Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Development staff at 775.328.3600.

Project Information		Staff Assigned Case No.:		
Project Name: Le Friant Proposed Residence				
Project Construction of a new residence and driveway, along with associated grading and Description: improvements. The driveway will pass through a Significant Hydrologic Resource (SHR) sensitive stream zone and grading is anticipated to exceed 1,000 cubic yards.				
Project Address: 55 Will Saue	Project Address: 55 Will Sauer Road, Washoe Valley, Nevada			
Project Area (acres or square fe	et): 5.003 Acres			
Project Location (with point of re The address is: 55 Will Sauer R		s streets AND area locator): v. The closest cross street is Fra	nktown Road.	
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No(s):	Parcel Acreage:	
172-010-06	5.003			
Section(s)/Township/Range: S	E 14, SE 1/4, Sec. 4	, T16N, R19E		
Indicate any previous Washoe County approvals associated with this application: Case No.(s)Pecial Use Permit Case No. SB13-017				
Applicant	Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:		
Name: Jacques & Beth Le Friant		Name: Resource Concepts, Inc.		
Address: 1151 Hornblend Stree	et	Address: 340 N. Minnesota Street		
	Zip: 92109	Carson City, Nevada	Zip: 89703	
Phone: (858) 270-7999	Fax: None	Phone: 775-883-1600	Fax: 775-883-1656	
Email: beth.lefriant@yahoo.cor	n	Email: joe@rci-nv.com		
Cell: (858) 270-7999	Other: None	Cell: 775-721-1920	Other: None	
Contact Person: Jacques & Bet	h Le Friant	Contact Person: Joe Cacioppo	, P.E.	
Applicant/Developer:		Other Persons to be Contacted:		
Name: Jacques & Beth Le Friant		Name:		
Address: 1151 Hornblend Stree	et	Address:		
San Diego, California	Zip: 92109		Zip:	
Phone: (858) 270-7999	Fax: None	Phone:	Fax:	
Email: beth.lefriant@yahoo.com		Email:		
Cell: (858) 270-7999	Other: None	Cell:	Other:	
Contact Person: Jacques & Beth Le Friant		Contact Person:		
	For Office	Use Only		
Date Received:	Initial:	Planning Area:		
County Commission District:		Master Plan Designation(s):		
CAB(s):		Regulatory Zoning(s):		

Special Use Permit Application for Grading Supplemental Information

(All required information may be separately attached)

161	apter 110 of the Washoe County Code is commonly known as the Development Code. Specif erences to special use permits may be found in Article 810, Special Use Permits. Article 438, Grading If Article 418, Significant Hydrologic Resources, are the ordinances specifically involved in this request
	What is the purpose of the grading?
	The grading is needed to construct the driveway, the residence and the associated utilities (water, on-site sewage disposal system, power, etc.). Given that the residence is proposed to be positioned into the hillside, re-contouring of a portion of the hillside is a part of the work.
0	
2.	How many cubic yards of material are you proposing to excavate on site?
	3,300 cubic yards. Refer to our response to Question 5 for justification related to the choice of building sites.
3.	How many square feet of surface of the property are you disturbing?
	33,270 square feet.
4.	How many cubic yards of material are you exporting or importing? If none, how are you managing to balance the work on-site?
	Approximately 230 cubic yards of base material will be imported (for driveway and garage). Approximately 400 cubic yards will remain on-site for use as construction related fill, with the remainder being hauled off-site.

5. Is it possible to develop your property without surpassing the grading thresholds requiring a Special Use Permit? (Explain fully your answer.)

No. The proposed location, as well as other on-site locations considered, will exceed the 1,000 cubic yard threshold. This is based on the existing sloped and wooded terrain.

We looked at relocating the residence closer to Will Sauer Road, but given the existing ground slopes, grading would exceed the threshold. More importantly, setback requirements for the on-site sewage disposal system (100' from any watercourse) prohibits construction adjacent to Will Sauer Road. This is based on the existing FEMA 100-year boundary, the existing drainage way running through this portion of the property, as well as the building setback requirements off Will Sauer Road. Mr. Jack Healy who oversees the diversion of Franktown Creek for water right holders warned that extensive flooding occurs between the Creek and Will Sauer Road. As such, the current proposed location is the only available area for the proposed residence.

6. Has any portion of the grading shown on the plan been done previously? (If yes, explain the circumstances and the year the work was done.)

Some earthwork has occurred on the parcel. The existing soil driveway was created for irrigation and farming use. This occurred prior to the current ownership. The current owners intend to use the existing driveway alignment to minimize further disturbance.

Based on the August 2013 County approved Special Use Permit, for construction of the driveway through the SHR area (which also on the application provided earthwork quantities totaling 3,500 cubic yards associated with driveway, construction of the residence and rear hillside grading), the owners received approval to extend power to serve the residence at its requested location. Trenching and associated grading were conducted as a part of that work.

Have you shown all areas on your site plan that are proposed to be disturbed by grading? (If no, explain fully your answer.)

Yes.		

