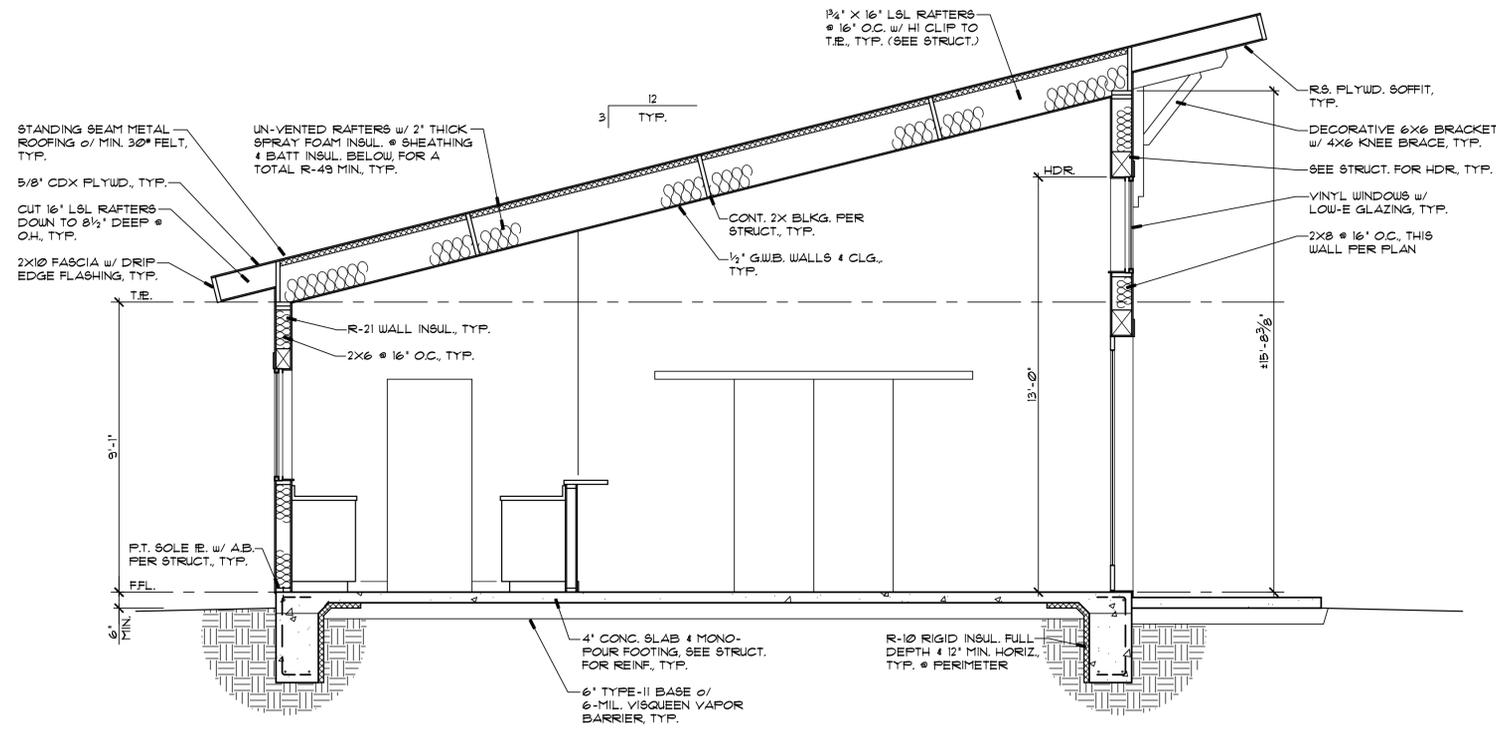
**south elevation**  
SCALE 1/4" = 1'-0"



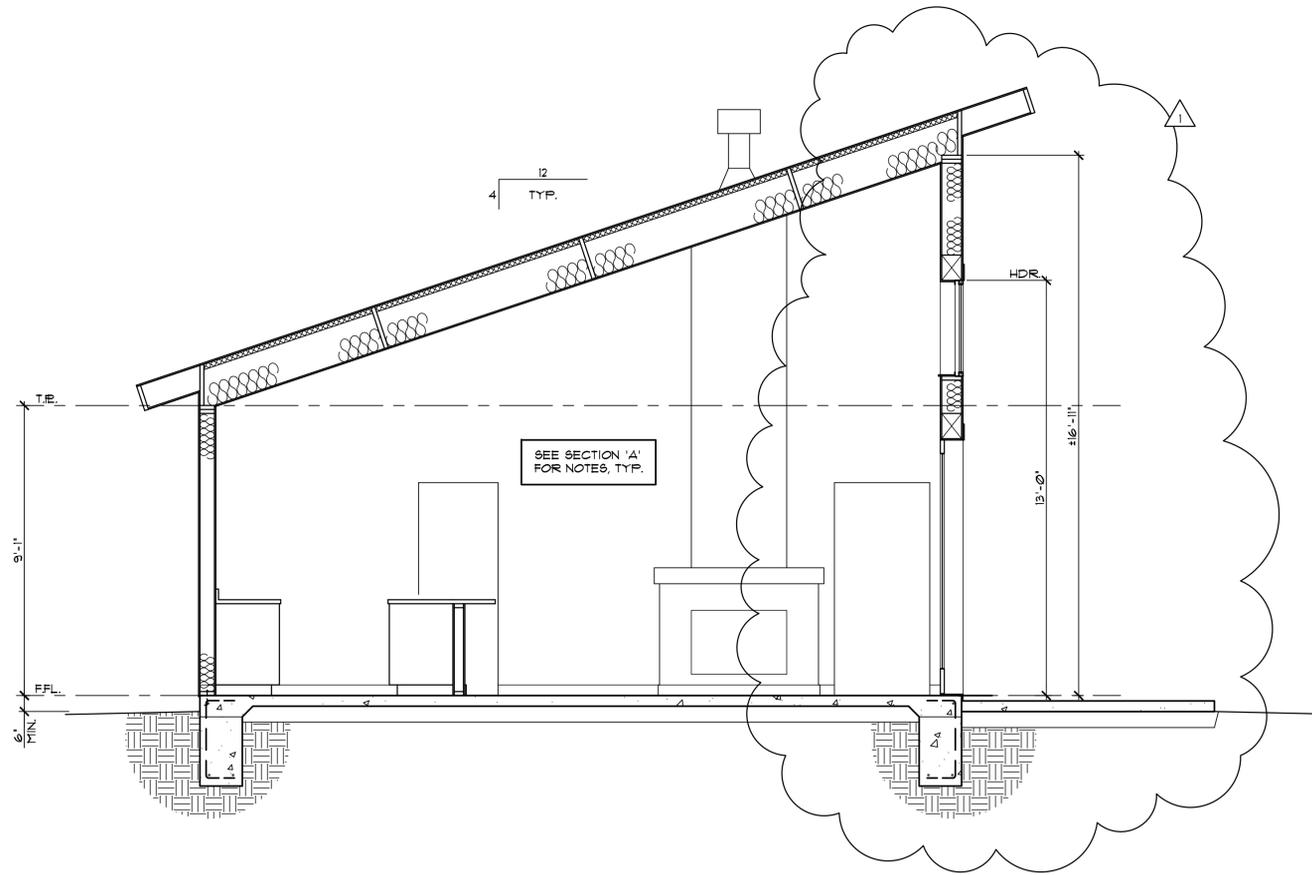
6-6-22

REVISIONS:

1	12-5-22 ADU SIZE REDUCTION
2	
3	



**BUILDING SECTION 'A'**  
SCALE 3/8" = 1'-0"



**BUILDING SECTION 'B'**  
SCALE 3/8" = 1'-0"

**new residence & adu.**  
JEREMY MUNOZ  
5020 MAYBERRY DRIVE  
RENO, NEVADA

FOR:

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DRAWING TITLE:  
**BUILDING SECTIONS**

APPROVALS:

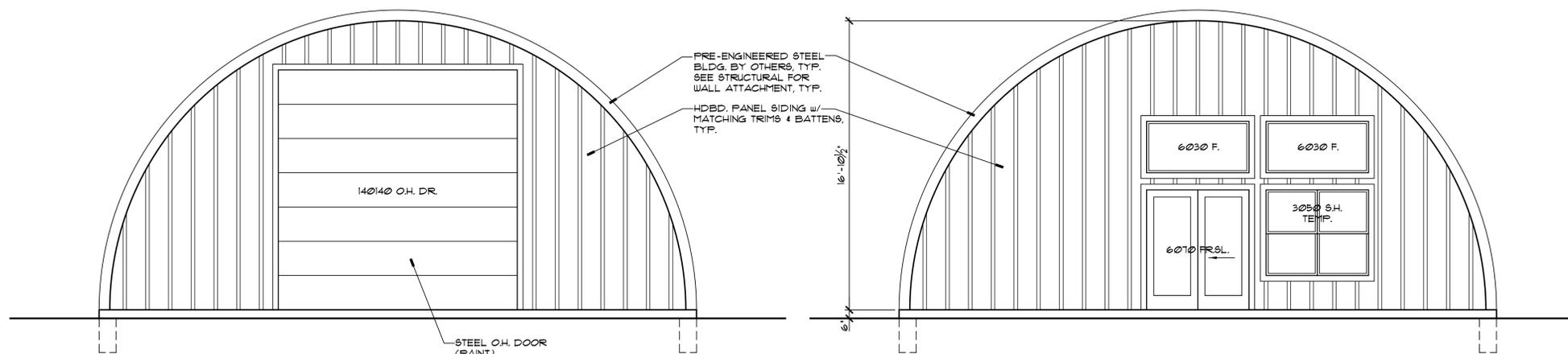
JOB NO.: 2042



8-28-22

REVISIONS:

- 1 8-28-22 NEW SHEET
- 2
- 3



**North Elevation**  
SCALE 1/4" = 1'-0"

**South Elevation**  
SCALE 1/4" = 1'-0"

**WILDLAND URBAN INTERFACE NOTES:**

**GENERAL (W.U.I.) NOTES:**

1. ALL EXTERIOR BUILDING MATERIALS MUST COMPLY w/ 2018 WILDLAND URBAN INTERFACE (W.U.I.) CODE FOR NEW CONSTRUCTION.
2. ALL BUILDING MATERIAL MUST BE INSTALLED PER MANUF. DETAILS & SPEC'S. SEE EXTERIOR ELEVATIONS & BUILDING SECTIONS FOR LOCATION & DETAILS OF BUILDING MATERIALS LISTED BELOW.
3. PROPERTY IS DESIGNATED AS 'MODERATE FIRE HAZARD'. W.U.I. TABLE 503.1 w/ DEFENSIBLE SPACE & NON-CONFORMING WATER SUPPLY = IR2 (CLASS 2) CONSTRUCTION REQ'D.

**PROPOSED (W.U.I.) BUILDING STANDARDS:**

**ROOFING:**

**ROOFING MATERIAL:**  
ASPHALT SHINGLES, MIN. CLASS 'B' FIRE-RESISTIVE. INSTALL PER MANUF. & CHAPTER 9 OF THE I.R.C.

**ROOF COVERING:**  
NO SPACE BETWEEN ROOF COVERING & ROOF DECKING.

**ROOF VALLEYS:**  
MIN. 20x19" NO. 26 GA. GALV. SHEET METAL INSTALLED OVER NOT LESS THAN ONE (1) LAYER OF MIN. 12" MINERAL-SURFACED NONPERFORATED CAP SHEET, MIN. 36" WIDE RUNNING THE FULL VALLEY LENGTH.

**ROOF GUTTERS:**  
MUST BE NON-COMBUSTIBLE MATERIAL & PROVIDED w/ THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES & DEBRIS IN THE GUTTER.

**VENTS:**  
LOWER EYEBROW VENTS SHALL BE FIRE-RATED, O'HAGIN MFG. FIRE & ICE LINE OR EQUAL, INSTALL PER MANUF. SOFFIT VENTS SHALL BE 'VULCAN INDUSTRIES' OR EQUAL.

