

GRADING SPECIAL USE PERMIT

FOR

Warso Residence

Prepared For:

Mark Warso
4375 S. Valley View Blvd, Suite C
Las Vegas, NV 89103

Prepared By:



575 E. Plumb Lane, Suite 101
Reno, NV 89502
775.636.7905

July 2026

25.061

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Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: Warso Residence			
Project Description: The development of a new single family residence.			
Project Address: 1346 Scorpion Road			
Project Area (acres or square feet): 41.0 acres			
Project Location (with point of reference to major cross streets AND area locator): The project parcel is located +/-3,400 northeast of the intersection of Geiger Grade Road and Loftis Road			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
016-751-15	41.0		
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: Mark Warso		Name: Monte Vista Consulting, Ltd	
Address:		Address:	
Zip:		Zip:	
Phone:	Fax:	Phone:	Fax:
Email:		Email:	
Cell:	Other:	Cell:	Other:
Contact Person:		Contact Person: Michael Vicks	
Applicant/Developer:		Other Persons to be Contacted:	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone:	Fax:	Phone:	Fax:
Email:		Email:	
Cell:	Other:	Cell:	Other:
Contact Person:		Contact Person:	
For Office Use Only			
Date Received:		Initial:	
County Commission District:		Planning Area:	
CAB(s):		Master Plan Designation(s):	
		Regulatory Zoning(s):	

Project Information

Location: 1346 Scorpion Road

APN: 016-751-15

Site Area: 41.0 ac

Zoning: GR

Master Plan Designation: Rural

Proposed Use: Single Family Residential

Grading Special Use Permit trigger: The proposed driveway traverses existing slopes greater than 30% as well as cut and fill depths exceeding thresholds established per Washoe County Code 110.438.28.

Pre-Development Discussion

Existing Conditions & Development:

The site is currently undeveloped consisting of native trees, grasses and brush. Access to the site is from Scorpion Road, an unpaved road, to the northeast of the property. The majority of the project site consists of native slopes of 3:1 or greater. The northern portion of the site has terrain more suitable for residential development.

Surrounding Properties:

o North: 0 Western Skies Drive	Zoning: GR	Use: Undeveloped
o South: 0 Geiger Grade Road	Zoning: GR	Use: Undeveloped
o East: 0 Geiger Grade Road	Zoning: GR	Use: Undeveloped
o West: 1280 Scorpion Road	Zoning: GR	Use: Undeveloped

Previous Entitlements: N/A

Proposed Development Discussion

Proposed Improvements:

The proposed development includes a new single-family residence with the associated paved driveway, retaining walls, utility connections and drainage improvements. The proposed driveway extends through two adjacent properties to the northeast (0 Geiger Grad Road, APN: 016-751-14 and 0 Western Skies Drive, APN: 016-740-19). The driveway across the adjacent properties results in an 8' maximum retaining wall on the uphill side of the driveway. The proposed retaining wall allows for reasonable driveway slopes while containing all proposed grading within the access easement. Onsite, the remainder of the driveway slopes to existing grade, 3:1 on the downhill side and 2:1 on the uphill side. Slopes exceeding 3:1 are stabilized with rip rap not exceeding 10' in height.

The Grading Special Use Permit is triggered because portions of the proposed driveway traverses through existing slopes that exceed 30%. The disturbed areas are intended to be revegetated permanently stabilized. Areas where proposed slopes exceed 2:1 will be stabilized with rip rap.

**Special Use Permit Application
for Grading
Supplemental Information**
(All required information may be separately attached)

1. What is the purpose of the grading?

The development of a new single-family residence and associated paved driveway and drainage improvements.

2. How many cubic yards of material are you proposing to excavate on site?

4,894 cubic yards.

3. How many square feet of surface of the property are you disturbing?

115,737 square feet.

4. How many cubic yards of material are you exporting or importing? If none, how are you managing to balance the work on-site?

The proposed cut and fill quantities are balanced. Given the large size of the site, any surplus or deficit of material can be blended on-site or locally sourced.

5. Is it possible to develop your property without surpassing the grading thresholds requiring a Special Use Permit? (Explain fully your answer.)

It is not possible to develop the property without surpassing the grading thresholds because the proposed driveway is traversing existing slopes exceeding 30%.

6. Has any portion of the grading shown on the plan been done previously? (If yes, explain the circumstances, the year the work was done, and who completed the work.)

N/A

7. Have you shown all areas on your site plan that are proposed to be disturbed by grading? (If no, explain your answer.)

Yes, all areas shown on the site plan are proposed to be disturbed by grading.

8. Can the disturbed area be seen from off-site? If yes, from which directions and which properties or roadways?

Yes, the proposed improvements can be seen from Scorpion Road to the north. Adjacent parcels APN:016-751-14 & -16 and 016-740-19 & -20 can see the disturbed area as well.

9. Could neighboring properties also be served by the proposed access/grading requested (i.e. if you are creating a driveway, would it be used for access to additional neighboring properties)?

Neighboring properties could potentially be served by the proposed driveway as it traverses through adjacent parcels APN:016-751-14 & 016-740-19 granted by an access easement.

10. What is the slope (horizontal/vertical) of the cut and fill areas proposed to be? What methods will be used to prevent erosion until the revegetation is established?

The general slopes of the proposed improvements range from 3:1 to 2:1 surrounding the site. All disturbed areas will be either landscaped or revegetated. Fiber rolls for slope stabilization and silt fence for sediment control will be used to prevent erosion. For slopes that are 2:1, rip rap will be utilized for permanent stabilization and erosion control.

11. Are you planning any berms?

Yes	No x	If yes, how tall is the berm at its highest?
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12. If your property slopes and you are leveling a pad for a building, are retaining walls going to be required? If so, how high will the walls be and what is their construction (i.e. rockery, concrete, timber, manufactured block)?

8' maximum retaining walls.

13. What are you proposing for visual mitigation of the work?

The proposed work will be fully landscaped/revegetated for visual mitigation.

14. Will the grading proposed require removal of any trees? If so, what species, how many and of what size?

No.

15. What type of revegetation seed mix are you planning to use and how many pounds per acre do you intend to broadcast? Will you use mulch and, if so, what type?

To be determined by the contractor at the time of construction.

16. How are you providing temporary irrigation to the disturbed area?

A temporary irrigation system will be connected to the onsite well and the contractor will make accommodations in advance.

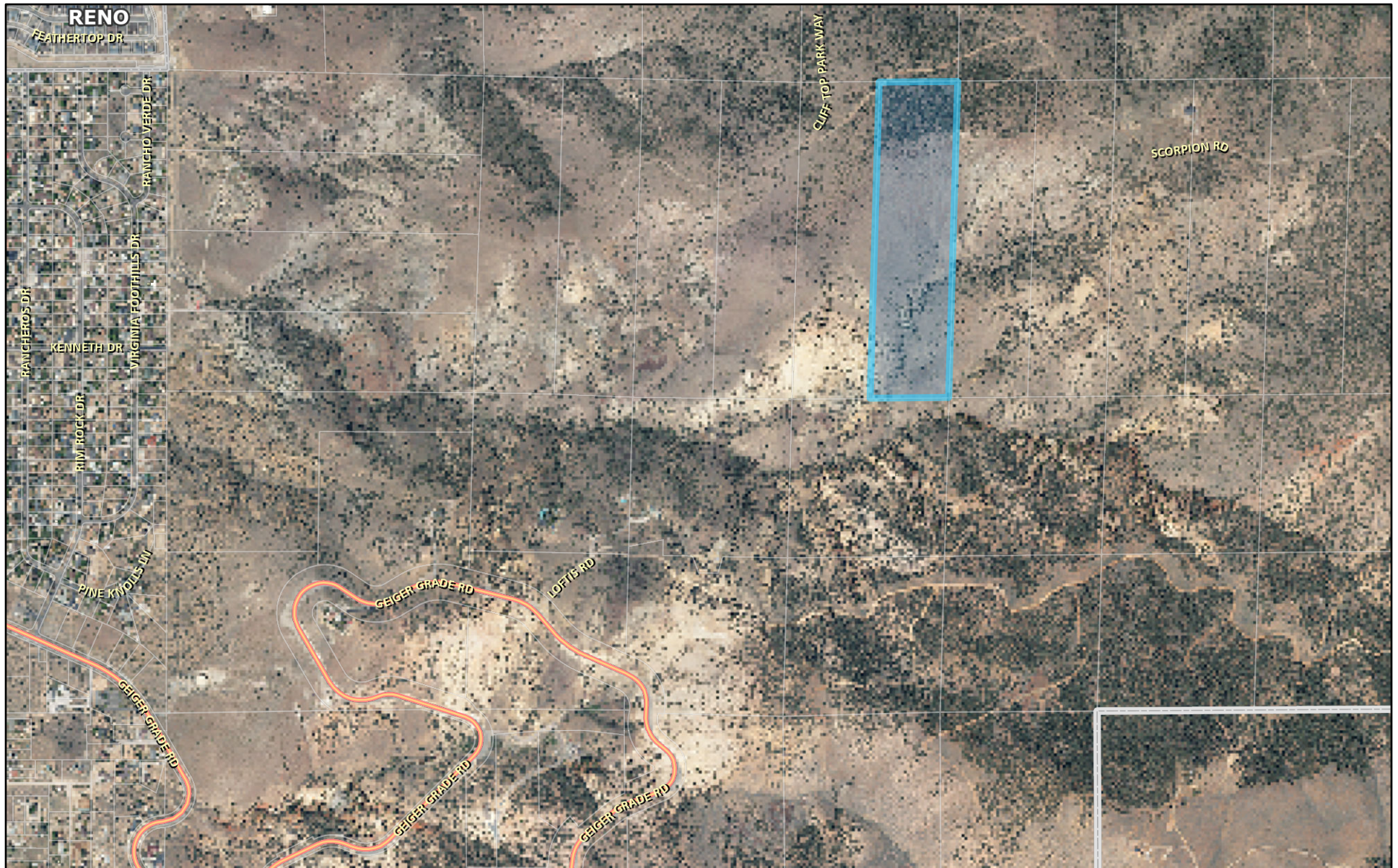
17. Have you reviewed the revegetation plan with the Washoe Storey Conservation District? If yes, have you incorporated their suggestions?

No.

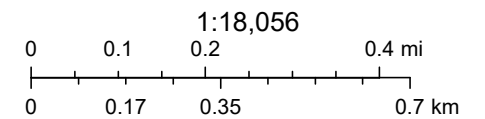
18. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit the requested grading?

