

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Development staff at 775.328.3600.

Project Information		Staff Assigned Case No.: <u>DADAR#6-02</u>	
Project Name: <u>SPANGLER RESIDENCE</u>			
Project Description: <u>53 BELLEVUE / CUSTOM HOME + GARAGE</u>			
Project Address: <u>53 BELLEVUE, WASHOE COUNTY</u>			
Project Area (acres or square feet):			
Project Location (with point of reference to major cross streets AND area locator):			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
<u>055-169-01</u>	<u>5 AC</u>		
Section(s)/Township/Range:			
Indicate any previous Washoe County approvals associated with this application:			
Case No.(s):			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: <u>SPANGLER, SCOTT + MONICA</u>		Name:	
Address: <u>BOX 12756</u>		Address:	
<u>RENO NV</u> Zip: <u>89510</u>		Zip:	
Phone: <u>510 910 2413</u> Fax: <u>-</u>		Phone: Fax:	
Email: <u>MONICA.SPANGLER@</u>		Email:	
Cell: <u>COMCAST.COM</u> Other:		Cell: Other:	
Contact Person: <u>MONICA</u>		Contact Person:	
Applicant/Developer:		Other Persons to be Contacted:	
Name: <u>CLARK BUILDERS, INC</u>		Name:	
Address: <u>BOX 909</u>		Address:	
<u>GARDNERVILLE NV</u> Zip: <u>89410</u>		Zip:	
Phone: <u>775 691 6606</u> Fax: <u>-</u>		Phone: Fax:	
Email: <u>CDI.DENNIS@GMAIL.</u>		Email:	
Cell: <u>SAME</u> Other: <u>COM</u>		Cell: Other:	
Contact Person: <u>DENNIS CLARK</u>		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Administrative Review Permit Application for a Detached Accessory Dwelling Supplemental Information

(All required information may be separately attached)

This application is for proposals to establish a Detached Accessory Dwelling unit in the Low Density Rural, Medium Density Rural, High Density Rural, and Low Density Suburban regulatory zones. Chapter 110 of the Washoe County Code is commonly known as the Development Code. Specific references to the administrative review permit process for Detached Accessory Dwellings may be found in Article 306, Accessory Uses and Structures, Section 25(i). A Detached Accessory Dwelling is also referred to as a "secondary dwelling" in this application. The "main dwelling" is the original or larger dwelling on the property.

1. What is the size (square footage) of the main dwelling unit or proposed main dwelling unit (exclude size of garage)?

MAIN HOUSE 2638 SQ FT

2. What is the size of the detached accessory dwelling unit or proposed detached accessory dwelling unit (exclude size of garage)?

GUEST HOUSE 1278 SQ FT
~~GARAGE 625 SQ FT NONE~~

3. How are you planning to integrate both the main dwelling and secondary dwelling to provide architectural compatibility and a sense of project integration of the two structures?

SAME ROOF, STUCCO, COLORS

4. How are you planning to provide water and wastewater disposal (sewer or septic) to the secondary dwelling unit?

DOMESTIC WELL
ENGINEERED SEPTIC SYSTEM

5. What additional roadway, driveway, or access improvements are you planning?

See SITE plan - Additional parking + ROAD.

6. A parking space is required. How are you providing the additional parking?

See SITE PLAN

7. When do you plan to complete construction of the secondary dwelling and obtain a certificate of occupancy?

8 months after permit is issued.

8. What will you do to minimize any potential negative impacts (e.g. increased lighting, obstruction of views, removal of existing vegetation, etc.) your project may have on adjacent properties?

most natural veg will not be disturbed. 5 AC parcel - NO views obstructed.

9. Is the subject property part of an active Home Owners Association (HOA) or Architectural Control Committee? If yes, please include the name and contact information for the applicable board.

none

10. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit a detached accessory dwelling on your property?

Yes No If yes, please attach a copy.

11. Only one accessory dwelling unit, whether attached or detached, is allowed per parcel. Please verify that an accessory dwelling (i.e. secondary dwelling) currently does not exist on the subject property.

none

12. List the age and size of the unit if you plan to utilize a manufactured or modular home as the secondary dwelling. (Note: manufactured or modular homes must be permanently affixed and converted to real property.)

none

13. List who the service provider will be for the following utilities:

a. Sewer Service	SEPTIC
b. Electrical Service	NU energy
c. Solid Waste Disposal Service	owner
d. Water Service	well

Property Owner Affidavit

Applicant Name: Monica Spangler

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
COUNTY OF WASHOE)

I, Monica Spangler
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Development.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 055-169-01

Printed Name Monica Spangler

Signed [Signature]

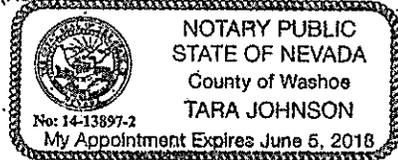
Address 9755 Silver Sky Pkwy, #4108
Reno, NV 89506

Subscribed and sworn to before me this 16th day of March, 2016

Tara Johnson Washoe, Nevada
Notary Public in and for said county and state

My commission expires: 06/05/2018

(Notary Stamp)



*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of recorded document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

Washoe County Treasurer
Tammi Davis

Account Detail

[Back to Search Results](#)

[Change of Address](#)

[Print this Page](#)

Washoe County Parcel Information

Parcel ID	Status	Last Update
05516901	Active	4/8/2016 2:10:36 AM
Current Owner: SPANGLER, SCOTT & MONICA PO BOX 12756 RENO, NV 89510		SITUS: 53 BELLEVUE RD WCTY NV
Taxing District 4000	Geo CD:	
Legal Description		
Range 19 Lot C SubdivisionName _UNSPECIFIED Township 16		

Pay Online

No payment due for this account.

\$0.00

Pay By Check

Please make checks payable to:
WASHOE COUNTY TREASURER

Mailing Address:
P.O. Box 30039
Reno, NV 89520-3039

Overnight Address:
1001 E. Ninth St., Ste D140
Reno, NV 89512-2845

Tax Bill (Click on desired tax year for due dates and further details)

Tax Year	Net Tax	Total Paid	Penalty/Fees	Interest	Balance Due
2015	\$1,134.09	\$1,134.09	\$0.00	\$0.00	\$0.00
2014	\$1,134.10	\$1,134.10	\$0.00	\$0.00	\$0.00
2013	\$1,247.48	\$1,247.48	\$0.00	\$0.00	\$0.00
2012	\$1,417.62	\$1,417.62	\$0.00	\$0.00	\$0.00
2011	\$1,554.06	\$1,554.06	\$0.00	\$0.00	\$0.00
Total					\$0.00

Important Payment Information

- **ALERTS:** If your real property taxes are delinquent, the search results displayed may not reflect the correct amount owing. Please contact our office for the current amount due.
- For your convenience, online payment is available on this site. E-check payments are accepted without a fee. However, a service fee does apply for online credit card payments. See [Payment Information](#) for details.

 **Payment Information**

 **Special Assessment District**

 **Installment Date Information**

 **Assessment Information**

The Washoe County Treasurer's Office makes every effort to produce and publish the most current and accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use, or its interpretation. If you have any questions, please contact us at (775) 328-2510 or tax@washoecounty.us

This site is best viewed using Google Chrome, Internet Explorer 11, Mozilla Firefox or Safari.

CONTRACTOR INFORMATION

CLARK BUILDERS, INC.
 P. O. BOX 909
 GARDNERVILLE, NV 89410
 (775) 691-6606
 NV LICENSE NUMBER - 558990A

OWNER INFORMATION

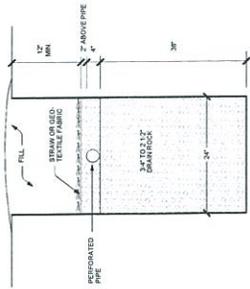
SCOTT & MONICA SPANGLER
 9755 SILVER SKY PARKWAY #4108
 RENO, NV 89596

SITE INFORMATION

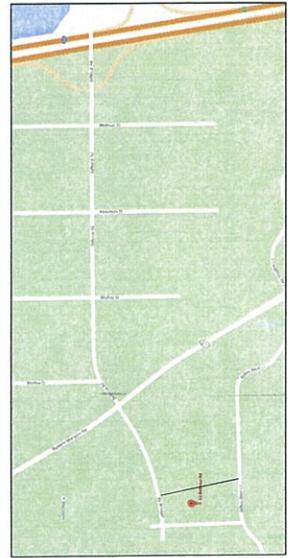
A.P.N. NUMBER - 055-169-01
 53 BELLEVUE ROAD
 CARSON CITY, NV 89704
 LOT SIZE - 2.0 ACRES
 87,132 SF
 ZONING - R45-PD
 FLOOD ZONE - "X" SHADED / AO-1

SETBACKS:

FRONT - 30' REAR - 30' SIDE - 20'



TRENCH DESIGN SECTION
 N.T.S.

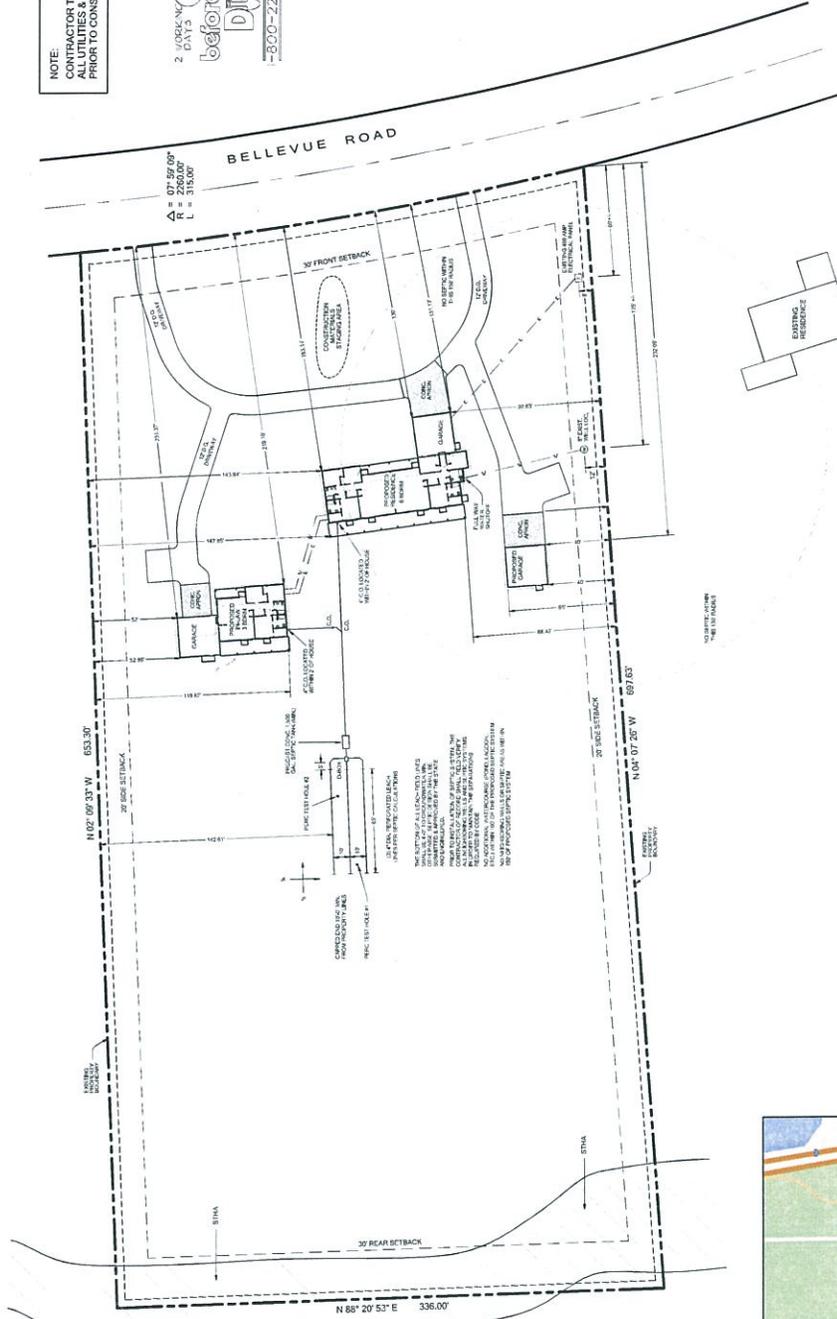


VICINITY MAP
 N.T.S.