8.	Can the disturbed area be seen from off-site? If yes, from which directions, and which properties or roadways?
	Yes, to a very small degree. The major portion of grading is proposed to occur behind the residence, which is setback approximately 400 feet from Will Sauer Road to the east. Given the heavily wooded and sloped terrain, visibility from Will Sauer Road is very restricted and in keeping with the character of the neighborhood. Similar visibility restrictions, although less of a distance, occur from the north and south parcels.
9.	Could neighboring properties also be served by the proposed access/grading requested (i.e. if you are creating a driveway, would it be used for access to additional neighboring properties)?
	Yes, if an agreement were in place. Currently, the adjacent parcel is owned by the applicant. The current application is however for on-site use only.
10.	What is the slope (Horizontal:Vertical) of the cut and fill areas proposed to be? What methods will be sed to prevent erosion until the revegetation is established?
	Proposed cut and fill slopes will not be steeper than three horizontal to one vertical 3:1). Retaining walls that do not exceed 10 feet in height will be constructed to ninimize grading. Fiber rolls, erosion control blankets and wood fiber sydromulch/tackifiers will also be incorporated to help prevent erosion.
11. /	re you planning any berms?
	☐ Yes ☑ No If yes, how tall is the berm at its highest?

12.	If your property slopes and you are leveling a pad for a building, are retaining walls going to be required? If so, how high will the walls be and what is their construction (i.e. rockery, concrete timber, manufactured block)?
	Retaining walls not to exceed 10 feet in height are proposed and are necessary to meet the County requirements related to maximum slopes. The walls will be concrete and masonry, and designed by others so as to blend into the surroundings to the extent reasonably possible.
13.	What are you proposing for visual mitigation of the work?
	We are proposing an approximately 350 foot setback off Will Sauer Road. The site is heavily treed and has varied terrain, which provides natural mitigation. Additional mitigation will consist of materials for the residence that blend in color with the natural surroundings.
14. \ s	Will the grading proposed require removal of any trees? If so, what species, how many and of what size?
[Yes. Trees proposed for removal include:
	Three - 12" to 24" Diameter Pines Eight - 6" to 12" Diameter Pines
1	While construction closer to Will Sauer Road is not feasible as discussed within our response to Question 5, the trees in that area are more mature (28" diameter and larger) and an equal amount of trees would need to be removed.

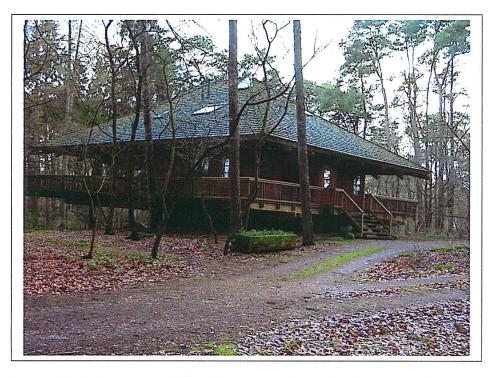
	. What type of revegetation seed mix are you planning to use and how many pounds per acre do yo intend to broadcast? Will you use mulch and, if so, what type?
	Native Plants Seedmix. Pounds per ace will be determined by a revegetation expert during design. Seed will be broadcast seeded and a wood fiber hydromulch will be used.
16	How are your providing towns are a limited to the last of the last
10.	How are you providing temporary irrigation to the disturbed area?
	No temporary irrigation is proposed. All seedings will be completed in the fall for a spring germination. Should temporary irrigation be required, the new residence will have outdoor water spigots than can be used.
17.	Have you reviewed the revegetation plan with the Washoe Storey Conservation District? If yes, have you incorporated their suggestions?
	Not at this time. Once the Special Use Permit is approved, the Washoe Storey Conservation District will be contacted.
18. <i>i</i>	Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit the requested grading?
г	
	☐ Yes ☐ No ☐ If yes, please attach a copy.

Submittal for Special Use Permit

Jacques & Beth Le Friant

55 Will Sauer Road Washoe County, Nevada APN 172-010-06

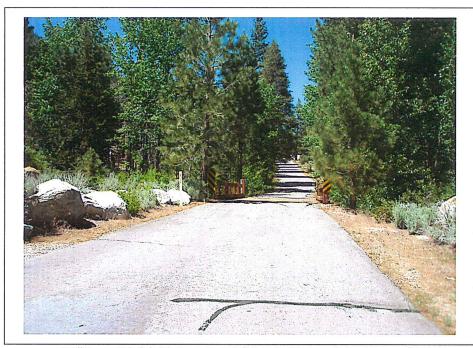
August 12, 2015



Typical 'Pole & Beam' Type House



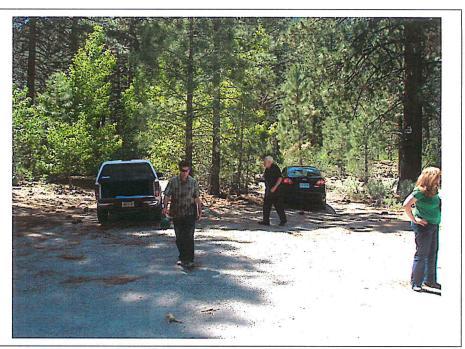




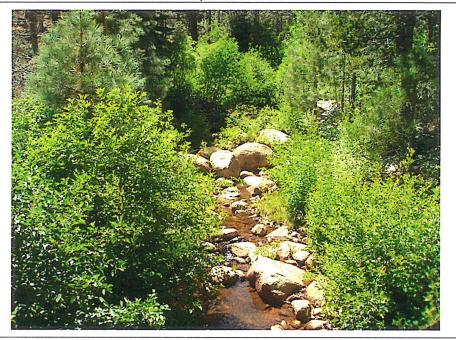
Will Sauer Rd. & bridge over creek (View looking north by driveway).



View of creek from Will Sauer Rd.