Yes	No X	If yes, please attach a copy.
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Vicinity Map



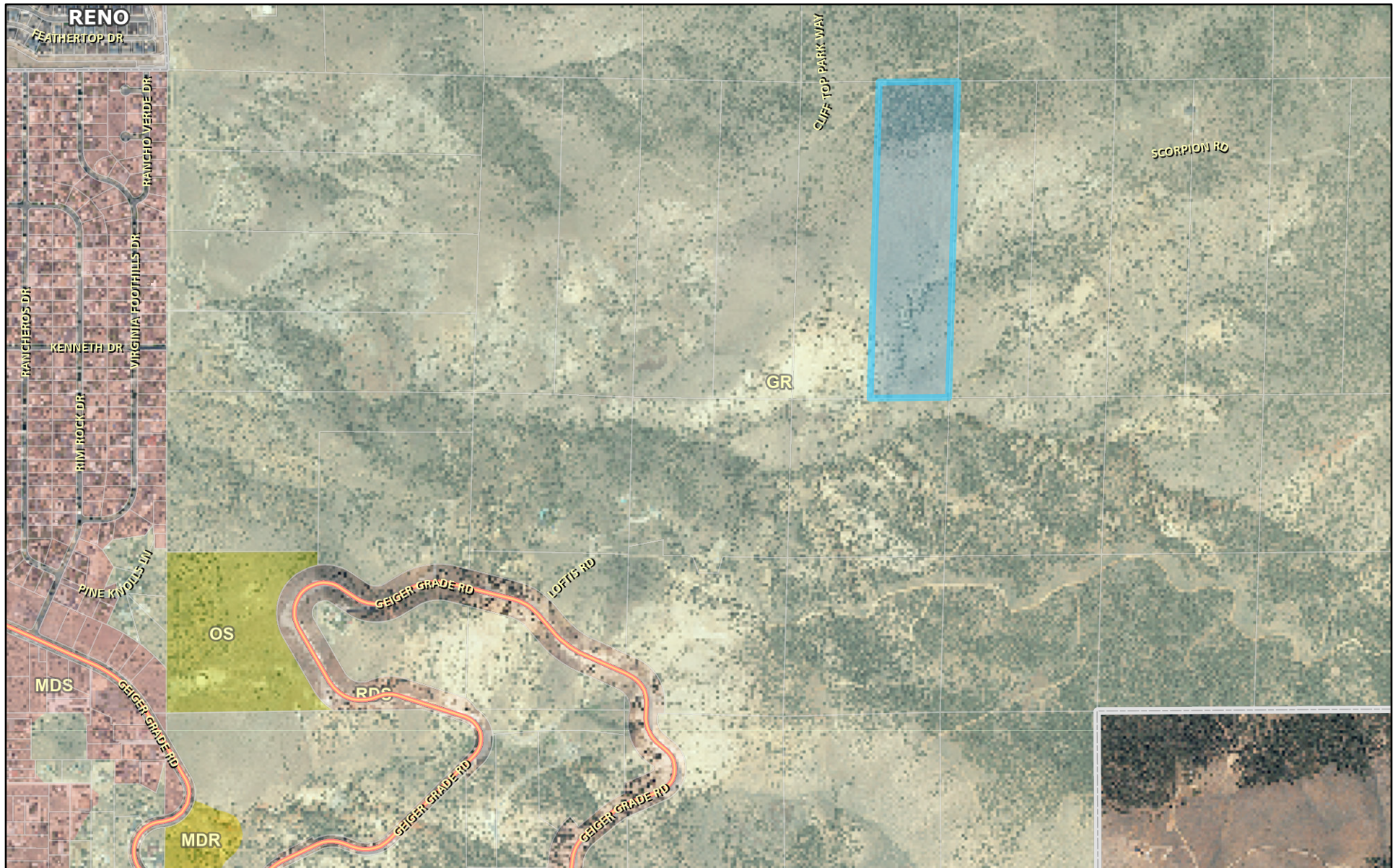
June 29, 2026



Washoe County GIS, Source: Esri, Vantor, Earthstar Geographics, and the GIS User Community

This information for illustrative purposes only. Not be used for boundary

Zoning Map



June 29, 2026

Regulatory Zoning - Washoe

General Rural



Medium Density Rural

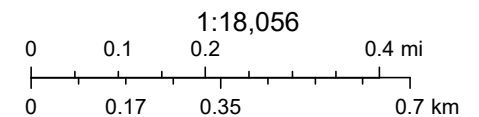


Open Space



Medium Density Suburban

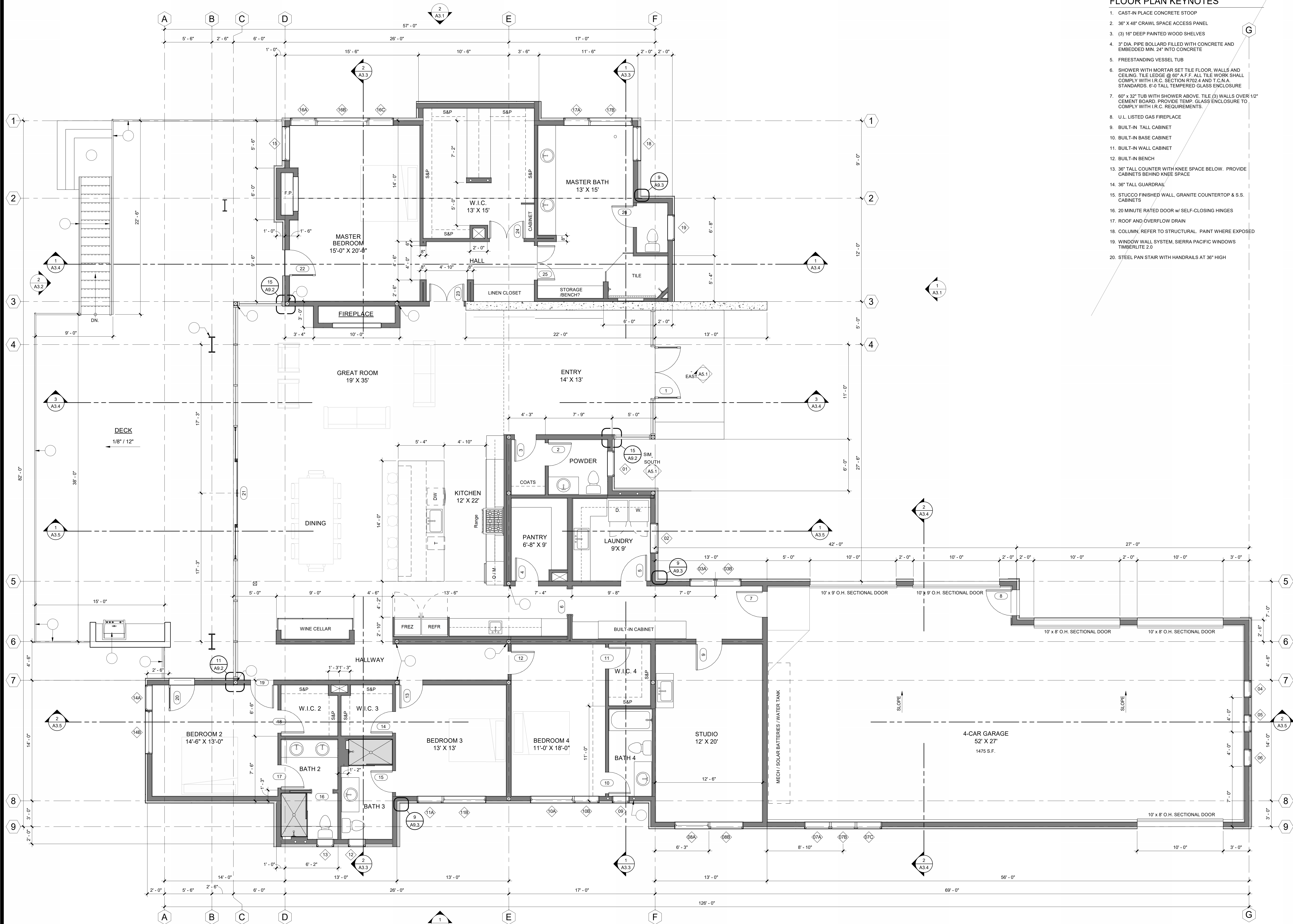
Roads



Washoe County, Washoe County GIS, Source: Esri, Vantor, Earthstar Geographics, and the GIS User Community

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Plans



FLOOR PLAN
SCALE: 1/4" = 1'-0"

4337 S.F.

FLOOR PLAN KEYNOTES

- CAST-IN PLACE CONCRETE STOOP
- 36" X 48" CRAWL SPACE ACCESS PANEL
- (3) 16" DEEP PAINTED WOOD SHELVES
- 3" DIA. PIPE BOLLARD FILLED WITH CONCRETE AND EMBEDDED MIN. 24" INTO CONCRETE
- FREESTANDING VESSEL TUB
- SHOWER WITH MORTAR SET TILE FLOOR, WALLS AND CEILING. TILE LEDGE @ 60" A.F.F. ALL TILE WORK SHALL COMPLY WITH I.R.C. SECTION R702.4 AND T.C.N.A. STANDARDS. 6'-0" TALL TEMPERED GLASS ENCLOSURE
- 60" x 32" TUB WITH SHOWER ABOVE. TILE (3) WALLS OVER 1/2" CEMENT BOARD. PROVIDE TEMP. GLASS ENCLOSURE TO COMPLY WITH I.R.C. REQUIREMENTS.
- U.L. LISTED GAS FIREPLACE
- BUILT-IN TALL CABINET
- BUILT-IN BASE CABINET
- BUILT-IN WALL CABINET
- BUILT-IN BENCH
- 36" TALL COUNTER WITH KNEE SPACE BELOW. PROVIDE CABINETS BEHIND KNEE SPACE
- 36" TALL GUARDRAIL
- STUCCO FINISHED WALL, GRANITE COUNTERTOP & S.S. CABINETS
- 20 MINUTE RATED DOOR w/ SELF-CLOSING HINGES
- ROOF AND OVERFLOW DRAIN
- COLUMN, REFER TO STRUCTURAL. PAINT WHERE EXPOSED
- WINDOW WALL SYSTEM, SIERRA PACIFIC WINDOWS TIMBERLITE 2.0
- STEEL PAN STAIR WITH HANDRAILS AT 36" HIGH



CWX ARCHITECTS INC.
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WARSO - BEHR RESIDENCE
1346 SCORPION ROAD
WASHOE COUNTY, RENO, NV