**EXTERIOR COVERINGS:**

**EXTERIOR WALL MATERIAL:**  
CEMENTITIOUS PANEL SIDING & BATTENS, 'JAMES HARDIE' OR EQUAL - APPROVED NON-COMBUSTIBLE MATERIAL.

**EXTENT OF COVERING:**  
EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF THE FOUNDATION TO THE ROOF, & TERMINATE AT 2' NOM. SOLID WD. BLOCKING BETWEEN RAFTERS & ALL ROOF OVERHANGS.

**EAVE PROTECTION:**  
EAVES & SOFFITS SHALL BE PROTECTED ON EXPOSED UNDERSIDE BY IGNITION-RESISTANT MATERIALS - CEMENTITIOUS SOFFIT BOARDS, 'JAMES HARDIE' OR EQUAL - APPROVED NON-COMBUSTIBLE MATERIAL.

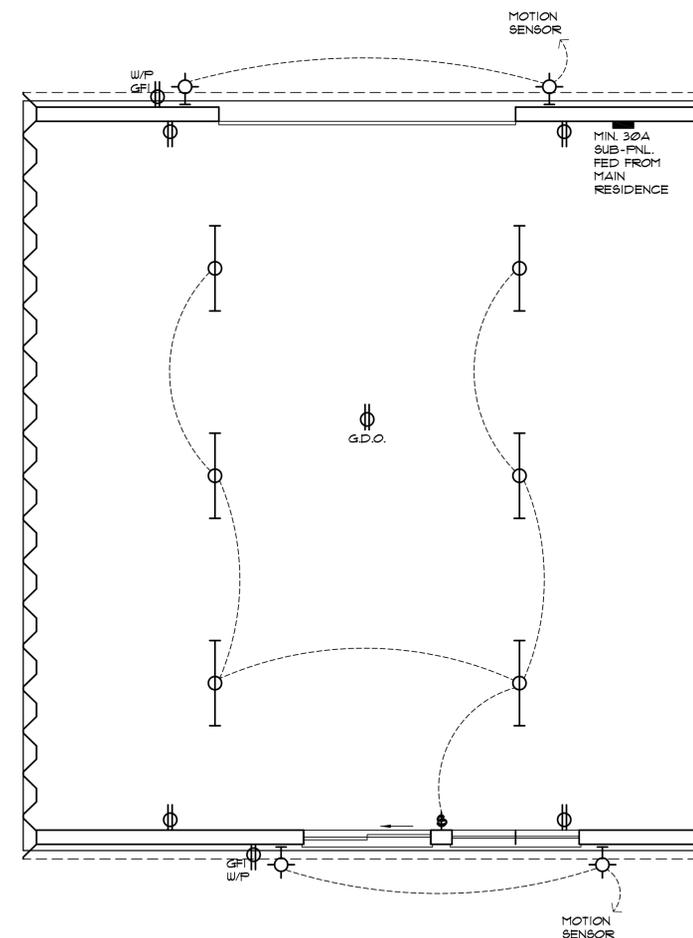
**EXTERIOR WINDOWS & DOORS:**

**EXTERIOR WINDOWS & GLAZED DOOR ASSEMBLIES:**  
EXTERIOR WINDOWS & GLAZED DOOR ASSEMBLIES SHALL BE CONST. OF MULTI-PANE GLAZING OR TEMPERED GLASS.

**EXTERIOR DOORS:**  
EITHER EXTERIOR SURFACE OR CLADDING OF NON-COMBUSTIBLE OR IGNITION-RESISTANT MATERIAL, OR CONSTRUCTED OF SOLID CORE WD. w/ STILES & RAILS OF NOT LESS THAN 1 3/4" THICKNESS & RAISED PANELS SHALL BE NOT LESS THAN 1 1/4" THICK, EXCEPT FOR THE PERIMETER THAT MAY TAPER TO A TONGUE NOT LESS THAN 3/8" THICK.

**DEFENSIBLE SPACE:**

1. PRIOR TO BUILDING PERMIT FINAL APPROVAL, THE PROPERTY SHALL BE IN COMPLIANCE w/ THE VEGETATION CLEARANCE REQUIREMENTS PRESCRIBED IN W.U.I. SECTION 603 & 604 'DEFENSIBLE SPACE.'
2. THE ENFORCEMENT OF DEFENSIBLE SPACE & INSPECTION SHALL BE PERFORMED BY THE LOCAL JURISDICTION HAVING AUTHORITY.



**ELEC. PLAN**  
SCALE 1/4" = 1'-0"



**new residence & d.p.u.**  
FOR: JEREMY MUNOZ  
5020 MAYBERRY DRIVE  
RENO, NEVADA

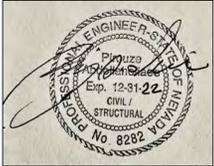
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DRAWING TITLE:

DETACHED GARAGE ELEV. & ELEC.

APPROVALS:

JOB NO: 2042

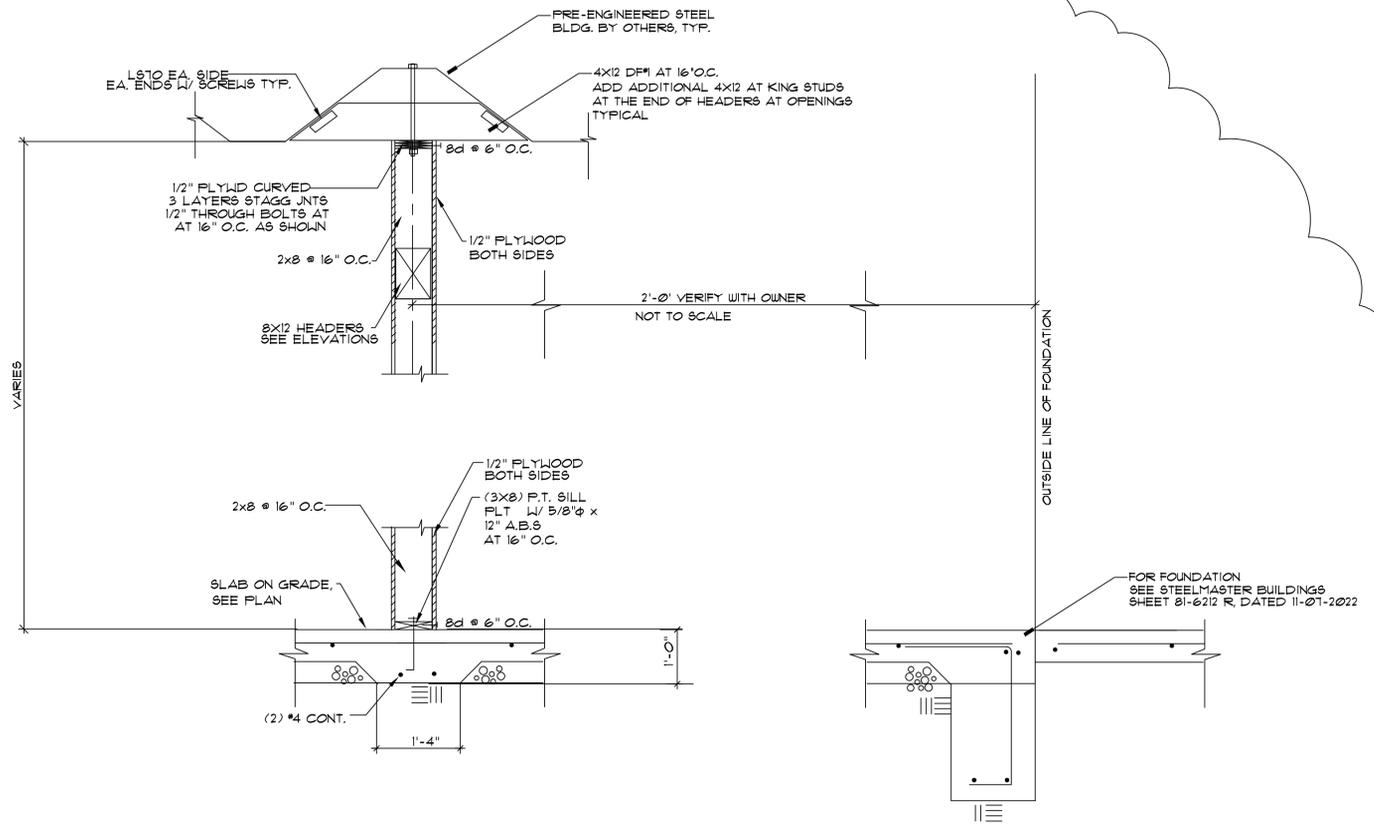
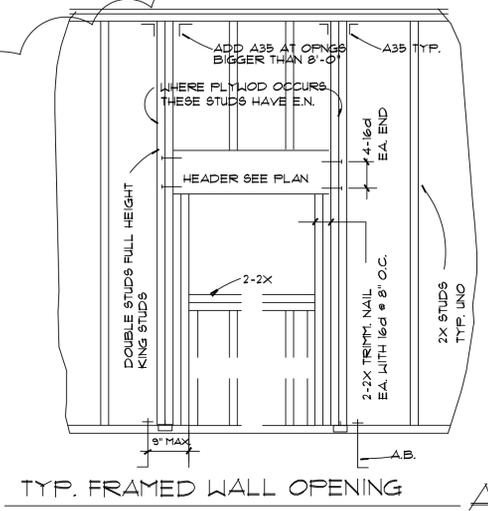


6-14-2022



REVISIONS:

1	PLAN CHECK 8-24-2022
2	
3	

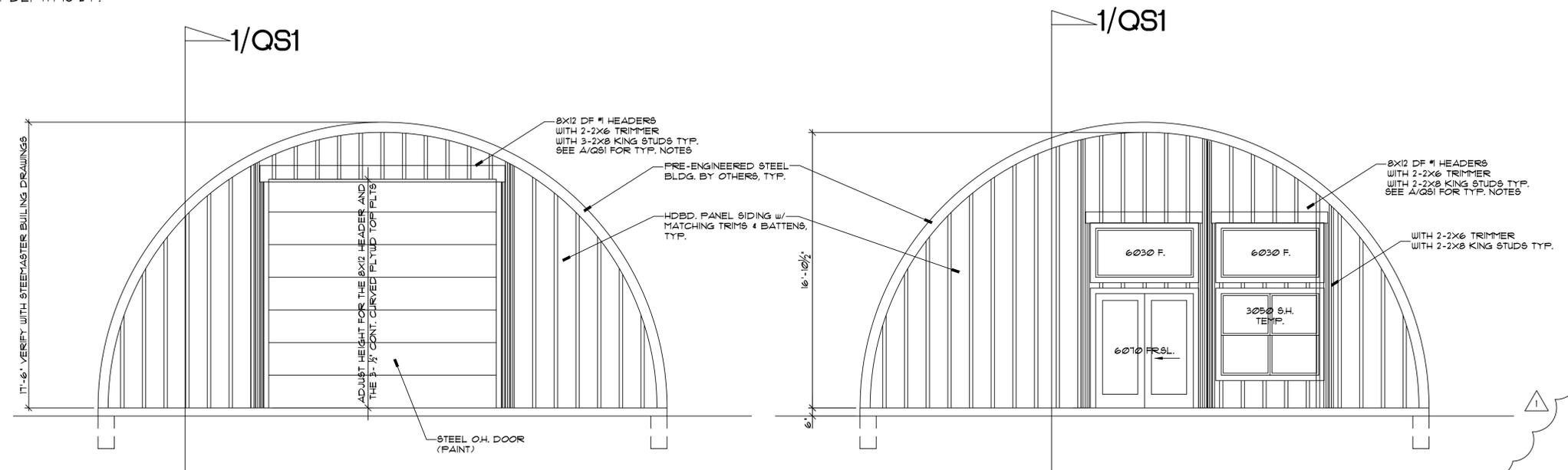


SECTION

3/4"=1'-0" 1

STRUCTURAL NOTES

- A. DESIGN CRITERIA
- ALL WORKMANSHIP AND MATERIAL SHALL CONFORM TO IBC 2018 CODE, NORTHERN NEVADA AMENDMENTS, WASHOE COUNTY BUILDING ORDINANCE, AMERICAN INSTITUTE OF TIMBER CONSTRUCTION, AND CURRENT EDITIONS OF OTHER REFERENCED INDUSTRY STANDARDS.
  - ALL WORK SHALL CONFORM TO THE PLANS AND SPECIFICATIONS IN ALL RESPECTS, AND SHALL BE SUBJECT TO APPROVAL OF THE ENGINEER. APPROVAL TO DEVIATE FROM THE PLANS MUST BE OBTAINED IN WRITING FROM THE ENGINEER.
  - THIS STRUCTURE HAS BEEN DESIGNED FOR THE FOLLOWING LOADS IN ACCORDANCE WITH THE IBC 2018, CITY OF RENO BUILDING ORDINANCES, AND GENERALLY ACCEPTANCE DESIGN PRACTICES.
    - LATERAL LOADS: WIND 120 MPH 3 SECOND EXPOSURE C
  - FOUNDATIONS ARE DESIGNED FOR ALLOWABLE SOIL BEARING PRESURE OF 1,500. PSF. CONTRACTOR SHALL VERIFY THE SOILS BEARING PRESSURE PRIOR TO CONCRETE POUR. FOR TOTAL LOADS. FROST DEPTH IS 24".