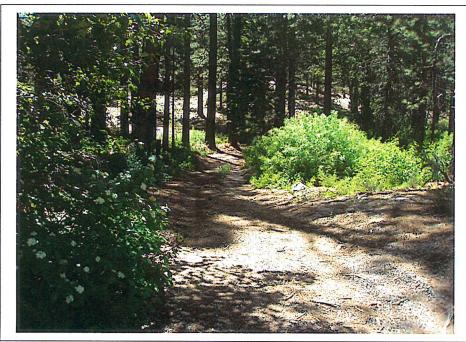


View of driveway location at Will Sauer Rd.



View of creek from Will Sauer Rd.

Proposed Driveway Entrance and Franktown Creek



View of dirt road along south property line (proposed driveway location).



View of dirt road along south property line.



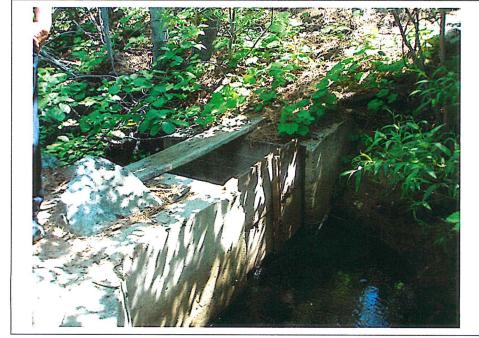
View of driveway entrance (Will Sauer Rd. in background).



View of dirt road to access irrigation ditch (right side of photo) & proposed driveway location.



View of irrigation ditch looking south.



View of irrigation diversion structure.



View of irrigation ditch looking north.



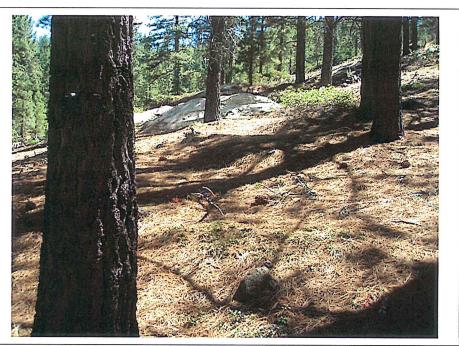
View of irrigation diversion structure.



View of proposed house site (looking south).



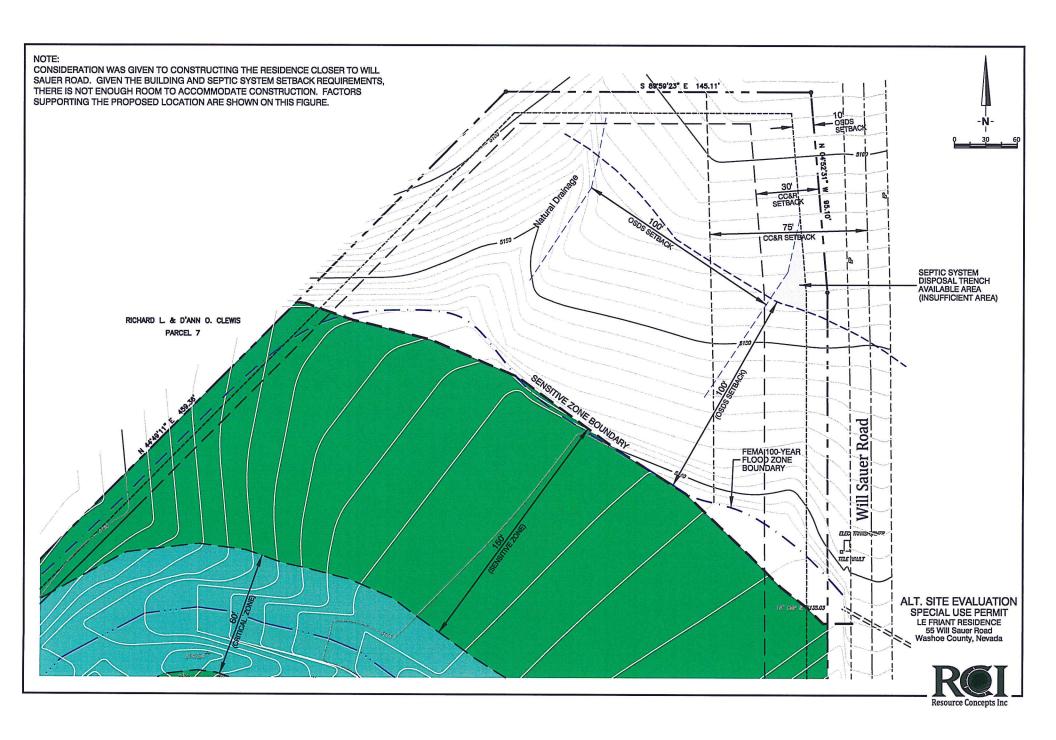
View of proposed house site (looking southeast).



View of proposed house site (looking southwest)



View of of proposed house (looking southeast)



LE FRIANT RESIDENCE WEST WASHOE VALLEY PROPOSED MEASURES TO ADDRESS SPECIAL REVIEW CONSIDERATIONS AS LISTED IN SECTION 110.418.30 OF THE WASHOE COUNTY DEVELOPMENT CODE

There are eight special considerations to be addressed with any new development that will be constructed within the Sensitive Stream Zone Buffer Area. Portions of the proposed new house, driveway, and other related improvements will be constructed within the Sensitive Stream Zone Buffer Area. The following lists the eight special considerations and following the special consideration are the proposed measures to address each consideration, if it is applicable.