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REVISIONS

#	DESCRIPTION	DATE

ISSUE DATE

05/22/2026

Project No. 13625

Drawn by AD / IRT

Checked by AD

TITLE
FLOOR PLAN

SHEET

A2.1



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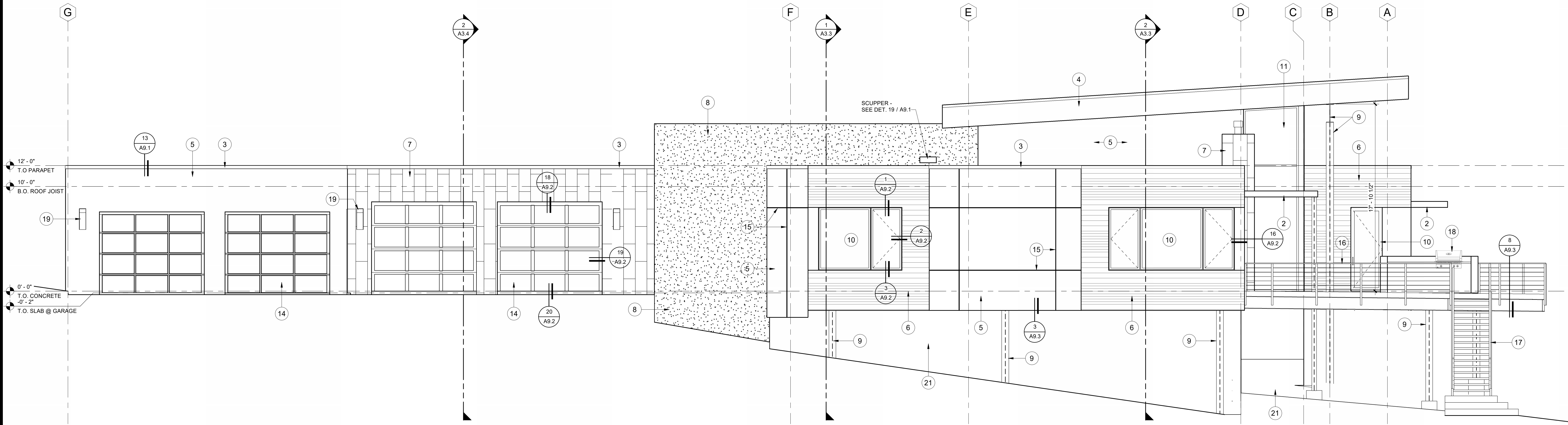
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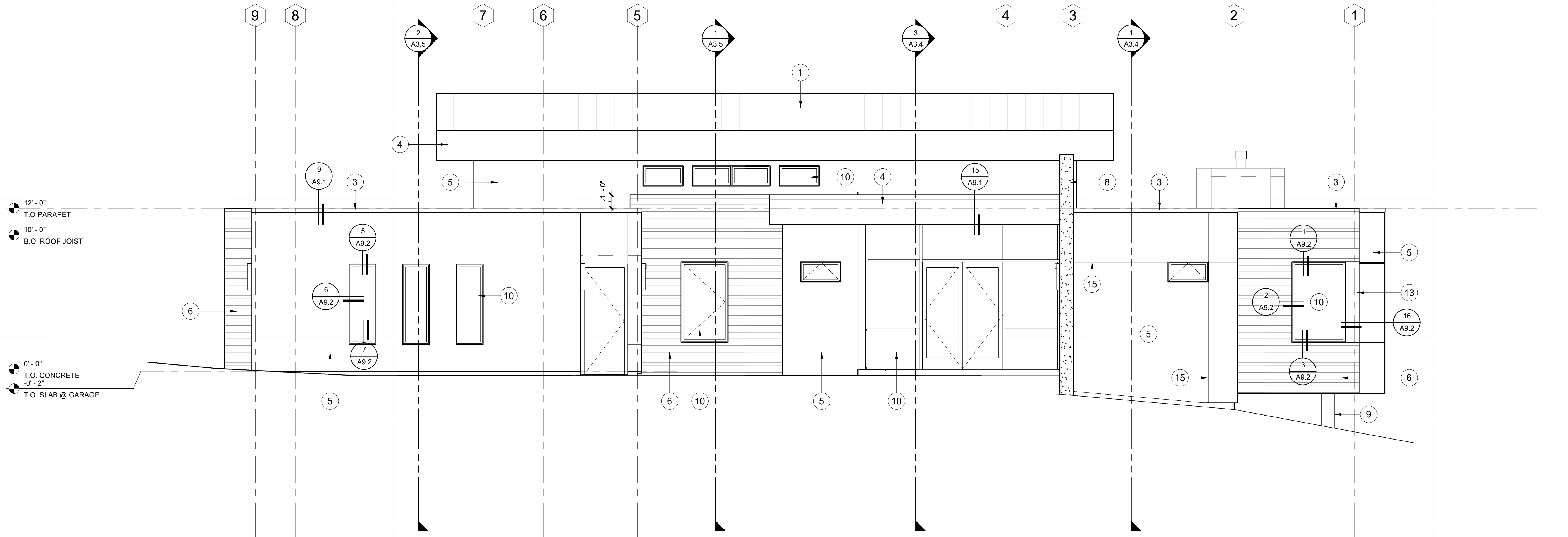
TITLE
EXTERIOR ELEVATIONS

SHEET

A3.1



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"

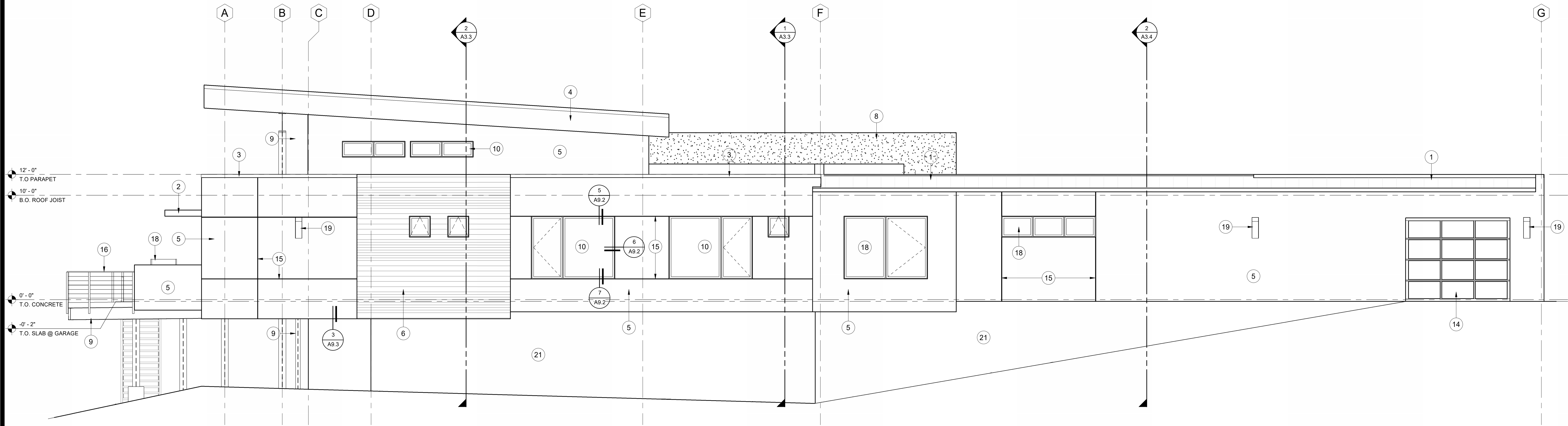
EXTERIOR ELEVATION KEYNOTES

1. STANDING SEAM METAL ROOFING
METAL SALES - MAGNA LOC 180 VERTICAL SEAM
16" COVERAGE
COLOR: T.B.D.
2. FABRICATED STEEL CANOPY / SUN SHADE
COLOR: CHARCOAL
3. 24 GA. PREFINISHED METAL COPING
COLOR: MATCH WALL COLOR
4. ALUMINUM FASCIA PANEL
COLOR: DARK BRONZE
5. STUCCO FINISH SYSTEM
OMEGA - DIAMOND WALL ONE COAT SYSTEM
TEXTURE: SAND FINISH
COLOR: T.B.D.
6. HORIZONTAL METAL PANELS
METAL SALES - T10-A, T10-C, T10-D, AND TLC-1
COLOR: COPPER
7. VERTICAL STANDING SEAM METAL PANEL
AEP SPAN - SELECT SEAM SHINGLES CLADDING
COLOR: CHARCOAL
8. ARCHITECTURAL FINISH CONCRETE WALL
COLOR: NATURAL CONCRETE
9. STEEL POST AND BEAM
FINISH: PERMALAC - CLEAR COAT
10. ALUMINUM CLAD WOOD WINDOWS AND DOORS
SIERRA PACIFIC WINDOWS - NARROW SASH
COLOR: DARK BRONZE
11. ALUMINUM WITH LVL WINDOW SYSTEM
SIERRA PACIFIC WINDOWS - TIMBERLITE 2.0
COLOR: DARK BRONZE
12. ALUMINUM CLAD WOOD MULTI-SLIDE DOORS
SIERRA PACIFIC WINDOWS
COLOR: DARK BRONZE
13. BRAKE METAL PANEL
MATCH WINDOW MATERIAL AND FINISH
COLOR: DARK BRONZE
14. OVERHEAD SECTIONAL GARAGE DOORS
CLOPAY AVANTE SLEEK SERIES
COLOR: DARK BRONZE
15. 1/4" STUCCO CHANNEL REVEALS
16. TUBE STEEL DECK RAILING SYSTEM
COLOR: DARK BRONZE
17. STEEL STAIR w/ HANDRAIL / GUARDRAIL BOTH SIDES.
18. BUILT-IN BBQ COUNTER WITH GRANITE COUNTERTOP, S.S. CABINETS, AND STUCCO FINISH WALLS
STUCCO COLOR: MATCH METAL CHARCOAL
19. DECORATIVE WALL MOUNTED LIGHT FIXTURE
20. A.C. CONDENSER ON LEVEL 4" THICK CONCRETE PAD
21. EXPOSED CONCRETE FOUNDATION WALL / COLUMN BASE

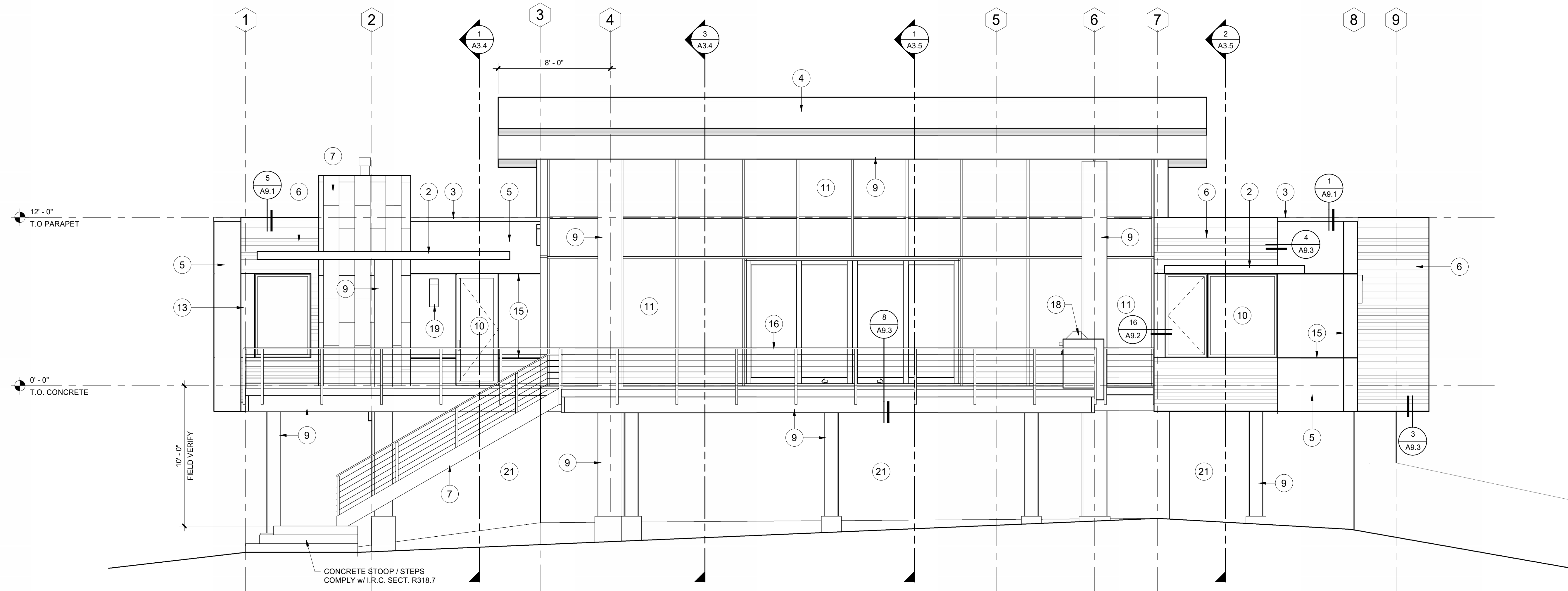


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1
A3.2
SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2
A3.2
WEST ELEVATION
SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATION KEYNOTES

