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RENO, NV 89502
775.856.1150
CFARENO.COM



TMFPD STATION #14 SPECIAL USE PERMIT SUBMITTAL

OCTOBER 17, 2016



SUBMITTED IN
PARTNERSHIP
WITH:
TSK ARCHITECTS
tsk



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Appendices

Washoe County Development Application A

Maps

Building Elevations (2 sheets) Map Pocket
Tower Elevation Map Pocket
Title Sheet (T1.0) Map Pocket
Site-Utility Plan (C1.0) Map Pocket
Grading Plan (C2.0) Map Pocket
Cross Sections (C2.1) Map Pocket
Landscape Plan (L1.1) Map Pocket
Lighting Plan (E2.02)..... Map Pocket



TMFPD FIRE STATION #14

Project Request

This application is a request for a special use permit for development of a new fire station located south of Foothill Road and east of Broken Hill Road. The project site is situated on a single parcel (APN 044-300-19) measuring 3 acres in size. The property is surrounded by vacant land to the east and south, single-family residential development to the west and large lot residential development to the north. The site is bounded by Foothill Road and Broken Hill Road on two sides and vacant land to the east and south. The parcel has a zoning designation of Medium Density Suburban (MDS) and a master plan designation of Suburban Residential (SR), and is within the Southwest Truckee Meadows Area Plan.

Truckee Meadows Fire Protection District (TMFPD) Station #14 currently resides at 12300 Old Virginia Road, and has for the past ±30 years. The existing site, which was once considered rural, is now surrounded on all sides by commercial and retail development. The proposed Fire Station #14 has been sited to provide a better location to respond to the volume and type of calls that are required to provide the needed service in southern Washoe County. This location serves the need for this region and its anticipated growth. This site has indirect access to Virginia Street (main north/south connector in Reno), and clear freeway access to U.S. 395/580, to aide in response times for emergency calls that are of a greater distance.

The new station will initially provide quarters for one fire crew, consisting of five members, and will be designed to accommodate two crews at full build out. The apparatus bay will house three large fire fighting vehicles and one extended cab 4x4 truck. At full build-out, the apparatus bays will accommodate four double depth pull through bays. Full build out of the fire station will be dependent on fire service needs and funding. The additional square footage will consist of 900 square feet for living quarters, 320 square feet for covered storage and the 340 square foot training tower. The timing of full build-out is not known, but is anticipated to take place within the next ten years.

This application package includes the following request:

- ❖ *A request to allow a Safety Service use in the MDS zoning district per Table 110.302.5.2 of the Washoe County Development Code.*

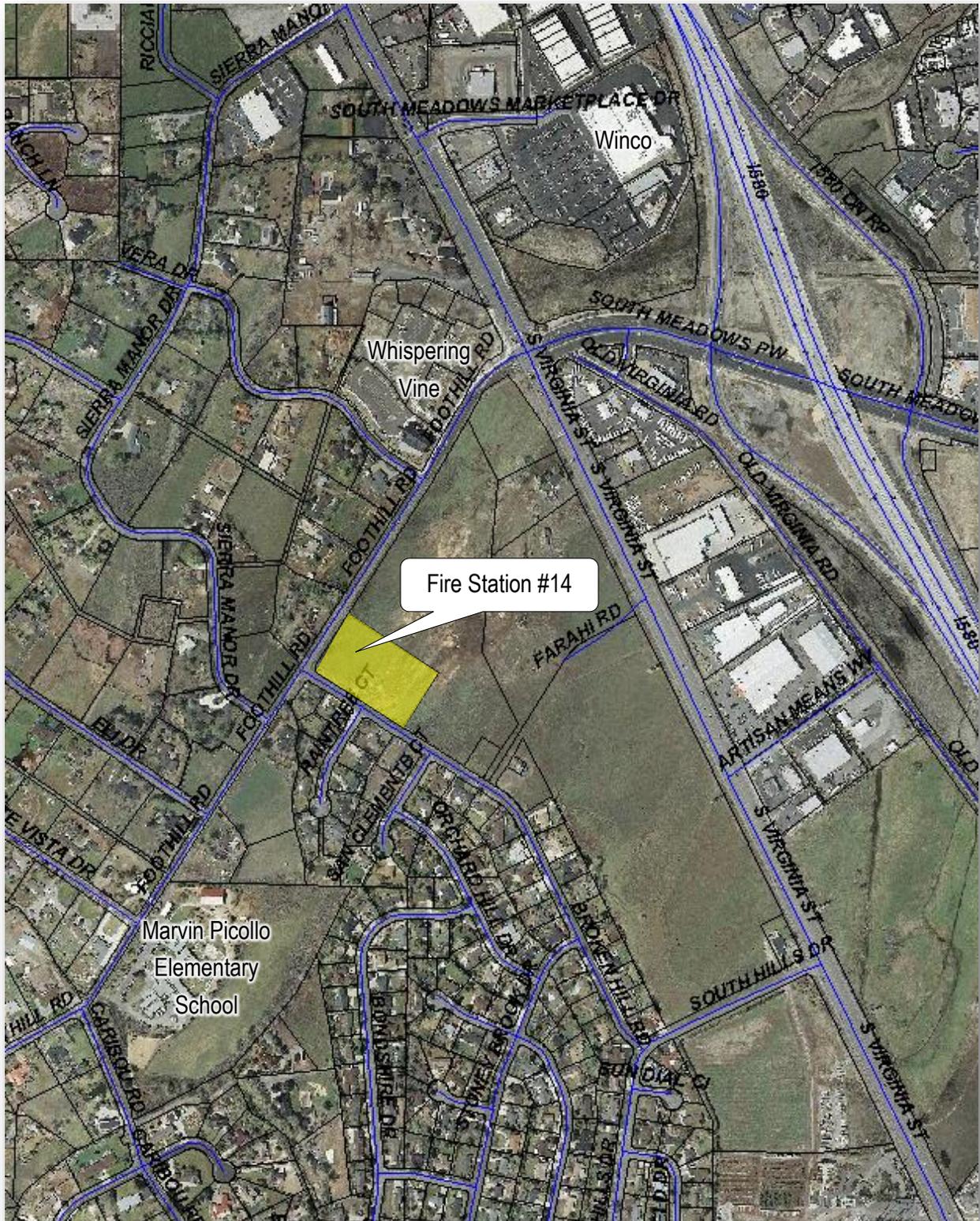
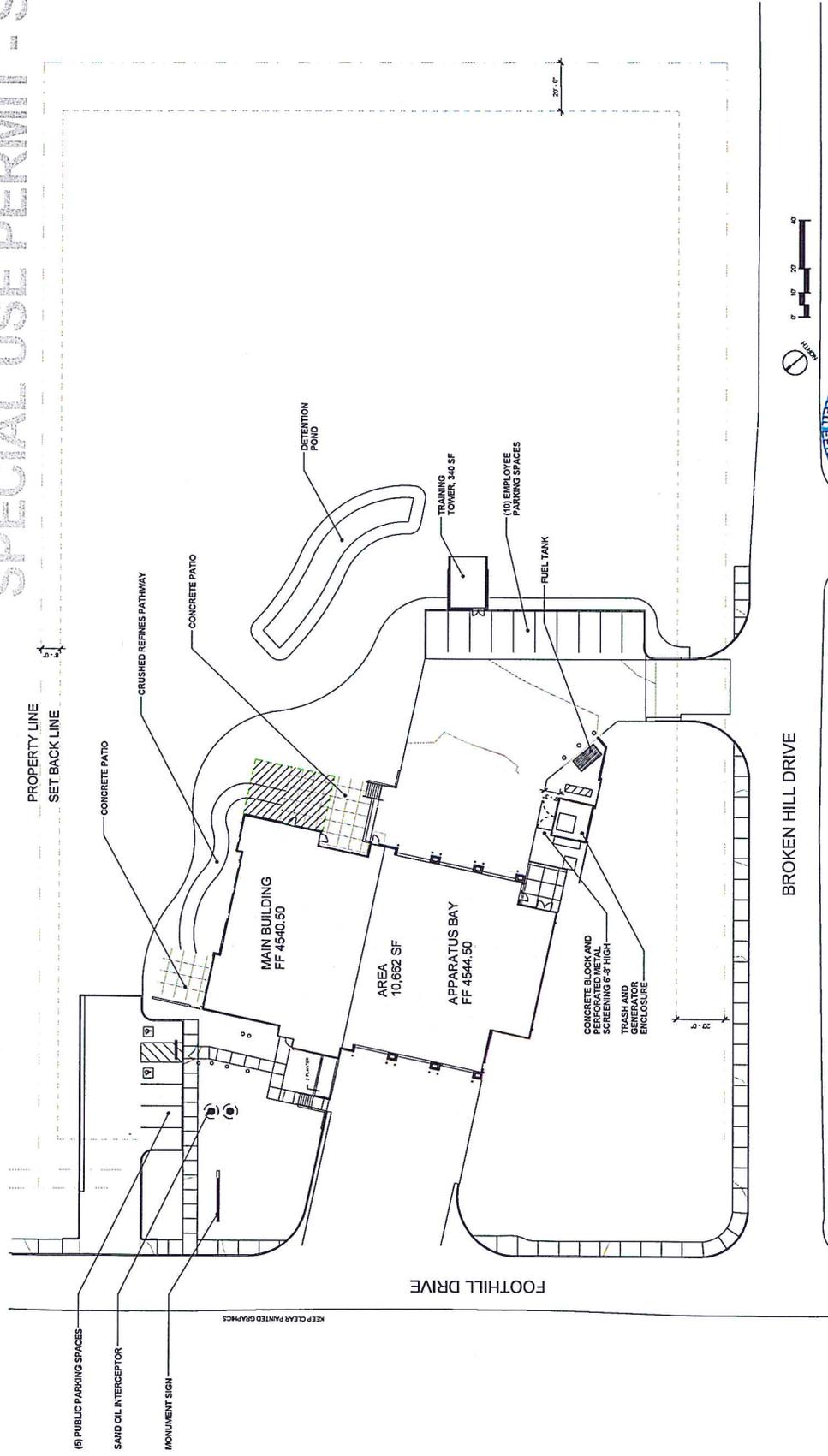


Figure 1 – Vicinity Map



TRUCKEE MEADOWS FIRE PROTECTION DISTRICT
SPECIAL USE PERMIT - SITE



STATION #14
FOOTHILL RD & BROKEN HILL RD.
10/17/10





Project Description

The total site is 3-acres in size, and the initial development is proposed over the northern 2.02 acres. The site has a gradual slope from northwest to southeast, which will influence the site design. Drainage for the site slopes to the southeast and will require a detention basin on the southern portion of the site. The apparatus bay emergency doors allow egress to Foothill Road, which serves as the primary east-west access for this area. Public parking will be located off of the eastern edge of the site on Foothill Road. Broken Hill will also be the return point of entry for incoming fire vehicles and firemen's personal vehicles. Access to the rear yard is not secured at this time. The proposed $\pm 10,662$ square foot building excludes future additions for 4 additional residential bedrooms as well as support services for the apparatus bay so bay #4 can be converted to a pull through bay.

Parking will be provided in two areas, one location for employees and a second parking lot for the public. Ten employee parking stalls will be located on the west side, with access off of Broken Hill Road. In addition, this area allows for a few public parking spaces will be provided for the occasional visitor or for employee overflow, when needed. The second parking lot will be for the public, with access off of Foothill Road. If a disabled employee utilizes this facility, they will use the ADA stall in the public parking lot, leaving one free ADA stall for public use. Additionally, an ADA route will be provided from the public sidewalk along Foothill Road into the public entry door.

Building Architecture

The new station is a single story structure to be built of durable concrete masonry methods with accents and details of prefinished metal panels, to define entrances and provide a sense of community. Roofs are of 3:12 slopes to also reflect the geometry of the neighborhood. Other materials include storefront glazing, accent stacked masonry walls, and box-rib corrugated metal siding. The exterior materials are both aesthetic and durable, and integrate well with the materials found in southern Washoe County and the existing context of the surrounding neighborhoods. The building architecture has been designed to create a public identity, as well as provide a private side for the firemen's living quarters.

The main entrance to the fire station is highly visible from Foothill Road and is protected by an entrance canopy. Within the entrance vestibule is an assessable restroom that patrons can use before entering the building. As the public enters the building there is a TMFPD feature wall and information counter. Above the feature wall is a dormer for letting daylighting in, creating a sense of a secure space. The Captain and Battalion Chief offices flank the public entrance so people entering the building will be attended to immediately. The residential corridor has two direct connections to the apparatus bay for efficient flow during emergency calls. At the transition and end of the corridor are views to the exterior, also allowing for daylighting into the circulation space.

The apparatus bay north sectional doors have full vision glazing that allow for visibility of the apparatuses from Foothill Road and to supply the apparatus bay with plenty of north daylighting. The south access has



TMFPD FIRE STATION #14

garage doors with two of the panels being glazed. Being a deep double bay station, a clerestory is provided that runs the length of bays to allow for daylight penetrating evenly.

A 34-foot tall training tower with three landings will be located on the southern side of the site and used for training purposes, with the top landing platform being constructed for rappelling. The tower is unconditioned and open air with operable screen wire meshed openings to keep out birds and/or large pests.

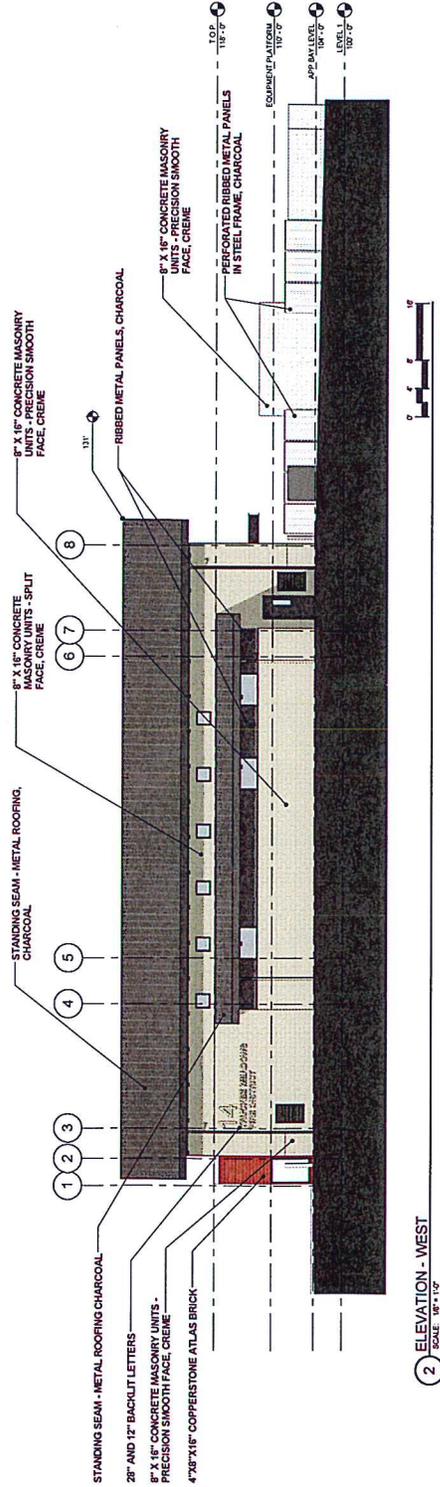
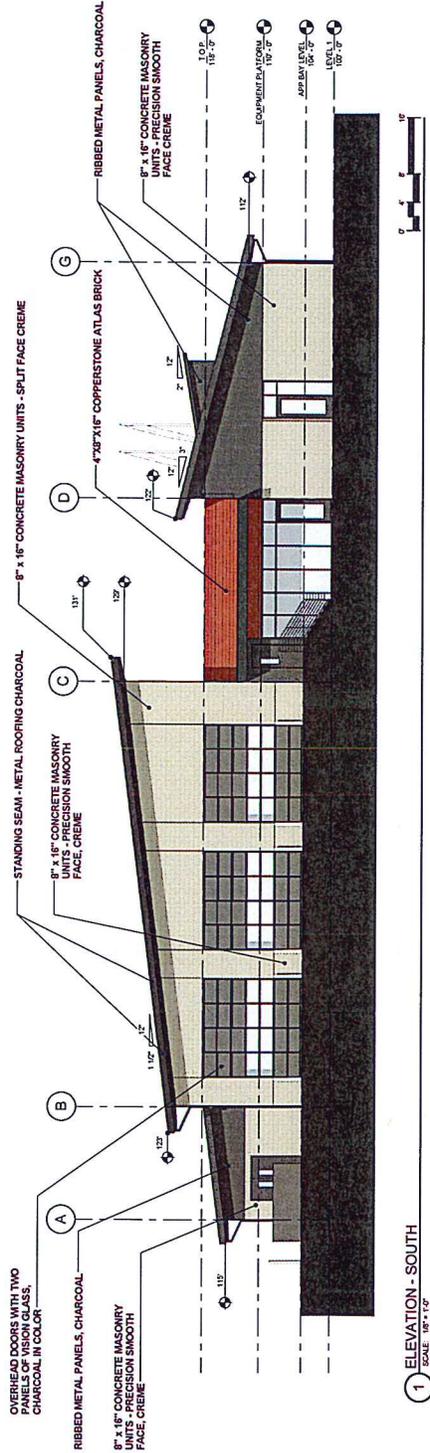
Lighting

A photometric plan is provided in the map appendices. Pole lighting will be limited to 12-feet tall and shielded, in accordance with "dark sky lighting" requirements.