- (a) Conservation of Topsoil. The top two to six inches of topsoil will be salvaged from all areas to be cleared to construct new improvements. Upon completion of the new house and related elements the topsoil will be placed over all areas disturbed during construction and vegetated with a native plant material seed mix. Any excess topsoil will be utilized behind stacked boulder walls and vegetated.
- (b) Protection of Surface Water Quality. Temporary erosion control measures shall be installed prior to the start of construction to assure no sediment reaches the creek. All measures will be in compliance with all county requirements and may include straw wattles, filter fencing, or runoff interceptors upstream of the work. Runoff intercepted upstream of the work will be rerouted in rock lined ditches to a safe point of discharge. Upon completion of all work all disturbed areas will be vegetated using a native seed mix. On slopes around the house a geotextile may be placed as a part of the vegetation treatment.
- (c) Conservation of Natural Vegetation, Wildlife Habitat, and Fisheries.

 No work or land disturbance of any kind will occur within the sixty-foot wide Critical Stream Zone Buffer area. The majority of riparian vegetation on the site is located within this area. This setback will assure minimal disturbance to wildlife that tend to use the riparian areas and will provide protection to fisheries. Every effort will be made to minimize disturbance to natural vegetation. The house will be constructed using 'pole and beam' construction methods. That is, vertical poles set into the ground with horizontal crossbeams attached to the poles to support the house above will support the house. This methodology allows for portions of the natural ground topography under the house to remain as is with minimal disturbance.
- (d) Control of Erosion. Temporary erosion control measures will be installed prior to start of construction in accordance with all county requirements and guidelines to protect all downstream areas including the creek and irrigation ditch. Permanent erosion control measures will

- include placement of boulders over cut slopes to prevent erosion. Boulder placement will include some stepped slope treatments. All areas will be vegetated using a native plant material seed mix.
- (e) Control of Drainage and Sedimentation. Runoff from the proposed house location drains away from Franktown Creek except for a very small area at the northwest corner of the house. This end of the house will be elevated above the existing natural ground allowing the existing drainage pattern to remain unchanged. The remaining natural runoff above the house site currently drains easterly. Runoff interceptor channels will be installed behind the house to intercept the natural runoff and route flows around the house. These channels will be rock-lined so as to prevent erosion. All areas below the house or along the sides will be vegetated using a native plant material seed mix. These measures will assure drainage is handled properly and will prevent sediment from discharging from the site. The driveway will be paved to prevent erosion and the sides of the driveway vegetated.
- (f) Provision for restoration of the project site to predevelopment conditions. Vegetative treatments of all disturbed areas remaining after all work has been completed will be with a native plant material seed mix prepared specific to this site. The seed mix will include plant materials typical of the natural vegetation found on the site. This will include a seed mix for upland areas and a seed mix for riparian areas.
- (g) Provision of a bonding program to secure performance of requirements imposed. A Building Permit will be required to construct the house. The county will be inspecting the work as it progresses as a standard part of the permit and an issuance of a final release by the county is required prior to occupancy of the house. This process assures all improvements are completed in accordance with the county approved plans.
- (h) Preservation of the hydrologic resources, character of the area and other conditions as necessary. All of the above measures are intended to preserve the hydrologic resources within the Sensitive Stream Zone buffer area as well as the character of the area. The house will be constructed to blend with the surrounding natural area and will be a 'pole and beam' construction with a natural wood appearance when done, not painted. The intent of this construction approach is blend the house into the natural topography of the site. Photos of this type of house construction are included with the submittal for review by the county.

SPECIAL USE PERMIT FOR GRADING

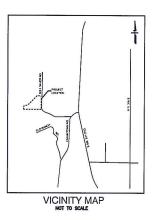
JACQUE & BETH LE FRIANT RESIDENCE

55 Will Sauer Road Washoe Valley, Nevada 89704 APN 172-010-06

ABBREVIATIONS:

INCLUDED IN THIS PLAN SET)

ASPHALTIC CONCRETE
ASPONSES WITH DESIGNATION ACT
ASSECTIONS WITH DESIGNATION ACT
ASSECTION ACT
SECRETARY
S CUBIC YARD
DECOMPOSED GRANTE
DAMBETER
DRAWNG
END OF CURVE
ELECTRIC
ELECTRIC FRISHED FLOOR
FIRSHED GRADE
FRE HYDRAHT
FEET
GAS LINE
GROUND SHOT
HIGH DENSITY POLYETHYLENE
HIGH PORIT
MYERT ELEVATION
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TOP BOY CARB
TOP BOY
MANUEL
WITH



BASIS OF BEARING:

THE BASIS OF BEARING IS THE SOUTH LINE OF THE SE 1/4 OF SECTION 4, T.18H., R.19E., MOM, AS SHOWN ON THE RECOO OF SURVEY FOR GENALD HEISER, DOCUMENT NO. 2387842 OF THE WASHOE COUNTY RECORDER'S OFFICE (S 88'86'04'E, 1,340,76').

BASIS OF ELEVATION:

THE BASIS OF ELEVATION IS USOS BENCH WARK LIST, ELEVATION 5.068.50°.

SHEET INDEX:

SHEET C1 - TITLE SHEET

SHEET C4 - GRADING & DRAINAGE PLAN

OWNER:

JACQUE & BETH LeFRIANT CONTACT: BETH LeFRIANT 55 WILL SAUER ROAD WASHOE COUNTY, NEVADA 89704

APPLICANT/CONTRACTOR:

STEVE BROWN CONSTRUCTION CONTACT: STEVE BROWN 4170 LATIGO DRIVE RENO, NEVADA 89519 (775) 544-9133

ENGINEER:

RESOURCE CONCEPTS, INC. CONTACT: JOE CACIOPPO, P.E. 340 NORTH MINNESOTA STREET CARSON CITY, NEVADA 89703 (775) 883-1600



SHEET C2 - NOTES & SPECIFICATIONS
SHEET C3 - EXISTING SITE & EROSION CONTROL PLAN

Engineering • Surveying • Water Rights Resources & Environmental Services

SPECIAL USE PERMIT FOR GRADING JACOUES & BETH LE FRANT RESIDENCE 55 WILL SAUER ROAD, WASHOE VALLEY, NEVA ARN 172-010-06



1-800-227-2600

SHEET C1 OF 5

CALL BEFORE YOU DIG.