1. STANDING SEAM METAL ROOFING
METAL SALES - MAGNA LOC 180 VERTICAL SEAM
16" COVERAGE
COLOR: T.B.D.
2. FABRICATED STEEL CANOPY / SUN SHADE
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COLOR: MATCH WALL COLOR
4. ALUMINUM FASCIA PANEL
COLOR: DARK BRONZE
5. STUCCO FINISH SYSTEM
OMEGA - DIAMOND WALL ONE COAT SYSTEM
TEXTURE: SAND FINISH
COLOR: T.B.D.
6. HORIZONTAL METAL PANELS
METAL SALES - T10-A, T10-C, T10-D, AND TLC-1
COLOR: COPPER
7. VERTICAL STANDING SEAM METAL PANEL
KEP SPAN - SELECT SEAM SHINGLES CLADDING
COLOR: CHARCOAL
8. ARCHITECTURAL FINISH CONCRETE WALL
COLOR: NATURAL CONCRETE
9. STEEL POST AND BEAM
FINISH: PERMALAC - CLEAR COAT
10. ALUMINUM CLAD WOOD WINDOWS AND DOORS
SIERRA PACIFIC WINDOWS - NARROW SASH
COLOR: DARK BRONZE
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STUCCO COLOR: MATCH METAL CHARCOAL
19. DECORATIVE WALL MOUNTED LIGHT FIXTURE
20. A.C. CONDENSER ON LEVEL 4" THICK CONCRETE PAD
21. EXPOSED CONCRETE FOUNDATION WALL / COLUMN BASE

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Drawn by AD / IRT

Checked by AD

TITLE
EXTERIOR
ELEVATIONS

SHEET

A3.2

SITE IMPROVEMENT PLANS FOR Warso Residence

SITE PLAN LEGEND

DRIVEWAY/PAVED AREA

DECK AREA

INFILTRATION TRENCH/DRYWELL

RAINSTORE3 DRYWELL INFILTRATION AREA

PROPERTY LINE

PROPERTY CORNER

UTILITY

PROPOSED UTILITY LINE W. DESCRIPTION

EXISTING UTILITY LINE W. DESCRIPTION

FIRE HYDRANT ASSEMBLY

CLEANOUT

WATER SERVICE

MAHOLE W. DESCRIPTION

SANITARY SEWER LATERAL

YARD DRAIN

DIRECTIONAL FLOW LINE

GRADE BREAK

PROPOSED CONTOUR LINE

EXISTING CONTOUR LINE

FLOW

FLOW DIRECTION ARROW

SPOT ELEVATION (EXISTING) ~ PROPOSED

FIBER ROLL (SC-1)

SILT FENCE (SC-5)

CONSTRUCTION ENTRANCE (SC-8)

REVEGETATION (EC-8)

RIPRAP (EC-7)

STT

SLOPE TERRACING & TRACKING (EC-2)

WEC

WIND EROSION & DUST CONTROL (EC-5)

RVG

REVEGETATION (EC-8)

SWM

SOLID WASTE MANAGEMENT (GM-3)

SWEEP

STREET SURFACE CLEANING (GM-5)

VEC

VEHICLE & EQUIPMENT CLEANING (GM-7)

VEF

VEHICLE & EQUIPMENT FUELING (GM-8)

CWM

CONCRETE WASHOUT (GM-9)

MS

MATERIAL DELIVERY & STORAGE (GM-10)

SS

SANITARY WASTE MANAGEMENT (GM-14)

TEMPORARY SEDIMENT TRAPS (SC-6)

NOI

NOTICE OF INTENT & OPERATOR SIGN

TREE/TREE TO BE REMOVED

SITE NOTES

- THESE PLANS WERE PRODUCED IN COLOR. IF THEY ARE REPRODUCED IN BLACK AND WHITE, INFORMATION WILL BE LOST. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THE PROPER PLANS ARE UTILIZED.
- MONTE VISTA CONSULTING, LTD. (MVC) IS THE DESIGN ENGINEER FOR THIS PROJECT. ALL CONTRACTORS ARE DIRECTED TO CONTACT MVC FOR ANY QUESTIONS REGARDING THE STATED OR IMPLIED MEANING OF ANY NOTE OR OTHER INFORMATION CONTAINED ON THESE IMPROVEMENT PLANS.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS INCLUDING, DIMENSIONS, GRADES, UTILITIES & POINTS OF CONNECTION. THE CONTRACTOR SHALL NOTIFY MVC OF ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OR CONTINUATION OF WORK.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VISIT THE SITE AND MAKE THEIR OWN INTERPRETATIONS WITH REGARD TO MATERIALS, MEANS, METHODS AND EQUIPMENT NECESSARY TO PERFORM THE WORK REQUIRED FOR THIS PROJECT. PRIOR TO PERFORMING ANY WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR RETAINING THE SERVICES OF A TESTING COMPANY TO PROVIDE ALL REQUIRED TESTING AND INSPECTION OF GRADING AND CONSTRUCTION NOT INSPECTED DIRECTLY BY STOREY COUNTY OR ANY UTILITY COMPANY. THE CONTRACTOR SHALL PROVIDE ANY INSPECTING ENTITY TWO (2) WORKING DAYS ADVANCE NOTICE OF ANY REQUIRED TESTING AND INSPECTION.
- THE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING AND COORDINATING ALL SERVICE REQUIREMENTS WITH THE APPROPRIATE PUBLIC AGENCY OR UTILITY PROVIDER. CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REQUIREMENTS.
- THE FIELD SURVEY PREPARED BY MEYER SURVEYING IS THE BASIS OF THIS DESIGN. IMPROVEMENTS AND/OR UTILITIES MAY EXIST THAT ARE NOT SHOWN ON THE PLANS. THE LOCATIONS OF EXISTING IMPROVEMENTS AND UTILITIES ARE APPROXIMATE ONLY AND ARE BASED ON THE BEST AVAILABLE INFORMATION AT THE TIME OF DESIGN. THE INFORMATION IS NOT TO BE RELIED UPON AS EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY ACTUAL LOCATIONS OF EXISTING IMPROVEMENTS AND UTILITIES PRIOR TO CONSTRUCTION. SHOULD THE CONTRACTOR DISCOVER ANY DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THE INFORMATION SHOWN ON THESE DRAWINGS, THEY SHALL NOTIFY MVC BEFORE PROCEEDING WITH CONSTRUCTION.
- AN ENCROACHMENT & EXCAVATION PERMIT IS REQUIRED FOR ALL WORK WITHIN THE STOREY COUNTY RIGHT-OF-WAY AND SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST CODES, STANDARD SPECIFICATIONS & DETAILS.
- THIS SITE IS SERVICED BY PRIVATE WELL WATER AND SEPTIC SEWER.
- THERE IS NO PUBLIC SEWER WITHIN 400' OF THIS PROPERTY. THE EXISTING SEPTIC IMPROVEMENTS SHOWN ARE BASED ON THE BEST AVAILABLE INFORMATION. IT IS RECOMMENDED THAT ALL EXISTING IMPROVEMENTS BE FIELD LOCATED PRIOR TO CONSTRUCTION.
- THERE IS NO PUBLIC WATER AVAILABLE.
- THERE IS NO PUBLIC WELL WITHIN 200' OF THIS PROPERTY.
- MAINTAIN 3.0' MINIMUM COVER OVER ALL WATER MAINS AND SERVICES.
- MAINTAIN 4.0' MINIMUM HORIZONTAL CLEARANCE AROUND ALL FIRE HYDRANTS.
- REF. NY ENERGY PLANS, SITE ELECTRICAL PLAN & SITE PLUMBING PLAN FOR ALL GAS AND ELECTRIC IMPROVEMENTS.
- PLACEMENT OF THE STRUCTURE WITHIN THE REQUIRED SETBACKS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- REFERENCE ARCHITECTURAL PLANS FOR ALL BUILDING DIMENSIONS AND FOR ALL DETAILS REGARDING TRANSITIONS AT EXTERIOR DOORS. SHOULD ANY DISCREPANCIES BETWEEN THIS PLAN AND THE ARCHITECTURAL PLANS OCCUR, THE CONTRACTOR SHALL NOTIFY MVC PRIOR TO PROCEEDING WITH CONSTRUCTION. REFERENCE DESIGN BY OTHERS.
- BACKFILL ESTABLISHING SEPARATION AS REQUIRED BY ARCHITECTURAL AND STRUCTURAL DESIGN BETWEEN FINISH GRADE AND SIDING (8" MIN SEPARATION TYPICAL). REFERENCE DESIGN BY OTHERS.
- PROVIDE 5% MINIMUM (1% ON CONCRETE SURFACES) TO 20% MAXIMUM SLOPE AWAY FROM PROPOSED STRUCTURE TOWARDS THE DRAINAGE SWALE OR APPROVED DRAINAGE OUTFALL 10' MIN. FROM STRUCTURE. (UNLESS OTHERWISE NOTED)
- DRAINAGE SWALE SHALL MAINTAIN A MINIMUM SLOPE OF 1% TOWARDS AN APPROVED DRAINAGE OUTFALL.
- SLOPE LAWN AREAS 2.0% MIN. TOWARD THE DRAINAGE SWALE OR OTHER APPROVED DRAINAGE OUTFALL.
- THE CONTRACTOR SHALL TRANSITION ALL POINT FLOWS TO SHEET FLOWS WITH MECHANICALLY STABILIZED NATIVE ROCK WATER SPREADING AT THE TERMINATION OF ANY SWALE. NO STABILIZATION IS REQUIRED ON PAVED SURFACES.
- ANY RETAINED HEIGHTS INDICATED ARE FROM SURFACE TO SURFACE UNLESS OTHERWISE NOTED. MVC IS NOT RESPONSIBLE FOR ANY STRUCTURAL DESIGN OF SITE RETAINING WALLS OR FEATURES. REFERENCE APPLICABLE STRUCTURAL/ARCHITECTURAL DESIGN BY OTHERS FOR DESIGN AND DETAIL.
- ALL HARDSCAPE AND LANDSCAPING SURROUNDING THE STRUCTURE SHALL BE FINISHED PER OWNERS REQUIREMENTS.
- IT IS RECOMMENDED THAT THE CONTRACTOR OBTAIN & REVIEW A SITE SPECIFIC GEOTECHNICAL INVESTIGATION/REPORT AND ADDENDUMS. IN THE EVENT OF DISCREPANCY BETWEEN THE REPORT AND THE NOTES HEREIN, THE REPORT SHALL PREVAIL.
- THE CONTRACTOR WILL PREPARE AN INDEPENDENT ESTIMATE OF EARTHWORK QUANTITIES. ANY QUANTITIES PROVIDED IN THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND DO NOT ACCOUNT FOR MATERIAL EXPANSION OR SHRINKAGE.
- ALL AREAS OF FILL SHALL BE GRADED IN ACCORDANCE WITH THE RECOMMENDATIONS OF A GEOTECHNICAL ENGINEER TO ENSURE PROPER MATERIAL IS USED AND PROPER COMPACTION IS OBTAINED.
- ALL EXCESS OR UNSUITABLE MATERIAL SHALL BE DISPOSED OF IN ACCORDANCE WITH THE LATEST GOVERNMENTAL REGULATIONS OR IN APPROVED AREAS AS SHOWN ON THE GRADING PLAN. UNSUITABLE SOIL OR MATERIALS, NOT TO BE INCLUDED IN THE WORK INCLUDE: ORGANIC MATERIALS SUCH AS PEAT, MUD, OR SOD; SOILS CONTAINING EXPANSIVE CLAYS; MATERIAL CONTAINING EXCESSIVE MOISTURE, POORLY GRADED COARSE MATERIAL, PARTICLE SIZE IN EXCESS OF 6 INCHES, MATERIAL WHICH WILL NOT ACHIEVE DENSITY AND/OR BEARING REQUIREMENTS.
- THIS SITE LIES IN FEMA FLOOD ZONE X (UNSHADED) (33010326AG). ZONE X (UNSHADED) IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD, WHICH ARE THE AREAS OUTSIDE THE 0.2-PERCENT-ANNUAL-CHANCE FLOODPLAIN.
- ALL PROPERTIES MAY BE SUBJECT TO FLOODING REGARDLESS OF THEIR FLOOD DESIGNATION AS MAPPED BY FEMA. THE PROPERTY OWNER SHALL MAINTAIN ALL NATURAL DRAINAGE PATTERNS, DRAINAGE EASEMENTS AND SHALL NOT PERFORM ANY UNPERMITTED MODIFICATIONS TO THE PROPERTY THAT MAY HAVE DETRIMENTAL IMPACTS TO SURROUNDING PROPERTIES.
- UNLESS SPECIFIED OTHERWISE, ALL DRAINAGE IMPROVEMENTS ARE PRIVATE AND SHALL BE MAINTAINED BY THE PROPERTY OWNER.
- ALL EROSION CONTROL MEASURES SHALL BE PLACED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ANY EROSION CONTROL MEASURES SHOWN ARE A MINIMUM AND THE CONTRACTOR MAY MODIFY, RELOCATE AND IMPROVE AS REQUIRED THROUGHOUT THE CONSTRUCTION PROCESS.
- PROVIDE INLET PROTECTION AT ALL EXISTING CATCH BASINS SURROUNDING THE SITE.
- SHOULD ANY CAIRN OR GRAVE OF A NATIVE AMERICAN BE DISCOVERED DURING SITE DEVELOPMENT, WORK SHALL TEMPORARILY BE HALTED AT THE SPECIFIC SITE AND THE SHERIFF'S OFFICE AS WELL AS THE STATE HISTORIC PRESERVATION OFFICE OF THE DEPARTMENT OF CONSERVATION AND NATURAL RESOURCES SHALL BE IMMEDIATELY NOTIFIED PER NRS 383.170.
- ADD 6200' TO ALL ELEVATIONS.