Trash Enclosure

The screened trash/generator enclosure will be located on the southwest side of the building, approximately 20 feet from the apparatus bay. The trash enclosure walls will house two (2) 96-gallon trash and one (1) 96-gallon recycling totes (total of three 96-gallon totes). It is assumed that the trash enclosure walls will be approximately 8 feet high and include access through a 6-foot screened gate located on the east side at the concrete apron. The adjacent enclosure will house a 1000 gallon (750/250 Diesel/Gas) refueling station. It is assumed that the trash enclosure walls will be approximately 6 feet high. Waste Management will access the site off of Broken Hill Road for service. TMFPD personnel will roll the bins curbside for pick up off of Broken Hill Road. The trash enclosure will be used for typical office waste supplies such as paper and plastic materials, food waste generated during kitchen meal preparation, as well as other basic everyday items used at the fire station while fire personnel are housed at the facility.

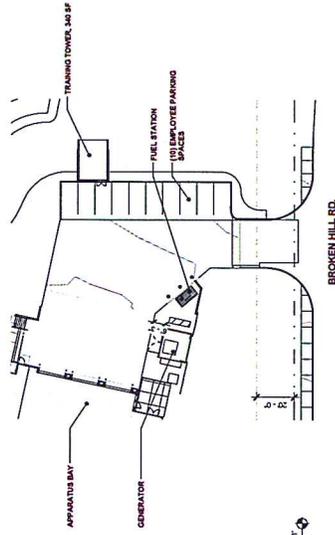
TRUCKEE MEADOWS FIRE PROTECTION DISTRICT SPECIAL USE PERMIT - ELEVATIONS



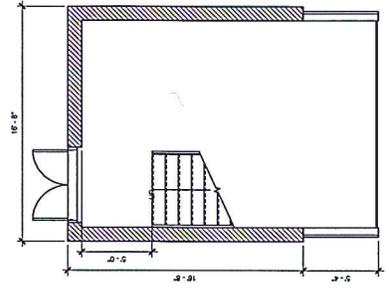
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10/17/16

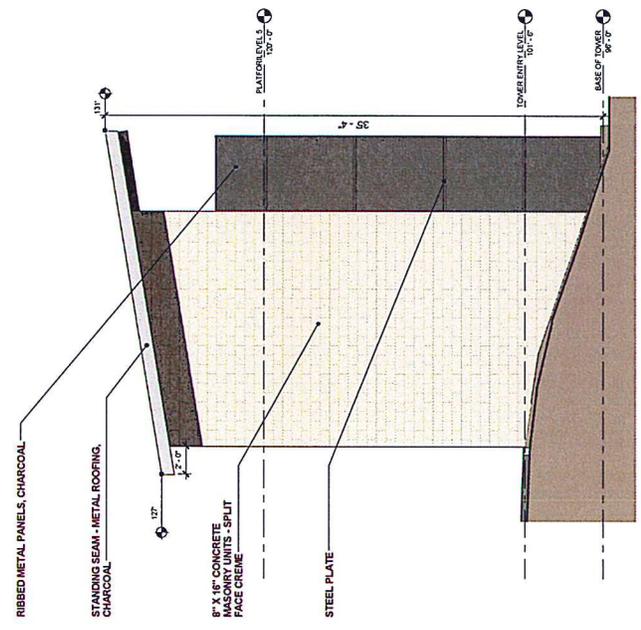
TRUCKEE MEADOWS FIRE PROTECTION DISTRICT TRAINING TOWER



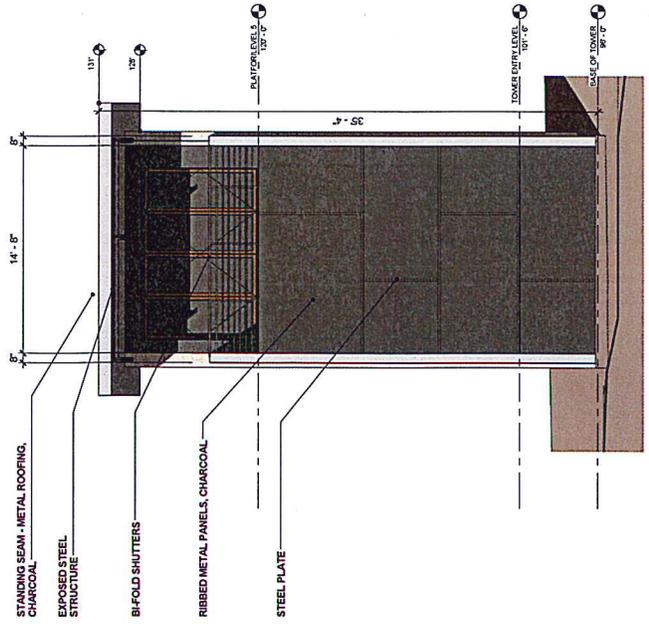
1 SITE PLAN - TRAINING TOWER
SCALE: 1" = 30'-0"



2 TRAINING TOWER FLOOR PLAN - SUP
SCALE: 1/8" = 1'-0"



3 TRAINING TOWER WEST ELEVATION
SCALE: 1/4" = 1'-0"

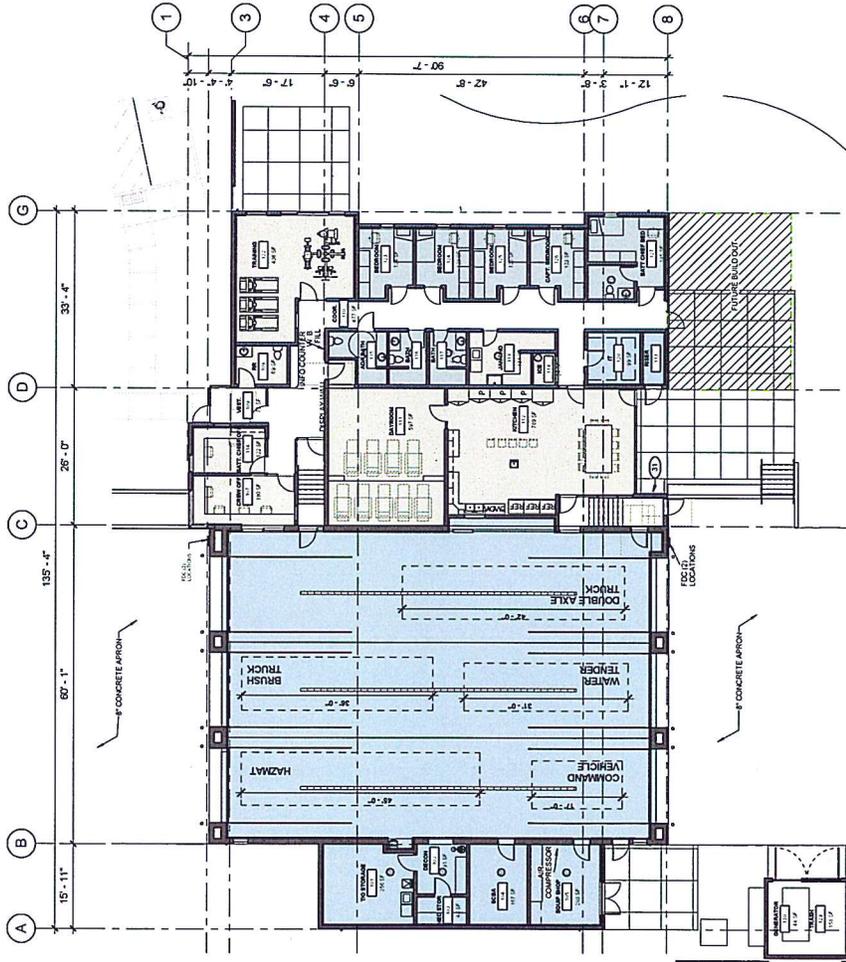


4 TRAINING TOWER SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



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FOOTHILL RD & BROKEN HILL RD.
10.12.16

TRUCKEE MEADOWS FIRE PROTECTION DISTRICT
 SPECIAL USE PERMIT - FIRST FLOOR



- OFFICE SPACES
- LIVING SPACES
- APPARATUS BAY
- CIRCULATION SPACES



STATION #14
 FOOTHILL RD & BROKEN HILL RD.
 TRUCKEE, NV





TMFPD FIRE STATION #14

Landscape

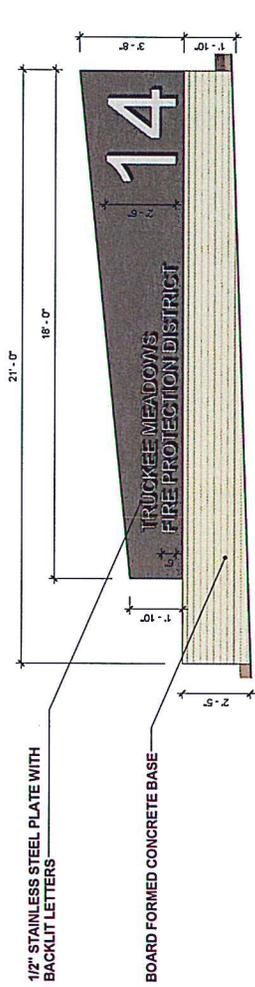
Twenty percent of the developed site is required to be landscaped. The proposed developed project area consists of $\pm 98,010$ square feet, resulting in $\pm 17,598$ square feet of required landscaping. Landscaping will primarily be drought tolerant plantings. A limited amount of turf will be provided on the west side of the building. The recommended turf is a blend of Kentucky bluegrass that is a drought-tolerant blend with rich color and high disease resistance. The Kentucky bluegrass is a self-repairing turf that allows for wear recovery and endurance.

Trees will be planted on the north and west sides at approximately 50' on center. Proposed species of trees will be Marshall's Seedless Ash, Honey Locust, with smaller accent trees of Choke Cherry, Redbud, and fruit tree varieties. Evergreens to be proposed will be Austrian Pine, Incense Cedar, and Juniper. There will also be a mix of shrubs and perennials. Native shrubs, grass, wildflower, and native seed grasses will also be provided. Detention basins will be seeded with native grasses. Rock mulch will be provided in specific areas. A number of areas will receive decomposed granite mulch (DG) ground cover, particularly along the western and eastern edges of the developed site.

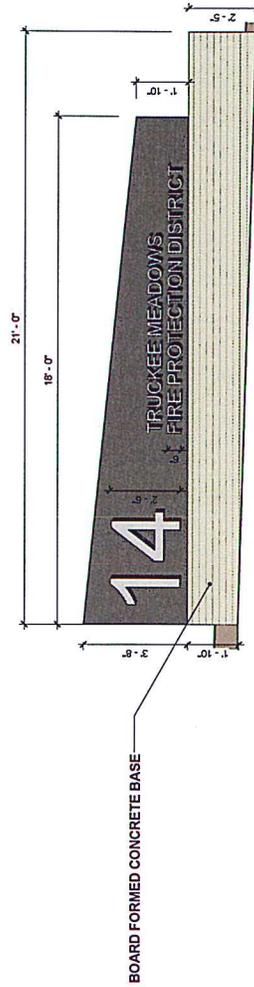
Signage

Signage for the project will comply with Washoe County standards. Signage will be complimentary to the architectural style of the building and will be oriented toward Foothill Road.

TRUCKEE MEADOWS FIRE PROTECTION DISTRICT SPECIAL USE PERMIT - MONUMENT SIGN



2 MONUMENT SIGN ELEVATION - FRONT
SCALE 1/2" = 1'-0"



1 MONUMENT SIGN ELEVATION - BACK
SCALE 1/2" = 1'-0"



tsk

STATION #14
FOOTHILL RD & BROKEN HILL RD.
10/27/16



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Infrastructure

Sanitary sewer will be provided by Washoe County. A proposed 6-inch sewer lateral will serve the fire station. The lateral will connect to the existing 10-inch sanitary sewer main in Foothill Road, beneath the proposed public parking driveway. The 6-inch lateral will extend south and will terminate with installation of a cleanout southeast of the proposed public parking lot.

Truckee Meadows Water Authority (TMWA) will be the water purveyor for the project. An existing 12-inch transite water line is located on the west side of Broken Hill Road. All water line services for the project will be serviced from this main line. A 3-inch domestic water line is proposed to serve the fire station with a 4-inch meter and backflow preventer and will service the property from the south side of the building.

Storm water peak runoff flows will be routed through an on-site storm drain system from the proposed roof drains and catch basins around the entire base the building to capture excess storm water runoff. There will also be on-site drainage swales graded along the site to capture excess runoff. The excess runoff will be collected in an on-site detention basin located to the south-east of the site. The basin will detain the storm water runoff flow and allow flow to exit through the storm drain outlet structure. The outlet structure has been designed to discharge the detained flows to the drainage channel south of the site at a controlled rate designed to limit the overall site discharge to the existing undeveloped levels. Because the excess flows will be detained prior to release, the system will provide a storage safety factor benefit to the existing public storm water drainage system, as well as providing a technique to pre-treat the storm water and enhance total suspended solids removal prior to releasing it into the public storm channel system, resulting in improved water quality. Therefore, the site can be developed as planned with respect to storm water drainage without adverse impact to adjacent or downstream properties or public storm drain facilities.

The outlet of the detention basin, and all other incidental site storm water flows will discharge into an existing channel traversing the southern portion of the parcel. There is an existing 15-foot wide storm drainage easement that will remain in place which serves both this parcel as well as flows from Broken Hill Road through an existing culvert.



View from Broken Hill Road facing east.



View from Foothill Road facing south.