GENERAL NOTES

- The Controuter shall notify the Project Engineer of any and all discrepancies between the Information shown on those stone and conditions easing in the field. Upon notification of any discrepancies, the Project Engineer shall be include the Controuter in hose to proceed. Any discrepancies of the Project Engineer in the Engineer in the Section of changes. Any subsequent changes due to the Destrouter proceeding sibout, behavior and written approved will be at the Controuter's expense.
- Prior to the start of construction authorise, the Contractor shall conduct a pre-construction conference with all stillings, triashed County, the Project Engineer and the Owner. All parties shall be constanted at least forty—sight (40) hours prior to the scheduled conference, which shall be conducted at least forty—sight (40) hours prior to construction.
- At the completion of construction, the Controvaler and an absolute in fined work—brough the construction of construction, the Controvaler and a should be fined and construction with the controvaler and the controvaler and the controvaler. At construction will be achieved to their operation for the controvaler and the controvaler and will be achieved to their operation of the controvaler and the controvaler and discontrovaler and controvaler and the controvaler to the controvaler designs from the controvaler and controvaler to the controvaler to the controvaler and controvaler and controvaler to the controvaler to the controvaler and controvaler and controvaler to the controvaler controvaler and controvaler are controvaler and controvaler to the controvaler and controvaler and controvaler to the controvaler and controvaler are controvaler to the controvaler and controvaler to the c
- All sorts shall conform to "Standard Specifications for Public Works Construction" (Groupe Book), "Standard Chiefe for Public Works Construction," (Groupe Book), "Standard Chiefe for Public Works Construction," Standard Construction, Standard Construction, Standard Construction, Standard Construction, Standard Construction, Standard Construction, COSN), regardering Construction, the Statist Standard Construction Standard Construction, Standard Constructio
- All construction shall be performed in compliance with the Air Quality Permit from the State of Herocks, Direkton of Environmental Protections, concerning in Production Contral Regulations. The Contractors shall marketed on on-people dust apprecision program using the application of water and/for dust politicate and control dust to the activation of the City. Notice and other markets used for dust control with set of the controlocity are controlled and the controlocity are production.
- Details not shown on these plans are per Orange Book and Washoe County standards.
- The Contractor shall coordinate with the Owner to procure all permits as necessary prior to the beginning of construction and shall comply with the requirements of solid permits.
- During construction on or near a public street, the Contractor shall maintain traffic control, conforming to the Hexada Work Zone Traffic Control Handbook, The Manual on Uniform Traffic Control Devices (MUTCD), and Wee
- The Contractor acknowledges that all work pertaining to these plane is to occur in a private development, and that children may be present. The Contractor shall take all researchies measures to ensure public softly into an around the project site is mointained.
- The Controllor shall support fromth sidescale in accordance with all applicable lows and reversing acidity regulations. Shallone such parties, and sloping shall be used to probabl workers and collowers structures, and shall conform to appropriate specifications of the COHA Shandards 20 CHF Part 1923, Bubport P.
- 1. The Contractor shall mointain a clean project elle, to Include ocjacent streats, elderedies, the properties and storm draft systems, removing or neathy staclepting construction dealted or the end of each orbifty day. All footilizes shall be enhalted into or dust not must caused by grading operations. All operations shall comply with the requirements of the Stormeoter Distortory Permit Items that Newtook Division of Libertomental Protection.
- Protective measures and temporary drainage provisions shall be used to protect adjoining adjuster, buildings, tendecoping and properties during construction. Temporary devices shall be in accordance with Weather County regularments.
- 13. All alie improvement work shall be coordinated with the Project Engineer, Architect and Owner. No additional payments for extra work will be made to the Contractor, without prior authorization by the Owner.
- 4. No geolechnical report was prepared for this project. All work shall be verified by the RCI licensed geolechnical engineer prior to construction.

SITE SURVEYING

- urce Concepts, Inc. (RCI) will provide all construction stating at the contractor's sole nes. All construction stating requests will be submitted on an RCI Construction Stating to be provided to the contractor of the pre-construction meeting.
- The Contractor shall notify the Project Engineer a minimum of three (3) working days prior to needing states to ensure adequate time to exheckle surrening.
- The Contractor shall be responsible for all grade checking of subgrade, bees, and other structures deplated on these plane. Delays, removed of sorts, or other lesses crising from the contractor not building to or weighing scholes before said south shall be of the contractor's sole appears.

UTILITY NOTES

- The Contractor shall call Underground Service Alert "CALL BEFORE YOU DEG" (1-800-227-2600) forty-eight (48) hours prior to the start of construction.
- Service Aiert.