STANDARD BMP NOTES

- THE OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL EACH DAY REMOVE ALL SEDIMENT, MUD, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED TO, OR ACCUMULATE IN, THE PUBLIC RIGHTS OF WAYS OF STOREY COUNTY AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS SITE DEVELOPMENT OR CONSTRUCTION PROJECT. SUCH MATERIALS SHALL BE PREVENTED FROM ENTERING THE STORM SEWER SYSTEM.
- ADDITIONAL CONSTRUCTION SITE DISCHARGE BEST MANAGEMENT PRACTICES MAY BE REQUIRED OF THE OWNER AND THEIR AGENTS DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT MEET THE PERFORMANCE STANDARDS SPECIFIED IN THE STATE OF NEVADA BEST MANAGEMENT PRACTICES HANDBOOK.
- TEMPORARY OR PERMANENT STABILIZATION PRACTICES WILL BE INSTALLED ON DISTURBED AREAS AS SOON AS PRACTICABLE AND NO LATER THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. SOME EXCEPTIONS MAY APPLY; REFER TO STORMWATER GENERAL PERMIT NVR100000, SECTION 3.6 SITE STABILIZATION REQUIREMENTS, SCHEDULES, AND DEADLINES.
- AT A MINIMUM, THE CONTRACTOR OR THEIR AGENT SHALL INSPECT ALL DISTURBED AREAS, AREAS USED FOR STORAGE OF MATERIALS AND EQUIPMENT THAT ARE EXPOSED TO PRECIPITATION, VEHICLE ENTRANCE AND EXIT LOCATIONS AND ALL BMPs WEEKLY PRIOR TO A FORECASTED RAIN EVENT AND WITHIN 24 HOURS AFTER ANY ACTUAL RAIN EVENT THE CONTRACTOR OR THEIR AGENT SHALL UPDATE OR MODIFY THE STORMWATER POLLUTION PREVENTION PLAN AS NECESSARY SOME EXCEPTIONS TO WEEKLY INSPECTIONS MAY APPLY, SUCH AS FROZEN GROUND CONDITIONS OR SUSPENSION OF LAND DISTURBANCE ACTIVITIES. REFER TO STORMWATER GENERAL PERMIT NVR100000, SECTION 5.0 INSPECTIONS.
- ACCUMULATED SEDIMENT IN BMPs SHALL BE REMOVED WITHIN SEVEN DAYS AFTER A STORMWATER RUNOFF EVENT OR PRIOR TO THE NEXT ANTICIPATED STORM EVENT WHICHEVER IS EARLIER. SEDIMENT MUST BE REMOVED WHEN BMP DESIGN CAPACITY HAS BEEN REDUCED BY 50 PERCENT OR MORE.

DEFENSIBLE SPACE & VEGETATION MANAGEMENT NOTES

- REQUIRED DEFENSIBLE SPACES SHALL BE 30' FOR MODERATE HAZARD RATINGS, 50' FOR HIGH HAZARD RATINGS AND 100' FOR EXTREME HAZARD RATINGS OR AS MODIFIED BY THE FIRE MARSHALL.
- DEFENSIBLE SPACE SHALL BE MAINTAINED TO THE REQUIRED DISTANCE OR TO THE PROPERTY LINE, WHICHEVER IS LESS MEASURED ON A HORIZONTAL PLANE FROM THE PERIMETER OR PROJECTION OF THE BUILDING OR STRUCTURE.
- CULTIVATED GROUND COVER SUCH AS GRASS, IVY, SUCCULENTS OR SIMILAR PLANTS USED AS GROUND COVER ARE ALLOWED WITHIN THE DEFENSIBLE SPACE PROVIDED THEY DO NOT FORM A MEANS OF TRANSMITTING FIRE FROM THE NATIVE GROWTH TO ANY STRUCTURE.
- THE OWNER SHALL BE RESPONSIBLE FOR MAINTAINING THE DEFENSIBLE SPACE WHICH SHALL INCLUDE MODIFYING OR REMOVING NON FIRE-RESISTIVE VEGETATION AND KEEPING LEAVES, NEEDLES AND OTHER DEAD VEGETATIVE MATERIAL REGULARLY REMOVED FROM ROOFS OF BUILDINGS & STRUCTURES.
- TREE CROWNS SHALL BE PRUNED IN ORDER TO MAINTAIN 10' CLEARANCE FROM ANY STRUCTURE AND TO MAINTAIN A 6' VERTICAL CLEARANCE BETWEEN THE GROUND AND LIMBS WITHIN THE DEFENSIBLE SPACE. DEADWOOD & LITTER SHALL BE REGULARLY REMOVED FROM TREES.
- SPARK ARRESTORS SHALL BE INSTALLED ON CHIMNEYS SERVICING FIREPLACES, BARBECUES, INCINERATORS OR DECORATIVE HEATING APPLIANCES IN WHICH SOLID OR LIQUID FUEL IS USED.
- FIREWOOD AND OTHER COMBUSTIBLE MATERIALS SHALL NOT BE STORED IN UNENCLOSED SPACES BENEATH BUILDINGS OR STRUCTURES, ON DECKS OR UNDER EAVES, CANOPIES OR OTHER PROJECTIONS/OVERHANGS. FIREWOOD OR OTHER COMBUSTIBLE MATERIALS SHALL BE STORED A MINIMUM OF 20' FROM STRUCTURES AND SEPARATED FROM THE CROWN OF TREES BY A MINIMUM HORIZONTAL DISTANCE OF 15'.
- TREE SPACING GUIDELINES: SLOPES 0%-20%: 10'; SLOPES 20%-40%: 20'; SLOPES GREATER THAN 40%: 30'
- SHRUB SPACING GUIDELINES: SLOPES 0%-20%: 2 TIMES THE HEIGHT OF THE SHRUB; SLOPES 20%-40%: 4 TIMES THE HEIGHT OF THE SHRUB; SLOPES GREATER THAN 40%: 6 TIMES THE HEIGHT OF THE SHRUB
- VERTICAL SPACE BETWEEN THE TOP OF A SHRUB AND THE BOTTOM OF LOWER TREE BRANCHES IS RECOMMENDED TO BE 3 TIMES THE HEIGHT OF THE SHRUB.

OVERALL SITE PLAN

SCALE: 1"=150'

MONTE VISTA CONSULTING
575 E. Plumb Lane #101
Reno, NV 89502
775-636-7905
montevistaconsulting.com

Warso Residence

Cover Sheet

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1346 Scorpion Road
APN: 016-751-15
Washoe County, Nevada

Project # 25.061
Drawn TKN
Checked MWV
Date 7.8.2026
Revisions

FOR REVIEW ONLY
NOT FOR CONSTRUCTION

PROFESSIONAL ENGINEER - CIVIL
MICHAEL W. VICKS
Exp. 6.30.2028
No. 21025
July 8, 2026

C1.0

1 of 4

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DRIVEWAY/PAVED AREA

DECK AREA

INFILTRATION TRENCH/DRYWELL

RAINSTORE3 DRYWELL INFILTRATION AREA

PROPERTY LINE

PROPERTY CORNER

PROPOSED UTILITY LINE W. DESCRIPTION

EXISTING UTILITY LINE W. DESCRIPTION

FIRE HYDRANT ASSEMBLY

WATER SERVICE

MAHOLE W. DESCRIPTION

CLEANOUT

SANITARY SEWER LATERAL

YARD DRAIN

DIRECTIONAL FLOW LINE

GRADE BREAK

PROPOSED CONTOUR LINE

EXISTING CONTOUR LINE

FLOW

FLOW DIRECTION ARROW

SPOT ELEVATION (EXISTING) ~ PROPOSED

FIBER ROLL (SC-1)

SILT FENCE (SC-5)

CONSTRUCTION ENTRANCE (SC-8)

REVEGETATION (EC-8)

RIPRAP (EC-7)

SLOPE TERRACING & TRACKING (EC-2)

WIND EROSION & DUST CONTROL (EC-5)

REVEGETATION (EC-8)

SOLID WASTE MANAGEMENT (GM-3)

STREET SURFACE CLEANING (GM-5)

VEHICLE & EQUIPMENT CLEANING (GM-7)

VEHICLE & EQUIPMENT FUELING (GM-8)

CONCRETE WASHOUT (GM-9)

MATERIAL DELIVERY & STORAGE (GM-10)

SANITARY WASTE MANAGEMENT (GM-14)

TEMPORARY SEDIMENT TRAPS (SC-6)

NOTICE OF INTENT & OPERATOR SIGN

TREE/TREE TO BE REMOVED

STT

WEC

RVG

SWM

SWEEP

VEC

VEF

CWM

MS

SS

NOI

IRC DRAINAGE NOTE
SURFACE DRAINAGE SHALL BE IN ACCORDANCE TO THE 2018 INTERNATIONAL RESIDENTIAL CODE. SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL NOT FALL FEWER THAN 6 INCHES WITHIN THE FIRST 10 FEET, WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 6 INCHES OF FALL WITHIN 10'. DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED NOT LESS THAN 2 PERCENT AWAY FROM THE BUILDING.