Figure 9 - Site Photographs

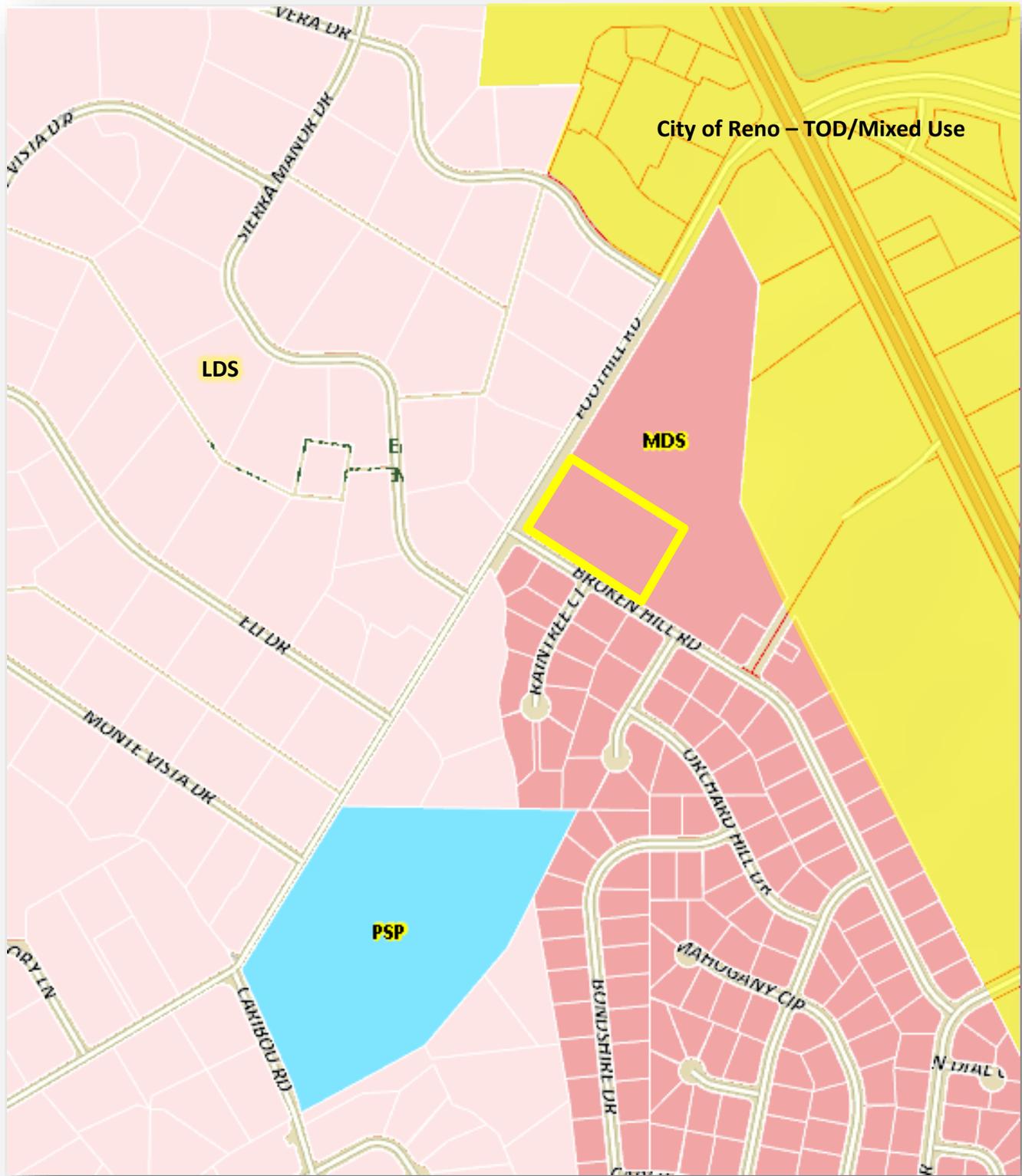


Figure 10 - Zoning Map



Special Use Permit Findings

Prior to approving an application for a special use permit, the Planning Commission, Board of Adjustment or a hearing examiner shall find that all of the following are true:

(a) Consistency. The proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the applicable area plan;

The property is part of the Southwest Truckee Meadows Area Plan. The proposed special use permit is consistent with the following Southwest Truckee Meadows Area Plan policies:

SW.2.5 Any lighting proposed must show how it is consistent with current best practice “dark-sky” standards. In subdivisions established after the date of final adoption of this plan the use of streetlights will be minimized.

SW.2.6 Street lights, security lights, and other outdoor lighting should be powered by solar or other renewable energy sources whenever possible.

SW.2.8 All landscape designs will emphasize the use of native vegetation, with non- native and atypical vegetation integrated sparingly into any landscaped area.

SW.10.3 The granting of special use permits in the SWTM planning area must be accompanied by a finding that no significant degradation of air quality will occur as a result of the permit. As necessary, conditions may be placed on special use permits to ensure no significant degradation of air quality will occur. The Department of Community Development will seek the advice and input of the Air Quality Division of the Department of Health in the implementation of this policy.

SW.11.1 Development proposals, with the exception of single family homes and uses accessory to single family homes, within the Southwest Truckee Meadows planning area will include detailed soils and geo-technical studies sufficient to:

- a. Ensure structural integrity of roads and buildings.
- b. Provide adequate setbacks from potentially active faults or other hazards.
- c. Minimize erosion potential.

SW.20.1 In order for the Washoe County Planning Commission to recommend the approval of ANY amendment to the SWTM Area Plan, the following findings must be made:

- a. The amendment will further implement and preserve the Vision and Character Statement.
- b. The amendment conforms to all applicable policies of the SWTM Area Plan and the Washoe County Master Plan, and the Regional Water Management Plan.
- c. The amendment will not conflict with the public’s health, safety or welfare.



TMFPD FIRE STATION #14

(b) Improvements. Adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven;

Sanitary sewer will be provided by Washoe County. A proposed 6-inch sewer lateral will serve the fire station. The lateral will connect to the existing 10-inch sanitary sewer main in Foothill Road, beneath the proposed public parking driveway. The 6-inch lateral will extend south and will terminate with installation of a cleanout southeast of the proposed public parking lot.

Truckee Meadows Water Authority (TMWA) will be the water purveyor for the project. An existing 12-inch transite water line is located on the west side of Broken Hill Road. All water line services for the project will be serviced from this main line. A 3-inch domestic water line is proposed to serve the fire station with a 4-inch meter and backflow preventer and will service the property from the south side of the building.

Storm water peak runoff flows will be routed through an on-site storm drain system from the proposed roof drains and catch basins around the entire base the building to capture excess storm water runoff. There will also be on-site drainage swales graded along the site to capture excess runoff. The excess runoff will be collected in an on-site detention basin located to the south-east of the site. The basin will detain the storm water runoff flow and allow flow to exit through the storm drain outlet structure. The outlet structure has been designed to discharge the detained flows to the drainage channel south of the site at a controlled rate designed to limit the overall site discharge to the existing undeveloped levels. Because the excess flows will be detained prior to release, the system will provide a storage safety factor benefit to the existing public storm water drainage system, as well as providing a technique to pre-treat the storm water and enhance total suspended solids removal prior to releasing it into the public storm channel system, resulting in improved water quality. Therefore, the site can be developed as planned with respect to storm water drainage without adverse impact to adjacent or downstream properties or public storm drain facilities.

The outlet of the detention basin, and all other incidental site storm water flows will discharge into an existing channel traversing the southern portion of the parcel. There is an existing 15-foot wide storm drainage easement that will remain in place which serves both this parcel as well as flows from Broken Hill Road through an existing culvert.

(c) Site Suitability. The site is physically suitable for the type of development and for the intensity of development;

Truckee Meadows Fire Protection District (TMFPD) Station #14 currently resides at 12300 Old Virginia Road, and has for the past ±30 years. The existing site, which was once considered rural, is now surrounded on all sides by commercial and retail development. The proposed Fire Station #14 has been sited to provide a better location to respond to the volume and type of calls that are required to provide the



TMFPD FIRE STATION #14

needed service in southern Washoe County. This location serves the need for this region and its anticipated growth. This site has indirect access to Virginia Street (main north/south connector in Reno), and clear freeway access to U.S. 395/580, to aide in response times for emergency calls that are of a greater distance.

The property is surrounded by residential development to the north and west and by vacant land to the east and south. Fire trucks will leave the apparatus bay from Foothill Road. Upon returning, the trucks will access the site off of Broken Hill Road. Foothill Road will be equipped with a standalone flashing light and signage warning vehicles of emergency vehicle crossing.

(d) Issuance Not Detrimental. Issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area;

The proposed use as a fire station is needed to keep up with the community's growth and need for adequate fire response times. Foothill Road is designated as a Collector roadway and has capacity to handle the additional traffic, which will be limited. Fire trucks will exit the apparatus bay onto Foothill Road, and will be equipped with a standalone flashing light and signage warning vehicles of emergency vehicle crossing. Fire trucks will enter the fire station off of Broken Hill Road. The proposed project is not anticipated to have any detrimental impacts to the public, health, safety or welfare. The proposed project will serve as a community amenity that will provide fire protection to south Washoe County.

(e) Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

There are no known military installations in the vicinity of the site. The proposed request will not affect the location, purpose and mission of the military installation.

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Development staff at 775.328.3600.

Project Information		Staff Assigned Case No.: _____	
Project Name: Truckee Meadows Fire Protection District Fire Station #14 Special Use Permit			
Project Description: Request for a Special Use Permit to allow a safety service use (fire station) to be developed in the MDS zoning district.			
Project Address: Southeast corner of Foothill Road and Broken Hill Road.			
Project Area (acres or square feet): 3 acres			
Project Location (with point of reference to major cross streets AND area locator): Southeast corner of Foothill Road and Broken Hill Road.			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No(s):	Parcel Acreage:
044-300-19	3 acres		
Section(s)/Township/Range: Section 8 T18 R20			
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: Truckee Meadows Fire Protection District		Name: CFA	
Address: PO Box 11130		Address: 1150 Corporate Blvd.	
Reno, NV	Zip: 89520	Reno, NV	Zip: 89502
Phone: 328-6123	Fax:	Phone: 856-1150	Fax: 856-1160
Email: cmoore@tmfpd.us		Email: afuss@cfareno.com	
Cell: 313-8903	Other:	Cell: 741-9563	Other:
Contact Person: Chief Moore		Contact Person: Angela Fuss	
Applicant/Developer:		Other Persons to be Contacted:	
Name: Washoe County		Name:	
Address: 1001 E. 9th Street, Bldg. A		Address:	
Reno, NV	Zip: 89520		Zip:
Phone: 328-3636	Fax:	Phone:	Fax:
Email: wwardell@washoecounty.us		Email:	
Cell: 750-7325	Other:	Cell:	Other:
Contact Person: Bill Wardell		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Property Owner Affidavit

Applicant Name: Truckee Meadows Fire Protection District

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
COUNTY OF WASHOE)

I, CHARLES A. MOORE, FIRECHIEF
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Development.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 044-300-19

Printed Name CHARLES A. MOORE

Signed [Signature]

Address 1001 E. 9th Street
Reno, NV 89512

Subscribed and sworn to before me this 4th day of April, 2016.

(Notary Stamp)

Washoe County - Nevada
Notary Public in and for said county and state

My commission expires: Dec. 13, 2017



*Owner refers to the following: (Please mark appropriate box.)

- Owner (checked)
Corporate Officer/Partner
Power of Attorney
Owner Agent
Property Agent
Letter from Government Agency with Stewardship

Special Use Permit Application Supplemental Information

(All required information may be separately attached)

Chapter 110 of the Washoe County Code is commonly known as the Development Code. Specific references to special use permits may be found in Article 810, Special Use Permits.

1. What is the type of project being requested?

This application is a request for a special use permit to allow a safety service use (i.e. Fire Station) in the MDS zoning district per 110.302.5.5 of the Washoe County Development Code.

2. What currently developed portions of the property or existing structures are going to be used with this permit?

The 3-acre site is currently undeveloped. The northern 2 acres of the site will be developed with a fire station.

3. What improvements (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.) will have to be constructed or installed and what is the projected time frame for the completion of each?

The proposed fire station measures 10,662 square feet in size and includes firemen living quarters, apparatus bay, training tower, parking and landscaping. The project will tie to the 10" sewer line in Foothill Road and a 12" water line in Broken Hill Road. Two separate parking areas will provide 10 spaces for firemen and 5 spaces for the public. A sign will be located facing Foothill Road. The project is anticipated to begin construction in early 2017. Final build-out is dependant on need and funding and is anticipated to be completed within 10 years.

4. What is the intended phasing schedule for the construction and completion of the project?

Construction is anticipated to begin in March of 2017 and substantially completed by January 1, 2018.
An additional living quarters for a second 5 man crew, is dependant on fire service need and funding.

5. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

Foothill Road is designated a Collector roadway and has capacity for development. Traffic is anticipated to be low with the proposed use. Station #14 was sited to provide a better location to respond to the volume and type of calls that are required to provide the needed service in southern Washoe County. This site has indirect access to Virginia Street (main north/south connector in Reno), and clear freeway access to US 395/580 to aide in response times for emergency calls that are of a greater distance. The property is vacant on the eastern and southern sides.

6. What are the anticipated beneficial aspects or effects your project will have on adjacent properties and the community?

Development of a fire station at this location will serve the fire service needs for this region and its anticipated growth, in particular, the southern Washoe County area.

7. What will you do to minimize the anticipated negative impacts or effects your project will have on adjacent properties?

Foothill Road will be equipped with a standalone flashing light and signage warning vehicles of emergency vehicle crossing. Fire trucks will leave the apparatus bay from Foothill Road. Upon returning, the trucks will access the site off of Broken Hill Road. Sidewalks on Foothill Road and Broken Hill Road will be constructed for enhanced pedestrian safety in the area. Landscaping will also be added to buffer between existing residences to the north and west and the proposed building.

8. Please describe operational parameters and/or voluntary conditions of approval to be imposed on the project special use permit to address community impacts:

Special care and thought has gone into the the design with respect to access, buffering, landscaping and pedestrian safety. Foothill Road will be equipped with a standalone flashing light and signage warning vehicles of emergency vehicle crossing. Fire trucks will leave the apparatus bay from Foothill Road. Upon returning, the trucks will access the site off of Broken Hill Road. Sidewalks on Foothill Road and Broken Hill Road will be constructed for enhanced pedestrian safety in the area. Landscaping will also be added to buffer between existing residences to the north and west and the proposed building.

9. How many improved parking spaces, both on-site and off-site, are available or will be provided? (Please indicate on site plan.)

The project provides for a total of 15 parking stalls. Ten stalls will be located on the western side, for firemen's personal vehicles and to serve as an overflow parking lot for the public. Five parking stalls are located on the north side, near the public entrance. All of the proposed parking is provided on-site.

10. What types of landscaping (e.g. shrubs, trees, fencing, painting scheme, etc.) are proposed? (Please indicate location on site plan.)

Twenty percent of the developed site is required to be landscaped. The proposed developed project area consists of ±98,010 square feet, resulting in ±17,598 square feet of required landscaping, including 35 trees. Landscaping will primarily be drought tolerant plantings. A limited amount of turf will be provided on the west side of the building. Trees will be planted on the north and west sides at approximately 50' on center. Proposed species of trees will be Marshall's Seedless Ash, Honey Locust, with smaller accent trees of Choke Cherry, Redbud, and fruit tree varieties. Evergreens to be proposed will be Austrian Pine, Incense Cedar, and Juniper. There will also be a mix of shrubs and perennials. Native shrubs, grass, wildflower, and native seed grasses will also be provided. Detention basins will be seeded with native grasses. Rock mulch will be provided in specific areas. A number of areas will receive decomposed granite mulch (DG) ground cover, particularly along the western and eastern edges of the developed site.

11. What type of signs and lighting will be provided? On a separate sheet, show a depiction (height, width, construction materials, colors, illumination methods, lighting intensity, base landscaping, etc.) of each sign and the typical lighting standards. (Please indicate location of signs and lights on site plan.)