SCALE: 1" = 30'

NOTE:
 CONTRACTOR TO VERIFY
 ALL DIMENSIONS
 PRIOR TO CONSTRUCTION



53 BELLEVUE ROAD
 SCALE: 1" = 30'

ALL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE 2012 INTERNATIONAL RESIDENTIAL CODE AND ALL STATE AND LOCAL CODES. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE APPLICABLE CODES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND BEARINGS SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND BEARINGS SHOWN ON THIS PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL DIMENSIONS AND BEARINGS SHOWN ON THIS PLAN.

NO SURVEY PROVIDED



P. O. BOX 909
 GARDNERVILLE,
 NV, LIC. #55899A
 CA, LIC. #43312



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PROPOSED RESIDENCE



REVISIONS



P. O. BOX 909
GARDNERVILLE,
NV 89410
PH. (775) 691-6606
NV. LIC. #55890A
CA. LIC. #438312



ABBREVIATIONS

&	AND	KIT.	KITCHEN
∠	ANGLE	LAB.	LABORATORY
@	AT	LAM.	LAMINATE
#	POUND OR NUMBER	LAV.	LAVATORY
A.B	ANCHOR BOLT	LKR.	LOCKER
A/C	AIR CONDITIONER	LT.	LIGHT
ADJ.	ADJUSTABLE	LVR	LOUVER
A.F.F.	ABOVE FINISH FLOOR	MAX.	MAXIMUM
AGGR.	AGGREGATE	MB	MACHINE BOLT
APPROX.	APPROXIMATE	M.C.	MEDICINE CABINET
ARCH.	ARCHITECTURAL	MECH.	MECHANICAL
ASPH.	ASPHALT	MEMB.	MEMBRANE
BD.	BOARD	MET.	METAL
BITUM.	BITUMINOUS	MFR.	MANUFACTURER
BLDG.	BUILDING	M.H.	MANHOLE
BLK.	BLOCK	MIN.	MINIMUM
BLKG.	BLOCKING	MIR.	MIRROR
BM.	BEAM	MISC.	MISCELLANEOUS
BOT.	BOTTOM	MO.	MOUNTED
CAB.	CABINET	MTD.	MOUNTED
C.B.	CATCH BASIN	MUL.	MULLION
CEM.	CERAMIC	N.	NORTH
CER.	CERAMIC	NO. or #	NUMBER
C.I.	CAST IRON	NOM.	NOMINAL
C.G.	CORNER GUARD	N.T.S.	NOT TO SCALE
CLG.	CELLING	O.A.	OVERALL
CLD.	CENTRALINE	OBS.	OBSCURE
CLG.	CAULKING	O.C.	ON CENTER
CLD.	CLINET	O.L.D.	OVER LOW DRAIN
CLR.	CLEAR	OFF.	OFFICE
C.O.	CASED OPENING	OPNG.	OPENING
COL.	COLUMN	OPP.	OPPOSITE
CONC.	CONCRETE	OSCI.	OWNER SUPPLIED, CONTRACTOR INSTALLED
CONN.	CONNECTION	PL.	PLATE
CONSTR.	CONSTRUCTION	P.LAM.	PLASTIC LAMINATE
CONT.	CONTINUOUS	PLAS.	PLASTER
CORR.	CORRIDOR	PLYWD.	PLYWOOD
CTSK.	COUNTERSUNK	PR.	PRE-CAST
CNTR.	COUNTER	PRCST.	PAPER TOWEL DISPENSER
CTR.	CENTER	PT.	PARTITION
DBL.	DOUBLE	P.T.D.	COMBINATION PAPER TOWEL
DEPT.	DEPARTMENT	PTN.	PAPER TOWEL RECEPTACLE
D.F.	DRINKING FOUNTAIN	Q.T.	QUARRY TILE
DET.	DETAIL	R.	RISER
DIA.	DIAMETER	RAD.	RADIUS
DIM.	DIMENSION	R.D.	ROOF DRAIN
DISP.	DISPENSER	REF.	REFRIGERATOR
DN.	DOWN	REFR.	REFRIGERATOR
D.O.	DOOR OPENING	RGTR.	REGISTER
DR.	DRAWER	REINFC.	REINFORCED
D.S.	DOWNSPOUT	REQD.	REQUIRED
D.S.P.	DRY STANDPIPE (DWP)	RESIL.	RESILIENT
DWG.	DRAWING	R.O.	ROUGH OPENING
(E)	EXISTING	R.W.D.	RAIN WATER LEADER
EA.	EAST	R.W.L.	RAIN WATER LEADER
E.J.	EXPANSION JOINT	S.	SOUTH
ELEC.	ELECTRICAL	S.C.	SOLID CORE
ELEV.	ELEVATION	SCHUED.	SCHEDULED
EMER.	EMERGENCY	S.D.	SOAP DISPENSER
ENCL.	ENCLOSURE	SECT.	SECTION
E.P.	ELECTRICAL PANELBOARD	SH.	SHelf
EQ.	EQUAL	SHR.	SHOWER
EQPT.	EQUIPMENT	SHT.	SHEET
EW.	EACHWAY	SIM.	SIMILAR
E.W.C.	ELECTRIC WATER COOLER	S.M.D.	SEE MECHANICAL DRAWINGS
EXT.	EXISTING	S.P.D.	SEE PLUMBING DRAWINGS
EXPO.	EXPOSED	SPEC.	SPECIFICATION
EXT.	EXTERIOR	SQ.	SQUARE
F.A.	FIRE ALARM	S.S.D.	SEE STRUCTURAL DRAWINGS
F.B.	FLAT BAR	S.S.T.	STAINLESS STEEL
F.D.	FLOOR DRAIN	S.S.K.	SERVICE SINK
FDN.	FOUNDATION	STA.	STATION
F.F.	FINISH FLOOR	STD.	STANDARD
F.H.C.	FIRE HOSE CABINET	STL.	STEEL
FIN.	FINISH	STOR.	STORAGE
FL.	FLOOR	STRL.	STRUCTURAL
FLASH.	FLASHING	SUSP.	SUSPENDED
FLOR.	FLUORESCENT	SYN.	SYMMETRICAL
F.O.C.	FACE OF CONCRETE	TRANS.	TRANSFORMER
F.O.F.	FACE OF FINISH	TRD.	TREAD
F.O.M.	FACE OF MASONRY	T.B.	TOWEL BAR
F.O.S.	FACE OF STUDS	T.C.	TOP OF CURB
FRPF.	FIREPROOF	TEL.	TELEPHONE
F.S.	FULL SIZE	TER.	TERRAZZO
FT.	FOOT OR FEET	T.&G.	TONGUE AND GROOVE
FTG.	FOOTING	THK.	THICK
FURR.	FURRING	THR.	THRESHOLD
FUT.	FUTURE	T.P.	TOP OF PAVEMENT
GA.	GAUGE	T.O.L.	TOLERANCE
GALV.	GALVANIZED	T.V.	TELEVISION
G.B.	GRAB BAR	T.W.	TOP OF WALL
GEN.	GENERAL	TYCL.	TYPICAL
GLAS.	GLASS	UNF.	UNFINISHED
GLU.	GLUE	U.N.O.	UNLESS NOTED OTHERWISE
GND.	GROUND	UR.	URINAL
GR.	GRADE	VENT.	VENTILATOR
GYP.	GYPsum	VERT.	VERTICAL
H.B.	HOSE BIBB	VEST.	VESTIBULE
H.C.	HOLLOW CORE	W.	WEST
HDWD.	HARDWOOD	W/	WITH
HDWE.	HARDWARE	W.C.	WATER CLOSET
H.M.	HOLLOW METAL	WD.	WOOD
HORIZ.	HORIZONTAL	WID.	WITHOUT
HR.	HOUR	WP.	WATERPROOF
HGT.	HEIGHT	WSCT.	WAINSCOT
HVAC.	HEATING/VENTILATING /AIR CONDITIONING	WT.	WEIGHT
I.D.	INSIDE DIAMETER (DIM.)		
INSUL.	INSULATION		
INT.	INTERIOR		
INV.	INVERT		

SYMBOLS

	SECTION OR ELEVATION NUMBER		ROOM NAME
	SHEET NUMBER		ROOM NUMBER
	DETAIL NUMBER		INTERIOR ELEVATION LETTER
	SHEET NUMBER		SHEET NUMBER
	CONTROL POINT, DATUM POINT		KEYNOTE DESIGNATION
	COLUMN REFERENCE LINE		REVISION DESIGNATION
	DIMENSION TO CENTERLINE		CENTERLINE
	DIMENSION TO FACE OF WALL		BREAK LINE
	DIMENSION TO FACE OF WALL		GRADE ELEVATION MARKER

PROJECT SPECIFICATIONS

2012 INTERNATIONAL RESIDENTIAL CODE
 ROOF DESIGN SNOW LOAD = 30 PSF
 FLOOR DESIGN LIVE LOAD = 40 PSF
 WIND SPEED = 130 MPH - EXP C
 SEISMIC DESIGN CATEGORY = D
 FLOOD ZONE - "X" UNSHADED
 2012 UNIFORM PLUMBING CODE
 2012 UNIFORM MECHANICAL CODE
 2011 NATIONAL ELECTRICAL CODE
 2009 IECC
 2012 INTERNATIONAL FIRE CODE

ENGINEER OF RECORD:

BLAKE E. CLARK
 1117 CHEATGRASS DRIVE
 DAYTON, NV 89403
 PHONE: 775-241-8801
 EMAIL: BSCLARKS91@GMAIL.COM

CONTRACTOR SHALL SEE THAT ALL WORK IS DONE IN ACCORDANCE WITH THE 2012 INTERNATIONAL RESIDENTIAL CODE; LOCAL ORDINANCES AND REGULATIONS; ANY & ALL CORRESPONDENCES AS ADOPTED OR ENFORCED BY WASHOE COUNTY.