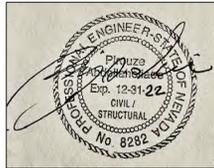
new residence & a.d.u.  
 JEREMY MUNOZ  
 5020 MAYBERRY DRIVE  
 RENO, NEVADA

FOR:

DRAWING CODE:  
 DETACHED GARAGE  
 END WALLS

APPROVALS:  
 MUNICIPALITY APPROVAL

Q.S.1



6-14-2022



**STRUCTURAL NOTES**

**A. DESIGN CRITERIA**

- ALL WORKMANSHIP AND MATERIAL SHALL CONFORM TO IBC 2018 CODE, AND 2018 NORTHERN NEVADA AMENDMENTS, WASHOE COUNTY BUILDING ORDINANCE, AMERICAN CONCRETE INSTITUTE, AMERICAN INSTITUTE OF TIMBER CONSTRUCTION, AND CURRENT EDITIONS OF OTHER REFERENCED INDUSTRY STANDARDS.
- ALL WORK SHALL CONFORM TO THE PLANS AND SPECIFICATIONS IN ALL RESPECTS, AND SHALL BE SUBJECT TO APPROVAL OF THE ENGINEER. APPROVAL TO DEVIATE FROM THE PLANS MUST BE OBTAINED IN WRITING FROM THE ENGINEER.
- THIS STRUCTURE HAS BEEN DESIGNED FOR THE FOLLOWING LOADS IN ACCORDANCE WITH THE IBC 2018, CITY OF RENO BUILDING ORDINANCES, AND GENERALLY ACCEPTANCE DESIGN PRACTICES.
  - LIVE LOAD  $\pm$ LOADS: TOP CHORD - LL, ROOF SNOW = 21 PSF
  - FLOOR LIVE LOAD = 40PSF
  - LATERAL LOADS: WIND 120 MPH 3 SECOND EXPOSURE C, SEISMIC- CATEGORY D
- FOUNDATIONS ARE DESIGNED FOR ALLOWABLE SOIL BEARING PRESSURE OF 1,500. PSF. CONTRACTOR SHALL VERIFY THE SOILS BEARING PRESSURE PRIOR TO CONCRETE POUR. FOR TOTAL LOADS. FROST DEPTH IS 24".

**B. FOUNDATIONS**

- THE CONTRACTOR SHALL FIELD VISIT THE JOB SITE AND MAKE INVESTIGATIONS AS DEEMED NECESSARY TO DETERMINE SOIL CONDITIONS THAT MAY AFFECT HIS WORK.
- BEFORE COMMENCING ANY EARTHWORK, THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES OR STRUCTURES AND SHALL NOT PERFORM ANY WORK THAT WILL DAMAGE OR INTERFERE WITH THE SERVICE OF SAME.
- SITE PREPARATION, BACKFILL, SELECT FILL, ETC., SHALL BE AS RECOMMENDED BY THE SOILS ENGINEER.
- FOOTING EXCAVATIONS SHALL BE NEAT AND TRUE, WITH ALL LOOSE MATERIAL REMOVED BEFORE FOOTING CONCRETE IS PLACED. EXCAVATIONS SHALL BE PROTECTED FROM FREEZING.
- ALL INTERIOR SLABS-ON-GRADE SHALL BE CONSTRUCTED AS FOLLOWS, PLACE 6" OF TYPE 2 CLASS B AGGREGATE BASE, COMPACT TO 95% COMPACTION
- ALL FOUNDATIONS SHALL BE PLACED ON FIRM UNDISTURBED EARTH. HOLES DUE TO REMOVAL OF LARGE ROCKS OR OVER-EXCAVATION SHALL BE FILLED WITH CONCRETE.
- UNLESS SHOWN OTHERWISE, FOOTINGS SHALL BE PLACED A MINIMUM OF 24 INCHES BELOW THE FINISHED EXTERIOR GRADE.
- ALL LOOSE SOIL AND FILL, INCLUDING BACKFILL BEHIND WALLS SHALL BE PLACED IN 8" LIFTS AND COMPACTED TO AT LEAST 95% OF MAXIMUM DENSITY.

**C. REINFORCED CONCRETE:**

- ALL CONCRETE WORK AND MATERIALS SHALL CONFORM TO ACI 318. AND ACI 301.
- CAST-IN-PLACE CONCRETE SHALL HAVE THE FOLLOWING MINIMUM COMPRESSIVE STRENGTHS IN 28 DAYS.
 

FOOTINGS, WALLS, GRADE BEAMS	3000 PSI
SLABS-ON-GRADE	3500 PSI

CEMENT SHALL BE IN ACCORDANCE WITH ASTM 150 TYPE II .  
 UNLESS NOTED OTHERWISE, DESIGN IS BASED ON F'c LESS THAN OR EQUAL TO 2500 PSI, THEREFORE, SPECIAL INSPECTION IS NOT REQUIRED.  
 THE MAXIMUM SLUMP SHALL BE:

SLABS	3"
WALLS	3"
OTHER CONCRETE	3"

- REINFORCING STEEL SHALL BE ASTM A 615 GRADE 60.
- ALL HORIZONTAL BARS SHALL BE BENT AT CORNERS WITH A 24" EXTENSION, OR HAVE MATCHING CORNER BARS WITH 24" LEGS. ALSO REFER TO SHEET 60.2.
- PROVIDE LAP SPLICES AS FOLLOWS: #3 AND #4 BARS LAP 24" MINIMUM, #5 BARS LAP 30" MINIMUM.
- ALL REINFORCEMENT SHALL BE SECURELY TIED IN PLACE BEFORE PLACING CONCRETE.

**D. WOOD**

- SAWN LUMBER SHALL BE DOUGLAS FIR - AND SHALL HAVE THE FOLLOWING MINIMUM GRADES (SEE THIS SHEET FOR TYPICAL NAILING REQUIREMENTS).
 

DESCRIPTION	GRADE	
TYPICAL FRAMING	NO. 2	ALL JOISTS, STUDS & PLATES
6X BEAMS HDRS	NO. 1	
4X BEAMS HDRS	NO. 1	2X12'S ROOF JOISTS DF#1
POST AND TIMBERS	NO. 1	

 SOLE PLATES AND WOOD WITHIN 8" OF EARTH SHALL BE PRESSURE TREATED DOUGLAS FIR NO. 2 .  
 LUMBER SHALL HAVE A MOISTURE CONTENT LESS THAN OR EQUAL TO 19%.
- PLYWOOD SHEATHING SHALL BE APA STAMPED CD SPAN RATED PANELS, EXPOSURE I, SEE PLAN FOR THICKNESS AND NAILING.
- FLOOR SHEATHING SHALL BE STURD-I-FLOOR. NAIL WITH 10D RING OR SCREW-SHANK NAILS. FLOOR SHEATHING SHALL BE GLUED TO SUPPORTS. APPLY GLUE AS RECOMMENDED BY APA AND THE MANUFACTURER.
- ALL NAILS SHALL BE COMMON NAILS, EXCEPT AS NOTED ON THE PLANS.
- NAILS WHICH WILL BE EXPOSED TO WEATHER SHALL BE EITHER ZINC COATED, ALUMINUM ALLOY WIRE, OR STAINLESS STEEL.
- ALL ROUGH FRAMING SHALL CONFORM TO THE IBC.

- FRAMING HARDWARE SHALL BE AS MANUFACTURED BY THE SIMPSON STRONG-TIE CO. OR APPROVED EQUAL AND OF TYPE AND SIZE INDICATED ON THE PLANS. INSTALLATION SHALL BE AS RECOMMENDED BY THE MANUFACTURER.
- SPECIAL CARE SHALL BE GIVEN TO THE FABRICATION OF BEARING SURFACES OF COLUMNS TO ENSURE THAT MEMBERS FIT TIGHTLY AND THE INTERFACING SURFACES ARE TRUE.
- BOLTS SHALL BE MACHINE BOLTS (ASTM A 307). USE WASHERS WHERE BOLT HEAD OR NUT BEARS ON WOOD. HOLES SHALL BE 1/32" LARGER IN DIAMETER.

**H. MISCELLANEOUS**

- WORKING DIMENSIONS SHALL NOT BE SCALED FROM THE PLANS, SECTIONS OR DETAILS.
- CONSTRUCTION OR DETAILS FOR ELEMENTS OR PORTIONS OF THE WORK NOT SPECIFICALLY SHOWN SHALL BE SIMILAR TO CONSTRUCTION OR DETAILS SHOWN.
- NOTES AND DETAILS SPECIFICALLY INDICATED SHALL TAKE PRECEDENCE OVER THE STRUCTURAL NOTES.
- THE CONTRACTOR SHALL CHECK AND COORDINATE WITH ELECTRICAL AND MECHANICAL CONTRACTOR FOR BLOCK OUTS, CONDUIT, PIPE SLEEVES, EMBEDDED ITEMS, ETC, TO BE EMBEDDED IN CONCRETE, AS WELL AS OPENINGS IN STRUCTURE FOR MECHANICAL AND ELECTRICAL INSTALLATIONS.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ADEQUATE ERECTION SHORING AND BRACING AS REQUIRED FOR STABILITY OF THE STRUCTURE DURING ALL PHASES OF CONSTRUCTION.