A photometric plan has been provided. Pole mounted lighting will be limited to 12' tall, shielded and pointing downward. Signage will consist of board formed concrete base with 1/2" stainless steel plate with backlit letters.

12. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the special use permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
------------------------------	--

13. Community Sewer

<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
---	-----------------------------

Community Water

<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
---	-----------------------------

Washoe County Treasurer
Tammi Davis

Washoe County Treasurer
P.O. Box 30039, Reno, NV 89520-3039
ph: (775) 328-2510 fax: (775) 328-2500
Email: tax@washoecounty.us

Account Detail

[Back to Search Results](#) [Change of Address](#) [Print this Page](#)

Washoe County Parcel Information		
Parcel ID	Status	Last Update
04430019	Active	10/14/2016 7:24:27 AM
Current Owner: TRUCKEE MEADOWS FIRE PROTECTION DIST PO BOX 11130 RENO, NV 89520		SITUS: 0 FOOTHILL RD WASHOE COUNTY NV
Taxing District 4000	Geo CD:	
Legal Description		
Township 18 Section 8 Lot A Block Range 20 SubdivisionName _UNSPECIFIED		

Tax Bill (Click on desired tax year for due dates and further details)					
Tax Year	Net Tax	Total Paid	Penalty/Fees	Interest	Balance Due
2016	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Total					\$0.00

- Important Payment Information**
- ALERTS:** If your real property taxes are delinquent, the search results displayed may not reflect the correct amount owing. Please contact our office for the current amount due.
 - For your convenience, online payment is available on this site. E-check payments are accepted without a fee. However, a service fee does apply for online credit card payments. See [Payment Information](#) for details.

Pay Online
No payment due for this account.

\$0.00

Pay By Check
Please make checks payable to:
WASHOE COUNTY TREASURER

Mailing Address:
P.O. Box 30039
Reno, NV 89520-3039

Overnight Address:
1001 E. Ninth St., Ste D140
Reno, NV 89512-2845

 **Payment Information**

 **Special Assessment District**

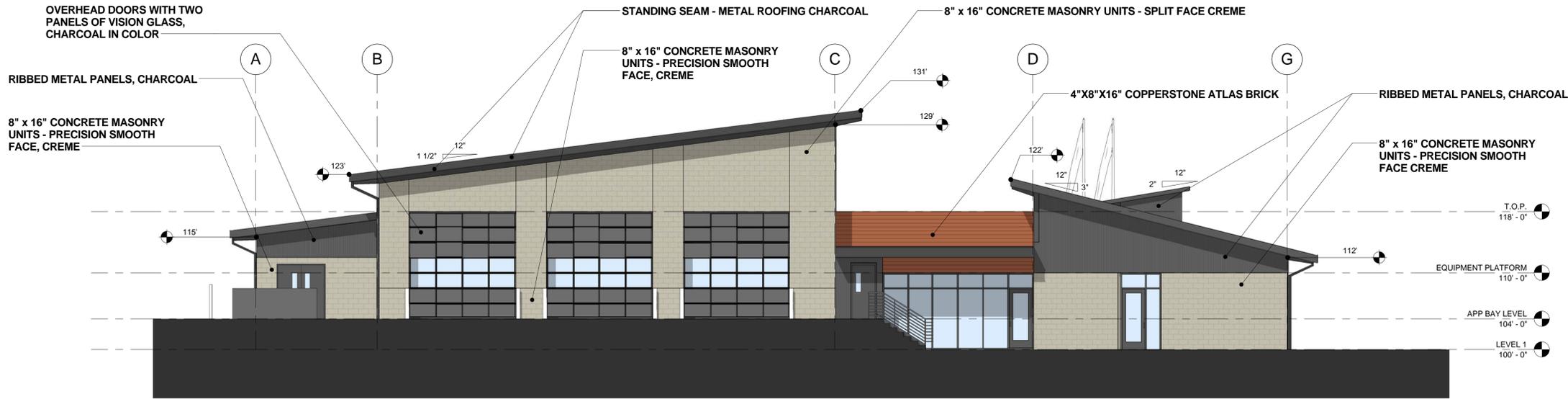
 **Installment Date Information**

 **Assessment Information**

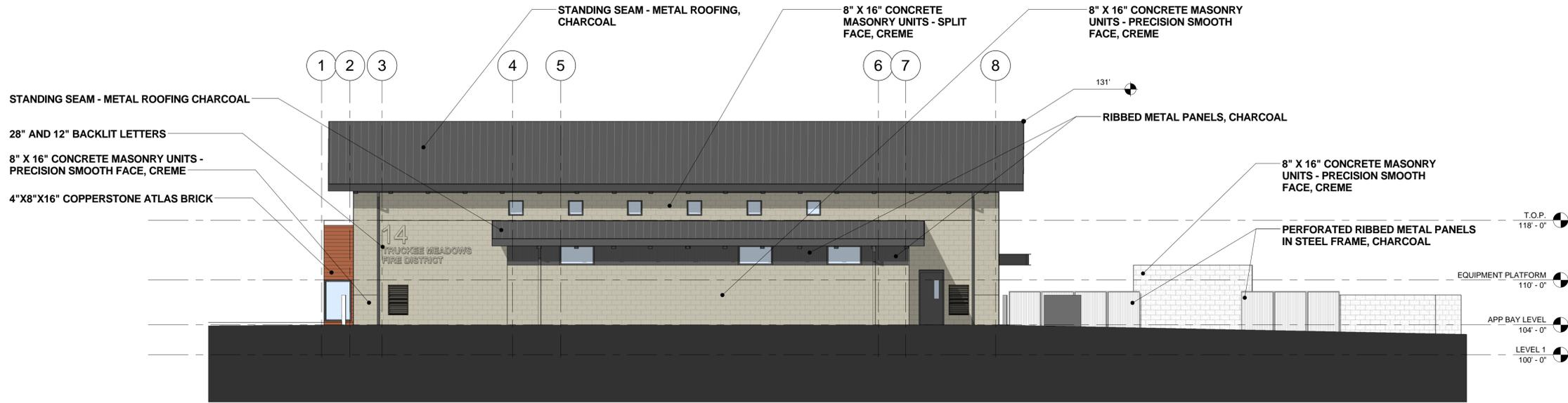
The Washoe County Treasurer's Office makes every effort to produce and publish the most current and accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use, or its interpretation. If you have any questions, please contact us at (775) 328-2510 or tax@washoecounty.us

This site is best viewed using Google Chrome, Internet Explorer 11, Mozilla Firefox or Safari.

TRUCKEE MEADOWS FIRE PROTECTION DISTRICT SPECIAL USE PERMIT - ELEVATIONS



1 ELEVATION - SOUTH
SCALE: 1/8" = 1'-0"



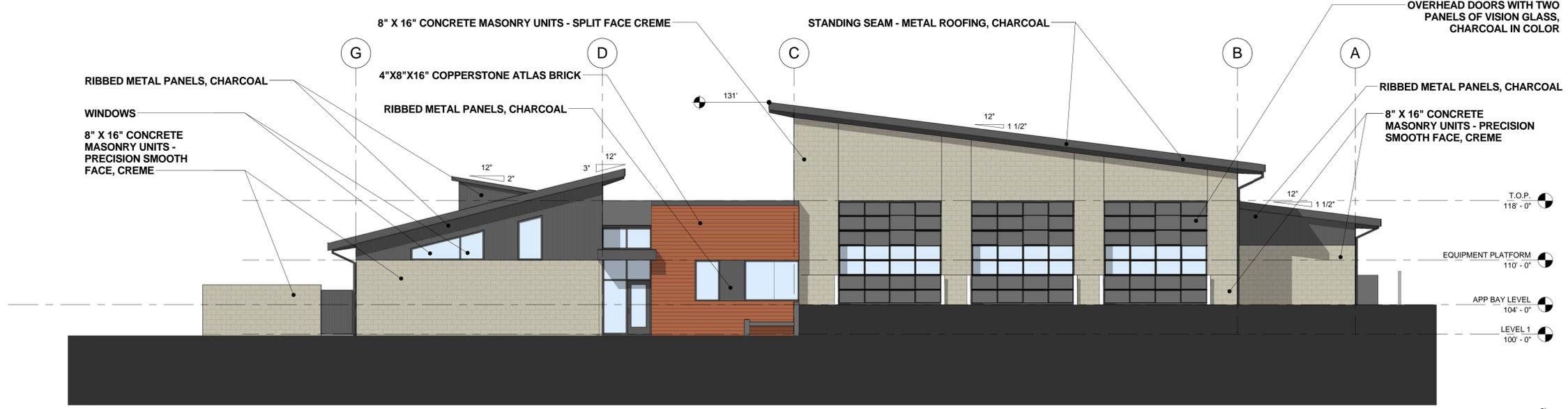
2 ELEVATION - WEST
SCALE: 1/8" = 1'-0"



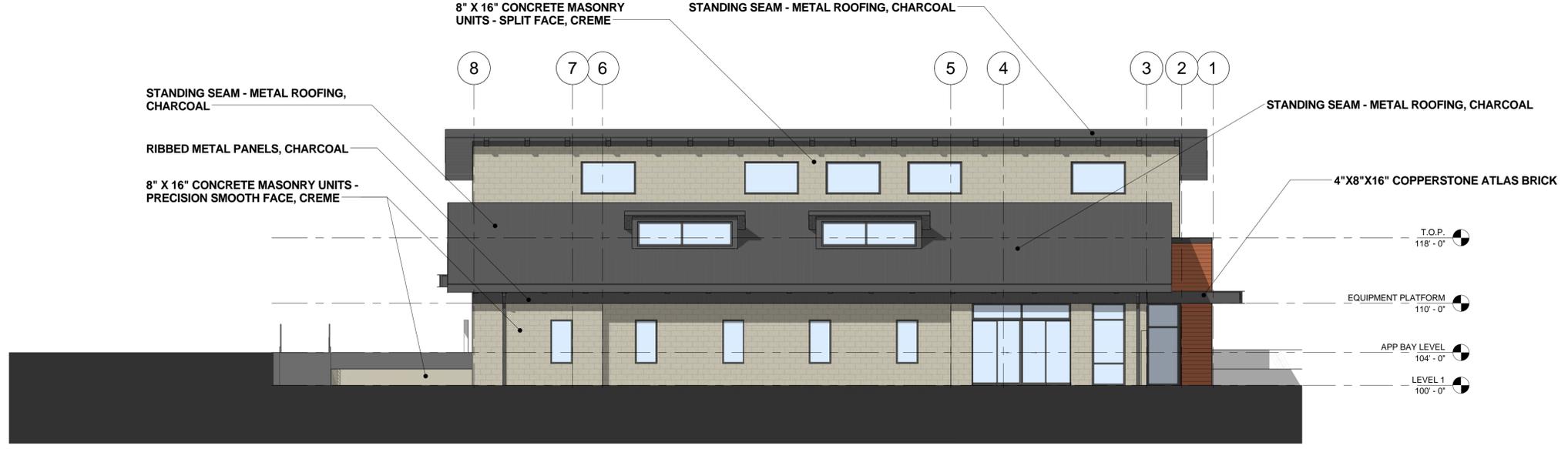
STATION #14
FOOTHILL RD & BROKEN HILL RD.