REFERENCE SHEET C1.0 FOR ADDITIONAL NOTES PERTAINING TO THE DESIGN

ADD 6200' TO ALL SPOT ELEVATIONS

EARTHWORK ANALYSIS				
SITE AREA	41.0 AC	EX. SLOPE IN DISTURBED AREA	30 %	
SITE DISTURBANCE	PROPOSED CUT	PROPOSED FILL	EARTHWORK	
TOTAL	115,737 FT²	4,570 YD³	4,570 YD³	BALANCED
MAJOR GRADING PERMIT EARTHWORK THRESHOLDS				
BUILDING	5,756 FT²	0 YD³	200 YD³	200 YD³ FILL
DRIVEWAY & WALKWAYS	22,584 FT²	1,230 YD³	740 YD³	490 YD³ CUT
REMAINDER*	87,397 FT²	3,340 YD³	3,630 YD³	290 YD³ FILL
THESE QUANTITIES ARE FOR PERMITTING PURPOSES ONLY AND DO NOT ACCOUNT FOR ANY OVER EXCAVATION, SHRINKAGE OR EXPANSION OF MATERIALS. THE CONTRACTOR SHALL REVIEW THE GEOTECHNICAL INVESTIGATION AND PERFORM AN INDEPENDENT EARTHWORK ANALYSIS FOR CONSTRUCTION PURPOSES.				
PER SECTION 110.438.28 OF THE WASHOE COUNTY DEVELOPMENT CODE, ANY GRADING ASSOCIATED WITH THE FOLLOWING DOES NOT COUNT TOWARDS THE THRESHOLDS ASSOCIATED WITH A MAJOR GRADING PERMIT: BUILDING FOOTPRINT, DRIVEWAY, PAVED AREA OR AREAS LANDSCAPED IN ACCORDANCE WITH THE COMMERCIAL LANDSCAPE STANDARDS ESTABLISHED IN ARTICLE 412 OF THE WASHOE COUNTY DEVELOPMENT CODE.				

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Preliminary Site & Grading Plan - Option 1

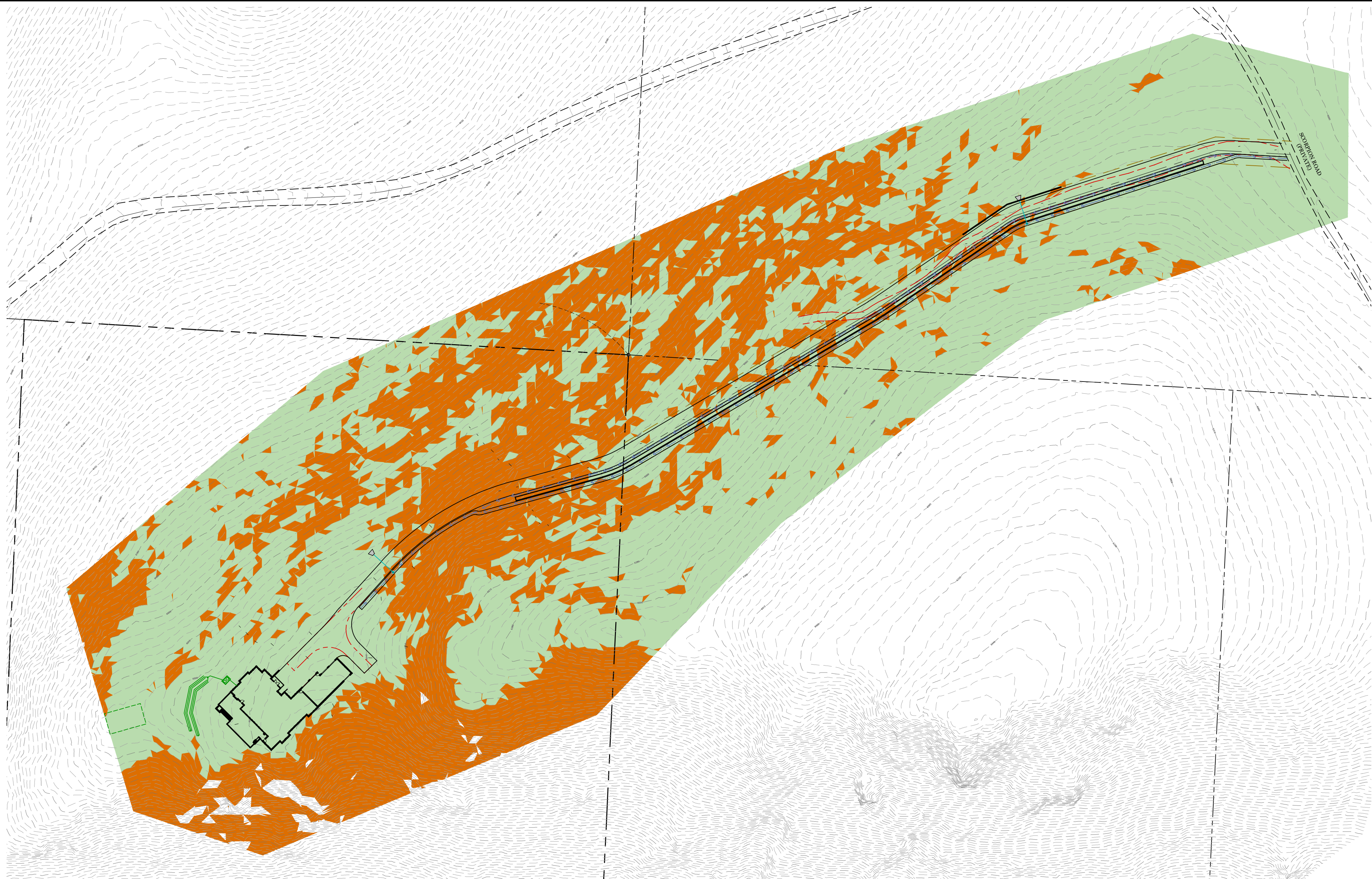
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1346 Scorpion Road
APN: 016-751-15
Washoe County, Nevada

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Drawn TKN
Checked MWV
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Revisions

C2.1
2 of 4

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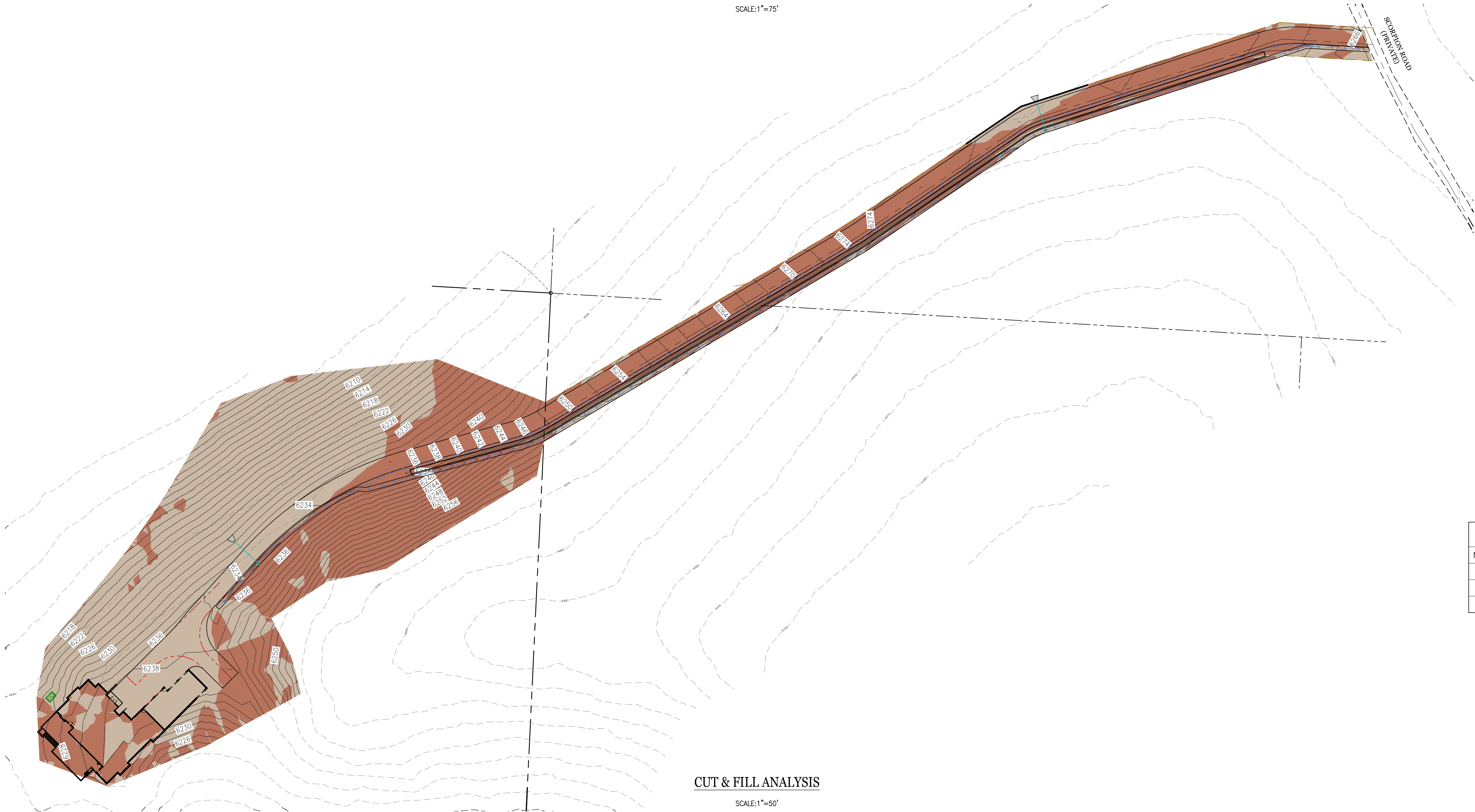


EXISTING SLOPE ANALYSIS

SCALE:1"=75'