REVISIONS:

- PLAN CHECK 8-2022
- 
- 

new residence & a.d.u.  
 JEREMY MUNOZ  
 5020 MAYBERRY DRIVE  
 RENO, NEVADA  
 FOR:

DRAWING DATE:

STRUCTURAL NOTES

APPROVALS:

MUNICIPALITY APPROVAL

S0.1

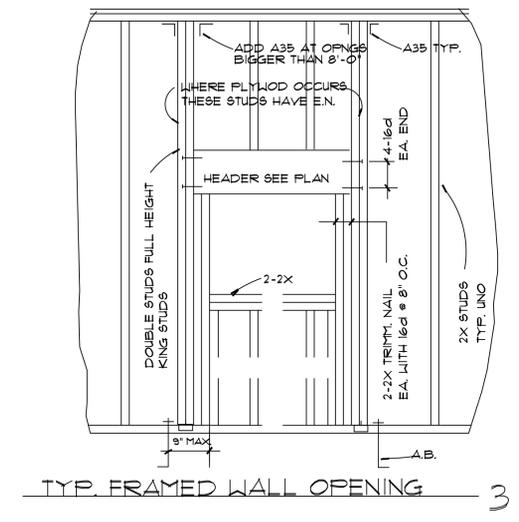


6-14-2022

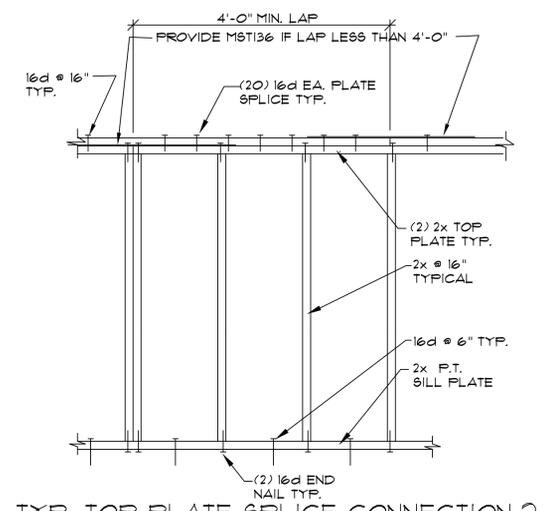
**APEX ENGINEERING**  
 4790 CAUGHLIN PKWY., #84  
 RENO, NV 89503-0901  
 (702) 821-3111

REVISIONS:

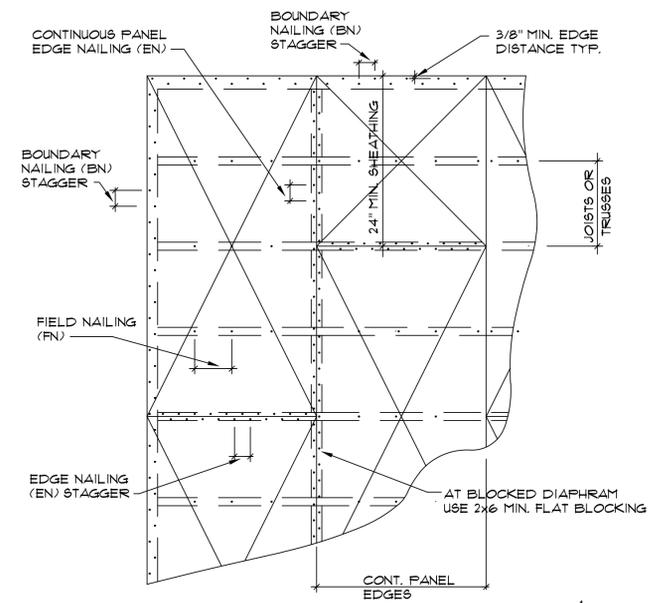
1	
2	
3	



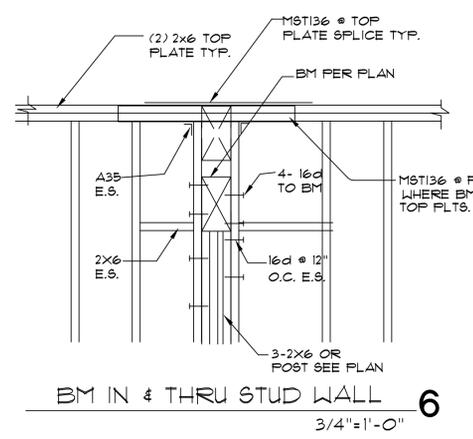
TYP. FRAMED WALL OPENING 3  
 NO SCALE



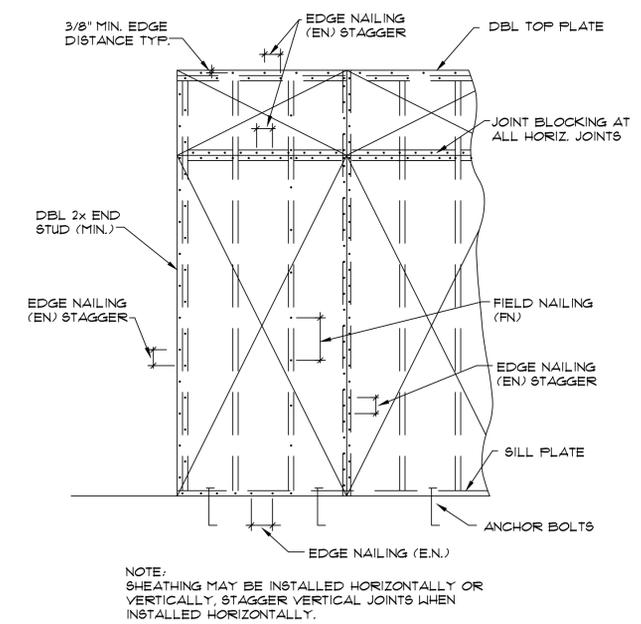
TYP. TOP PLATE SPLICE CONNECTION 2  
 NO SCALE



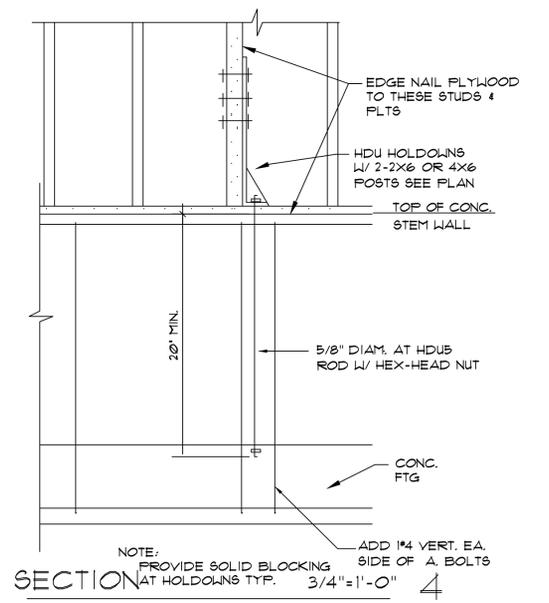
HORIZ. DIAPHRAGM NAILING 1  
 NO SCALE



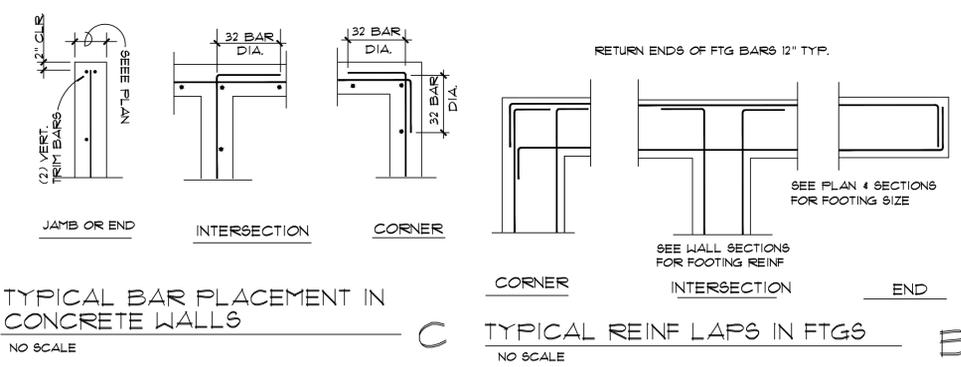
BM IN 4 THRU STUD WALL 6  
 3/4"=1'-0"



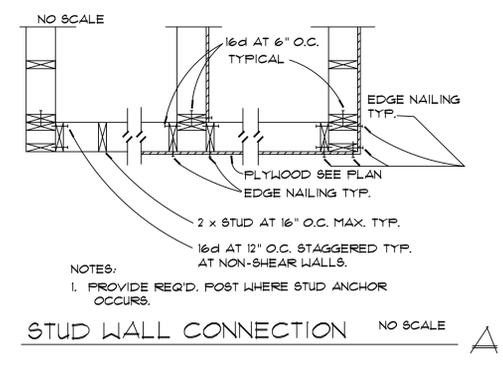
VERT. DIAPHRAGM NAILING (SHEAR WALL) 5  
 NO SCALE



SECTION 4  
 NOTE: PROVIDE SOLID BLOCKING AT HOLDOWNS TYP. 3/4"=1'-0"



TYPICAL BAR PLACEMENT IN CONCRETE WALLS C  
 NO SCALE



STUD WALL CONNECTION B  
 NO SCALE

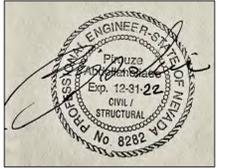
new residence & a.d.u.  
 JEREMY MUNOZ  
 5020 MAYBERRY DRIVE  
 RENO, NEVADA

DRAWING DATE:

TYPICAL DETAILS

APPROVALS:

MUNICIPALITY APPROVAL



6-14-2022

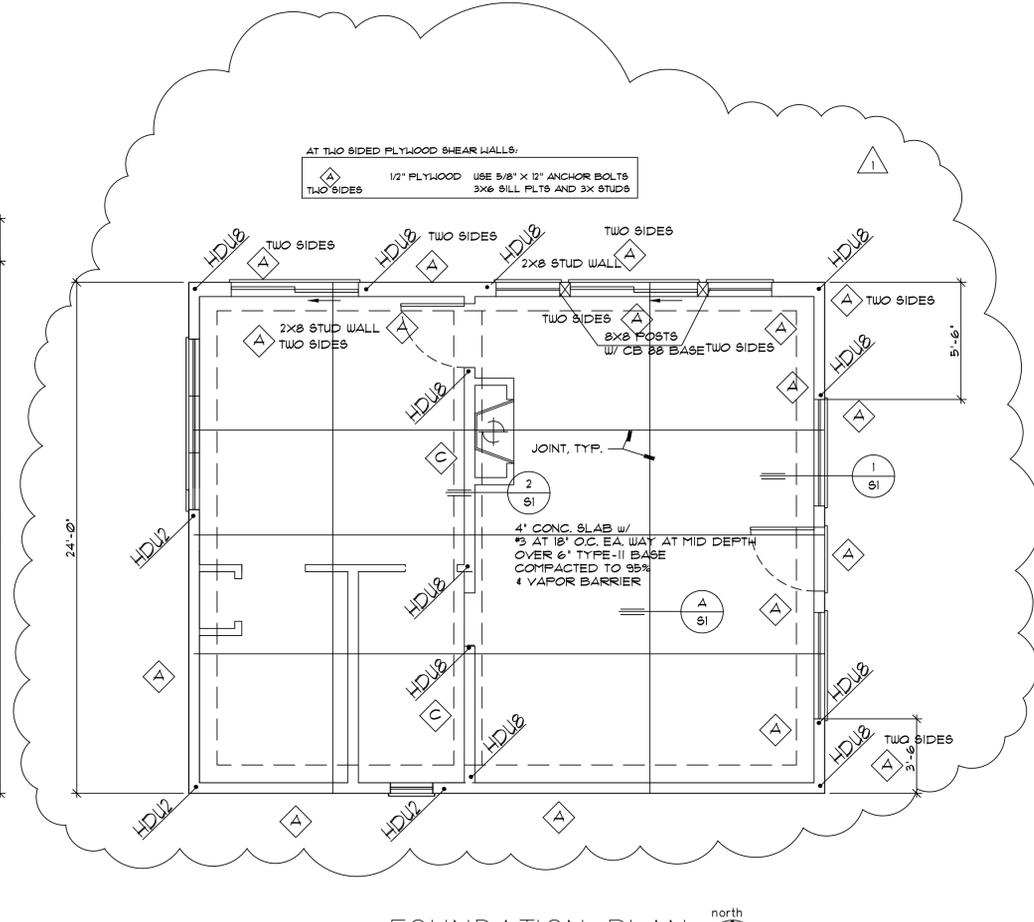
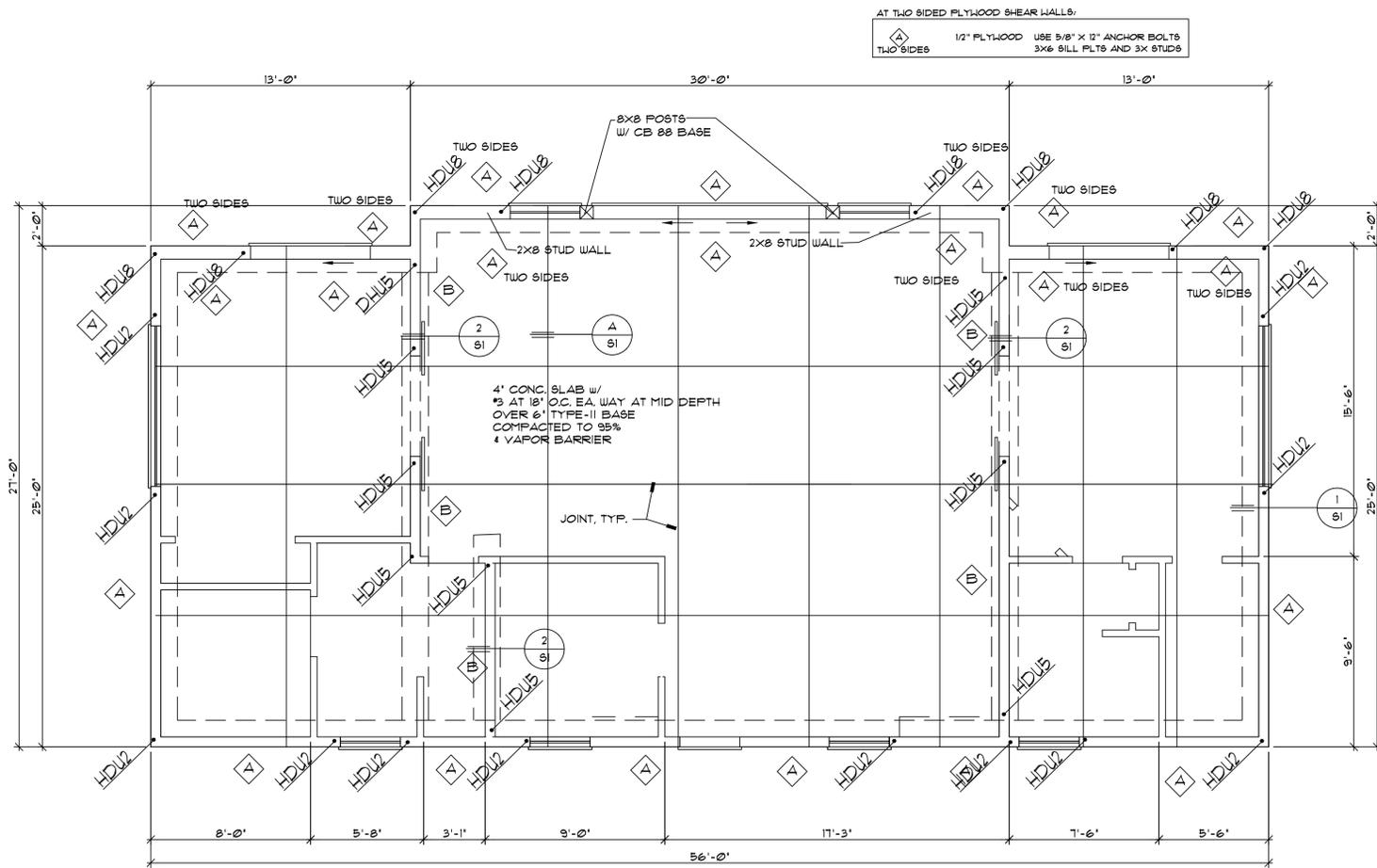