10/17/16

TRUCKEE MEADOWS FIRE PROTECTION DISTRICT SPECIAL USE PERMIT - ELEVATIONS



2 ELEVATION - NORTH
SCALE: 1/8" = 1'-0"

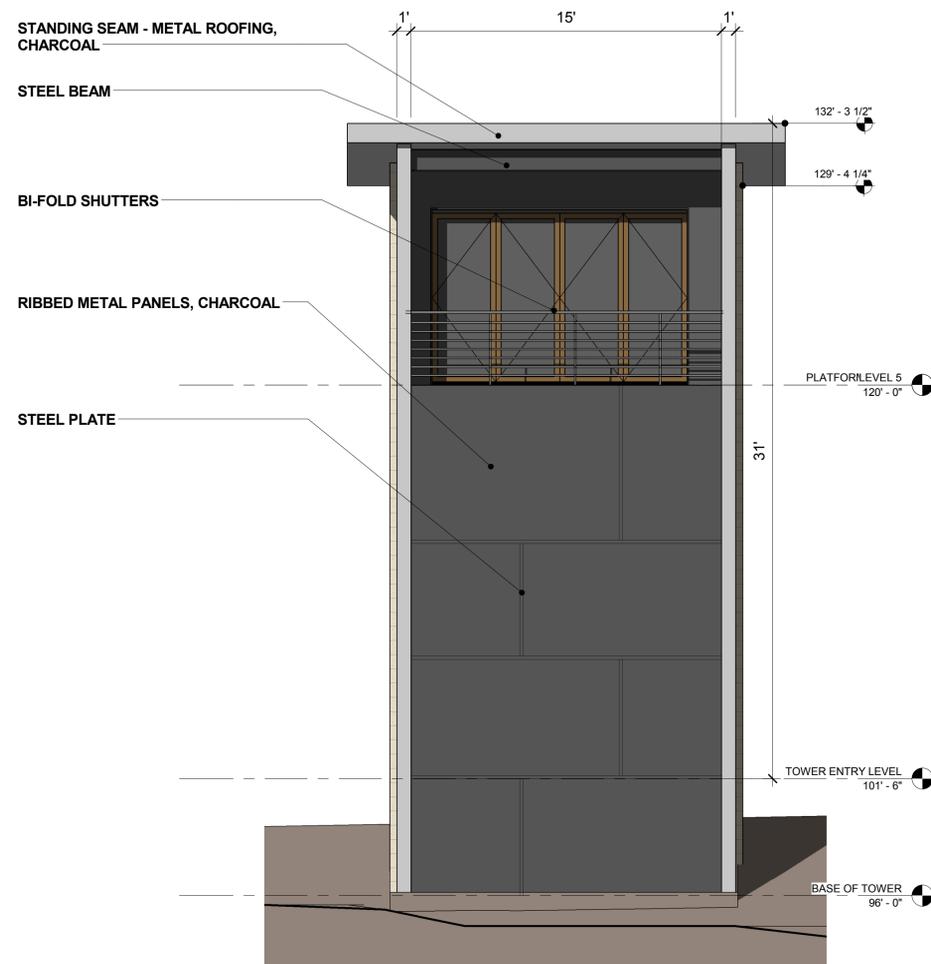


1 ELEVATION - EAST
SCALE: 1/8" = 1'-0"

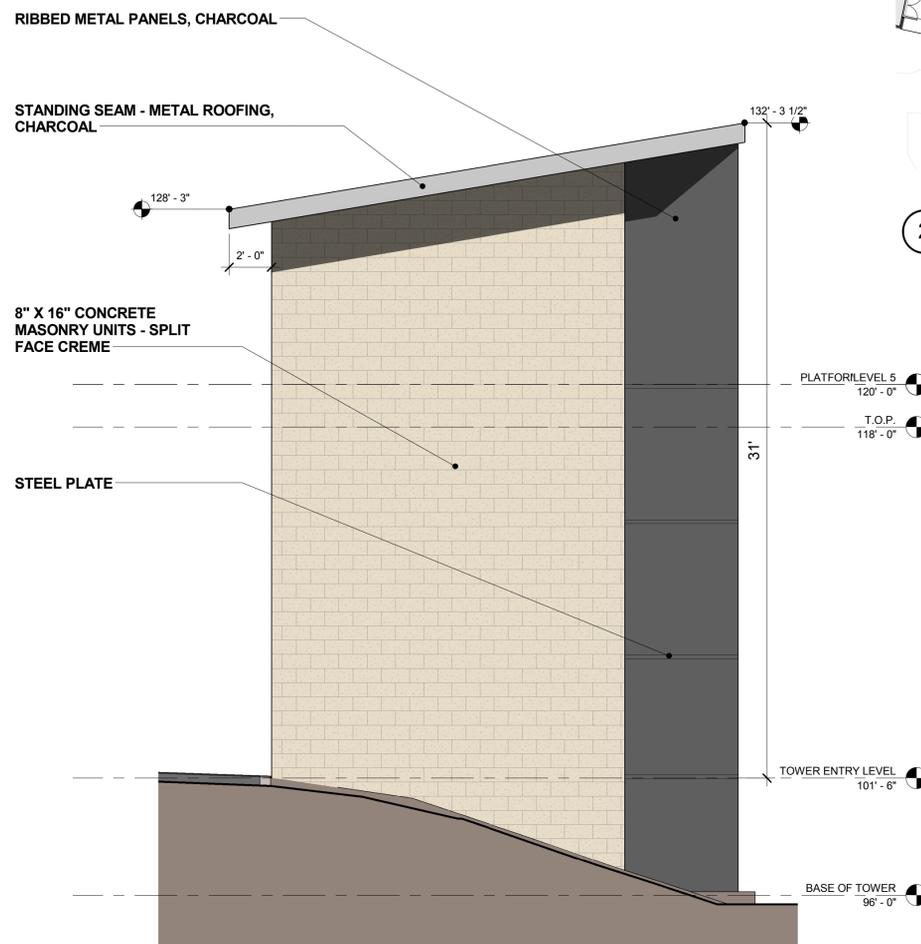


STATION #14
FOOTHILL RD & BROKEN HILL RD.
10/17/16

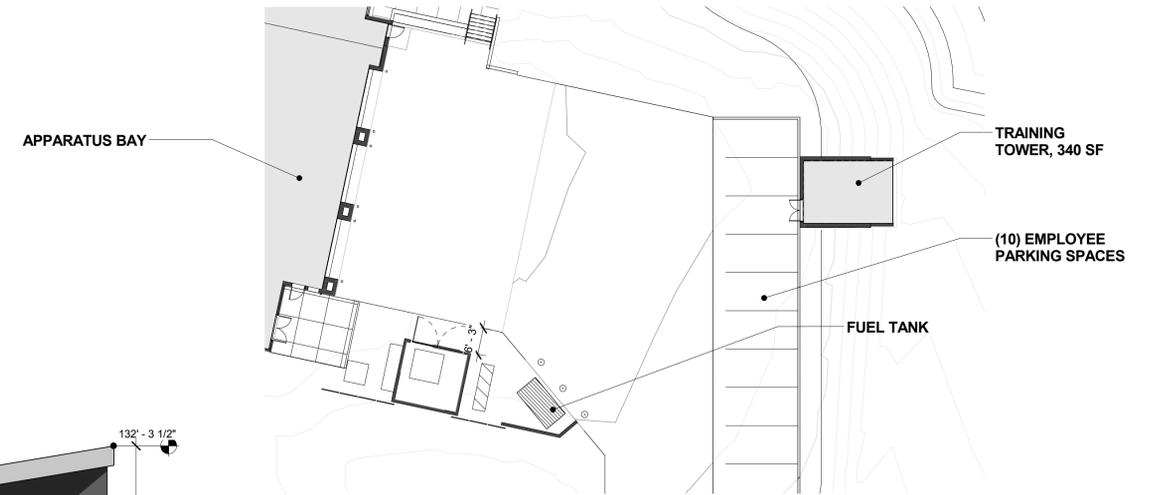
TRUCKEE MEADOWS FIRE PROTECTION DISTRICT TRAINING TOWER



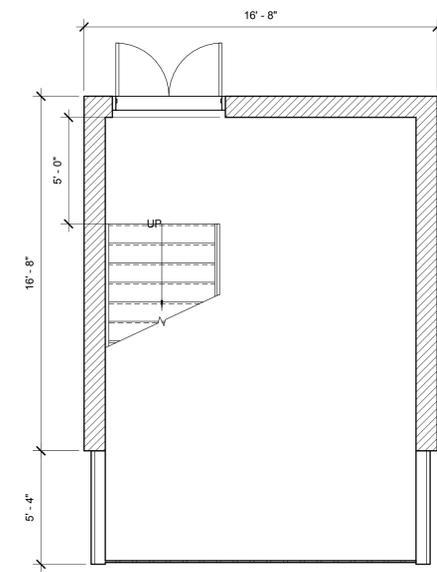
4 TRAINING TOWER SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



5 TRAINING TOWER WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 SITE PLAN - TRAINING TOWER
SCALE: 1" = 20'-0"



1 TRAINING TOWER FLOOR PLAN - SUP
SCALE: 1/4" = 1'-0"

SPECIAL USE PERMIT APPLICATION

TMFPD - STATION 14

WASHOE COUNTY, NEVADA

APN: 044-300-10

OWNER DEVELOPER

TRUCKEE MEADOWS FIRE PROTECTION DISTRICT
1001 EAST 9TH STREET, BUILDING D - 2ND FLOOR
RENO, NV 89512
(775) 328-6123 PHONE
(775) 313-8903 MOBILE
EMAIL: WWARDELL@WASHOECOUNTY.NV.GOV
CONTACT: BILL WARDELL

CIVIL ENGINEER

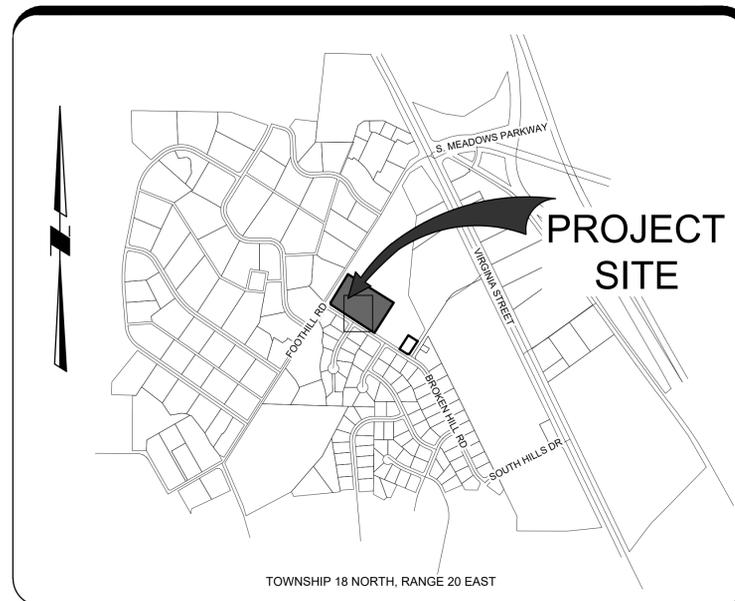
CFA, INC.
1150 CORPORATE BOULEVARD
RENO, NEVADA 89502
(775) 856-1150 PHONE
(775) 856-1160 FAX
EMAIL: LJOHNSON@CFARENO.COM
CONTACT: LONNIE JOHNSON, P.E.

PROJECT LOCATION

SOUTHEAST CORNER AT THE INTERSECTION OF
FOOTHILL ROAD AND BROKEN HILL ROAD
RENO, NV 89511
SECTION/TOWNSHIP/RANGE:
WITHIN SECTION 07, T18N, R20E, MDM

LANDSCAPE ARCHITECT

GREENDESIGN LANDSCAPE ARCHITECTURE INC.
1464 POPINJAY DRIVE
RENO, NEVADA 89509
(775) 501-9347 PHONE
EMAIL: BHATCH00@CHARTER.NET
CONTACT: BARBARA HATCH, R.L.A., A.S.L.A.



ABBREVIATIONS

AB ANCHOR BOLT	ENGR ENGINEER	PRC POINT OF REVERSE CURVE
ABAN ABANDONED	EQFT EQUIPMENT	PREFAB PREFABRICATED
ABC AGGREGATE BASE COURSE	EVC END OF VERTICAL CURVE	PROP PROPERTY
AC ASPHALT CONCRETE	EW EACH WAY	PSF POUNDS PER SQUARE FOOT
ADD ADDITIONAL	EXP JT EXPANSION JOINT	PSI POUNDS PER SQUARE INCH
ADJ ADJACENT	FDC FIRE DEPARTMENT CONNECTION	PT POINT OF TANGENCY
APPROX APPROXIMATE	FES FLARED END SECTION	PUE PUBLIC UTILITY EASEMENT
APPR APPROVED	FF FINISH FLOOR	PVC POLYVINYL CHLORIDE
ARCH ARCHITECTURAL	FFC FRONT FACE OF CURB	PI POINT OF VERTICAL INTERSECTION
ARV AIR RELEASE VALVE	FG FINISH GRADE	PMNT PAVEMENT
BC BEGN CURVE	FH FIRE HYDRANT	QS FIVE YEAR FLOW RATE
BCR BEGN CURB RETURN	FIG FIGURE	Q100 ONE HUNDRED YEAR FLOW RATE
BF BLIND FLANGE	FLG FLANGE	QCAP FLOW RATE CAPACITY
BFC BACK FACE OF CURB	E FLOWLINE	R RADIUS
BFV BUTTERFLY VALVE	FNISH FINISH	RCW RECLAIMED WATER
BLDG BUILDING	FPS FEET PER SECOND	RCB REINFORCED CONCRETE BOX CULVERT
BM BENCH MARK	FT FOOT or FEET	RCP REINFORCED CONCRETE PIPE
BOT BOTTOM	FTG FOOTING	RD ROAD
BVC BEGN VERTICAL CURVE	F DEGREE FAHRENHEIT	REF REFERENCE or REFER
CARV COMBINATION AIR RELEASE VALVE	G GAS	REINF REINFORCED
CATV CABLE TELEVISION	GAL GALLON	REQD REQUIRED
CB CATCH BASIN	GALV GALVANIZED	RT RIGHT
CFM CUBIC FEET PER MINUTE	GPD GALLONS PER DAY	RW or ROW RIGHT-OF-WAY
CFS CUBIC FEET PER SECOND	HORIZ HORIZONTAL	RWL RECLAIMED WATER LINE
CJ CAST IRON	HP HORSEPOWER	SCH SCHEDULE
CONSTRUCTION JOINT	ID INSIDE DIAMETER	SD STORM DRAIN
CL CENTERLINE	IE INVERT ELEVATION	SECT SECTION
CLF CHAIN LINK FENCE	IN INCH	SF SQUARE FOOT
CLR CLEAR	INV INVERT	SI SQUARE INCH
CMP CORRUGATED METAL PIPE	IRR IRRIGATION	SSE SANITARY SEWER EASEMENT
CMU CONCRETE MASONRY UNIT	JT JOINT	STA STATION
CO CLEANOUT	KW KILOWATT	SIM SIMILAR
COL COLUMN	L LENGTH	SPEC SPECIFICATIONS
CONC CONCRETE	LAT LATERAL	SQ SQUARE
CONN CONNECTION	LB POUNDS	SS SANITARY SEWER
CONT CONTINUOUS	LB/CU FT POUNDS PER CUBIC FOOT	STD STANDARD
COORD COORDINATE	LF LINEAR FEET	SW SIDEWALK
CTR CENTER	LONG LONGITUDINAL	SYMM SYMMETRICAL
CU CUBIC	LT LEFT	TAN TANGENT
CU FT CUBIC FEET	LT MAXIMUM	TB THRUST BLOCK
CU IN CUBIC INCH	MDD MAXIMUM DRY DENSITY	TC TOP OF CURB
CU YD CUBIC YARD	MECH MECHANICAL	TECH TECHNICAL
CULV CULVERT	MFR MANUFACTURER	TEL TELEPHONE
CV CHECK VALVE	MH MANHOLE	TEMP TEMPERATURE
DBL DOUBLE	MIN MINIMUM	TF TOP FACE
DCVA DOUBLE CHECK VALVE ASSEMBLY	MISC MISCELLANEOUS	TW OF TOW TOP OF WALL
DET DETAIL	MPH MILES PER HOUR	TPY TYPICAL
DI DROP INLET, DUCTILE IRON	N NOTHING	V VELOCITY
DIA DIAMETER	NTS NOT TO SCALE	V1/2 VELOCITY AT ONE HALF DEPTH
DWG DRAWING	OC ON CENTER	VC VERTICAL CURVE
E EASTING	OG ORIGINAL GROUND	VERT VERTICAL
EA OF EXIST EXISTING	OHE OVERHEAD ELECTRIC	VG VALLEY GUTTER
EA EACH	OZ OUNCE	W WATER
EC END CURVE	PC OR POINT OF CURVE	WWF WELDED WIRE FABRIC
ECR END CURB RETURN	PCC POINT OF CURVE	YD YARD
ECC ECCENTRIC	PL PROPERTY LINE	
EG EXISTING GRADE		

BASIS OF BEARINGS

THE BASIS OF BEARINGS FOR THIS SURVEY IS NEVADA STATE PLANE, WEST ONE NAD83(94) BASED ON REAL TIME KINEMATIC (RTK) GPS OBSERVATIONS UTILIZING CORRECTIONS FROM THE NORTHERN NEVADA COOPERATIVE REAL TIME NETWORK. COORDINATES AND DISTANCES HEREON ARE AT GROUND LEVEL BASED ON A COMBINED GRID TO GROUND FACTOR OF 1.000197939.

BASIS OF ELEVATIONS

THE BASIS OF ELEVATIONS FOR THIS SURVEY IS THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) BASED UPON CITY OF RENO BENCHMARK 2305 BEING A 1-1/2" DIAMETER STEEL CAP IN THE TOP OF CURB AT THE NORTHEAST CORNER OF SOUTH VIRGINIA SOUTH MEADOWS PARKWAY, WITH AN ELEVATION OF 4508.42 FEET.