EARTHWORK ANALYSIS				
SITE AREA	41.0 AC	EX. SLOPE IN DISTURBED AREA	30 %	
SITE DISTURBANCE		PROPOSED CUT	PROPOSED FILL	EARTHWORK
TOTAL	115,737 FT²	4,570 YD³	4,570 YD³	BALANCED
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Slopes Table				
Number	Minimum Slope	Maximum Slope	Area	Color
1	0.00%	30.00%	338240.24	Green
2	30.00%	100.00%	202595.05	Orange



CUT & FILL ANALYSIS

SCALE:1"=50'

Elevations Table				
Number	Minimum Elevation	Maximum Elevation	Area	Color
1	-11.04	0.00	58191.04	Brown
2	0.00	10.00	57087.76	Light Brown
3	10.00	12.50	457.85	Red



Warso Residence

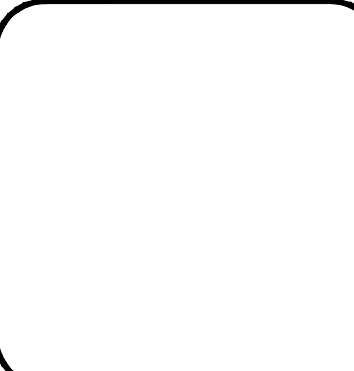
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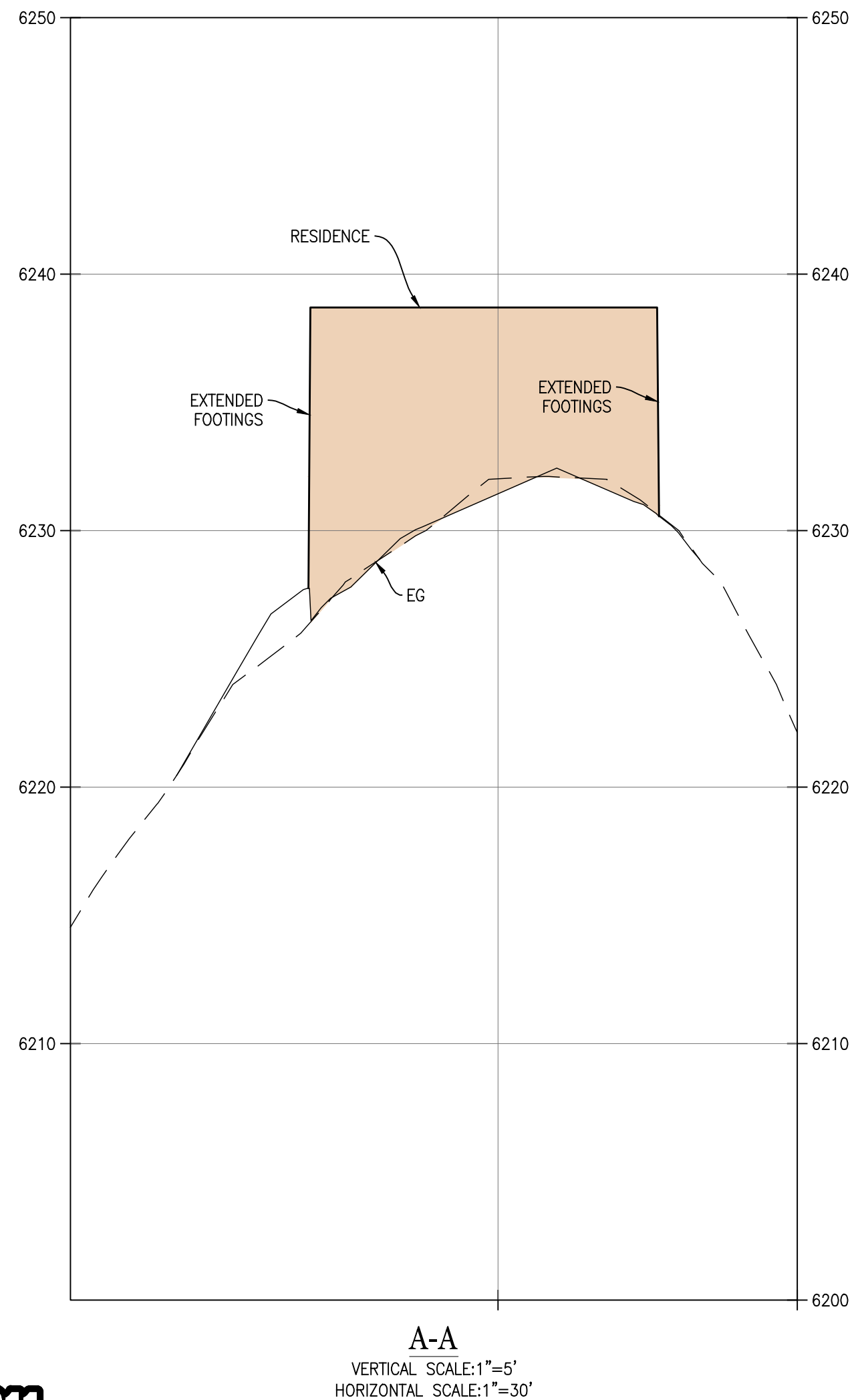
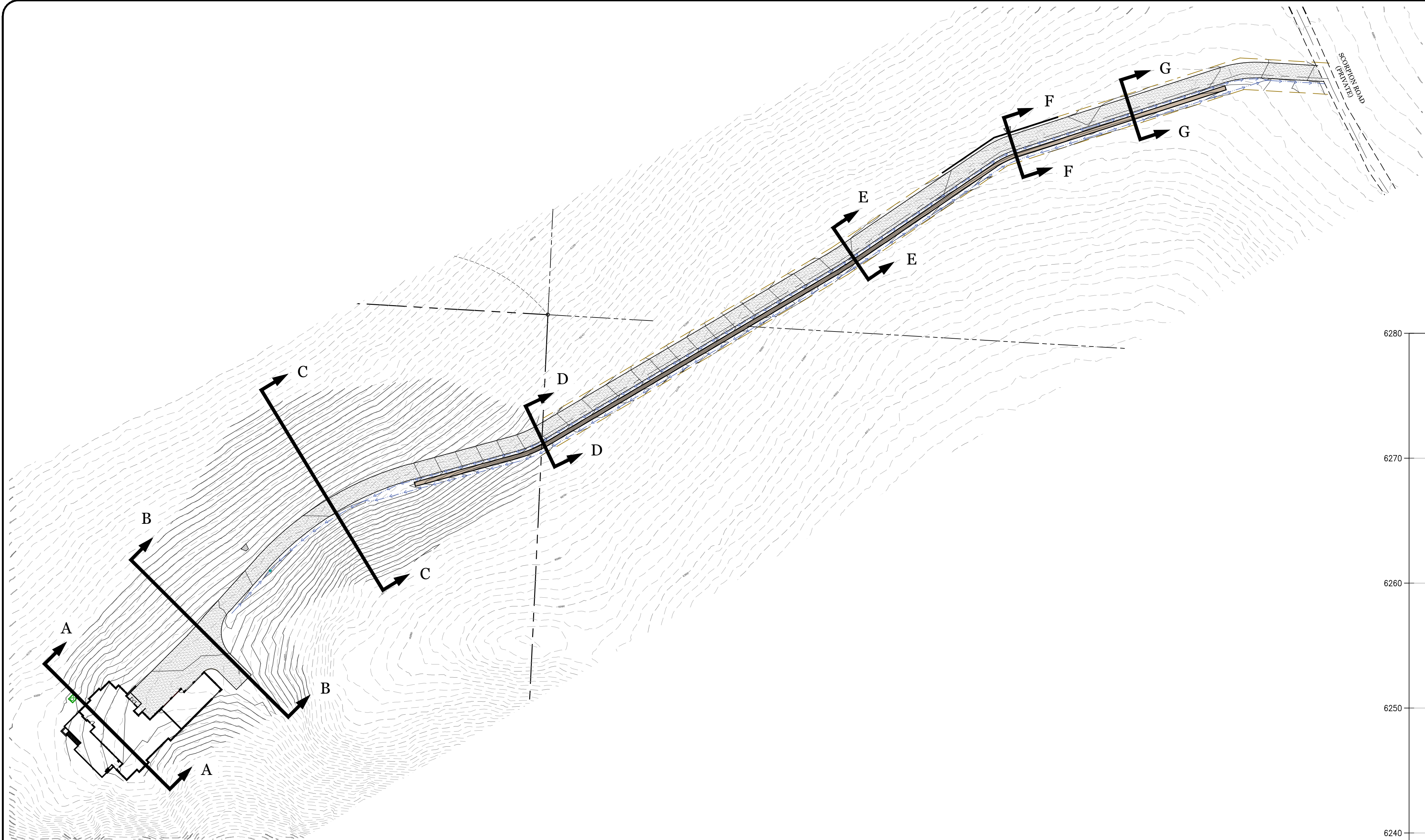
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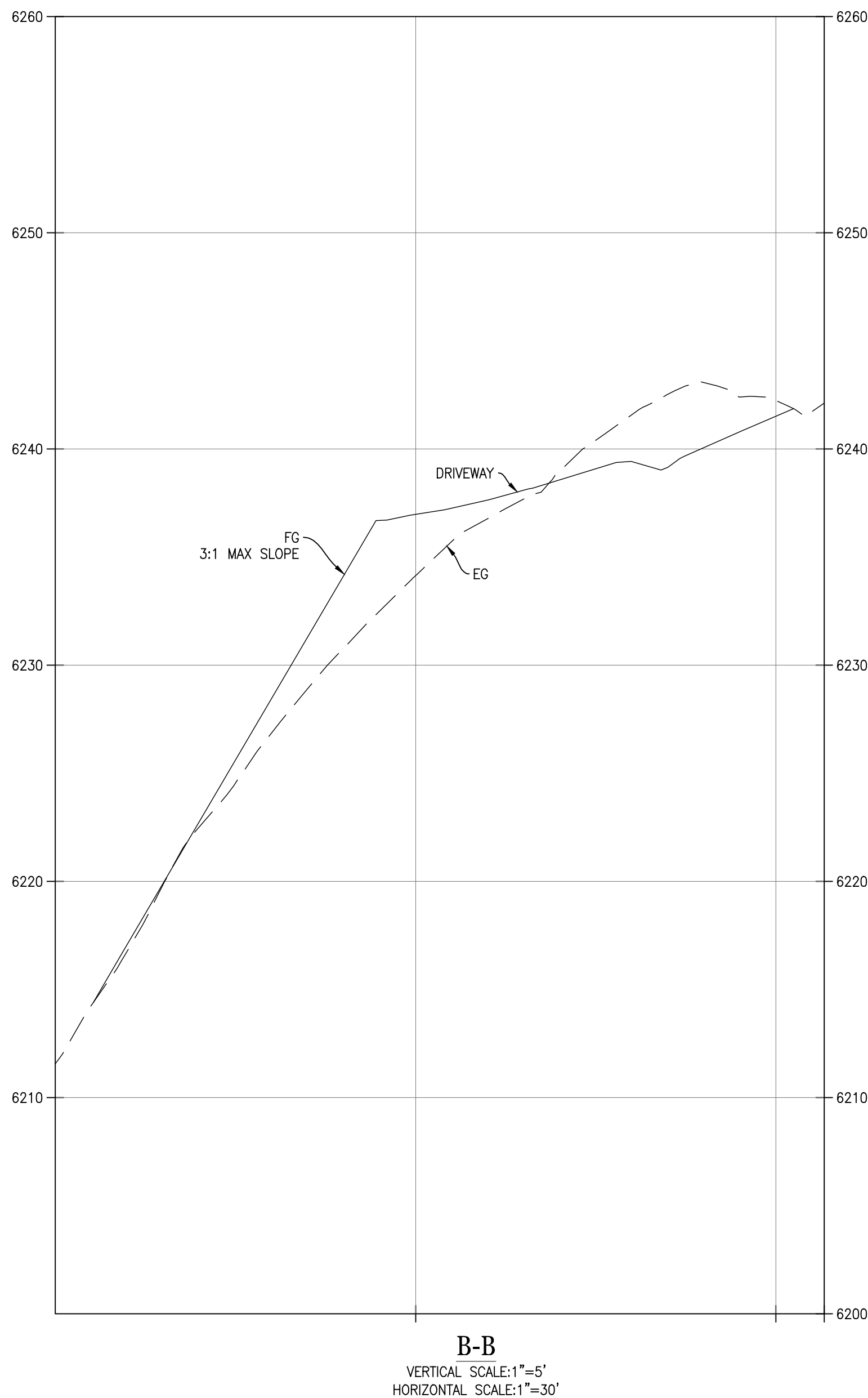
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1346 SCORPION ROAD
MICHAEL W. VICKS
Exp. 6.30.2028
CIVIL
No. 21025
July 8, 2026