CONTRACTOR INFORMATION

CLARK BUILDERS, INC.
 P. O. BOX 909
 GARDNERVILLE, NV 89410
 PH. (775) 691-6606
 NV. LICENSE #438312

PROJECT OWNERS:

SCOTT & MONICA SPANGLER
 9755 SILVER SKY PARKWAY #4108
 RENO, NV 89506

PROJECT LOCATION:

53 BELLEVUE ROAD
 CARSON CITY, NV 89704
 A.P.N. 055-169-01

PROJECT INFORMATION:

RESIDENCE SQ. FT.	=	1,278 SF
GARAGE SQ. FT.	=	627 SF
COV'D PORCH SQ. FT.	=	90 SF
COV'D PATIO SQ. FT.	=	234 SF
TOTAL SQ. FOOTAGE	=	2,329 SF

SHEET INDEX:

SHEET 1	-	TITLE SHEET
SHEET 2	-	RESIDENCE ELEVATIONS
SHEET 3	-	RESIDENCE ELEVATIONS
SHEET 4	-	FOUNDATION PLAN
SHEET 5	-	MAIN FLOOR PLAN
SHEET 6	-	STRUCTURAL FLOOR PLAN
SHEET 7	-	ROOF FRAMING PLAN
SHEET 8	-	CROSS SECTIONS
SHEET 9	-	ELECTRICAL PLAN
SHEET S1	-	STRUCTURAL DETAILS
SHEET C1	-	SITE PLAN

TITLE SHEET

PROJECT FOR:
SPANGLER RESIDENCE
 53 BELLEVUE ROAD
 CARSON CITY, NV 89704
 A.P.N. 055-169-01

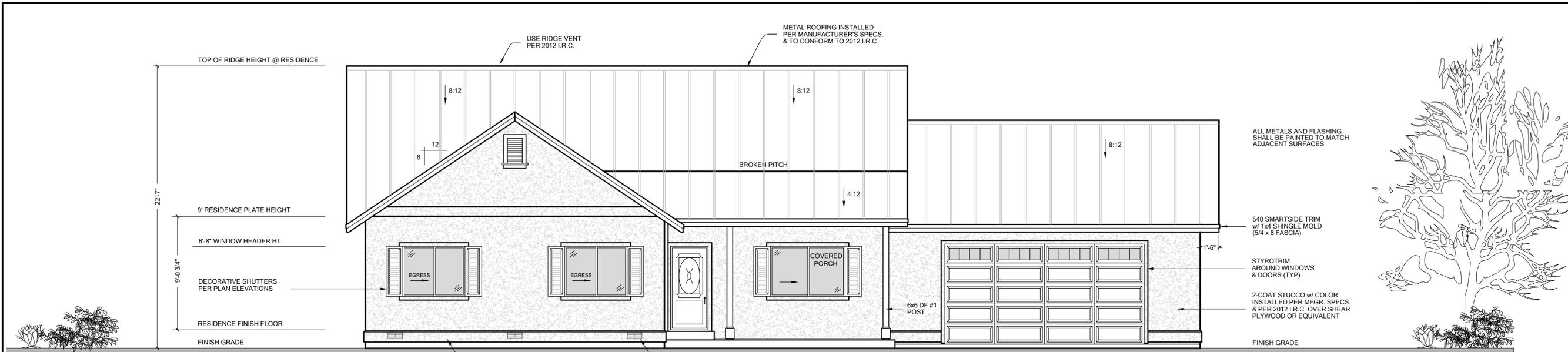
CONTRACTOR'S PROJECT DESIGNER
 THESE PLANS ARE PROVIDED & SUBMITTED BY THE CONTRACTOR
 AS AN EXEMPTION TO NRS 623.330 FOR WORK UNDER THE
 CONTRACT. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN, PREPARATION AND
 INFORMATION CONTAINED ON THESE PLANS.
 QUALIFIED INDIVIDUAL'S SIGNATURE _____ DATE _____

SHEET:

1

OF 9 SHEETS

DATE:	1/22/16
JOB NO.:	
DWG.:	TITLE.DWG
SCALE:	NO SCALE



FRONT ELEVATION

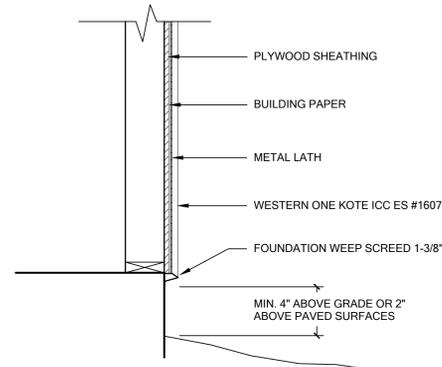
SCALE: 1/4" = 1'-0"

ALL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE 2012 EDITION INTERNATIONAL RESIDENTIAL CODE AND ALL STATE AND LOCAL CODES AND ORDINANCES. ALL WORKMANSHIP AND MATERIALS SHALL MEET F.H.A. STANDARDS. ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH STANDARD PRACTICES OF THEIR RESPECTIVE TRADE. ALL INFORMATION CONTAINED IN THESE PLANS TO BE CONFIRMED BY THE OWNER OR CONTRACTOR BEFORE ANY WORK IS TO BEGIN.

ATTIC VENTILATION:
 ATTIC VENTILATION PER 2012 I.R.C.
 USE GABLE END VENTS, ROOF JACKS, EAVE VENTS AND RIDGE VENT

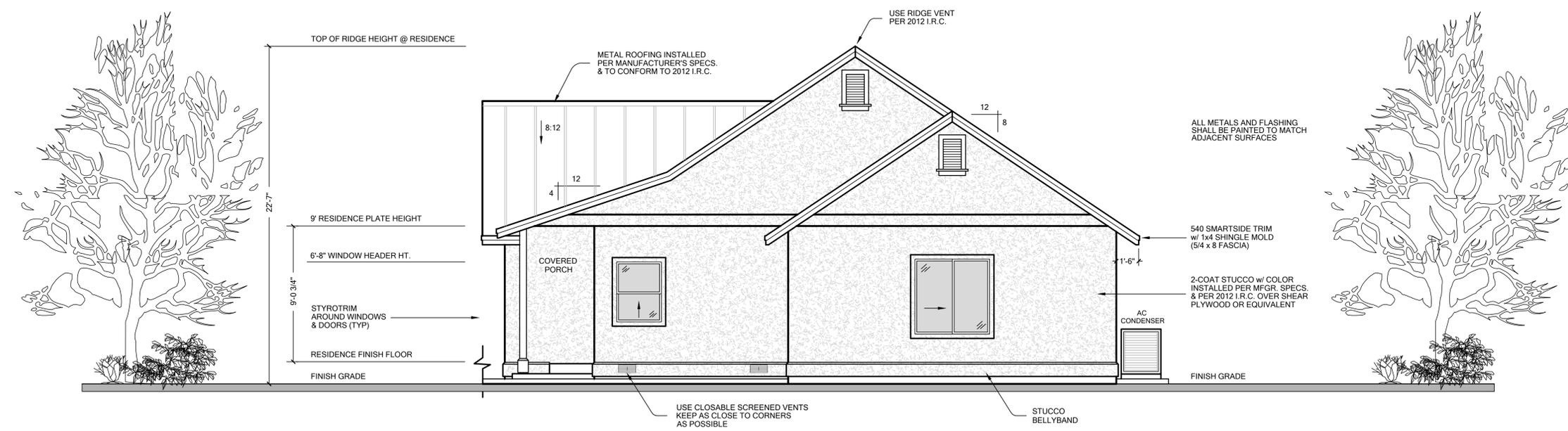
UNDERFLOOR VENTILATION:
 UNDERFLOOR VENTILATION PER 2012 I.R.C.
 USE CLOSABLE VENTS / CROSS VENTILATE

DRAINAGE:
 PROVIDE DRAINAGE AWAY FROM BUILDING AT A MINIMUM OF 5% SLOPE FOR 10'



WEEP SCREED DETAIL

NO SCALE



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

REVISIONS

CLARK BUILDERS, INC

P. O. BOX 909
 GARDNERVILLE, NV 89410
 PH. (775) 691-6606
 NV. LIC. #55890A
 CA. LIC. #438312

25 Years

ELEVATIONS

PROJECT FOR:
SPANGLER RESIDENCE
 53 BELLEVUE ROAD
 CARSON CITY, NV 89704
 A.P.N. 055-169-01

CONTRACTOR PROJECT DESIGNER
 THESE PLANS ARE PROVIDED & SUBMITTED BY THE CONTRACTOR FOR THE PROJECT AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, PREPARATION, AND INFORMATION CONTAINED ON THESE PLANS.

QUALIFIED INDIVIDUAL'S SIGNATURE _____ DATE _____

SHEET: **2**

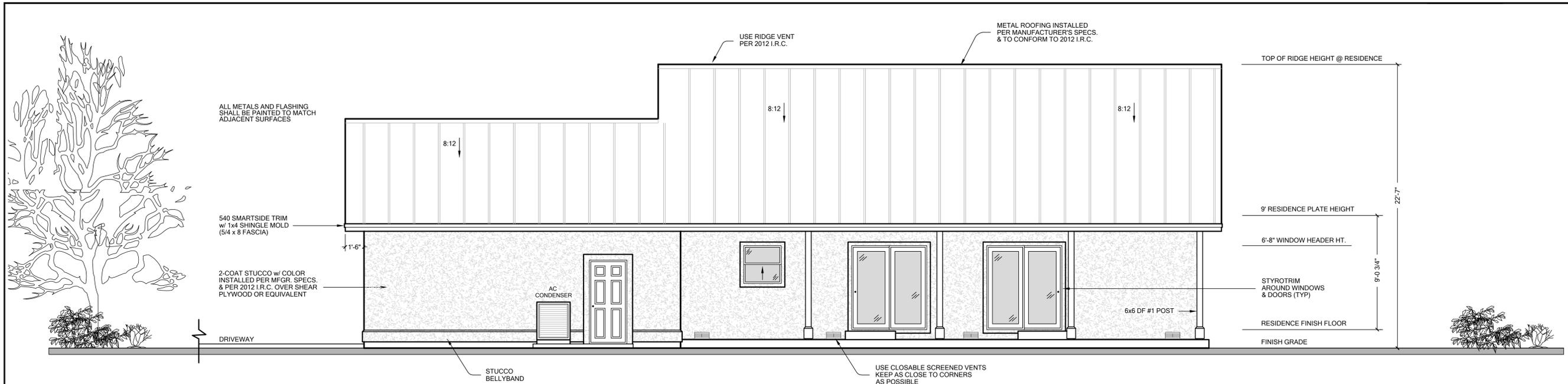
OF **9** SHEETS

DATE: 1/22/16

JOB NO. _____

DWG: ELEV1.DWG

SCALE: 1/4" = 1'-0"