SHEET INDEX:

T1.0	TITLE SHEET
C1.0	SITE-UTILITY PLAN
C2.0	GRADING PLAN
C2.1	CROSS SECTIONS
L1	LANDSCAPE PLAN

DATE	MARK	REVISIONS	BY

PROFESSIONAL SEAL:

PLANNERS • ENGINEERS • LANDSCAPE ARCHITECTS
 SURVEYORS • CONSTRUCTION INSPECTION

 1150 CORPORATE BLVD. RENO, NV 89502
 (775) 856-1150 FAX: (775) 856-1160
 WWW.CFARENO.COM

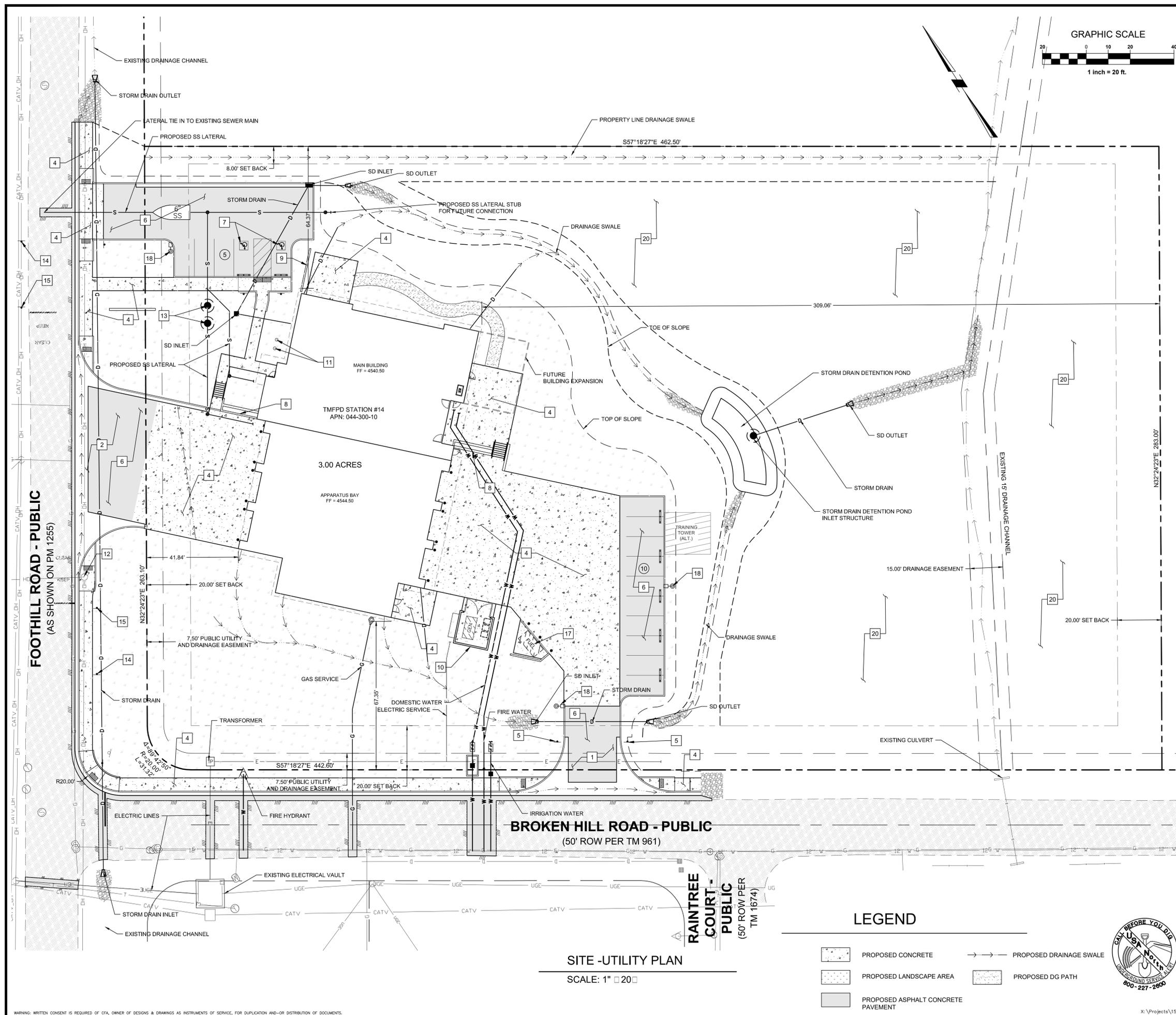
PRELIMINARY NOT FOR CONSTRUCTION



CAUTION - NOTICE TO CONTRACTOR

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SPECIAL USE PERMIT
 TMFPD - STATION 14
TITLE SHEET
 FOOTHILL DR. BROKEN HILL RD.
 RENO, NV 89511
 NEVADA
 RENO
 JOB NO. 15023.00
 BY LJ/AE
 DATE 10-13-2016
 SHEET
T1.0
5



- ### CONSTRUCTION NOTES
- 1 PROPOSED SITE ENTRANCE TO FIRE STATION
 - 2 PROPOSED FIRE STATION TRUCK DRIVEWAY EXIT
 - 3 NOT USED
 - 4 CONSTRUCT CONCRETE DRIVEWAY /SIDEWALK
 - 5 PROPOSED "FIRE APPARATUS ONLY - NO PUBLIC ACCESS" SIGN
 - 6 PROPOSED ASPHALT CONCRETE SECTION
 - 7 CONSTRUCT ADA PARKING SPACE
 - 8 PROPOSED RETAINING WALL
 - 9 PROPOSED SCREENING WALL
 - 10 PROPOSED CMU WALL FOR TRASH ENCLOSURE AND GENERATOR
 - 11 PROPOSED FLAG POLES
 - 12 EXISTING POLE AND LINES TO REMAIN
 - 13 PROPOSED SAND/OIL INTERCEPTOR
 - 14 SOLAR POWERED STAND ALONE FLASHING LIGHT
 - 15 PROPOSED "EMERGENCY VEHICLES, KEEP CLEAR" SIGN
 - 16 NOT USED
 - 17 PROPOSED FUELING TANK AND CMU WALL
 - 18 INSTALL PROPOSED LIGHT, REF. ELECTRICAL PLANS
 - 19 NOT USED
 - 20 UNDEVELOPED AREA - FUTURE PHASE
- OF PARKING SPACES IN A ROW

PARKING SUMMARY

STANDARD PARKING STALL	13
HANDICAP PARKING STALL	2
TOTAL PARKING	15

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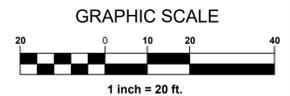
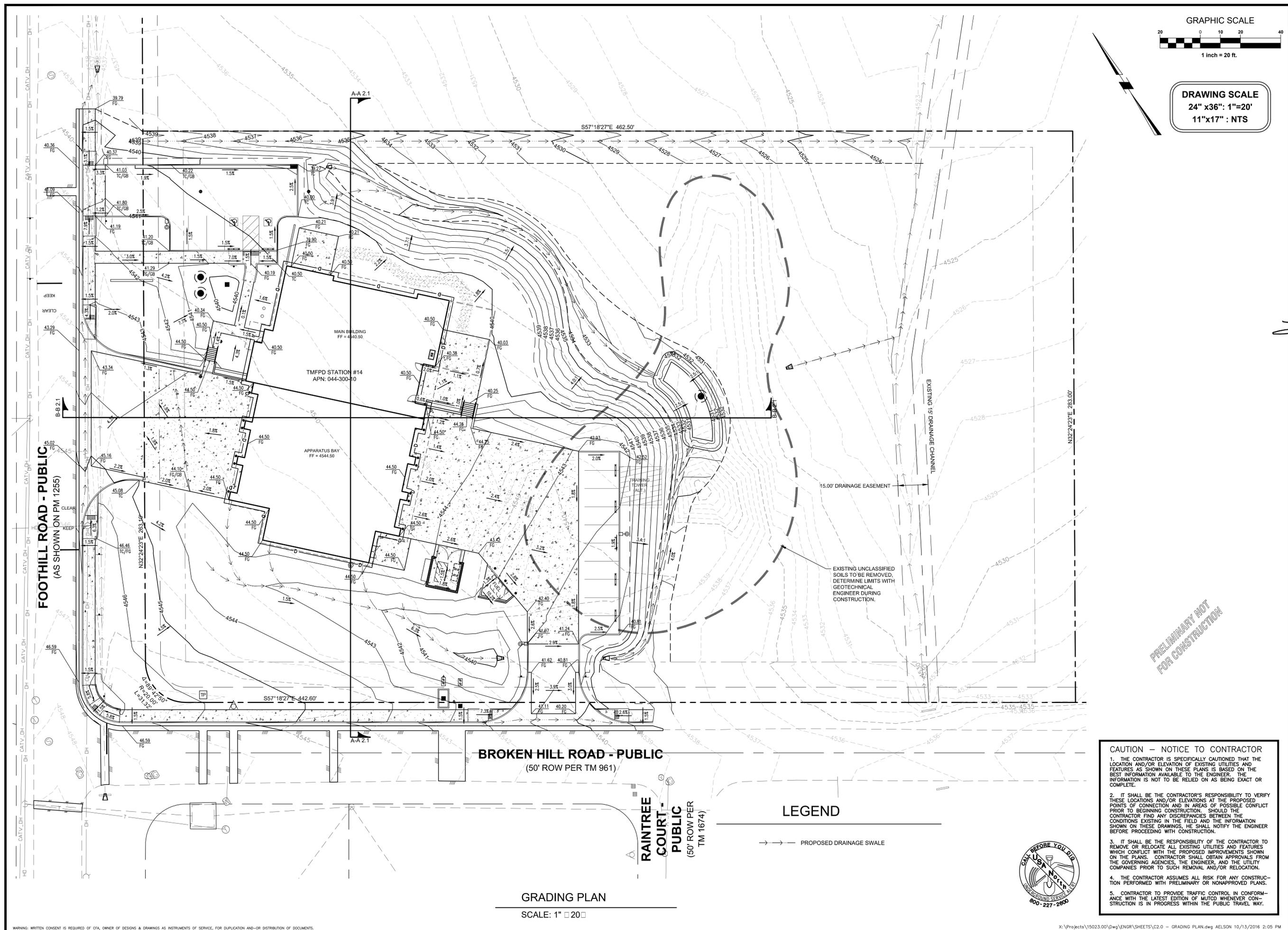
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LEGEND

	PROPOSED CONCRETE		PROPOSED DRAINAGE SWALE
	PROPOSED LANDSCAPE AREA		PROPOSED DG PATH
	PROPOSED ASPHALT CONCRETE PAVEMENT		

SITE - UTILITY PLAN
SCALE: 1" = 20'

<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>NO.</th> <th>DATE</th> <th>MARK</th> <th>BY</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DATE	MARK	BY					<p>PROFESSIONAL SEAL:</p> <p>PLANNERS • ENGINEERS • LANDSCAPE ARCHITECTS SURVEYORS • CONSTRUCTION INSPECTION</p> <p>cfa</p> <p>1150 CORPORATE BLVD. RENO, NV 89502 (775) 856-1150 FAX: (775) 856-1160 WWW.CFARENO.COM</p>
NO.	DATE	MARK	BY						
<p>SPECIAL USE PERMIT</p> <p>TMFPD - STATION #14</p> <p>SITE UTILITY PLAN</p> <p>FOOTHILL RD. - BROKEN HILL RD.</p> <p>RENO, NV 89511</p>	<p>NEVADA</p> <p>RENO</p> <p>JOB NO. 15023.00 BY LJ/AE DATE 10-13-2016 SHEET C1.0</p> <p style="text-align: right; font-size: 24pt;">5</p>								



DRAWING SCALE
 24" x 36" : 1"=20'
 11"x17" : NTS

BY	
REVISIONS	
DATE	
MARK	
PROFESSIONAL SEAL:	

PROFESSIONAL SEAL:

LENNIE J. JOHNSON
 Exp. 06-30-11
 CIVIL
 LICENSE NO. 19440
 10.13.2016

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 SURVEYORS • CONSTRUCTION INSPECTION
 1150 CORPORATE BLVD. RENO, NV 89502
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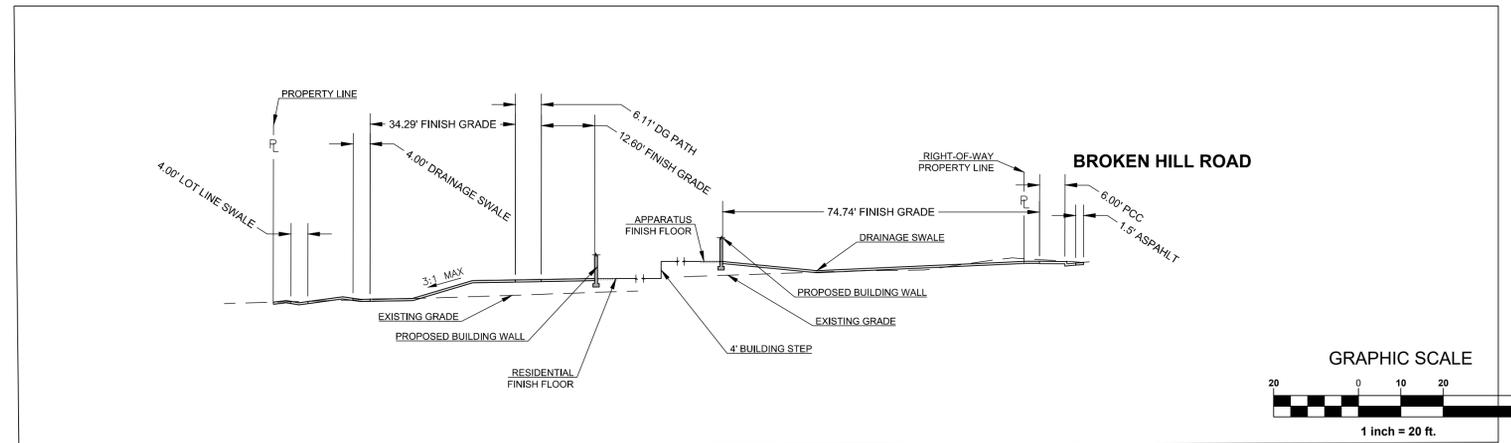
SPECIAL USE PERMIT	NEVADA
TMFPD - STATION #14	
GRADING PLAN	
FOOTHILL RD. □ BROKEN HILL RD.	
RENO, NV 89511	
JOB NO. 15023.00	
BY LJA/AE	
DATE 10-13-2016	
SHEET	
C2.0	
5	

CAUTION - NOTICE TO CONTRACTOR

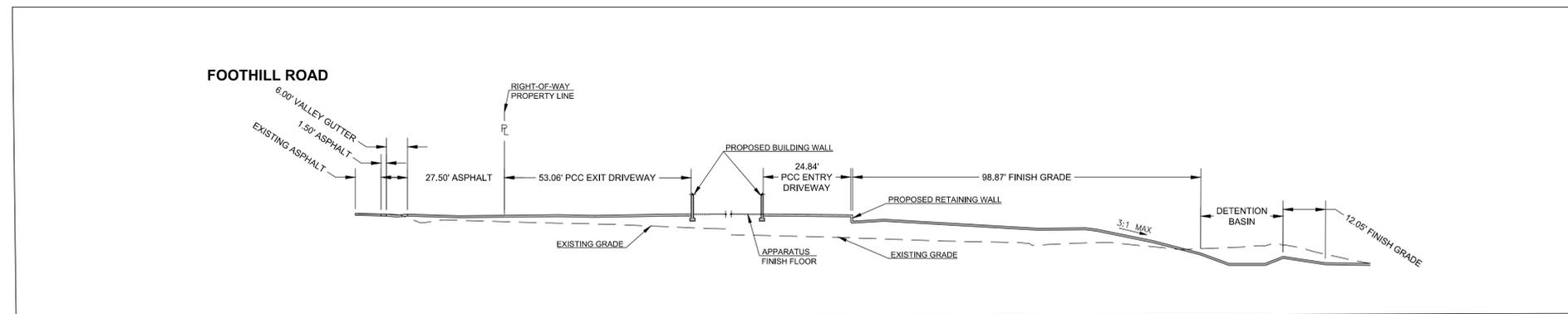
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DRAWING SCALE
 24" x 36" : 1"=20'
 11"x17" : NTS



CROSS SECTION A-A
 REF. SHEET C2.0



CROSS SECTION B-B
 REF. SHEET C2.0

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NO.	DATE	BY	REVISIONS

PROFESSIONAL SEAL:



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 1150 CORPORATE BLVD. RENO, NV 89502
 (775) 856-1150 FAX: (775) 856-1160
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NEVADA

SPECIAL USE PERMIT
 TMAPD - STATION 4
CROSS SECTIONS
 FOOHILL RD. - BROKEN HILL RD.
 RENO, NV 89511

RENO

JOB NO. 15023.00
 BY LJ/AE
 DATE 10-13-2016

SHEET **C2.1**

OF 5



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Consultant

JENSEN ENGINEERING INC.
Electrical Engineers
9655 Gateway Drive Reno, Nevada 89521-2988
Ph: (775) 852-2288 Fax: (775) 852-3388
email: ccorak@jeneng.com web: www.jeneng.com