REVISIONS:

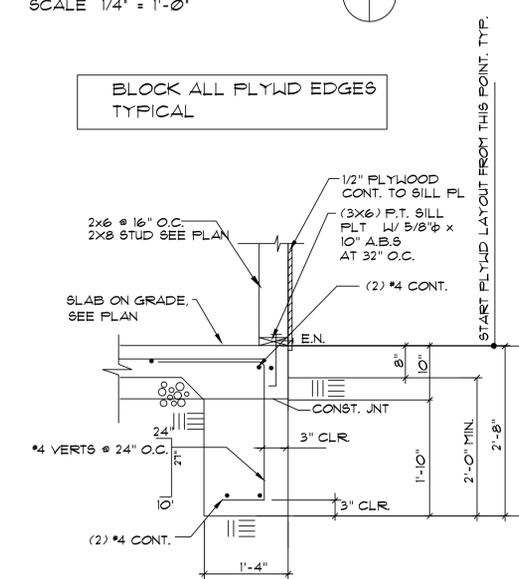
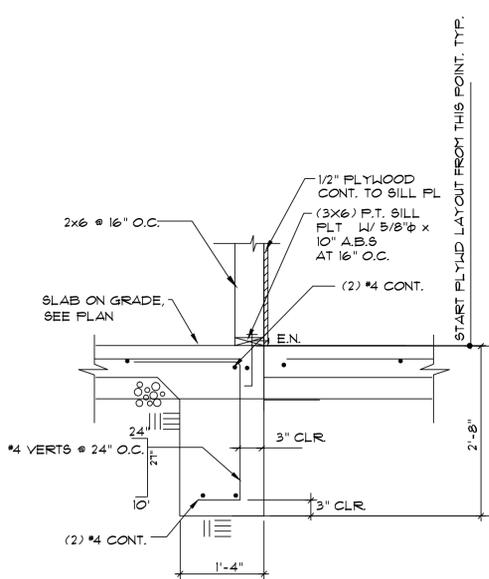
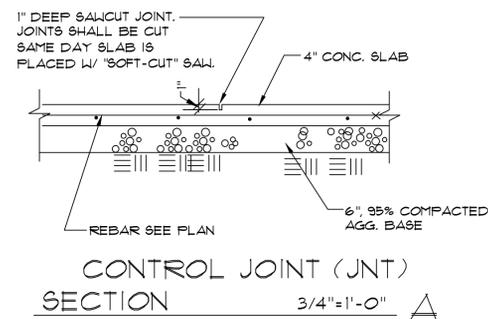
1	ADU SIZE REDUCED	DATE 11-21-2022
2		
3		

new residence & a.d.u.  
 JEREMY MUNOZ  
 5020 MAJESTY DRIVE  
 RENO, NEVADA

FOF:



FOUNDATION PLAN  
 SCALE 1/4" = 1'-0"



SECTION 3/4" = 1'-0" 2

SECTION 3/4" = 1'-0" 1

USE SINGLE 3X6 SILL PLATE FOR ALL TYPES OF SHEAR WALLS  
 USE SINGLE 3X STUDS AT PLYWD PANEL JNTS @ SHEAR WALL TYPE B AND AT TWO SIDES SHEAR WALLS.

TYPE	SHEATHING	EDGE NAILING	FIELD NAIL	SHEAR VALUE	5/8" DIAM. A.B. SPOG	SILL NAILING	REMARKS
A	1/2" PLYWOOD	10d @ 6" O.C.	10d @ 12" O.C.	310 LBS/FT	32" O.C.	16d @ 6" O.C.	
B	1/2" PLYWOOD	10d @ 4" O.C.	10d @ 12" O.C.	460 LBS/FT	24" O.C.	16d @ 4" O.C.	
A TWO SIDES	1/2" PLYWOOD	10d @ 6" O.C.	10d @ 12" O.C.	620 LBS/FT	12" O.C.	16d @ 3" O.C.	

BLOCK ALL PLYWOOD EDGES-- MINIMUM NAIL PENETRATION INTO FRAMING= 1 5/8"  
 USE 3X3X1/4 (SIMPSON BP 5/8-3) WASHERS @ SILL PLATES @ ALL ANCHOR BOLTS.

PLYWD SHALL BE CDX EXPOSURE 1, 32/16 INDEX, TYP. (APA RATED OSB ALSO ACCEPTED)  
 10d COMMON NAIL SHALL HAVE 0.148 DIAMETER ALL NAIL SHALL BE COMMON NAIL UNO.  
 SHEAR WALL SCHEDULE  
 HOLDOWN ANCHOR BOLTS SEE 4/SO.2

DRAWING DATE: FOUNDATION PLAN DETAILS

APPROVALS:

MUNICIPALITY APPROVAL

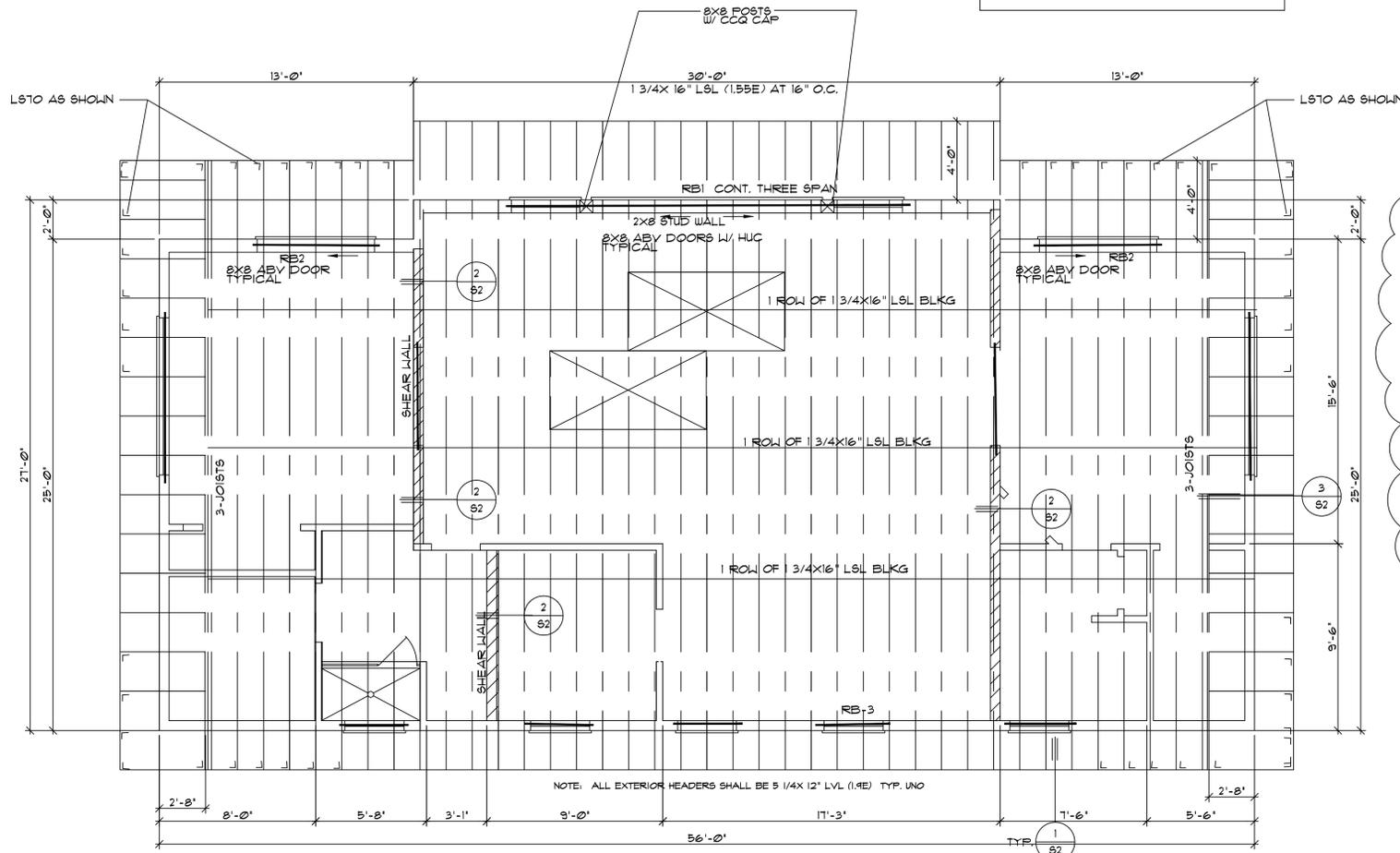
S1

**ROOF SHEATHING**

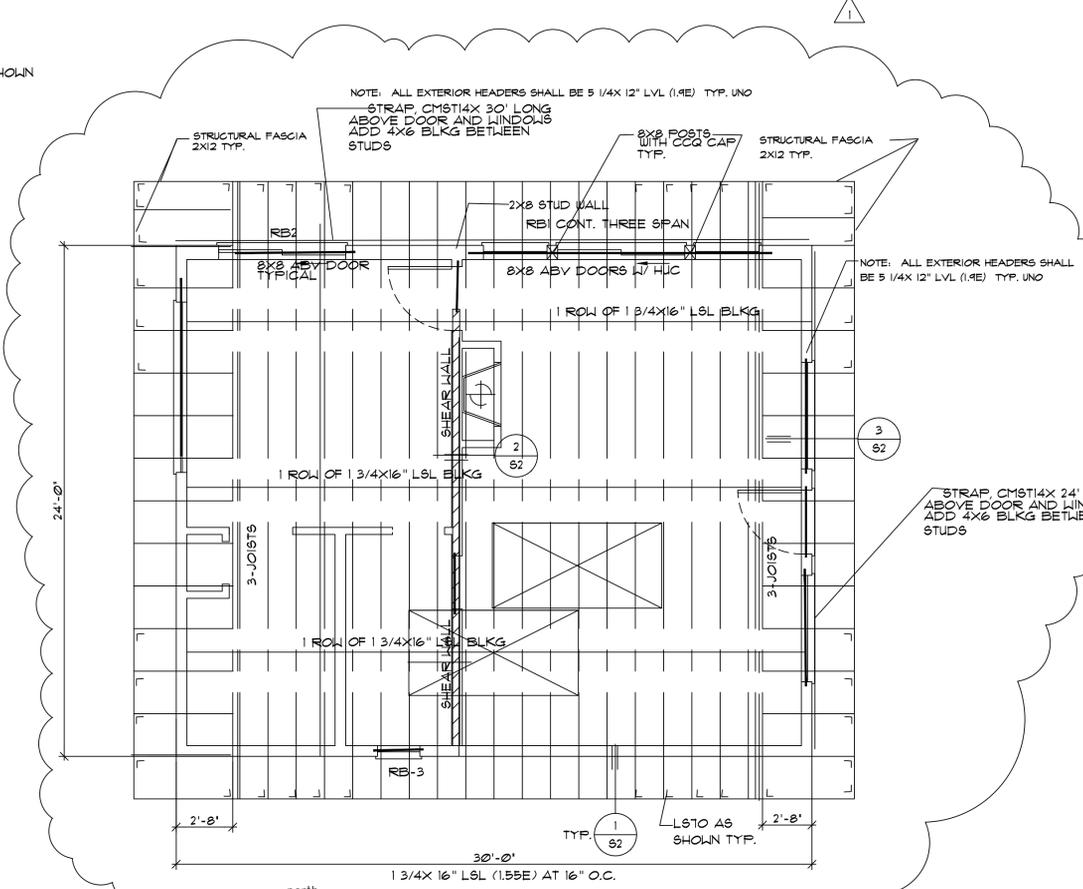
5/8" APA RATED SHEATHING (40/20 INDEX) W/ 10d NAILS @ 4" O.C. @ BOUNDARIES, 6" O.C. AT SUPPORTED EDGES, AND 8" O.C. @ FIELD. LAY SHEATHING PERPENDICULAR TO JOISTS W/ STAGGERED JOINTS TYP.

**ROOF SHEATHING**

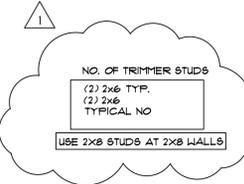
5/8" APA RATED SHEATHING (40/20 INDEX) W/ 10d NAILS @ 4" O.C. @ BOUNDARIES, 6" O.C. AT SUPPORTED EDGES, AND 8" O.C. @ FIELD. LAY SHEATHING PERPENDICULAR TO JOISTS W/ STAGGERED JOINTS TYP.



**ROOF FRAMING PLAN**  
SCALE 1/4" = 1'-0"



**ROOF FRAMING PLAN**  
SCALE 1/4" = 1'-0"

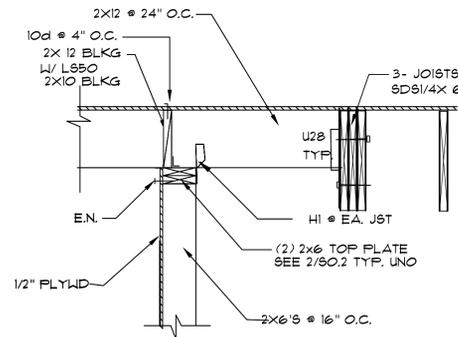


- ROOF FRAMING NOTES:**
- SEE SHEETS 801 AND 802 FOR PROJECT SPECIFICATIONS PERTINENT TO THE CONSTRUCTION OF THIS PROJECT.
  - ROOF LOADS, SNOW +21 P8F AND DEAD LOAD = 30 P8F
  - PROVIDE HI HURRICANE TIE @ EA. BEARING POINT OF EVERY ROOF JOISTS.

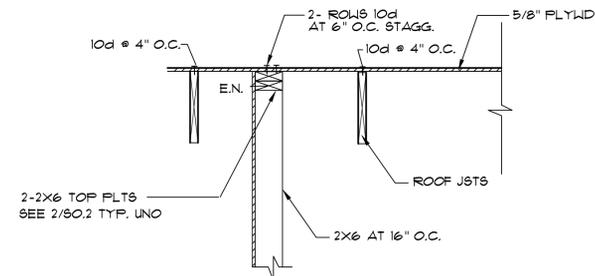
**ROOF BEAM SCHEDULE**

NOTE: ALL EXTERIOR HEADERS SHALL BE 5 1/4x12" LVL (1.9E) TYP. UNO

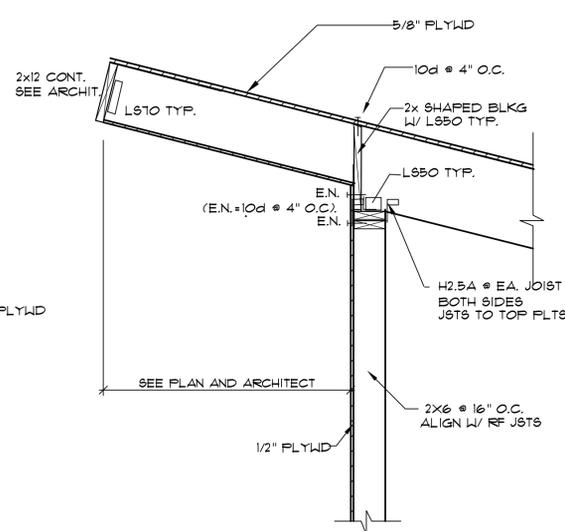
RB1	6 3/4x15" 6L BM 24F-V4
RB2	6 3/4x15" 6L BM 24F-V4
RB3	5 1/4x12" LVL (1.9E)



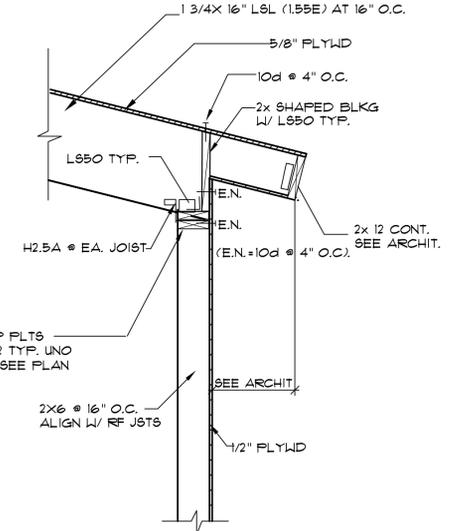
SECTION 3/4"=1'-0" 3



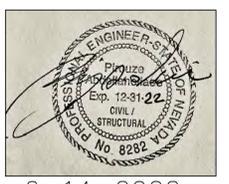
SECTION 3/4"=1'-0" 2



SECTION



SECTION 3/4"=1'-0" 1



6-14-2022

**APEX ENGINEERING**  
4190 CAULFIELD PKLY., #84  
RENO, NV 89509-0901  
(702) 821-3111

REVISIONS

1	ADU SIZE REDUCED DATE 11-21-2022
2	
2	
3	

new residence & a.d.u.  
JEREMY MUNOZ  
5020 MAYBERRY DRIVE  
RENO, NEVADA

FOR:

DRAWING CODE:  
**ROOF FRAMING DETAILS**

APPROVALS:  
MUNICIPALITY APPROVAL



- 6-6-22
- REVISIONS:
- 1 9-8-22 FLANCH CHECK
  - 2 12-5-22 ADU SIZE REDUCTION
  - 3

**new residence & adu.**  
 JEREMY MUNOZ  
 5020 MAYBERRY DRIVE  
 RENO, NEVADA

FOR:

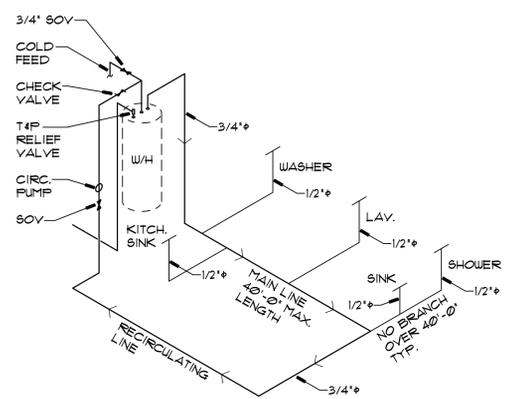
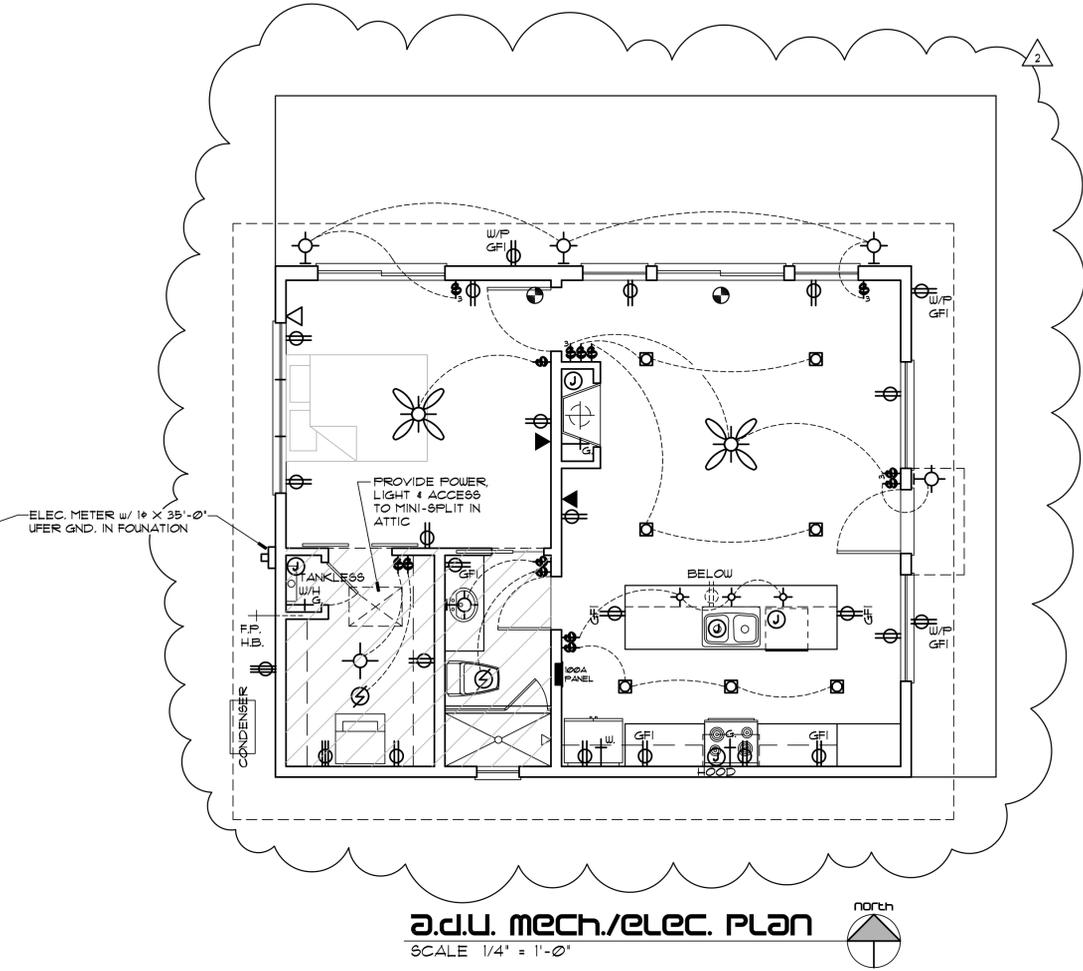
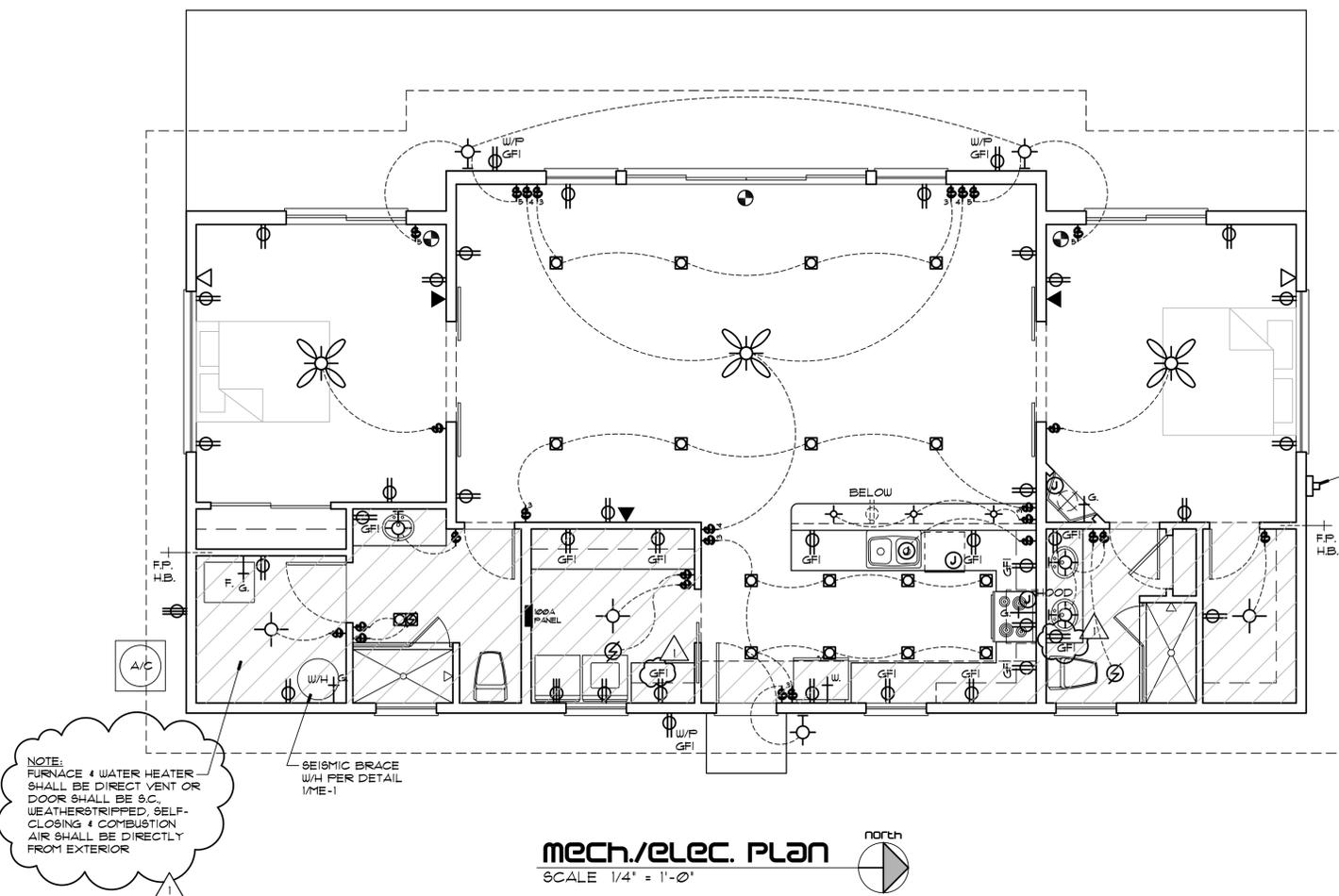
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DRAWING TITLE:

**MECH/ELEC. PLAN**

APPROVALS:

JOB NO: 2042



**NOTES:**

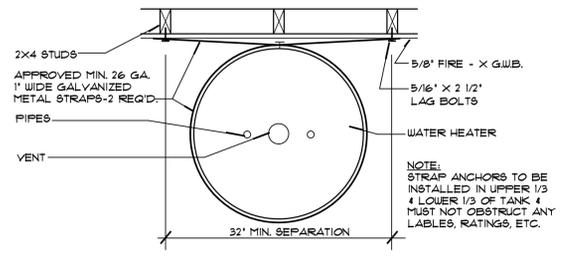
- ALL DISTANCES OFF MAIN LOOP SHALL BE LESS THAN 40'-0".
- 3/4" PIPE SHALL BE INSUL. w/ 'IMCOLOCK' 1/2" x 1/2" WALL (R = 2.96).
- 1/2" PIPE SHALL BE INSUL. w/ 'IMCOLOCK' 5/8" x 1/2" WALL (R = 3.07).

**CALCULATIONS:**

MAXIMUM WATER TEMPERATURE = 140° F.  
DESIGN AMBIENT TEMPERATURE = 65° F.

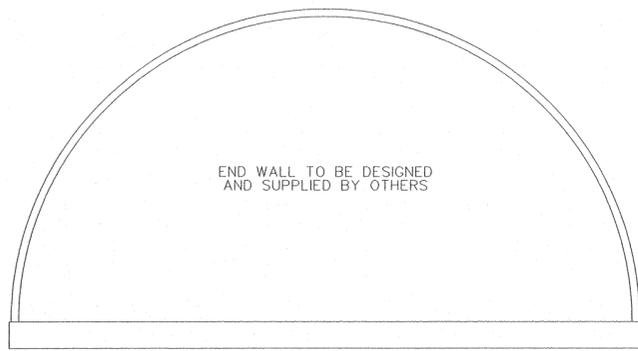
DELTA T° = 75° F.

DELTA T° / 25 BTUH/SF. = 1/R REQ'D.  
75° / 25 BTUH = 3 = 3/3R REQ'D.  
1/2" CLOSED CELL FOAM INSUL. = .5R > 3/3R = OK.

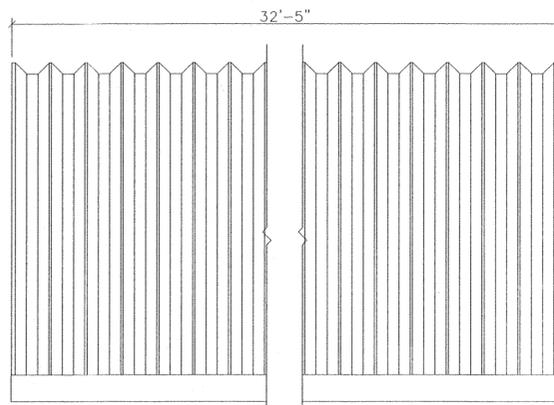


- MECH/ELEC. Legend:**
- ⊖ 110 V. DUPLEX OUTLET - GFI WHERE NOTED
  - ⊖ 110 V. 4-PLEX OUTLET - GFI WHERE NOTED
  - ⊖ 110 V. DUPLEX OUTLET - HALF SWITCHED
  - ⊖ 110 V. 'J' BOX
  - ⊖ 220 V. OUTLET (PROVIDE DISCONNECT @ A/C CONDENSER)
  - ⊖ SWITCH - DIMMER (D); 3-WAY (3); AS NOTED.
  - ⊖ RECESSED LIGHT - PROVIDE DIMMERS @ ALL CIRCUITS & LENSES IN WATER AREAS, CLOSETS & EXTERIOR.
  - ⊖ LOW-VOLTAGE DIRECTIONAL SPOTLIGHT
  - ⊖ SURFACE MOUNTED LIGHT - CHANDELIER (CH)
  - ⊖ WALL MOUNTED LIGHT
  - ⊖ FAN OR FAN/LIGHT - V.T.O.
  - ⊖ FAN/HEAT LAMP COMBINATION UNIT
  - ⊖ SMOKE/CO DETECTOR - 110 V.
  - ⊖ TELEPHONE - CATEGORY 5 WIRING
  - ⊖ CABLE T.V. - RG 6 WIRING
  - ⊖ DECORATIVE FAN OR FAN/LIGHT
  - ⊖ FLUORESCENT LIGHT FIXTURE
  - ⊖ GAS STUB (G.) - WATER STUB (W)
  - ⊖ FROST PROOF HOSE BIBB

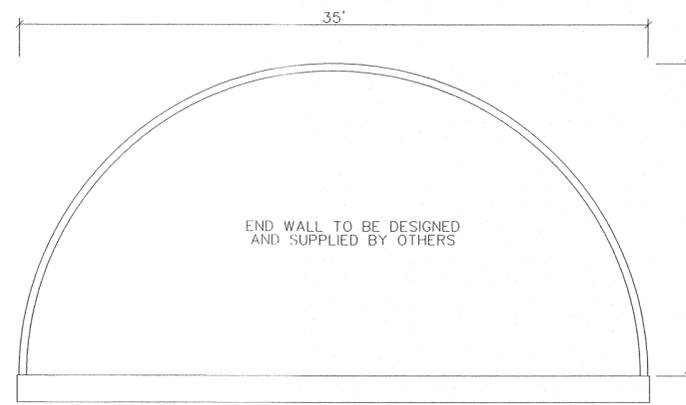
- MECH/ELEC. NOTES:**
- ALL WORK SHALL BE IN ACCORDANCE WITH THE IRC/I.B.C. AS AMENDED BY THE LOCAL GOVERNING AUTHORITY.
  - ALL SWITCHES SHALL BE LOCATED CLEAR OF DOOR SWINGS.
  - ALL SLEEPING ROOM OUTLETS SHALL BE ARC-FAULT PROTECTED.
  - PROVIDE SMOKE DETECTORS w/ BATTERY BACK-UP WHERE NOTED INTER-CONNECT ALL SMOKE DETECTORS.
  - PROVIDE DBL. SWITCHES TO ALL DECORATIVE FAN/LIGHTS.
  - ALL EXTERIOR OUTLETS & FIXTURES SHALL BE WATERPROOF & ALL EXTERIOR LIGHTING SHALL BE ON DIMMER CIRCUITS, TYP.
  - MAX. LENGTH OF HVAC FLEX-DUCT NOT TO EXCEED 25'-0".
  - SEE SHEET A-2 FOR ANY MINOR MODIFICATIONS TO FLOOR PLAN.
  - ALL 120V, 15A & 20A OUTLETS IN THE FOLLOWING LOCATIONS SHALL BE ARC-FAULT PROTECTED: FAMILY RM, DINING RM, LIVING RM, PARLOR, LIBRARIES, DEN, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS & SIMILAR ROOMS OR AREAS. SEE ALSO NOTE #10 BELOW.
  - ALL 120V, 15A & 20A OUTLETS LOCATED BELOW 5'-6" AFF. SHALL BE TAMPER-RESISTANT PER THE NEC.
  - PROVIDE THE FOLLOWING MIN. BRANCH CIRCUITS: 2-20A TO KITCHENS, 1-20A TO LAUNDRY & 1-20A TO BATHROOM.
  - A MIN. OF 50% OF LAMPS IN PERMANENTLY INSTALLED FIXTURES SHALL BE HIGH EFFICACY LAMPS.
  - A/C DISCONNECTS SHALL BE LOCATED SUCH THAT THE REQ'D. CLEARANCE OF 36" IN FRONT & 30" WIDTH IS MAINTAINED FROM GROUND OR SLAB TO A HT. OF 6 1/2 FT.
  - DRYER VENT TERMINATION SHALL BE INSTALLED PER MANUF. MIN. 4" w/ DAMPER & MIN. 3 FT. SEPARATION TO OPENINGS IN ANY DIRECTION.
  - INSTALL ALL PIPING & VENTS IN EXTERIOR WALLS ON WARM SIDE OF INSULATION, TYP.