REAR ELEVATION

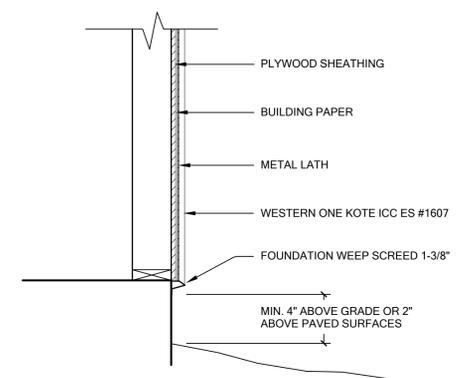
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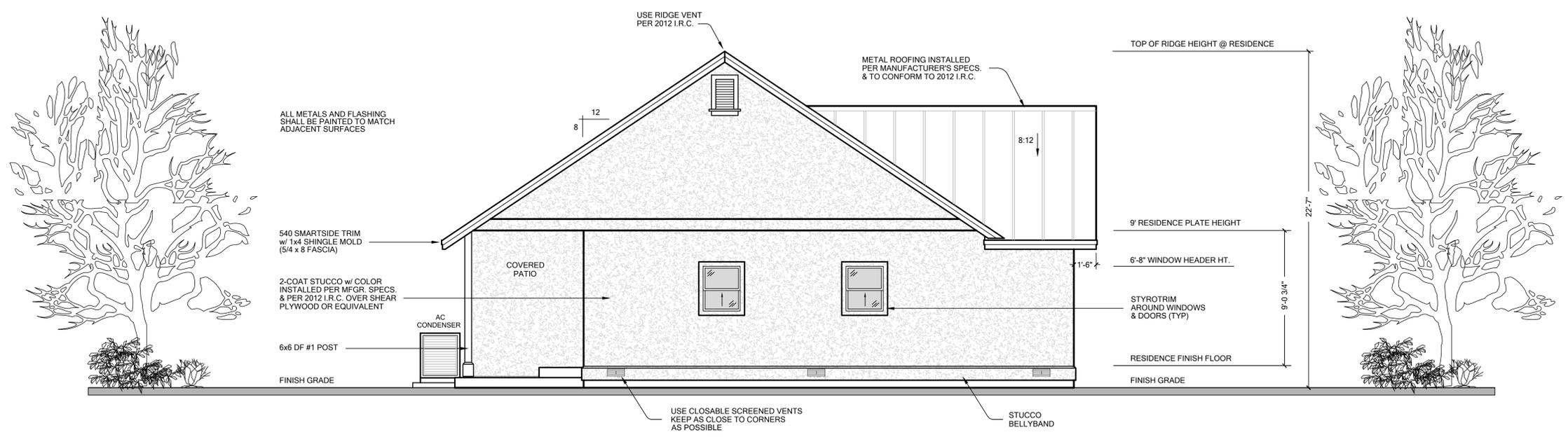
UNDERFLOOR VENTILATION:
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WEEP SCREED DETAIL

NO SCALE



LEFT ELEVATION

SCALE: 1/4" = 1'-0"

REVISIONS

P. O. BOX 909
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 CA. LIC. #438312

ELEVATIONS

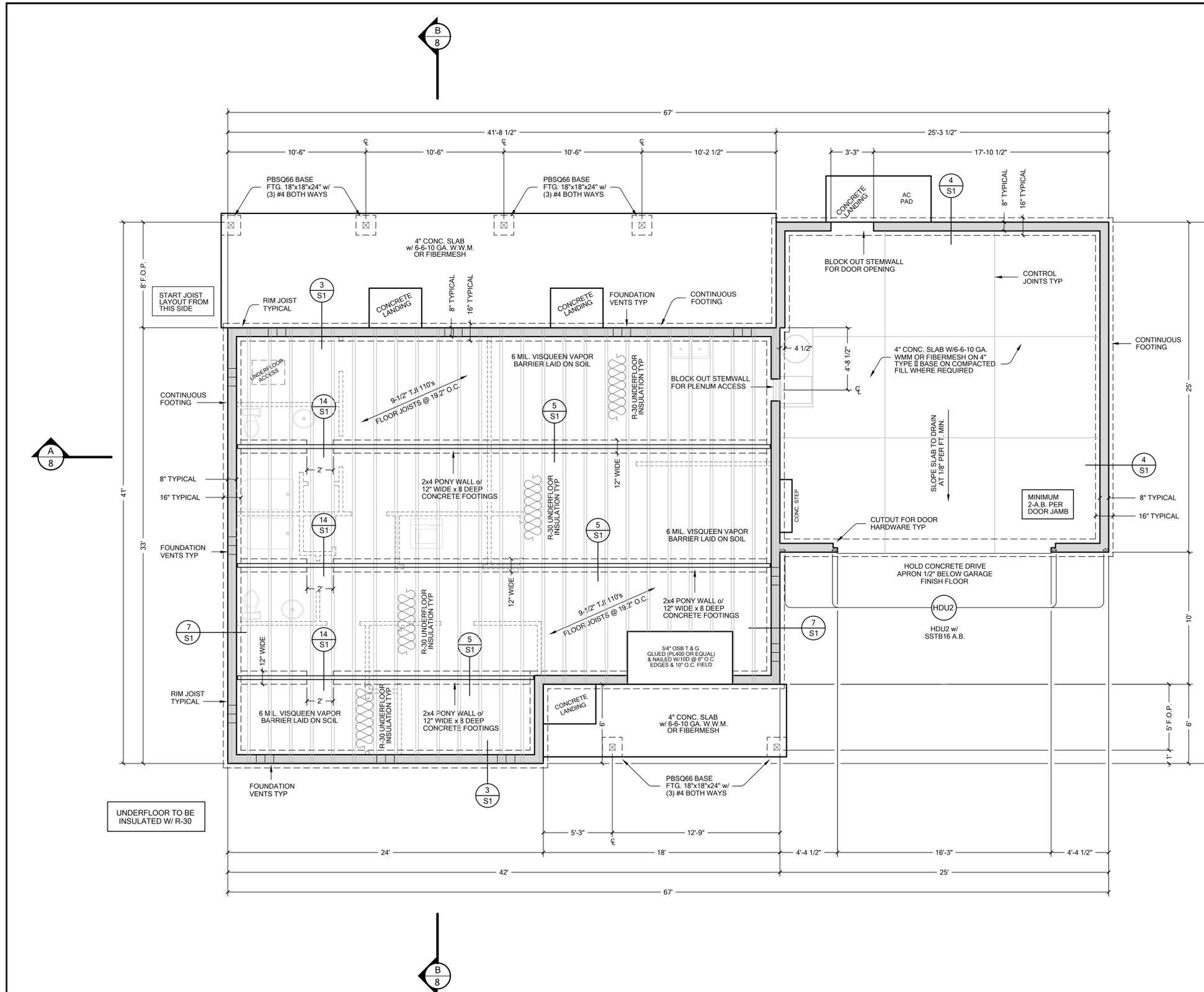
PROJECT FOR:
SPANGLER RESIDENCE
 53 BELLEVUE ROAD
 CARSON CITY, NV 89704
 A.P.N. : 055-169-01

CONTRACTOR PROJECT DESIGNER
 THESE PLANS ARE PROVIDED & SUBMITTED BY THE CONTRACTOR
 CONTRACTOR'S LICENSE CATEGORY AUTHORIZED UNDER NRS 624
 I AM RESPONSIBLE FOR THE DESIGN, PREPARATION, AND
 INFORMATION CONTAINED ON THESE PLANS.

QUALIFIED INDIVIDUAL'S SIGNATURE _____ DATE _____

SHEET: **3**
 OF **9** SHEETS

DATE: 1/22/16
 JOB NO. _____
 DWG: ELEV2.DWG
 SCALE: 1/4" = 1'-0"



FOUNDATION NOTES:

UNDERFLOOR VENTILATION CALCULATIONS:
 $\frac{1,278 \text{ SQ. FT.}}{300} = 4.3 \text{ SQ. FT. OR REQUIRED VENTILATION}$

R408.1 VENTILATION - THE UNDER-FLOOR SPACE BETWEEN THE BOTTOM OF THE FLOOR JOISTS AND THE EARTH UNDER ANY BUILDING (EXCEPT SPACE OCCUPIED BY A BASEMENT) SHALL HAVE VENTILATION OPENINGS THROUGH FOUNDATION WALLS OR EXTERIOR WALLS. MINIMUM NET AREA OF VENTILATION OPENINGS SHALL NOT BE LESS THAN 1 SQUARE FOOT FOR EACH 300 SQUARE FEET OF UNDER-FLOOR AREA. ONE SUCH OPENING SHALL BE WITHIN 3 FEET OF EACH CORNER OF THE BUILDING.

SUBFLOOR:
 3/4" OSB T & G SHEATHING, EXPOSURE 1, T & G UNDERLAYMENT GRADE, APA SPAN RATED 24" O.C. OR EQUIVALENT, LAID AT RIGHT ANGLES OVER FLOOR JOISTS, STAGGER JOINTS, GLUE & NAIL WITH 10d @ 6" O.C. EDGE, 10" O.C. FIELD

FLOOR JOISTS:
 9-1/2" TJI 110s @ 19.2" O.C. INSTALLED PER MANUFACTURER'S SPECIFICATIONS AT RIGHT ANGLES OVER BEARING. DOUBLE UNDER PARALLEL BEARING WALLS, MAINTAIN 18" MIN. CLEARANCE TO SOIL. BLOCK ALL JOISTS @ BEARING POINTS PER MFR'S SPECIFICATIONS

RIM JOISTS:
 PROVIDE MANUFACTURED 1-1/4" LSL RIM JOISTS

PONY WALLS:
 2x4 PONY WALLS W/ STUDS @ 16" O.C. O/ 12"x8" CONT. CONC. FOOTING, U.N.O.

SILLS & PADS:
 2x PRESSURE TREATED LUMBER (TYPICAL)
 WHEN NOTED FOR A SPECIFIC SHEAR WALL, FOUNDATION SILL PLATES AND ALL FRAMING MEMBERS RECEIVING EDGE NAILING FROM ABUTTING PANELS SHALL NOT BE LESS THAN A SINGLE 3" NOMINAL MEMBER

ANCHOR BOLTS:
 5/8" DIA. x 10" A.B. @ 72" O.C. MAX. 2 ANCHOR BOLTS PER BOARD MINIMUM 12" FROM ENDS MAXIMUM. ANCHOR BOLTS EMBEDDED 7" INTO CONC. MINIMUM INSTALL 3" x 3" x 1/4" PLATE WASHERS ON EACH ANCHOR BOLT

VAPOR BARRIER:
 6 MIL. VISQUEEN VAPOR BARRIER (OR EQUIVALENT) LAID ON SOIL

UFER GROUND:
 30' OF #4 BARE COPPER WIRE - (20' INTO AND 10' OUT OF FOUNDATION)

LANDINGS:
 PER 2012 EDITION INTERNATIONAL RESIDENTIAL CODE

CONCRETE SLABS:
GARAGES:
 PROVIDE 4" CONCRETE SLAB ON GRADE WITH FIBERMESH OR 6" x 6" - 10 GA. W.W.F. REINFORCEMENT. PREPARE GRADE WITH 4" OF SAND & GRAVEL AGG. BASE COMPACTED TO 95% OF RELATIVE COMPACTION
 PROVIDE PERIMETER AND EXPANSION JOINTS AS REQUIRED AND PROVIDE CONTROL JOINTS ON AN INCREMENTAL BASIS
EXTERIOR FLATWORK:
 PROVIDE 4" CONCRETE SLAB ON GRADE
 PREPARE GRADE WITH 4" SAND & GRAVEL AGGREGATE BASE COMPACTED TO 95% OF RELATIVE COMPACTION

UNDERFLOOR ACCESS:
 18"x24" MIN. - PER 2012 I.R.C. (30"x30" IF FAU IS LOCATED UNDERFLOOR)
 ACCESS MAY NOT BE MORE THAN 20' FROM CLEANOUTS - PER 2012 I.R.C.