PLEASE RECYCLE

Project
TMFPD FIRE STATION #14

**FOOTHILL RD. & BROKEN HILL RD.
RENO, NV 89511**

Job No: 14-095.00

Owner
TRUCKEE MEADOWS FIRE PROTECTION DISTRICT



SCHEMATIC DESIGN

REVISIONS		DESCRIPTION
REV	DATE	

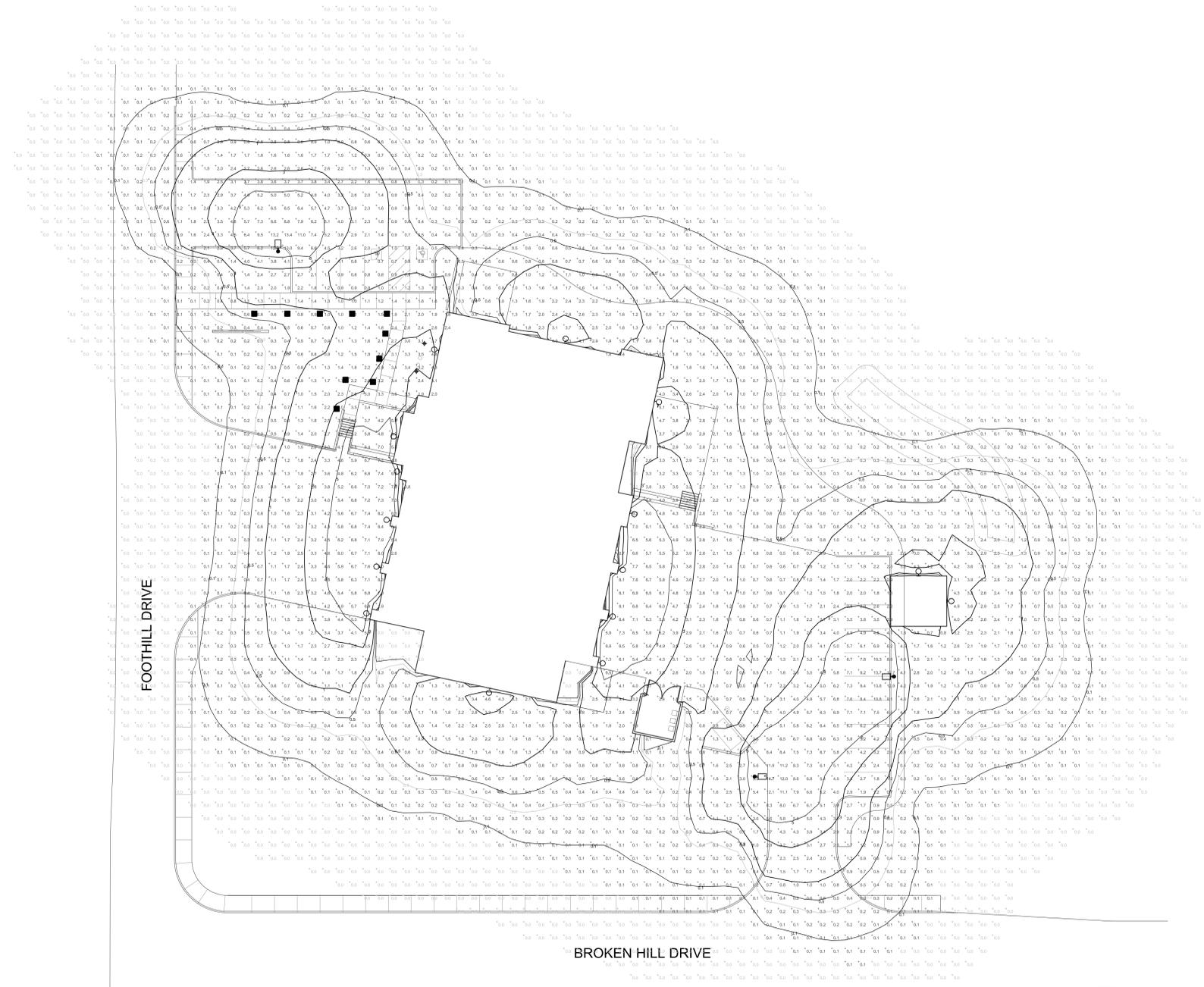
Sheet Title

SITE PHOTOMETRIC PLAN

Date: 09.22.2016

Sheet No:

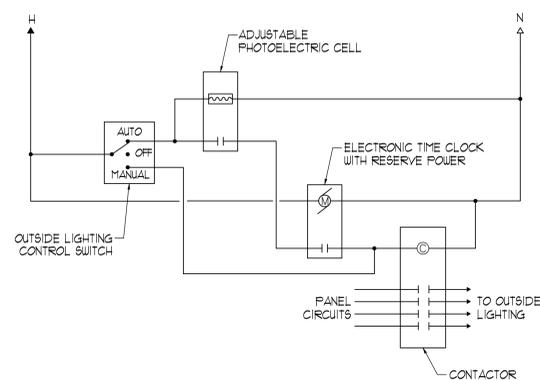
E2.02



SITE PHOTOMETRIC PLAN

SCALE: 1" = 20'-0"

A
E2.02



OUTSIDE LIGHTING CONTROL SCHEMATIC NOTES:

1. LIGHTING CONTACTOR(S) SHALL BE 20A, 600V, 3-POLE, NEMA ENCLOSED
2. TIME CLOCK SHALL BE INTERMATIC * ET 2800 OR EQUIVALENT.
3. PHOTOCELL SHALL BE INTERMATIC * K4100/4200 OR EQUIVALENT.
4. LOCATE OUTSIDE LIGHTING CONTROLS (H.O.A., CLOCKS AND CONTACTORS) ADJACENT TO FEEDING ELECTRICAL PANEL. LOCATE PHOTOCELL OUTSIDE ON ROOF FACING NORTH.

OUTSIDE LIGHTING CONTROL
DIAGRAM
NOT TO SCALE

B
E2.02



ENGINEERS • LAND SURVEYORS
PLANNERS • LANDSCAPE ARCHITECTS

October 27, 2016

Roger Pelham, Senior Planner
Washoe County Community Services
1001 E. 9th Street
Reno, NV 89512

Re: Special Use Permit for TMFPD Station #14

Dear Roger,

This letter has been prepared in response to your request for additional information on TMFPD Station #14. Attached are the following maps for your review and clarification:

- Grading Plan (showing cut and fill quantities)
- Lighting Plan (showing parcel lines)
- Site Plan (showing future expansion areas)
- Haul Route Map

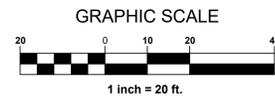
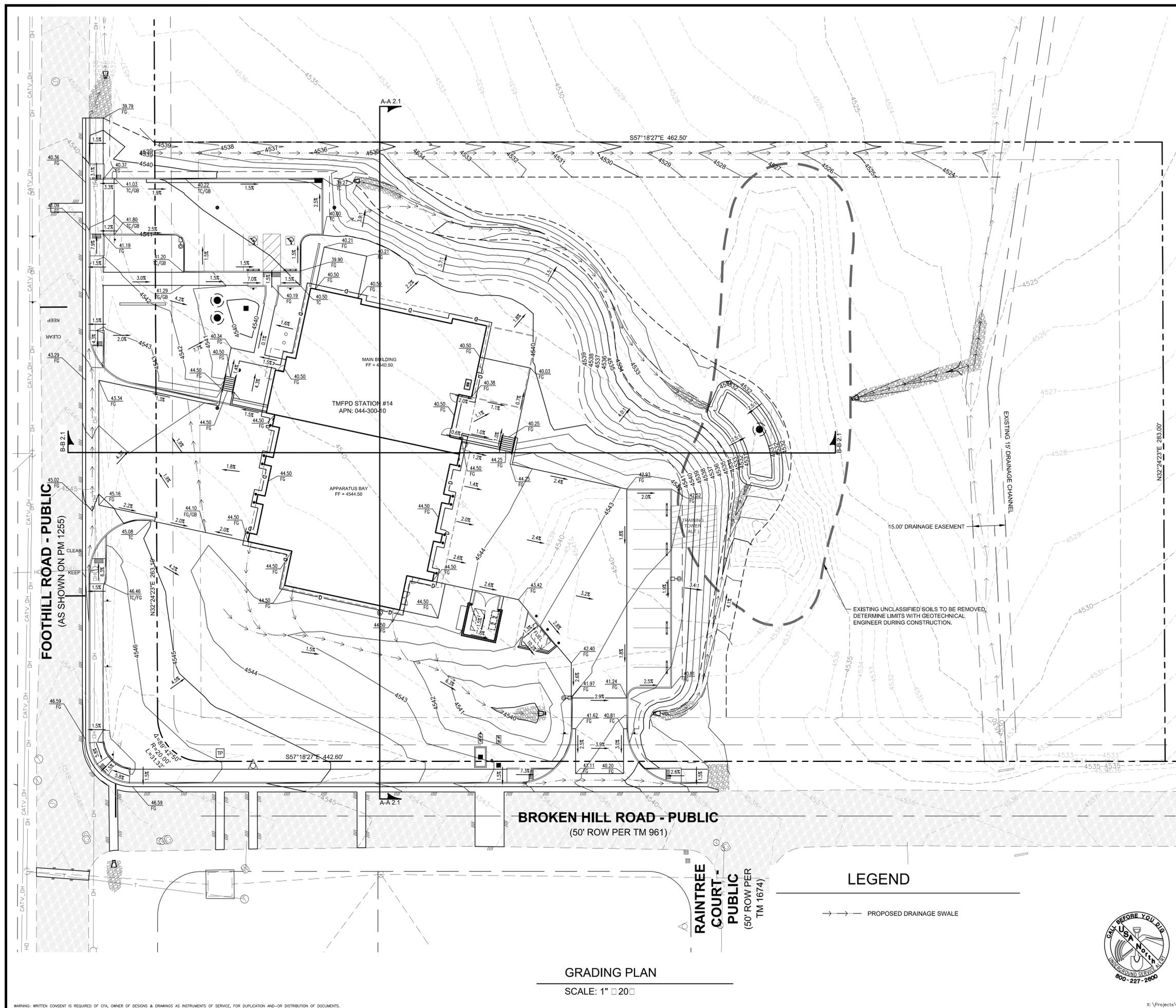
The future expansion areas are shown and color coded on the revised site plan. The training tower is anticipated to be developed within the next five years. The timing of the training tower is based on budget constraints and training facility needs. The additional crew living quarters is anticipated to be constructed within the next ten years. The timing for the additional crew living quarters is based on community growth and budgetary constraints.

Please contact me if you have any additional questions.

Sincerely,

A handwritten signature in cursive script that reads 'Angela Fuss'.

Angela Fuss, AICP
Director of Planning



DRAWING SCALE
 24" x 36" : 1"=20'
 11"x17" : NTS

EARTHWORK -
 UNDER HARDSCAPE, BUILDING & LANDSCAPED AREAS

HARDSCAPE:	CUT: 194 CY
	FILL: 2,185 CY
BUILDING:	CUT: 62 CY
	FILL: 1,085 CY
LANDSCAPE:	CUT: 337 CY
	FILL: 2,487 CY
UNDOCUMENTED FILL:	CUT: 150 CY
	FILL: 0 CY
TOTAL (CY):	CUT: 716 CY
	FILL: 5,757 CY
	NET: 5,041 CY (FILL)

EARTHWORK -
 NOT UNDER LANDSCAPED AREA

UNDOCUMENTED FILL:	CUT: 1,028 CY
	FILL: 0 CY
DETENTION POND:	CUT: 37 CY
	FILL: 0 CY
TOTAL (CY):	CUT: 1,065 CY
	FILL: 0 CY
	NET: 1,065 CY (CUT)

REVISIONS

NO.	DATE	MARK	BY

PROFESSIONAL SEAL:

10.26.2016

PLANNERS • ENGINEERS • LANDSCAPE ARCHITECTS
 SURVEYORS • CONSTRUCTION INSPECTION

1150 CORPORATE BLVD. RENO, NV 89502
 (775) 856-1150 FAX: (775) 856-1160
 WWW.CFARENO.COM

NEVADA

SPECIAL USE PERMIT
 TMFPD - STATION #14
GRADING PLAN
 FOOTHILL RD. & BROKEN HILL RD.
 RENO, NV 89511

RENO

JOB NO. 15023.00
 BY LJA/AE
 DATE 10-28-2016
 SHEET **C2.0**

5

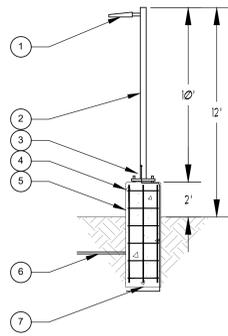
CAUTION - NOTICE TO CONTRACTOR

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND FEATURES AS SHOWN ON THESE PLANS IS BASED ON THE BEST INFORMATION AVAILABLE TO THE ENGINEER. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE LOCATIONS AND/OR ELEVATIONS AT THE PROPOSED POINTS OF CONNECTION AND IN AREAS OF POSSIBLE CONFLICT PRIOR TO BEGINNING CONSTRUCTION. SHOULD THE CONTRACTOR FIND ANY DISCREPANCIES BETWEEN THE CONDITIONS EXISTING IN THE FIELD AND THE INFORMATION SHOWN ON THESE DRAWINGS, HE SHALL NOTIFY THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE OR RELOCATE ALL EXISTING UTILITIES AND FEATURES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. CONTRACTOR SHALL OBTAIN APPROVALS FROM THE GOVERNING AGENCIES, THE ENGINEER, AND THE UTILITY COMPANIES PRIOR TO SUCH REMOVAL AND/OR RELOCATION.
- THE CONTRACTOR ASSUMES ALL RISK FOR ANY CONSTRUCTION PERFORMED WITH PRELIMINARY OR NONAPPROVED PLANS.
- CONTRACTOR TO PROVIDE TRAFFIC CONTROL IN CONFORMANCE WITH THE LATEST EDITION OF MUTCD WHENEVER CONSTRUCTION IS IN PROGRESS WITHIN THE PUBLIC TRAVEL WAY.



GRADING PLAN
 SCALE: 1" = 20'





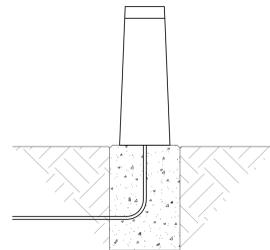
POLE LUMINAIRE DETAIL

SCALE: 1/4" = 1'-0"

B
E2.01

POLE & LUMINAIRE NOTES:

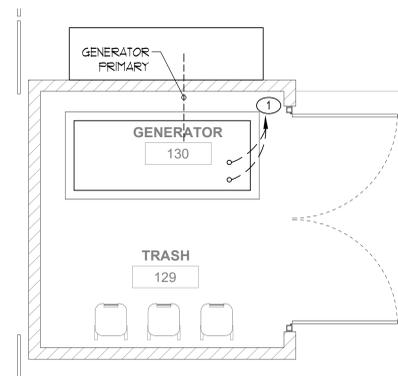
- 1 ACQUITY BRAND'S 105X10-LED-400-1000-40K-14H-1VOLT LUMINAIRE. (LUMINAIRE EPA = 12 SQ.FT. EACH)
- 2 ACQUITY BRAND'S 985-10-40 SQUARE STRAIGHT STEEL POLE (10' HIGH x 4" SQUARE) WITH ANCHOR BOLT MOUNTING FLANGE AND FINISH TO MATCH EXISTING POLES. POLE RATED FOR 100 MPH WINDS, WITH 13 GUST FACTOR, WITH LUMINAIRE(S) ATTACHED.
- 3 INSTALL DRY-PAK CONCRETE BETWEEN POLE MOUNTING FLANGE AND CONCRETE FOUNDATION. TACK WELD ATTACHMENT NUTS. PROVIDE AND INSTALL MATCHING BASE BOLT COVER.
- 4 STEEL REINFORCED CONCRETE POLE BASE. CONTRACTOR SHALL RETAIN STRUCTURAL ENGINEER TO DESIGN POLE BASE AND SPECIFICATIONS.
- 5 ALL POLE BASES SHALL BE LOCATED NOT LESS THAN TWO FEET BACK FROM THE EDGE OF ANY ADJACENT CURB OR SIDEWALK EDGE.
- 6 UNDERGROUND ELECTRICAL LIGHTING SYSTEM CONDUITS AND WIRING SHALL BE MINIMUM 24" BELOW FINISHED GRADE.
- 7 15' - 4 BARE SOL. CU COILED IN BOTTOM OF FOUNDATION HOLE FOR LIGHTNING GROUND. EXTEND LIGHTNING GROUND CONDUCTOR UP ALONG INSIDE EDGE OF FOUNDATION AND SECURELY BOND LIGHTNING GROUND CONDUCTOR TO POLE SHAFT.