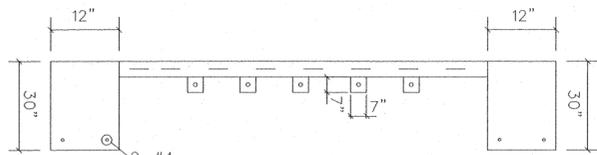
REAR ELEVATION



SIDE ELEVATION

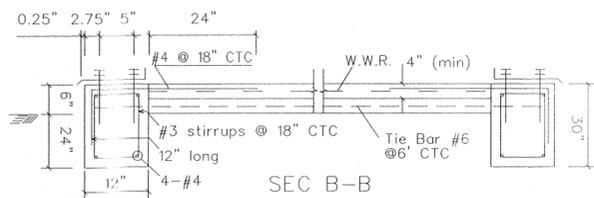


FRONT ELEVATION



SEC A-A

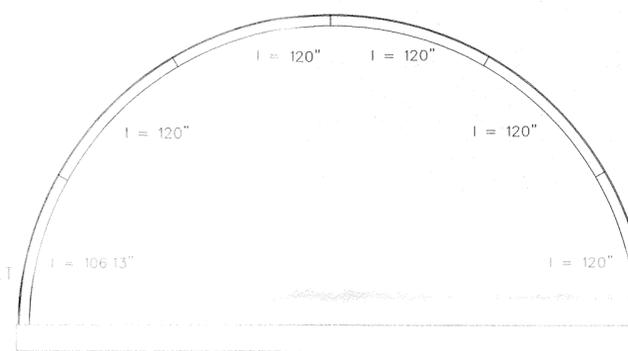
Total 5 Tie Bars @6' CTC



SEC B-B

WARNING: DO NOT REMOVE OR REDUCE THE CONCRETE FLOOR OR THE REINFORCING STEEL, AND/OR RAISE THE TOPS OF THE FOOTERS ABOVE THE FLOOR OR BUILDING FAILURE MAY RESULT

- Minimum Concrete Cover:
- (a) Concrete Cast against earth: 3"
  - (b) Concrete exposed to earth or weather: No. 6 through No. 10 bars: 2.5"  
No. 5 bar and smaller: 1.5"
  - (c) Concrete not exposed to earth or weather: 0.75"



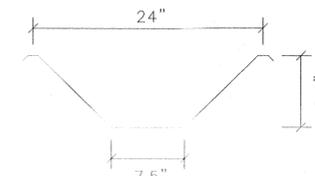
ARCH PROFILE

- GENERAL NOTES**
- ALL MATERIAL AND WORKMANSHIP SHALL CONFORM WITH THE REQUIREMENTS OF THE LATEST REVISION OF THE INTERNATIONAL BUILDING CODE 2018. DESIGN ACCORDING TO AISI S100-16W/S1-18, NORTH AMERICAN SPECIFICATION FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS, AND WITH ANSI/ASCE 7-16.
  - NO LOADS OTHER THAN THOSE GIVEN UNDER "DESIGN DATA" BELOW SHALL BE IMPOSED ON THE "STRUCTURE"
  - SPECIFIC NOTES AND DETAILS SHOWN ON THE DRAWINGS SHALL TAKE PRECEDENCE OVER THE BUILDING MANUAL SUPPLIED.
  - THE BUILDING, INCLUDING THE FOUNDATION, MUST BE CONSTRUCTED IN STRICT ACCORDANCE WITH THE DRAWING AND ERECTION INSTRUCTIONS. ANY DEVIATION, UNLESS APPROVED BY US IN WRITING, SHALL NULLIFY OUR CERTIFICATE AND SEAL AND SHALL BE THE SOLE RESPONSIBILITY OF THE ERECTOR.
  - A PROFESSIONAL ENGINEER SHOULD BE RETAINED WHERE SITE INSPECTIONS ARE WARRANTED.
  - NO ARCH PANEL MAY BE CUT OR MODIFIED UNLESS IT IS TO ACCOMMODATE AN ACCESSORY PROVIDED BY THE MANUFACTURER IN ACCORDANCE WITH ITS INSTRUCTIONS AND/OR THIS DRAWING.
  - MINIMUM SEPARATION FROM THIS BUILDING TO ANY TALLER BUILDING MUST BE THE SMALLER OF 20 FEET AND 6 TIMES THE HEIGHT DIFFERENCE.
  - IF SEALED BY AN ENGINEER, THIS DRAWING IS FOR PERMIT APPLICATION, OTHERWISE IT IS A DRAFT AND NOT FOR CONSTRUCTION.

- FOUNDATION NOTES**
- NOTE: THE FOUNDATION ON THE DRAWING SPECIFIES THE MINIMUM REQUIREMENTS. LOCAL BUILDING CODE AND SITE CONDITIONS MAY REQUIRE A STRONGER FOUNDATION, WHICH MUST BE DESIGNED BY A LOCAL ENGINEER.
- THE FOUNDATION SHALL BE FOUNDED ON NATURAL UNDISTURBED SOIL CAPABLE OF SAFELY SUSTAINING 1500 psf. THIS SHALL BE DESIGNED TO FULLY RESIST ALL ROTATION AT THE BASE OF THE ARCH.
  - SLAB ON GRADE SHALL BE PLACED ON WELL COMPACTED SOIL CAPABLE OF SUSTAINING 1500 psf WITHOUT APPRECIABLE SETTLEMENT.

- DESIGN DATA (MATERIALS)**
- CONCRETE  $F'_c = 2500$  PSI @ 28 DAYS, ACI
  - REINFORCING STEEL GRADE 40,  $F_y = 40$  KSI, ASTM A615
  - W.W.R.  $F_y = 65$  KSI, ASTM A1064.
  - W.W.R. 6 x 6 - W14 x W14

**ARCH DATA**



BOLTS: SAE GRADE 2 OR ASTM A307  
ROOF STEEL THICKNESS = 0.05 in.

- GALVALUME SHEET STEEL**
- STRUCTURAL QUALITY ASTM SPECIFICATION A792-10 (2015)
  - 55% ALUMINUM-ZINC ALLOY (HOT DIP COATING)
  - ASTM A792 GRADE 50A
  - 50 KSI MINIMUM YIELD
  - 65 KSI MINIMUM TENSILE
- HSS SECTIONS SHALL CONFORM TO:**
- ASTM A500 GRADE B ( $F_y = 46$  ksi)
- W SECTIONS SHALL CONFORM TO:**
- ASTM A992 GRADE 50 ( $F_y = 50$  ksi)
- OTHER SECTIONS SHALL CONFORM TO:**
- ASTM A36 ( $F_y = 36$  ksi)

- ARCH DESIGN DATA IN ACCORDANCE WITH ANSI/ASCE 7-16:**
- $L_o$ : ROOF LIVE LOAD (PSF) = 21
  - $P_g$ : GROUND SNOW LOAD (PSF) = 42
  - $C_e$ : EXPOSURE FACTOR = 1.1
  - $C_t$ : THERMAL FACTOR = 1.0
  - IMPORTANCE FACTOR (SNOW) = 1.0
  - CATEGORY II BUILDING
  - $P_{net}$ : COMPONENT WIND PRESSURE (PSF) = +/- 27
  - $V$ : BASIC WIND SPEED (MPH) = 120
  - $K_h$ : VELOCITY PRESSURE EXPOSURE = 0.85
  - $G_c p_i$ : PRODUCT OF INTERNAL PRESSURE COEFFICIENT AND GUST-EFFECT FACTOR = +/- 0.18
  - $K_d$ : WIND DIRECTIONALITY FACTOR = 0.85
  - $K_z$ : TOPOGRAPHIC FACTOR = 1.0
  - $K_e$ : Ground Elevation Factor = 1.00
  - WIND EXPOSURE CATEGORY = C
  - SEISMIC DESIGN CATEGORY = E

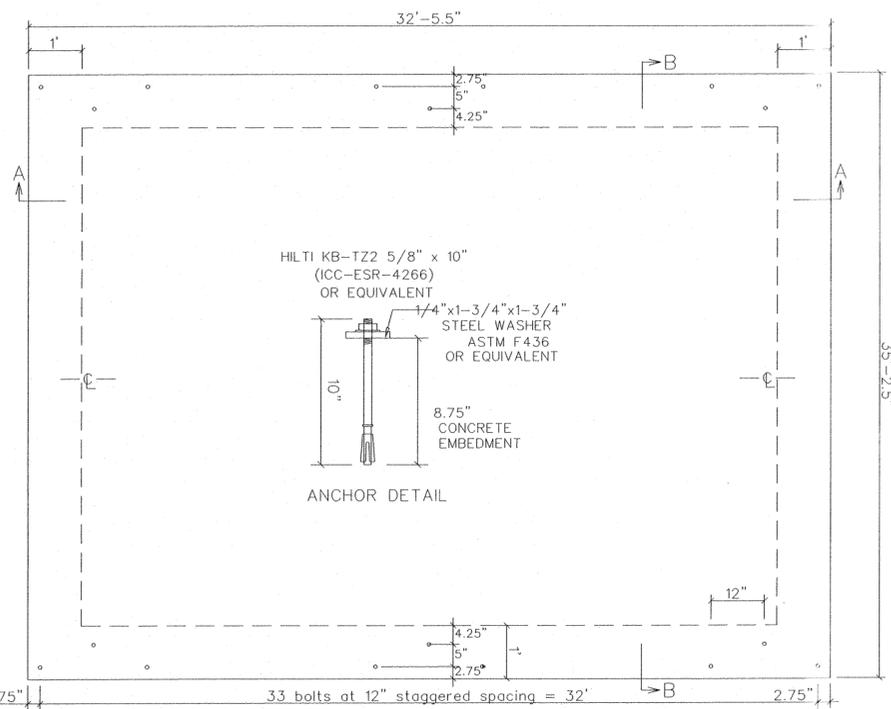
**LEGAL NOTE**

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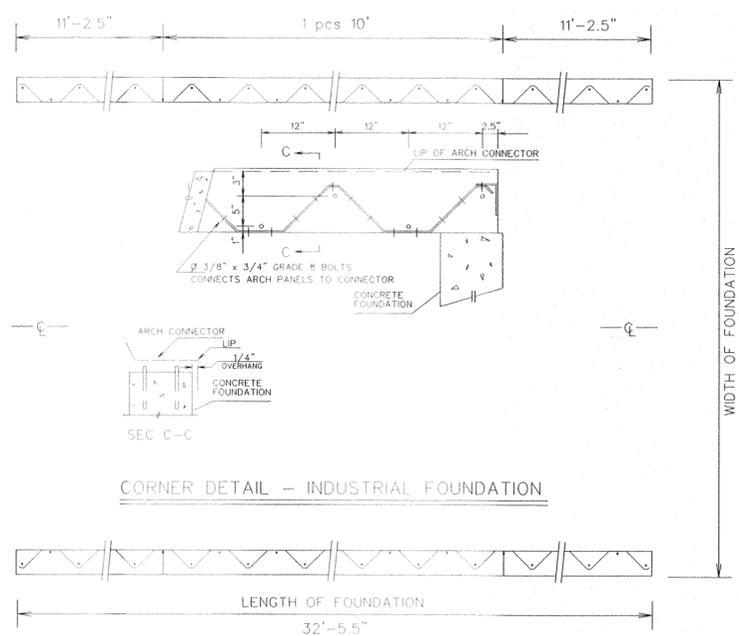
REVISIONS:	
<p>SteelMaster Buildings engineering@steelmaster.info 220 Chrysler Drive, Brampton, Ontario, Canada, L6S 6B6, Phone: (905) 790-8500</p>	
SCALE: N.T.S.	P. 000
DATE: 11/07/2022	CHECKED BY: J.B.
PROJECT: JEREMY MUNOZ	RENO, NV
MODEL: Q35-18	81-62412 R



JUN 12 2022



FOUNDATION PLAN



INDUSTRIAL BASE CONNECTOR LAYOUT

**CORNER DETAIL - INDUSTRIAL FOUNDATION**



SEC C-C