CRAWLSPACE ACCESS:
 PROVIDE 18"x24" MIN. CRAWLSPACE ACCESS THRU PONY WALLS AND STEM WALLS
 DO NOT LOCATE ACCESS WITHIN 24" OF HOLDDOWNS OR COLUMN BASES

STRUCTURAL ENGINEERING NOTES

-WHERE POSTS AND MULTIPLE STUDS ARE SPECIFIED, THEY ARE TO BE STACKED IN ALL WALL FRAMING AND SOLID VERTICAL GRAIN BLOCKING SHALL BE PROVIDED AT ALL FLOOR LEVELS DOWN TO THE FOUNDATION

NOTE:
 CONTRACTOR TO PROVIDE ENGINEER OF RECORD (E.O.R.) WITH WET STAMPED TRUSS CALCULATIONS PRIOR TO BEGINNING CONSTRUCTION. STRUCTURAL MEMBERS AND ELEMENTS ON THESE SHEETS ARE SUBJECT TO CHANGE BASED ON REVIEW OF THE ENGINEERED TRUSS SYSTEM. E.O.R. TO REVIEW TRUSS CALCULATIONS, AND CHANGES TO THESE PLANS IF ANY FOLLOWING REVIEW SHALL ACCOMPANY A WET STAMPED LETTER FROM THE E.O.R. STATING THAT THE TRUSS CALCULATIONS HAVE BEEN REVIEWED. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT STRUCTURE COMPLIES WITH ANY AND ALL CHANGES ADDRESSED IN TRUSS REVIEW LETTER.

FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

REVISIONS

CLARK BUILDERS, INC

P. O. BOX 909
 GARDNERVILLE, NV 89410
 PH. (775) 691-6606
 NV. LIC. #55890A
 CA. LIC. #438312

FOUNDATION PLAN

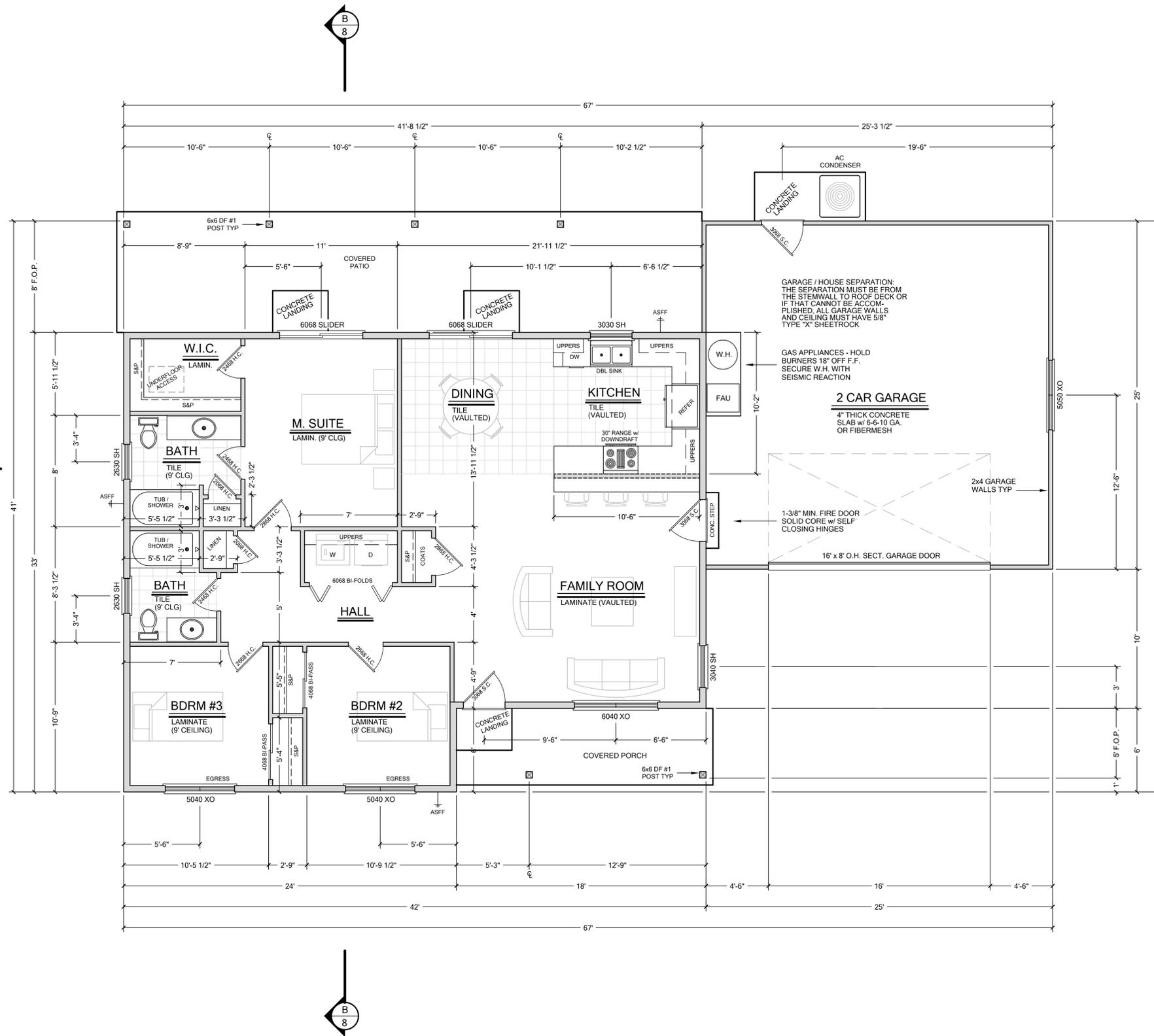
PROJECT FOR:
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 CARSON CITY, NV 89704
 A.P.N. 055-169-01

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SHEET: **4**
 OF **9** SHEETS

DATE: 1/22/16
 JOB NO. _____
 DWG: FND.DWG
 SCALE: 1/4" = 1'-0"



GENERAL NOTES:

SAFETY GLAZING MUST BE USED IN ALL HAZARDOUS AREAS PER 2012 I.R.C.

ALL WORK & MATERIALS SHALL CONFORM TO ALL PERTINENT REQUIREMENTS OF THE 2012 I.R.C. AND ALL LOCAL GOVERNING CODES, REGULATIONS AND ORDINANCES

ALL LUMBER SHALL BE STD. NO. 2 GRADE OR BETTER UNLESS OTHERWISE NOTED

PROVIDE AT LEAST 1 EMERGENCY EGRESS WINDOW IN ROOMS USED FOR SLEEPING WHICH MEET THE FOLLOWING DIMENSIONS:
 MIN. 5.7 SQ. FT. OF TOTAL AREA
 MIN. CLEAR OPENING HEIGHT OF 24"
 MIN. CLEAR OPENING WIDTH OF 20"
 MAXIMUM 44" FROM FINISH FLOOR TO CLEAR OPENING

LANDINGS AT DOORS PER R311.4.3 AND LANDING AT STAIRWAYS PER R311.5.4 LANDING AT THE REQUIRED EXIT DOOR LANDING SHALL NOT BE MORE THAN 1-1/2 INCHES LOWER THAN THE TOP OF THE THRESHOLD. MINIMUM LENGTH FOR ALL LANDING IS 36" IN THE DIRECTION OF TRAVEL

PROVIDE MECHANICAL VENTILATION CAPABLE OF PROVIDING (2) AIR CHANGES PER HOUR IN HABITABLE ROOMS (15 CFM MIN.) AND (5) AIR CHANGES PER HOUR IN BATHROOMS, WATER CLOSET COMPARTMENTS, LAUNDRY ROOMS, ETC. IF REQUIRED OPENABLE AREA IS NOT NOTED.

MEASUREMENTS ARE TO STUD FACE UNLESS OTHERWISE NOTED

PROVIDE COMBUSTION AIR FOR FUEL BURNING APPLIANCES PER LISTING AND MFG. INSTRUCTIONS. PROVIDE PROPER VENTING PER 2012 I.R.C.

MEDICINE CABINETS:
 14-1/2"x24" - PLACE 48" AND 72" FROM F.F. - 3" FROM WALL

JOINTS & PENETRATIONS SHALL BE CAULKED & SEALED - PROVIDE WEATHER STRIPPING AROUND DOORS AND WINDOWS

STAIRS AND HANDRAILS PER R311.5 MAXIMUM STAIR RISE IS 7 3/4 INCHES MINIMUM RUN IS 10 INCHES

ALL SOLDER & FLUXES SHALL BE MANUFACTURED TO APPROVED STANDARDS. SOLDER & FLUXES WITH A LEAD CONTENT WHICH EXCEEDS TWO TENTHS (0.20) OF ONE PERCENT (1%) ARE PROHIBITED IN PIPING SYSTEMS USED TO CONVEY POTABLE WATER

INSTALLATION OF CHIMNEYS AND FIREPLACES SHALL COMPLY WITH 2012 I.R.C. AND THE MANUFACTURERS SPECIFICATIONS.

LAWN SPRINKLERS AND IRRIGATION SYSTEMS SHALL INCLUDE AN APPROVED VACUUM PREVENTER PER 2012 I.R.C.

GAS PIPE SIZING PER 2012 I.R.C. CHAPTER 12 AND CONFORMANCE WITH LOCAL FUEL GAS SUPPLIER.

SHOWERS AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE PER 2012 I.R.C.

LOW FLOW PLUMBING FIXTURES PER WASHOE COUNTY

MAXIMUM STATIC PRESSURE SHALL BE 80 PSI. WHEN MAIN PRESSURE EXCEEDS 65 PSI AN APPROVED PRESSURE REDUCING VALVE CONFORMING TO ASSE 1003 PRECEDED BY AN ADEQUATE STRAINER SHALL BE INSTALLED AND THE STATIC PRESSURE REDUCED TO 61 PSI OR LESS. WHERE PRESSURE REGULATORS ARE REQUIRED, THE PRESSURE REGULATOR SHALL BE INSTALLED BETWEEN THE SOURCE OF WATER AND AFTER THE METER AND BACK-FLOW PREVENTION DEVICE (IF INSTALLED AT THE METER) AND BEFORE ALL EXTERIOR AND INTERIOR FIXTURES AND OUTLETS.

PROVIDE LIGHT AND VENTILATION PER 2012 I.R.C.