 A. RCI did not perform a survey of existing underground utilities, nor were current proords mode confidable in RCI. Utilities shown are board on review of capies recently, elevanteless of services conditions and site messages with the Common. The Outerdoord would find servicy utility componies prior in beginning construction operations. It shall be the Centrosian's responsibility to pothesis and correcp for the secondary relacation of one of utility of local forty sight (45) hours prior to beginning controlled and prior and the controlled to the controlled to the Centrosian's McL. How the controlled to the controlled to the controlled to the Centrosian's McL. How continued to the Centrosian's McL. How controlled to the Centrosian's McL. How continued to the Centrosian'
- 4. All stillins Impacted by Improvements shall be relead/Inserted, removed, or releccated, or applicable to accommodate intended improvements. Demogs to any existing structures or stillines also in construction related contributes, with the propertied or rejoined of the Euroriest experies. Reports and replacements shall be concluded in accommode with all explosition engagements.
- Construction or other traffs shall not be permitted to cross in-place utilities or structures until a cell minimum debt of III is applied. Fill shall be at the Controdor's discretion or in accordance with Chronica Book admirries. Demograturillises shall be reposted or replaced at the Controdor's size largeness.

SUBMITTAL REQUIREMENTS

- SECP CRAINFACE: All molerate proposed for old construction, with no exception, shall be advantable to the Project Engineer by the Contractor in cropic time to serve its purpose information, condeque dotal, develope, diagrams, apropsis, etc., concerning the moleration, explorent, etc., total to beleased for use in construction. All moderate, explorent, etc., must be approved in writing by the Project Engineer prior to that use in construction.
- WORK CHANGES; Any work requiring changes to the plane, addendume, or other work shall be authritized to the Project Engineer for review and approved. The Project Engineer will require no less than three (3) working days to prepare modifications.
- SUBMITIAL ROYALP: The Contractor shall entitipote the Project Engineer requiring no less than three (3) working days to review and return extendited information. Return of submitted information. Return of submitted information to Contractor does not guarantee approved by the Project Engineer.
- Ge-SLT become The Controller shell because of fall robus onle one operand 25-both for controller to the controller shell because of the Controller shell because the Controller shell because
- SWPPP: The Contractor shall be responsible for a Storm Water Pollution Prevention Plan (SWPPP), if required by HDCP. If required, Contractor shall bear all costs, which will be included in Contractor and

GRADING NOTES

The extent of cleaning, grabbing and stripping operations shall be as required, and as directed by the Project Engineer and/or spectachized engineer. All areas to be cleaned, and after the states of the third project and the project of the projec

Inducted in this work shall be the preservation from injury or defouement, and the replacement, in land, to the solutionism of the Cener and Project Engineer, any such highers or defound vegations or others object not designoid for removed. The Contractor shall course full responsibility for any and oil injuried or defound structures, utilities, or any other objects historical to remain.

Clearing and grubbing shall be accomplished in accordance with all applicable Washes County standards. Clearing and grubbing shall be performed after to any other work. SHEETING, SHORBIG BRACING, AND SLOPING

Shoring shall be provided in accordance with Section 200 of the Standard Specifications of Public Sorina Construction (Cronge Section). Shoring shall be required an all structure and tranch economics greater than Euro (4) fest urbase other sele- and advantate means, in accordance with all applicable lows and regulations, are implemented for accordance.

The Contractor shall notify the Project Engineer immediately If during construction subsurface conditions are different from those anticipated.

The Confrontier is presinted that the forms has not an elegation, and the Project Engineer. The Confrontier is presinted that the forms has not as designed, and the Project Engineer on engaged in that capacity under this Contract. As such, the Project Engineer has railtier to exclusive per the representably to enforce construction solely lens, false, for a submit of the contractive per the representably to effect construction contracts of the contract of the project Engineer of making representable to the enforcement of reportable for the construction means and the project Engineer of contract of the enforcement of reportable for the construction means, making is contract, and the contract of the project Engineer of the construction means, making is contract, and the construction means, making is contract, and the contract of the project Engineer of the construction means, making is contract, and the contract of the project Engineer of the construction means, making is contracted as the construction means, making is contracted as the construction of the construction means, making is contracted as the construction of the construction means, making is consistent of the engineer of the construction means, making is consistent or construction of the cons

SITE ORADONO AND EMBANGUIDIT FILL.

Construct only when weather conditions will not detrimentally offset the quality of the Shaked work. Any portion of embersheads, filts or subgrades that are demogale by the effects at this, sets, or other seather conditions during only place of construction shall be covered if embedded yet, makes and if emonstayly dry, and restroyed out more quality with makes and if emonstayly dry, and restroyed out more possible by the third contribution of the subgrade of the companion of the subgrade of the companion of the subgrade out, and the Committee of the subgrade of the committee of the subgrade of the committee of the subgrade out, and the committee of the subgrade out of the committee of the subgrades of the subgrades of the committee of the subgr

Site grading shall be completed in conformance with lines and grades shown on the Contract Drowings, in accordance with these specifications, or as directed by the Project Engineer. All AC or PCC surfaces shall be graded to a talerance of plus or minus 0.04 feet (0.10 feet for all other surfaces).

BothEll di dispressione and holes below the ground surface with III included, whether counsed included and continue and the surface is smooth, free from some and registration and is conformation with the selections continue on the Control Chropley. If only the the conformation with the selections control Chropley, in a copy time the subtless explanant said the maintain content is satisfactory. The surface shall be not composed and Technical on sportful or those places.

STRUCTURAL EXCAVATION, FILL AND BACKFILL

Structural fill shell be import fill motoried meeting the following requirements, unless otherwise described in the Strongs Books Equid Smit less then 23, a pleasibly index less than 15, 100% powering the six (0) lost alsow, a minimum of 70% powering the Smither-quarter (2/4) lost alsows, and less than 30% powering the \$200 alsows, biotexist shed too free of wood, organia works, occ charcoot, or org other extremess, objectionable, are deleterous metarted.