BOLLARD LUMINAIRE DETAIL

SCALE: 1/4" = 1'-0"

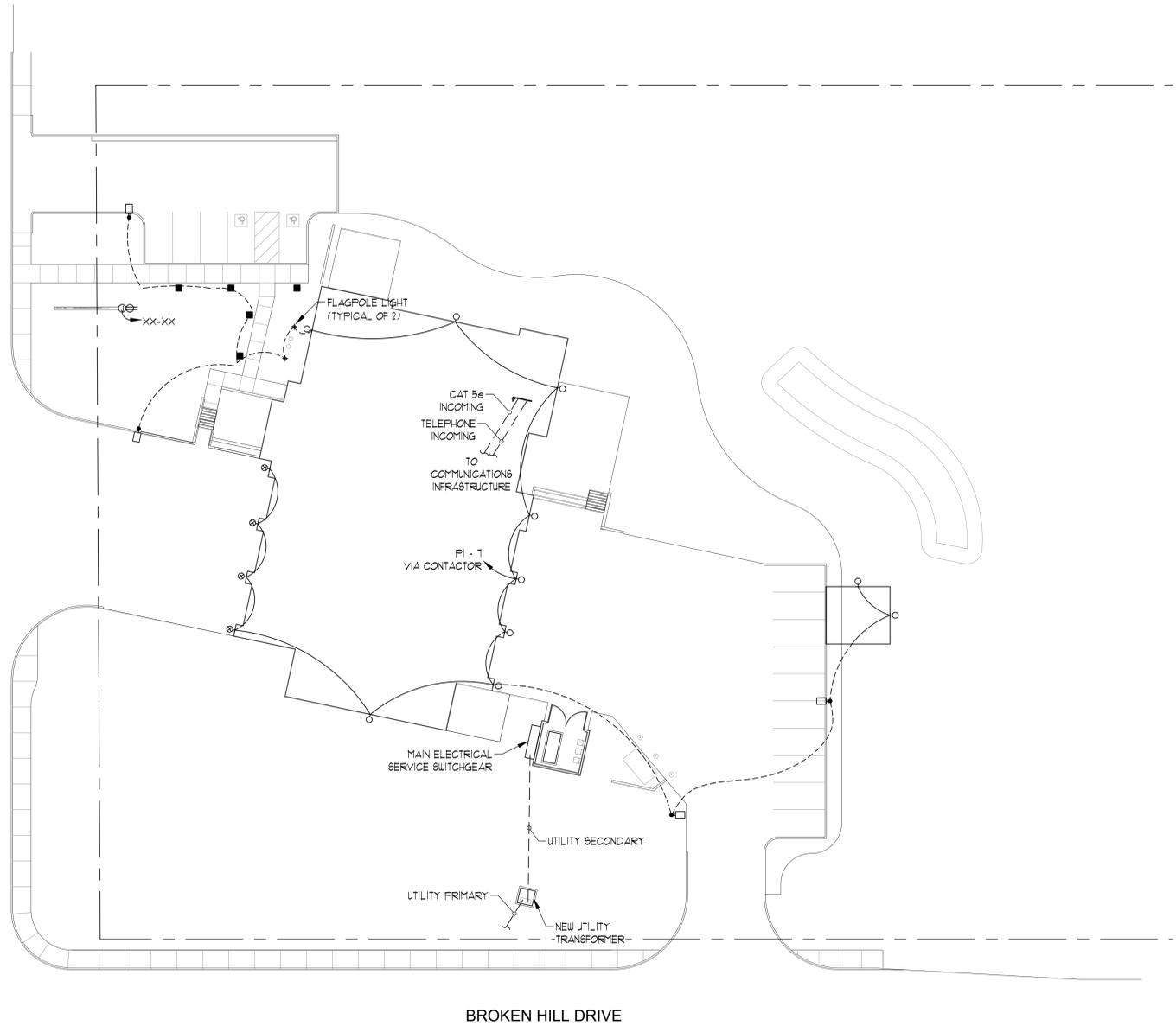
C
E2.01



AUXILIARY BUILDING ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

D
E2.01



SITE ELECTRICAL PLAN

SCALE: 1" = 20'-0"

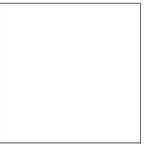
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NOTES: (THIS SHEET ONLY)

- 1 PROVIDE AND INSTALL 1" CONDUIT WITH TWO (2) - #2 Cu 4 (1) - #2 Cu GROUND TO PANEL PI-40, PI-42 EACH, FOR CONNECTION TO GENERATOR BLOCK HEATER AND GENERATOR BATTERY CHARGER.

tsk

225 South Arlington Avenue
Reno NV, 89501
phone: 775.857.2949
fax: 775.857.2403
www.tska.com



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Consultant

JENSEN ENGINEERING INC. Electrical Engineers
9655 Gateway Drive Reno, Nevada 89521-2968
Ph: (775) 852-2288 Fax: (775) 852-3388
email: Gerald@jenseng.com web: www.jenseng.com

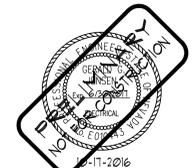
PLEASE RECYCLE

Project
STATION #14

**FOOTHILL RD. & BROKEN HILL RD.
RENO, NV 89511**

Job No: 14-095.00

Owner
**TRUCKEE MEADOWS
FIRE PROTECTION
DISTRICT**



DESIGN DEVELOPMENT

REV	DATE	REVISIONS DESCRIPTION

Sheet Title
**SITE ELECTRICAL
PLAN**

Date: 10.17.2016
Sheet No:

E2.01



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Ph: (775) 852-2288 Fax: (775) 852-3388
email: ccoras@jengen.com web: www.jengen.com

PLEASE RECYCLE

Project
STATION #14

**FOOTHILL RD. & BROKEN HILL RD.
RENO, NV 89511**

Job No: 14-095.00

Owner
**TRUCKEE MEADOWS
FIRE PROTECTION
DISTRICT**

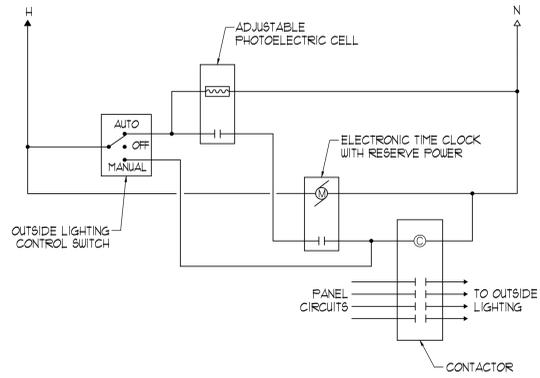
**DESIGN
DEVELOPMENT**

REVISIONS		
REV	DATE	DESCRIPTION

Sheet Title
**SITE PHOTOMETRIC
PLAN**

Date: 10.17.2016
Sheet No:

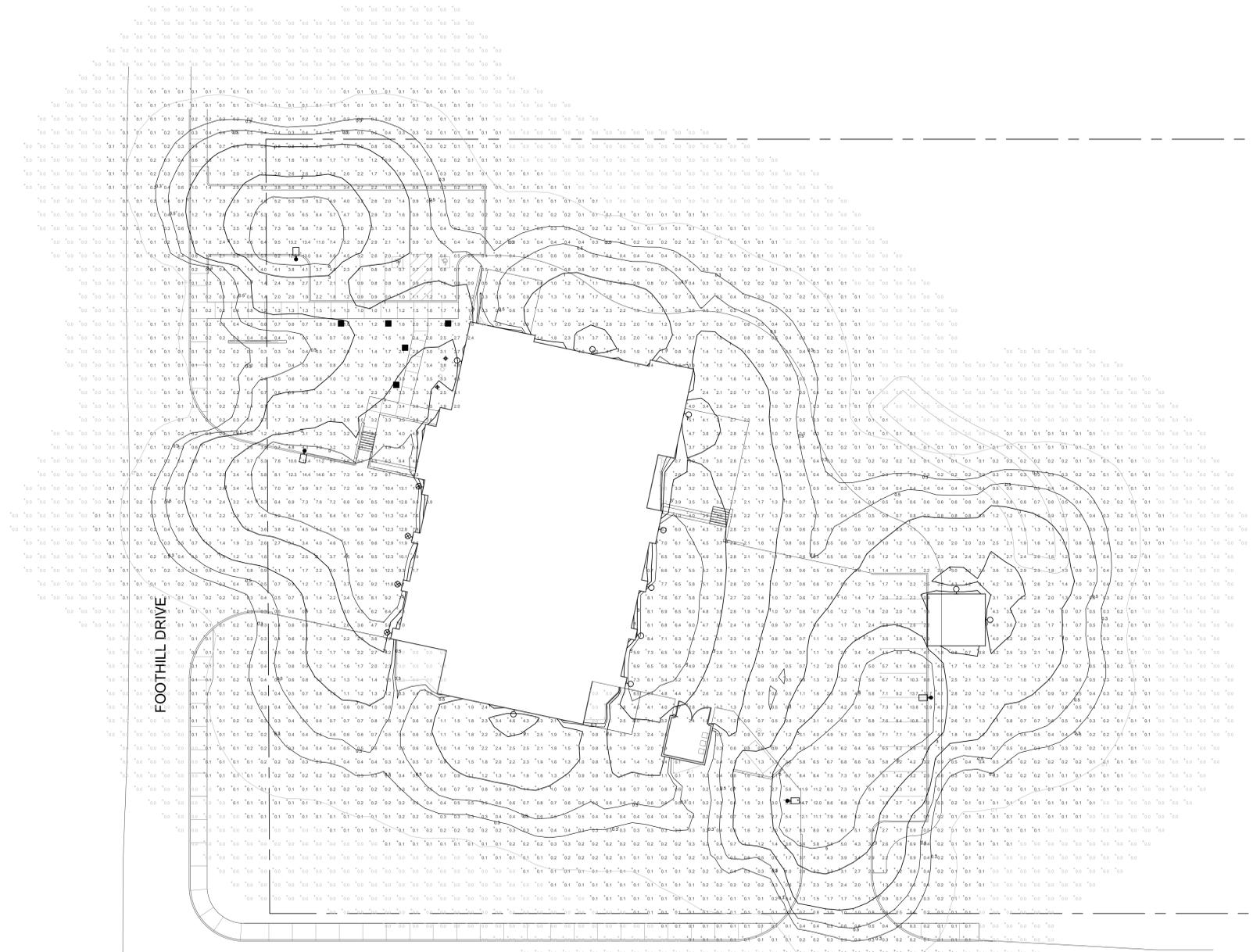
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OUTSIDE LIGHTING CONTROL SCHEMATIC NOTES:

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OUTSIDE LIGHTING CONTROL
DIAGRAM
NOT TO SCALE

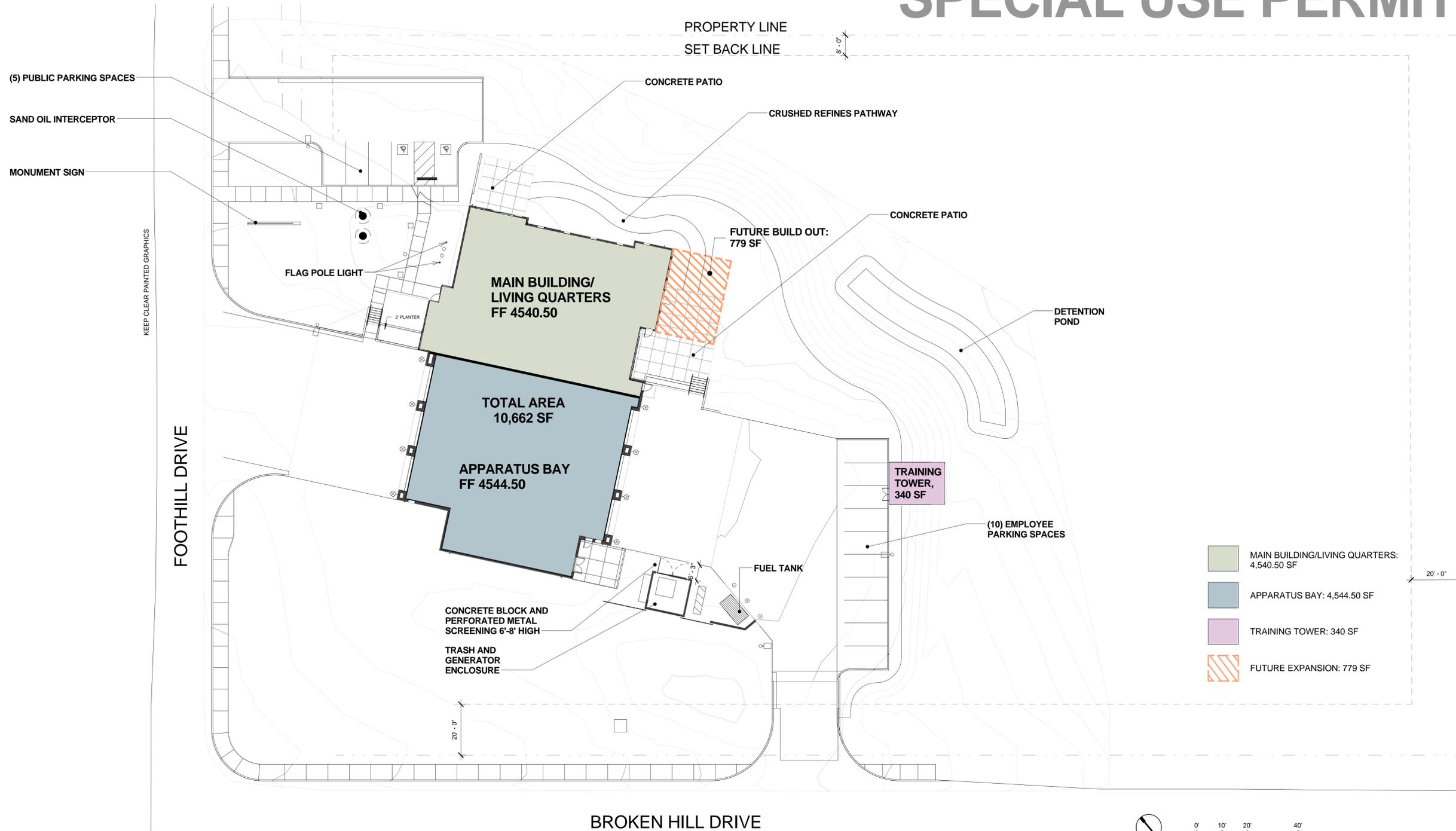


SITE PHOTOMETRIC PLAN

SCALE: 1" = 20'-0"



TRUCKEE MEADOWS FIRE PROTECTION DISTRICT SPECIAL USE PERMIT - SITE



STATION #14
FOOTHILL RD & BROKEN HILL RD.

10/17/16



Reno

TMFPD
Station #14
Project Site

Lockwood
Regional
Landfill

Rilite
Aggregate
Co. (Pit)