REVISIONS



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 NV. LIC. #55890A
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MAIN FLOOR PLAN

PROJECT FOR:
SPANGLER RESIDENCE
 53 BELLEVUE ROAD
 CARSON CITY, NV 89704
 A.P.N. 055-169-01

CONTRACTOR PROJECT DESIGNER
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QUALIFIED INDIVIDUAL'S SIGNATURE _____ DATE _____

SHEET:

5

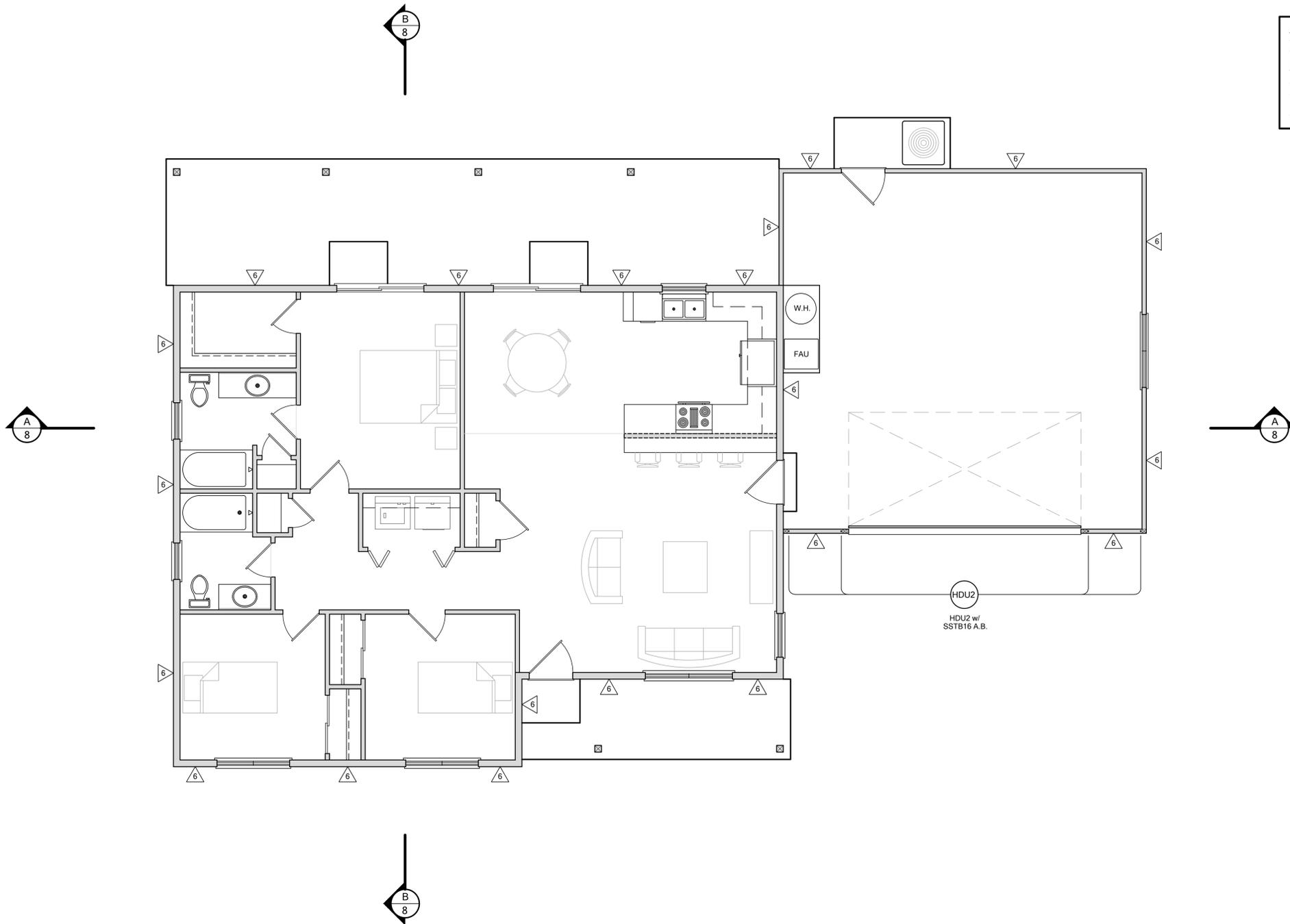
OF 9 SHEETS

MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"

RESIDENCE SQ. FT.	- 1,278
GARAGE SQ. FT.	- 627
COVD PORCH SQ. FT.	- 90
COVD PATIO SQ. FT.	- 334
TOTAL SQ. FT.	- 2,329

DATE:	1/22/16
JOB NO.:	
DWG.:	MFP.DWG
SCALE:	1/4" = 1'-0"



NOTE:
 CONTRACTOR TO PROVIDE ENGINEER OF RECORD (E.O.R.) WITH WET STAMPED TRUSS CALCULATIONS PRIOR TO BEGINNING CONSTRUCTION. STRUCTURAL MEMBERS AND ELEMENTS ON THESE SHEETS ARE SUBJECT TO CHANGE BASED ON REVIEW OF THE ENGINEERED TRUSS SYSTEM. E.O.R. TO REVIEW TRUSS CALCULATIONS, AND CHANGES TO THESE PLANS IF ANY FOLLOWING REVIEW SHALL ACCOMPANY A WET STAMPED LETTER FROM THE E.O.R. STATING THAT THE TRUSS CALCULATIONS HAVE BEEN REVIEWED. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT STRUCTURE COMPLIES WITH ANY AND ALL CHANGES ADDRESSED IN TRUSS REVIEW LETTER.

6 - SYMBOL INDICATES SHEAR WALL. SEE DETAIL 2 ON SHEET S1

STRUCTURAL FLOOR PLAN

SCALE: 1/4" = 1'-0"	RESIDENCE SQ. FT.	- 1,278
	GARAGE SQ. FT.	- 550
	COV'D PORCH SQ. FT.	- 90
	COV'D PATIO SQ. FT.	- 336
	TOTAL SQ. FT.	- 2,254

REVISIONS

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 NV. LIC. #55890A
 CA. LIC. #438312

25 Years

STRUCTURAL PLAN

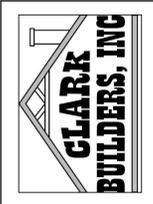
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SHEET: **6**
 OF **9** SHEETS

DATE: 1/22/16
 JOB NO.:
 DWG: STFP.DWG
 SCALE: 1/4" = 1'-0"



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NV 89410
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ROOF FRAMING PLAN

PROJECT FOR:
SPANGLER RESIDENCE
53 BELLEVUE ROAD
CARSON CITY, NV 89704
A.P.N. 055-169-01

CONTRACTOR PROJECT DESIGNER
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QUALIFIED INDIVIDUAL'S SIGNATURE _____ DATE _____

SHEET: **7**
OF **9** SHEETS

DATE: 1/12/16
JOB NO.:
DWG: ROOF.DWG
SCALE: 1/4" = 1'-0"

ROOF FRAMING NOTES:

ATTIC VENTILATION CALCULATIONS:
 $\frac{2,662 \text{ SQ. FT.}}{300} = 8.9 \text{ SQ. FT. OR REQUIRED VENTILATION}$

PROVIDE 4.5 SQ. FT. OF VENTILATION AT OR NEAR RIDGE
PROVIDE 4.5 SQ. FT. OF VENTILATION AT EAVE LINE
ATTIC VENTILATION PER 2012 I.R.C.

ROOFING:
COMPOSITION SHINGLES INSTALLED PER MANUFACTURER'S SPECIFICATIONS AND 2012 I.R.C., OVER 30# FELT OR BUILDING PAPER VAPOR BARRIER

SHEATHING:
19/32" CDX PLYWOOD (OR 19/32" OSB) EXPOSURE 1, APA SPAN RATED (32/16), STAGGER JOINTS - NAIL WITH 8d @ 6" O.C. ALL EDGES, GABLE ENDS, AND FREEZE BLOCKS, 8d 12" O.C. FIELD

TRUSSES:
PRE-MANUFACTURED ENGINEERED TRUSSES @ 24" O.C. PROVIDE (2) 2X6 STUDS @ ALL GIRDER BRG. POINTS @ PLATES U.N.O.
NOTE: SEE TRUSS CALCULATIONS FOR TRUSS DESCRIPTIONS

FILL SECTIONS:
RIDGE 2x8 DF #2 OR BETTER
RAFTERS 2x6 DF #2
VALLEY KICKER 2x8 DF

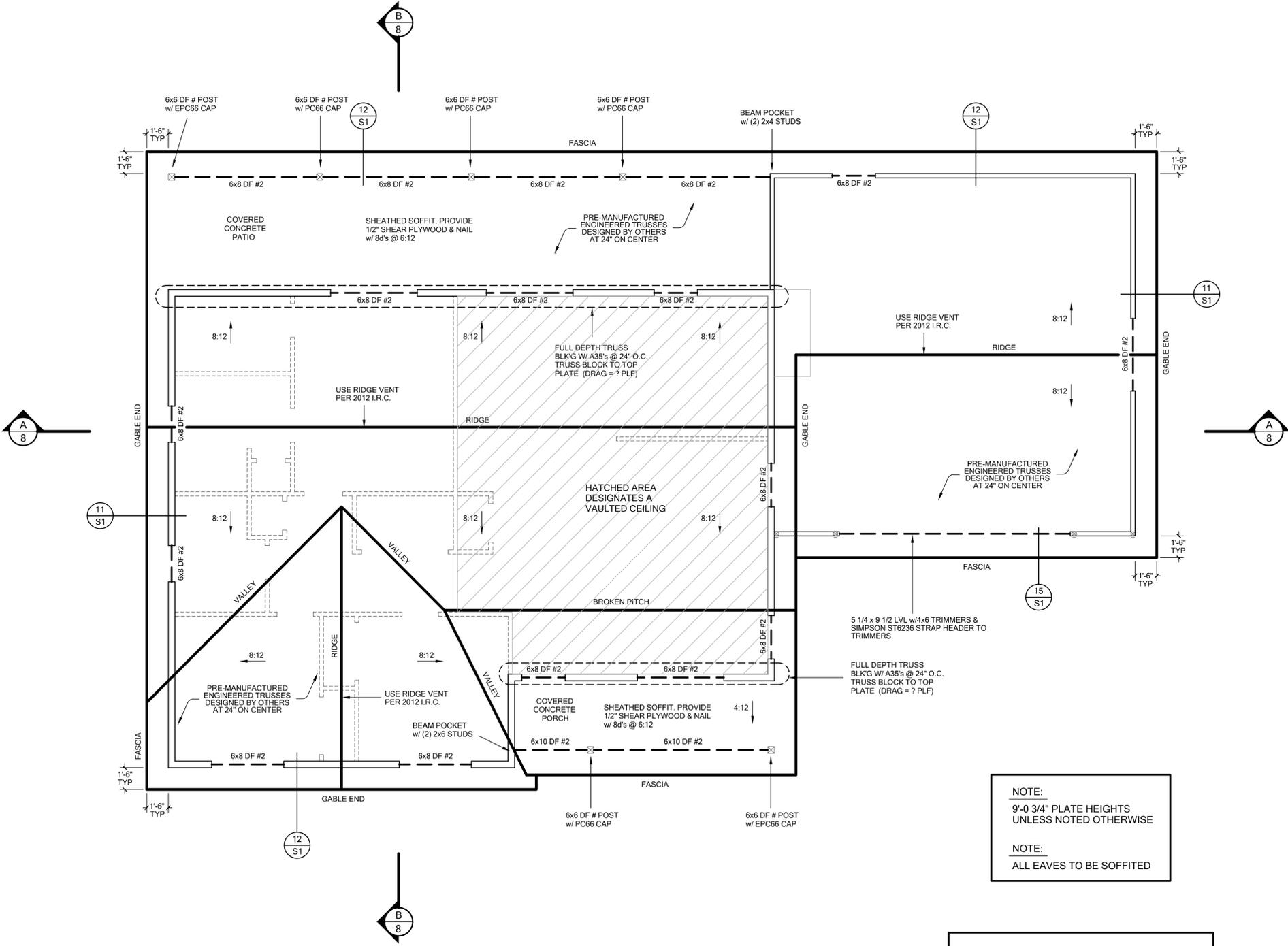
HEADERS:
WINDOW HEADERS 6x8 DF NO. 1 WITH 2X6 STUD GRADE TRIMMERS, U.N.O.