Structural bookfill shall be suitable notifier material or Class E Bookfill in occardance with Section 200,000 of the Standard Specifications for Public Works Construction (Change Book). On-size notifier bookfill indicated shall be first or of oil roots, activities, large stores, express material or extended by the Project Engineer. The Goodschricted Engineer shall make the destinations from the Section Section 100 of the Project Engineer. The Goodschricted Engineer shall make the destinations from profits subschill for the mobile materials.

If the notive moterial is determined to be unsultable for use as structural backfll, or if there is an inodequate occurrity of sulfaction notive material, import fill moterial shall be used, import structural backfill shall meet the requirements of these specifications.

Exception of every description, classification, and substances encountered within the grading limits of the project shall be performed to the lines and grades indicated on the Contract Drewings, and in accordance with applicable country, state and federal sofely shandards.

The Contractor shall inform the Goolaschrical Engineer and activity himself as to the character, exactity and distribution of all motorial to be excercised. Should the Contractor excercise below the designated these designated the contractor without prior particular, is shall replace such exacution with salicable motorials, in a soluteotary manner and condition, at his earn expense.

The Contractor shall exceeds sufficiently to provide adequats, safe working areas between autistics structures and the earth banks.

During the process of excavation, the Contractor shall maintain the grade in such condition that R will be drathed at all times, and install temporary drains and drainage dishes to intercept or direct surface water which may offset the promotion or condition of the work. The Geolechnical Engineer shall have complete control over utilization of all excovoted material and shall determine the suitability of econordad material to be used as backfill. All unsuitable ond econore econordad material shall be wested, in opcorpance with local state, and factor

If excoroted motorfol is deemed suitable as booletti by the Quotachnical Engineer at the time of excorotion, the Contractor shall exported it from the unsuitable motorfol. The excoroted self-shall be indexigled and protected from weather. If the Contractor does not protect except the excoroted motorfol, the Contractor shall replace motorfol that becomes unsuitable at no additional cost to the Comer.

If the subgrade is determined to be unsuitable by the Geolastinical Engineer, over-exception unsuitable moderated what he coordinated with the Geolastinical Engineer. The Contrastor shall receive written guidance from the Geolastinical Engineer prior to proceeding.

Processing Section of the Conference of Topicses prior to proceeding.

The Confronters that of all times provides and melatical energies equipment to minore and dispose of all solder entering the association or other ports of the socia, and should keep sold encounted for your first of force of to set of the structures to be suit, therein its conceited conf booffeles, the structures of the sold therein to conceited conference or the sold to the so

Structural fill shall be piccod under structures and over the prepared subgrade, as necessary to hirty the subgrade to elections shown on the Control Drawings. The entire structure bearing prime, defined on the volume directly beneath the structure and exadening determent of subgrad at a 111 slope from the subside base perimeter of the structure to undesturbed subside or prepared subgrade, shall be structural fill.

Structural 151 shall be placed to a tolerance of plus or minus 0.1 feet.

No bookfill shall be placed against any cost—in place concrete structure until permission is given by the Project Engineer and preferable not until the cost—in place concrete structure has met 70 percent of the minimum twenty—eight (20) day struggly requirements.

The Contractor exercises that responsibility for executing adaptive in lossy absorbine the excellentation. The Contraction and executing with the Contraction and executing and this describes are this describes are the contraction of the Contraction and apparellated grades and Existense will require remarked of middled and regarding of the Contractional scale supposes.

The Contraction and contract the Project Deplaces part to packed, so worty grades and basis and proposed and the Contraction of Impact removed of middled contractions and proposed packed and the Contraction and contrac

SUBCOMOR POSTMANTONI

Activities include conditioning the existing subgroups motarial following electrics, grabbing and subgraph generations; demolliture; and, escourbins collubias. Bubgraph preparation shall lake piece private to day option general, securitaril fill and bootful, and french bootful. The Controctor private law optioning of the security of the day of the control of the pre-cent production to have set from such graphs and the declaration and create both may be present.

RCI shall be present during pre-rolling to verify suitability of areas to receive fill or foundation

The Contractor shall remove and wasts all roots, debris, large stones and other objectionable material that would cause interference with composition of subsequent fill materials. A thin layer of subside fill materials be spread over the scartified foundation. Compact the whole area, as required.

Settlement or wooking that may accur, or any other accuse, prior to acceptance of the work, shall be repaired by the Contractor of his own expense. The Contractor shall also re-establish grades to the elevations and elapse shown on the Contract Consense of the contract or expense.

The Contractor desumes full responsibility of ensuring subgrade elevations are established. The Contractor shall verify subgrade elevations before base malerial is placed. Follows to meet age grades and bifurchesses will require removed of mediated and regrading of the Contractor's page. COMPACTION CONTROL AND TEXTING

Composition control, sampling, and testing will be parformed by the RCI Gestechnical Engineer. In accordance with the Standard Specifications for Public Works Construction (Grange Book), except as modified harels. Reside will be provided to the Project Engineer within 24 hours. The Contractor shall errange for testing with the Gestechnical Engineer.

If the motorful being picced should require moisture conditioning in order to compact properly, the Contractor shall bear all costs of scaler.

Central Tests: For determining mentioner dry density (MDD), the Percent Corpocotion, on used in these specifications, shall be defined pursuant to inbordary test method ASTH 01057. In-spices density of compacted benefit shall be determined by ASTH 01066 and ASTH 02216, or by nuclear density test procedure per ASTH 02212 and ASTH 02017.