TRIMMERS:
DOUBLE TRIMMERS AT OPENINGS 5'-0" AND GREATER

POSTS:
DF #1 (LOCATE AS NOTED)

METAL CONNECTORS:
HANGERS SHOWN AT TRUSSES ARE TYPICAL, HANGERS SPECIFIED ON THE STAMPED TRUSS CALCULATIONS SUPERCEDE THOSE SHOWN HERE
SIMPSON H1 CLIPS @ ALL TRUSS BEARING POINTS ON PLATES & BEAMS
SIMPSON H5 CLIPS (O/S) @ ALL RAFTER BEARING POINTS ON PLATES & BEAMS
SIMPSON H6 CLIPS (B/S) @ ALL GIRDER TRUSS BEARING POINTS, U.N.O.
SIMPSON PC & CC POST CAPS (AS NOTED)
SIMPSON ST, MST, & LSTA STRAPS (AS NOTED)

ATTIC ACCESS:
22"x30" MIN. - PER 2012 EDITION INTERNATIONAL RESIDENTIAL CODE



NOTE:
9'-0 3/4" PLATE HEIGHTS
UNLESS NOTED OTHERWISE

NOTE:
ALL EAVES TO BE SOFFITED

NOTE:
SEE ROOF TRUSS CALCULATIONS
FOR COMPLETE TRUSS LAYOUT
TRUSSES DESIGNED BY OTHERS.

STRUCTURAL ENGINEERING NOTES

WHERE POSTS AND MULTIPLE STUDS ARE SPECIFIED, THEY ARE TO BE STACKED IN ALL WALL FRAMING AND SOLID VERTICAL GRAIN BLOCKING SHALL BE PROVIDED AT ALL FLOOR LEVELS DOWN TO THE FOUNDATION

ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

2011 NEC NOTES:

ALL GFCIs FOR PERSONNEL USE MUST BE INSTALLED IN A READILY ACCESSIBLE LOCATION

GFCI IS REQUIRED FOR ALL 125-VOLT, SINGLE PHASE, 15 AND 20 AMPERE RECEPTACLES INSTALLED WITHIN (6 FT) OF THE OUTSIDE EDGE OF A DWELLING UNIT SINK (NOT JUST LAUNDRY, UTILITY OR WET BAR SINKS)

GFCI REQUIREMENTS FOR KITCHEN SINK PER 210.8(A)(6)

GFCI PROTECTION REQUIRED FOR ALL 125-VOLT, 15 AND 20 AMPERE RECEPTACLES INSTALLED AT NON-DWELLING UNIT INDOOR WET LOCATIONS

ALL 120-VOLT, SINGLE PHASE, 15 AND 20 AMPERE BRANCH CIRCUITS SUPPLYING OUTLETS INSTALLED IN DWELLING UNIT FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATIONAL ROOMS, CLOSETS, HALLWAYS OR SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION-TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT

IN ANY AREAS SPECIFIED IN 210.12(A), WHERE BRANCH-CIRCUIT WIRING IS MODIFIED, REPLACED OR EXTENDED, THE BRANCH CIRCUIT SHALL BE PROTECTED BY:

- (1) A LISTED COMBINATION AFCI LOCATED AT THE ORIGIN OF THE BRANCH CIRCUIT, OR
- (2) A LISTED BRANCH-CIRCUIT AFCI LOCATED AT THE FIRST RECEPTACLE OUTLET OF THE (E) BRANCH CIRCUIT

A RACEWAY SEAL IS REQUIRED AT UNDERGROUND BRANCH CIRCUIT AND FEEDER RACEWAYS ENTERING A BUILDING

AN INDEPENDENT MEANS OF SECURE SUPPORT TO BE PROVIDED FOR WIRING METHODS. WHERE INDEPENDENT SUPPORT WIRING ARE USED, THEY SHALL BE DISTINGUISHABLE BY COLOR, TAGGING, OR OTHER EFFECTIVE MEANS

ANGLE CONNECTORS FOR FLEXIBLE METAL CONDUIT SHALL NOT BE INSTALLED WHERE THE ANGLE CONNECTOR ITSELF WILL BE CONCEALED

RECEPTACLE REPLACEMENT (AFCI) - ARC-FAULT CIRCUIT INTERRUPTER IS REQUIRED FOR REPLACEMENT RECEPTACLE OUTLETS WHERE A RECEPTACLE OUTLET IS SUPPLIED BY A BRANCH CIRCUIT THAT REQUIRES AFCI PROTECTION ELSEWHERE IN THE CODE

TAMPER-RESISTANT RECEPTACLES IN DWELLING UNITS - IN ALL AREAS SPECIFIED IN 210.52 ALL NON-LOCKING TYPE 125 VOLT, 15 AND 20 AMPERE RECEPTACLES SHALL BE LISTED TAMPER RESISTANT RECEPTACLES. EXCEPTION - RECEPTACLES IN THE FOLLOWING LOCATIONS SHALL NOT BE REQUIRED TO BE TAMPER RESISTANT:

- (1) RECEPTACLES LOCATED MORE THAN 5-1/2 ft ABOVE THE FLOOR
- (2) RECEPTACLES THAT ARE PART OF A LUMINAIRE OR APPLIANCE
- (3) A SINGLE RECEPTACLE OR A DUPLEX RECEPTACLE FOR TWO APPLIANCES LOCATED WITHIN DEDICATED SPACE FOR EACH APPLIANCE THAT, IN NORMAL USE, IS NOT EASILY MOVED FROM ONE PLACE TO ANOTHER AND THAT IS CORD-AND-PLUG CONNECTED IN ACCORDANCE WITH 400.7(A)(6), (A)(7), OR (A)(8)
- (4) NON-GROUNDING RECEPTACLES USED FOR REPLACEMENT PERMITTED IN 4.604(D)(2)(a)

ALL NON-LOCKING TYPE, 125 VOLT, 15 AND 20 AMPERE RECEPTACLES LOCATED IN GUEST ROOM AND GUEST SUITES SHALL BE LISTED TAMPER RESISTANT RECEPTACLES

IN ALL CHILD CARE FACILITIES, ALL NON-LOCKING TYPE, 125 VOLT, 15 AND 20 AMPERE RECEPTACLES SHALL BE LISTED TAMPER RESISTANT

RECEPTACLES

LUMINAIRES IN CLOTHES CLOSET - ONLY LUMINAIRES OF THE FOLLOWING TYPES SHALL BE PERMITTED IN A CLOTHES CLOSET:

- (1) SURFACE MOUNTED OR RECESSED INCANDESCENT OR LED LUMINAIRES WITH COMPLETELY ENCLOSED LIGHT SOURCE
- (2) SURFACE MOUNTED OR RECESSED FLUORESCENT LUMINAIRES
- (3) SURFACE MOUNTED FLUORESCENT OR LED LUMINAIRES IDENTIFIED AS SUITABLE FOR INSTALLATION WITH THE CLOSET STORAGE SPACE

ELECTRIC HEATING CABLES INSTALLED IN FLOORS IN BATHROOMS, KITCHENS, AND IN HYDROMASSAGE BATH TUB LOCATIONS ARE REQUIRED TO BE GFCI PROTECTED

RECEPTACLES (TEMPORARY INSTALLATIONS) - IN-USE COVERS FOR RECEPTACLES INSTALLED IN WET LOCATIONS ON AN ENCLOSURE SUPPORTED FROM GRADE WILL REQUIRE HOOD COVERS OF THE "EXTRA-DUTY" TYPE

MARKINGS: ELECTRIC SIGNS AND OUTLINE LIGHTING : SIGNS AND OUTLINE LIGHTING SYSTEMS REQUIRED TO BE MARKED WITH SUCH THINGS AS MANUFACTURERS NAME, TRADEMARK, INPUT VOLTAGE AND CURRENT RATING, MAXIMUM ALLOWABLE LAMP WATTAGE PER LAMPHOLDER, AND OTHER MEANS OF IDENTIFICATION

NOTE:
ELECTRICAL SYSTEM SHALL COMPLY WITH THE 2011 NEC

ELECTRICAL NOTES:

WALL RECEPTACLES TO BE PLACED PER 2012 I.R.C.

ALL WIRE PASSING THROUGH A FIRE WALL REQUIRES A METAL SLEEVE

ALL RECEPTACLES PLACED BACK TO BACK ON A FIRE WALL SHALL BE 24" APART MIN. PER 2012 I.R.C.

PROVIDE A SEPARATE 20 AMP SERVICE TO FAU

PROVIDE A 200 AMP MAIN PANEL W/DISCONNECT

PLACE WALL RECEPTACLES @ 12" A.F.F. UNLESS OTHERWISE NOTED

KITCHEN:
PROVIDE A MIN. OF (2) 20 AMP CIRCUITS FOR THE KITCHEN AREA. WALL RECEPTACLES @ KITCHEN COUNTERS SHALL CONFORM TO 2012 I.R.C.
ANY COUNTER WALL 1 FT. OR WIDER SHALL HAVE A RECEPTACLE SPACES SEPARATED BY RANGE TOPS. REFRIGERATORS OR SINKS SHALL BE CONSIDERED AS SEPARATE COUNTER TOP SPACES. ALL RECEPTACLES INSTALLED ON COUNTER TOPS SHALL BE PROTECTED BY GROUND FAULT INTERRUPTERS PER 2012 I.R.C.

BATHROOMS:
ONE WALL RECEPTACLE OUTLET (MIN) SHALL BE INSTALLED ADJACENT TO THE BASIN. ALL OUTLETS TO BE PROTECTED BY GROUND FAULT INTERRUPTERS PER 2012 I.R.C. HANGING FIXTURES ARE NOT PERMITTED OVER A BATHTUB UNLESS 8'-0" CLEARANCE IS PROVIDED MEASURED FROM THE TUB RIM PER 2012 I.R.C.

OUTDOOR AND GARAGE OUTLETS:
OUTLETS SHALL CONFORM TO 2012 I.R.C.
(1) OUTLET MIN. SHALL BE LOCATED OUTDOORS
(1) OUTLET MIN. SHALL BE LOCATED IN AN ATTACHED GARAGE
(1) OUTLET MIN. SHALL BE LOCATED IN A BASEMENT ALL OUTLETS LOCATED OUTDOORS OR IN A GARAGE SHALL BE PROTECTED BY GROUND FAULT INTERRUPTERS. EXCEPTION: GARAGE DOOR OPENER AND OUTLETS IN A DEDICATED SPACE (IE FURNACE) PER 2012 I.R.C.
(1) OUTLET MIN. IN BASEMENT SHALL HAVE GROUND FAULT PROTECTION AND SHALL BE IDENTIFIED.

LIGHTING:
(1) WALL SWITCH-CONTROLLED LIGHTING OUTLET MIN. SHALL BE INSTALLED IN EVERY HABITABLE ROOM, BATHROOM, HALLWAY, STAIRWAY, ATTACHED GARAGE AND OUTDOOR ENTRANCES. EXCEPTION: IN HABITABLE ROOMS OTHER THAN KITCHEN AND BASEMENT, ONE OR MORE RECEPTACLES CONTROLLED BY A WALL SWITCH SHALL BE PERMITTED IN LIEU OF A LIGHTING OUTLET

ALL RECESSED CAN LIGHTS SHALL BE IC TYPE

LAUNDRY CIRCUIT:
PROVIDE (1) 20 AMP CIRCUIT FOR THE WASHER OUTLET THE CIRCUIT SHALL HAVE NO OTHER OUTLETS

HEATING CIRCUIT:
PROVIDE (1) 20 AMP MIN. CIRCUIT FOR THE HEATING APPLIANCE. THE CIRCUIT SHALL HAVE NO OTHER OUTLETS. CONSULT HEATING EQUIPMENT NAME PLATE RATING AND WIRE ACCORDINGLY

SMOKE DETECTORS:
SMOKE DETECTORS ARE REQUIRED IN BEDROOMS, HALLS, AREAS LEADING TO BEDROOMS, AND VAULTED CEILING 24" TALLER THAN HALLWAYS LEADING TO BEDROOMS, AND AT EACH STORY OR LEVEL CHANGE CLOSE TO THE STAIR PER 2012 I.R.C.
DETECTORS SHALL BE PERMANENTLY WIRED WITH BATTERY BACKUP AND AUDIBLE LOW BATTERY SIGNAL PER 2006 I.R.C. DETECTORS TO BE INSTALLED WITHIN 12" OF CEILING. A SMOKE DETECTOR IS REQUIRED IN ALL BASEMENTS. ALL SMOKE DETECTORS, WHEN ACTIVATED, SHALL SOUND AN AUDIBLE ALARM WITHIN THE SLEEPING AREA

ELECTRICAL CONNECTIONS:
ALL ALUMINUM CONDUCTORS SIZE 1/0 AND LARGER SHALL BE TERMINATED WITH A COMPRESSION TYPE CONNECTOR. AN OXIDATION INHIBITOR SHALL BE USED ON "ALL" ALUMINUM CONNECTIONS

UFER GROUND:
SHALL CONFORM TO 2012 I.R.C. 20 FT. #4 SOLID BARE COPPER WIRE IN FOOTING. WRAPPING AROUND REBAR IS PERMITTED

CLOSETS:
CLEARANCES OF LIGHTS SHALL CONFORM TO 2012 I.R.C.

MECHANICAL VENTILATION:
IN LIEU OF REQUIRED EXTERIOR OPENINGS FOR NATURAL VENTILATION, A MECHANICAL VENTILATION SYSTEM CAPABLE OF (5) AIR CHANGES PER HOUR SHALL BE PROVIDED IN BATHROOMS CONTAINING A BATHTUB, SHOWER, OR A COMBINATION THEREOF PER 2012 I.R.C.

FOR BATHROOMS ONLY CONTAINING A WATER CLOSET, A LAVATORY, OR A COMBINATION THEREOF AND SIMILAR ROOMS, SHALL BE VENTILATED WITH AN APPROVED MECHANICAL RECIRCULATING FAN OR SIMILAR DEVICE PER 2012 I.R.C.

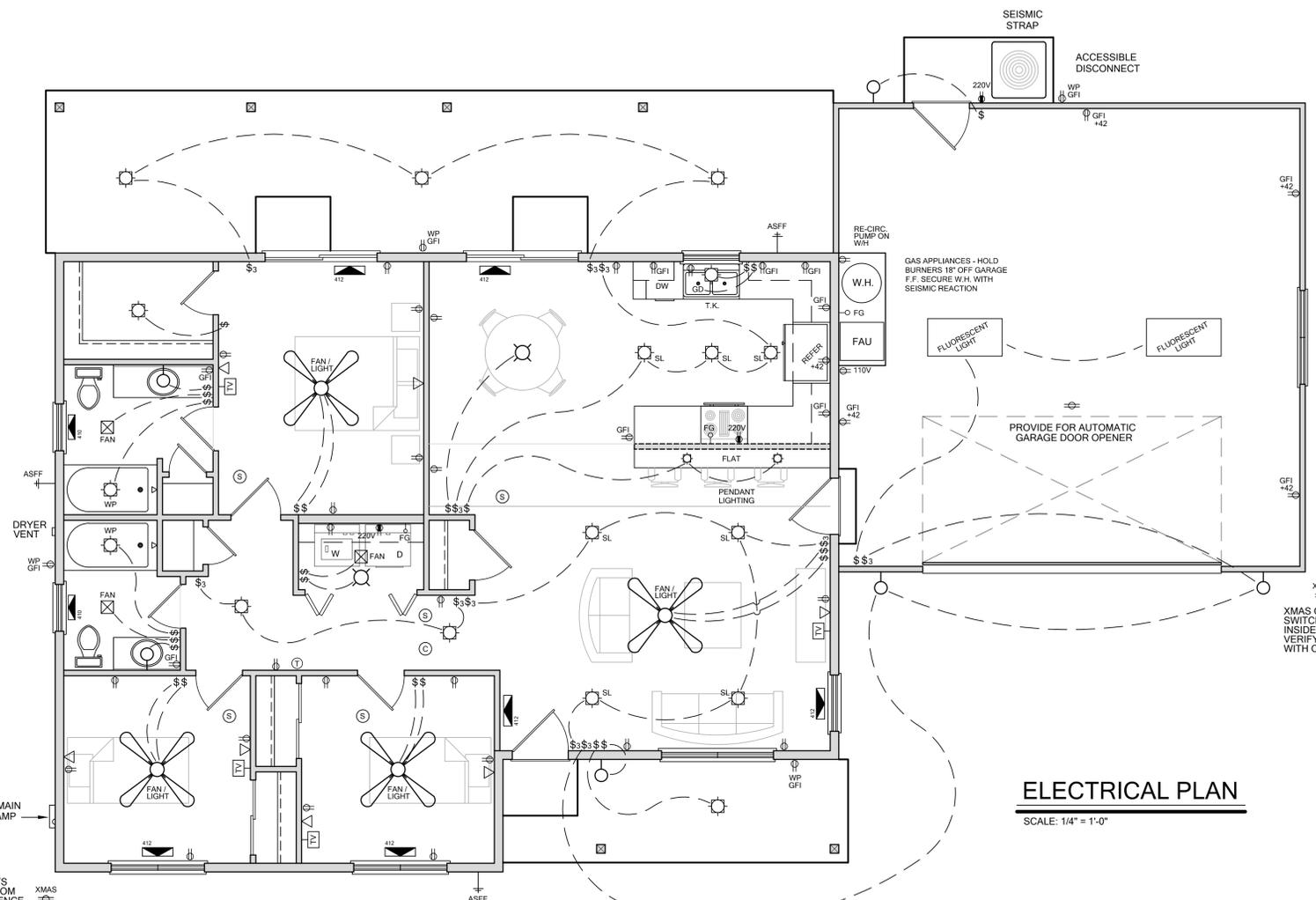
CEILING SUSPENDED PADDLE FANS AND FAN/LIGHT INSTALLATION SHALL CONFORM TO 2012 I.R.C.

GROUNDING OF RANGES, WALL MOUNTED OVENS, COUNTER MOUNTED COOKING UNITS, CLOTHES DRYERS AND OTHER SIMILAR EQUIPMENT IN NEW CONSTRUCTION SHALL CONFORM TO 2012 I.R.C.

FIXTURES INSTALLED IN WET OR DAMP LOCATIONS SHALL BE INSTALLED SO THAT WATER CANNOT ENTER OR ACCUMULATE IN WIRING COMPARTMENTS, LAMP HOLDERS, OR OTHER ELECTRICAL PARTS. ALL FIXTURES SHALL BE MARKED SUITABLE FOR WET/DAMP LOCATIONS.

SMOKE DETECTORS TO BE A.C. WIRED WITH A BATTERY BACKUP

A MINIMUM OF 50% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH EFFICIACY LAMPS PER SECTION 404.1, 2011 IECC.



ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

ELECTRICAL SYMBOLS:

	110V DUPLEX FLOOR OUTLET		L.V. SPOT
	110V DUPLEX OUTLET W/ ARC FAULT INTERRUPTER		TRACK LIGHTING
	110V DUPLEX OUTLET, GROUND FAULT INTERRUPTER		EYEBALL FIXTURE
	110V WEATHERPROOF DUPLEX OUTLET		CEILING MOUNTED FAN
	110V SPLIT WIRED (HALF HOT) DUPLEX OUTLET		GRAPHIC EYE
	220V OUTLET @ 18" A.F.F.		CEILING MOUNTED FLUORESCENT FIXTURE
	SINGLE POLE SWITCH @ 48" A.F.F.		EXHAUST FAN
	THREE-WAY SWITCH		CENTRAL VACUUM OUTLET
	DIMMER (RHEOSTAT) SWITCH		SMOKE DETECTOR - ICBO LEGACY OR ICC & UL APPROVED HARDWIRED ON SEPARATE CIRCUIT W/BATTERY BACKUP
	CEILING MOUNTED INCANDESCENT FIXTURE		CARBON DIOXIDE DETECTOR - PER 2012 I.R.C. SECTION R315
	6" CEILING MOUNTED RECESSED INCANDESCENT FIXTURE		TELEPHONE JACK
	SLOPED CAN LIGHTS		TELEVISION CABLE JACK
	3" CEILING MOUNTED RECESSED INCANDESCENT FIXTURE		THERMOSTAT CONTROLS
	WALL MOUNTED INCANDESCENT FIXTURE		
	WALL SCONCE INCANDESCENT FIXTURE		

UTILITY SYMBOLS:

	CEILING MOUNTED RETURN AIR REGISTER
	4"x12" FLOOR REGISTER
	2-1/2"x14" FLOOR REGISTER
	4"x14" CEILING REGISTER
	2-1/2"x14" CEILING REGISTER
	ANTI-SIPHON FROST FREE HOSE BIB
	STUB OUT FOR WATER SUPPLY
	FUEL GAS VALVE WITH SHUT-OFF
	DUCTING SHALL CONFORM TO 2012 I.R.C.
	CLOTHES DRYERS MOISTURE EXHAUST DUCTS SHALL TERMINATE ON THE OUTSIDE AND NOT EXCEED A TOTAL COMBINED HORZ. AND VERT. LENGTH OF 14 FT. INCLUDING TWO 90 ELBOWS PER 2012 I.R.C.
	MECHANICAL VENTILATION EQUIPMENT SHALL COMPLY WITH M1506 AND RIGID, SMOOTH INTERIOR DUCT IS REQUIRED
	A THIRD PARTY SHALL PROVIDE A BLOWER DOOR AND DUCT TEST.

REVISIONS

CLARK BUILDERS, INC

P. O. BOX 909
GARDNERVILLE, NV 89410
PH. (775) 691-6606
NV. LIC. #55890A
CA. LIC. #438312

25 Years

ELECTRICAL PLAN

PROJECT FOR:
SPANGLER RESIDENCE
53 BELLEVUE ROAD
CARSON CITY, NV 89704
A.P.N. 055-169-01

CONTRACTOR PROJECT DESIGNER
THESE PLANS ARE PROVIDED & SUBMITTED BY THE CONTRACTOR
CONTRACTOR'S LICENSE CATEGORY AUTHORIZED UNDER NRS 624
I AM RESPONSIBLE FOR THE DESIGN, PREPARATION, AND
INFORMATION CONTAINED ON THESE PLANS.

DATE: 1/22/16

JOB NO.:

DWG: ELEC.DWG

SCALE: 1/4" = 1'-0"

SHEET: 9 OF 9 SHEETS

QUALIFIED INDIVIDUAL'S SIGNATURE

DATE