Frequency of Teeting: The Declarational Engineer shall perform teets to confirm compliance with these specifications at a frequency determined by the Declarational Engineer, in occordance with Oranaa Book

Polarities of correction finds in most the secolities residenteeds, the Contractic skell general experience in the process that material of proper dentity or still through storing to its general contraction of the contract

Access to Work and Moterials: The Contractor shall at all times allow access to materials for teeting. Compaction control teeting may require stoppage of work while teeting is being performed.

Appropriate loses and situation III shall be compassed in 6" loses this is a ninhmum of 60% of the bloomed Proteor maximum by density, in occurriance with ASTM 01507, Subgrote and non-simulated III shall be compassed in shalfs (i) in his lose little to 100% maximum by density. The molecular of III shall be compassed in shall be shall be seen to the shall be sha

CONSTRUCTION MATERIALS

The Contractor shall be required to occrdinate with the Corner to ensure local regulations are adhered to. Required permits shall be addressed in the Contractor's devotoring plan. All trench excavations shall be devotered to lesso them dry during construction.

The Contractor shall been his bild on the emount of moter he onticipates offresting the work, and tre-nature of the moterful in which R still appear, it los exportes or extre perment of any lend still is made for pumping or otherwise devotating any excendion, but shall be included in the applicable unit price or lump arm hid prices in the Contractor's proposal.

Asphaltia concrete shall be a PC-64-26 Type 3 (polymer) asphalt-concrete mix with lime, or equivalent, in accordance with Orange Book Standards.

their covered in the accident point accided of their net to them the total of the point of the accident point of the accident point of the point of the accident in conscribed to the the thouse of the them to the accident point accident to the them to the them to the accident point above on the Corberch Coverige. The work shad consist of adding minored filler (hydrided fine or Pertined centrally in Submissions infoliates, on accessing, and before power repetitives that of the accident point of the accident points and the accident points of the accident points accident points accident points and the accident points accident

The following Orange Book specification excitons contain requirements that relate to this Section.

Additional sections, not necessarily listed before may contain requirements related to this project. The
Contractor shall be responsible for achering to all applicable sections of the Orange Book and Bloshee
County intonders.

Section 201 — Bilaminous motariel Section 319 — Took cook Section 319 — Took cook Section 319 — Broomine Sharmbous surface Section 319 — Receive Sharmbous surface Section 321 — Perintin Sharmbous surface Section 322 — Perinting Sharmbous surface Section 323 — Perinting Sharmbous surface Section 323 — Perinting powerset striping, and marking

The billuminous plentimits shall be composed of a mixture of oppreptie and billuminous motorial. The several oppreption frostlore shall be stood, uniformly graded, and combined in such proportions that the resulting mixture media the gradual preparaments of the plante formats, which still be board upon the oppresed into design. The proposed formats submitted shall include destitle single solutions for

The percentage of aggregate possing this such specified disea.
 The temperature of the mixture leading the nature possinity (2.1) percent).
 The temperature of the mixture leading the mixture.
 The temperature of the mixture leading the mixture percentage of the perce

The Contractor shall comply with all Washes County and Orange Book standards, and the Manual of Standard Procisios for Detailing Reinforced Concrete Structures, ACI 315 and Mosund of Standard Procisios, Concrete Reinforching State Institute. Motorchia shall comply with the following quality occurrence regulations ommended Practice for Concrete Formwork, ACI 437; orm Building Code, most ourrent County—accepted edition; Product Standard PD1 for plywood.

On delivery to the job elia, the Contractor shall place materials in an area prolected from weather. The moterials shall be stored above ground on a framework of blocking with a cover of protective waterproof moterial, providing adequate oir circulations and ventilations.

Unexposed physical surfaces, new or in new condition, shall be APA B-B Phiform Class 1 and 11 Educio seed physical surfaces, new/new condition, shall be APA High Deneity Overlaid Phylorim Class 1 and 11. Design and formeroris shall solely support vertical and intered looks that might be applied, and and looks and the property of the support of Form facing materials shall be supported by structural members spaced to prevent deflection. Provide comber in formsort, as required, for anticipated deflections.

Formwork shall be readily removable without impact, shock, or damage to cost-in-place concrete surfaces reculring band with concrete.

Before concrete is placed in any form, the Contractor shall notify the Construction Manager to arrange for imspection of forms. The Contractor shall verify instancial and vertical form position, and correct all innocura

When setting form ties, the Confraolor shall not allow motel to remain in such close than 1-1/2 hohes from surface. The shall fit light to present moter leadings oil holes in forms. The shall be protected from not be permission. How there are road approalors with the permission Collete like book from concrete foce will not be permission.

At construction joints, enchor forms by using an adequate number of form ties in the new pour, a few inches from the construction joints. Do not raly on ties to any of the horizontal or vertical joints used in previous pionements.

All dirt, chips, saudust, mud, water and other foreign mother shall be removed from within the forms or within the excavation areas before any concrete is deposited therein. Any form movement or deflection during construction, or finished surface variations, in excess of 0.04 feet will be a basis for rejection, at the Contractor's expense.

Do not remove forms and supports until concrete has attained sufficient strength to support ontologised loads. 70% of the 25-day strength is the minimum strength requirement, and may be increased based on the

Concrete shall be fiber reinforced, Class AA or DA, with a minimum compressive strength of 4,000 psi. STORM DRAIN STRUCTURES

Edeting storm drain structure locations are fixed and cannot be moved to accommodate construc

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SPECIFICATIONS



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SHEET C2 OF 5