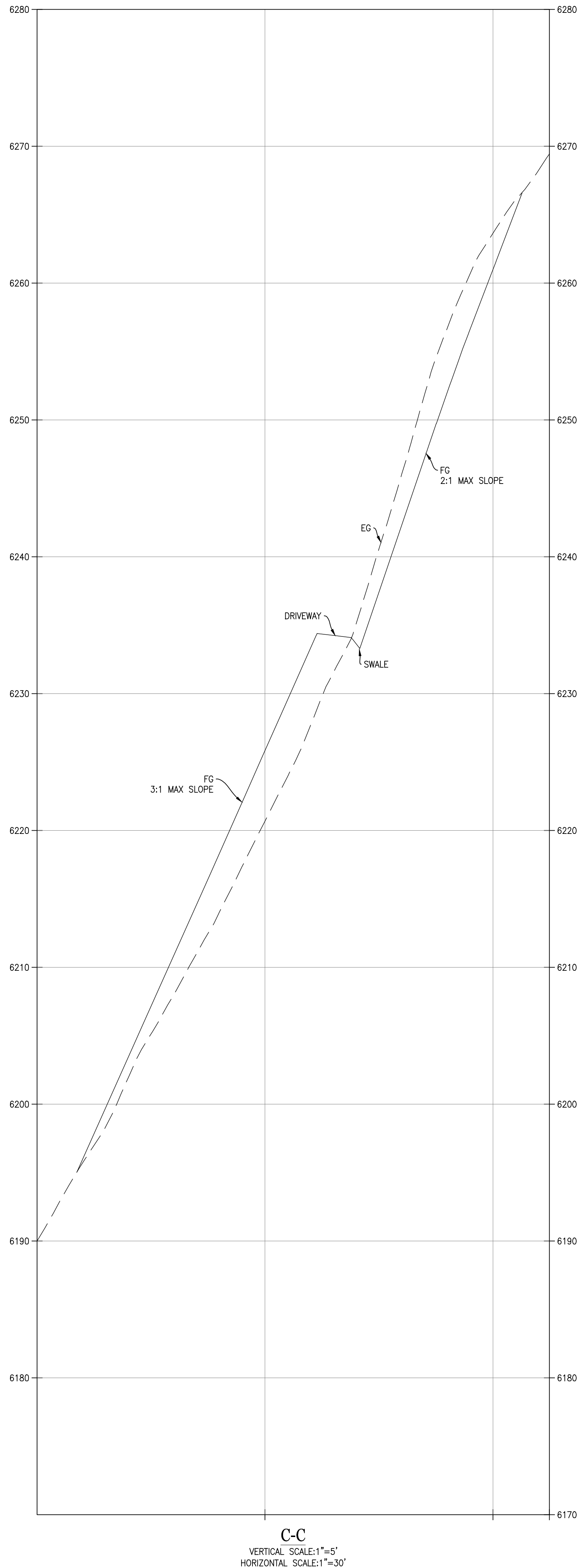




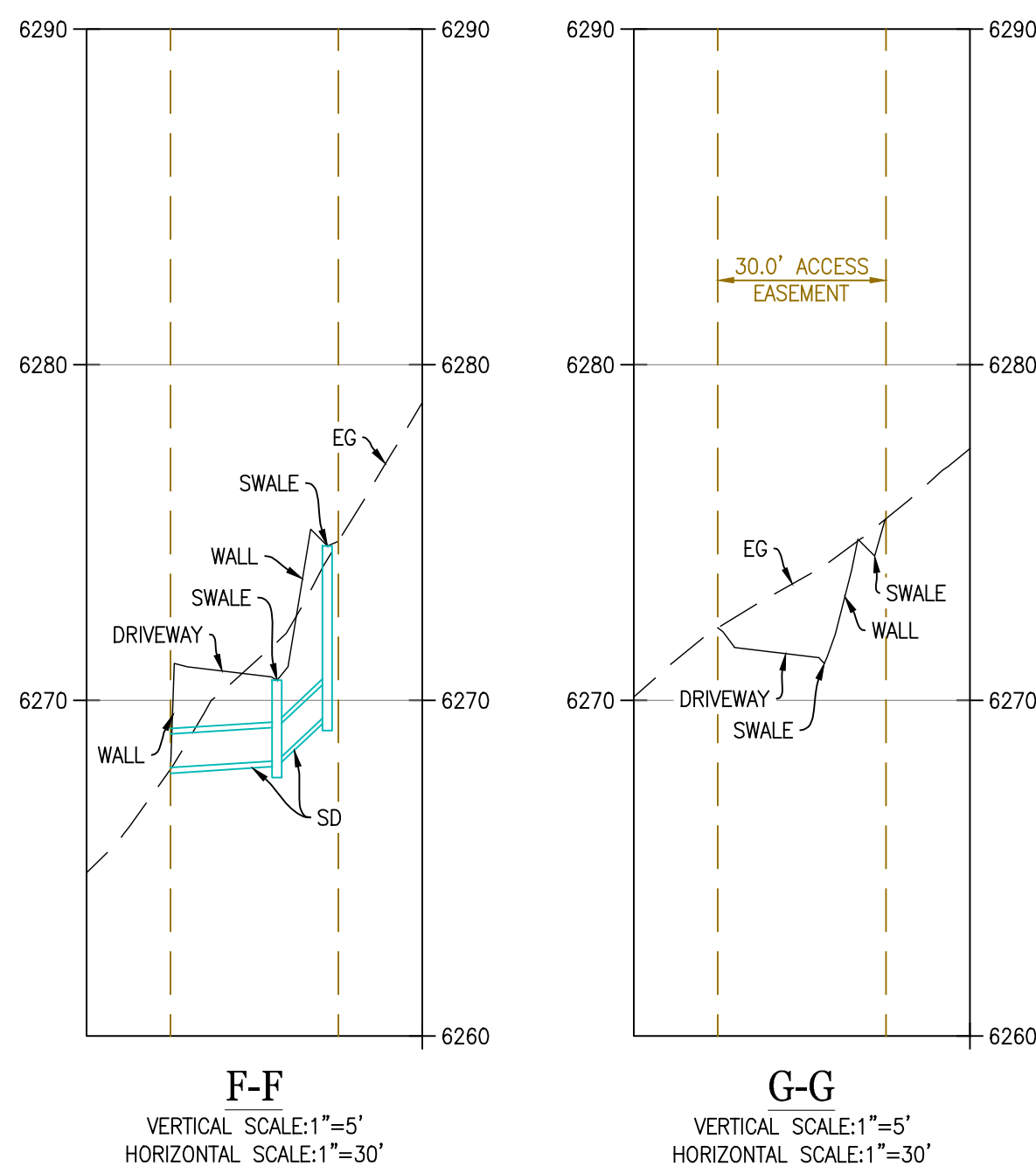
A-A
VERTICAL SCALE: 1"=5'
HORIZONTAL SCALE: 1"=30'



B-B
VERTICAL SCALE: 1"=5'
HORIZONTAL SCALE: 1"=30'

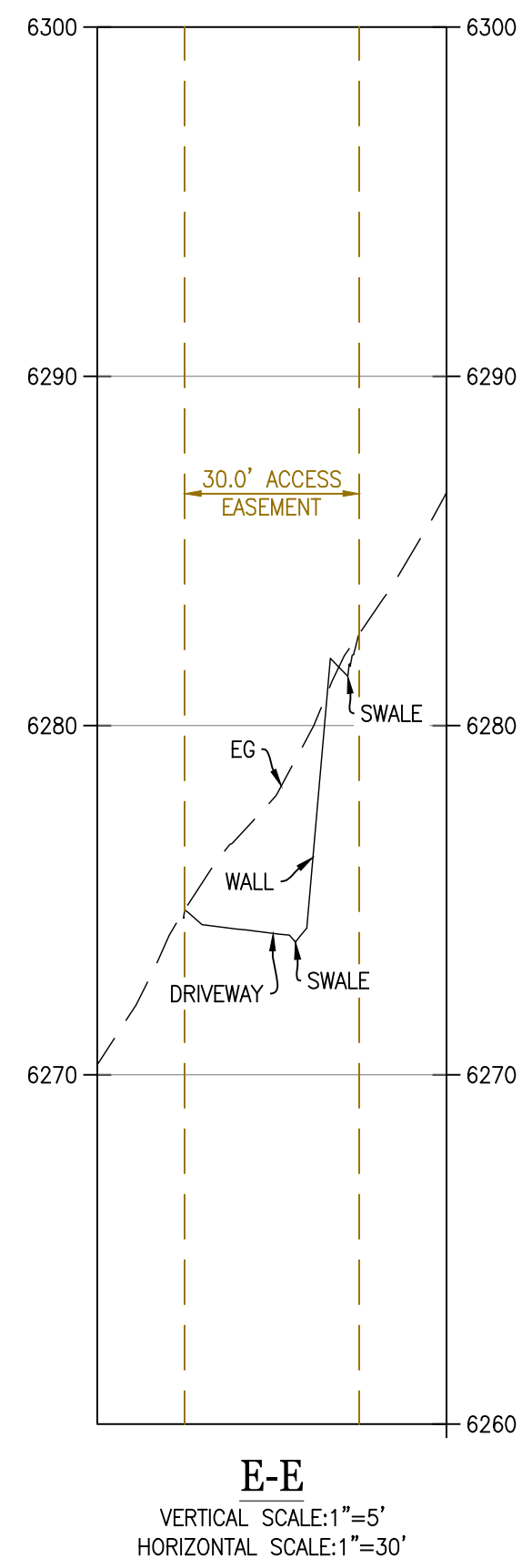


C-C
VERTICAL SCALE: 1"=5'
HORIZONTAL SCALE: 1"=30'

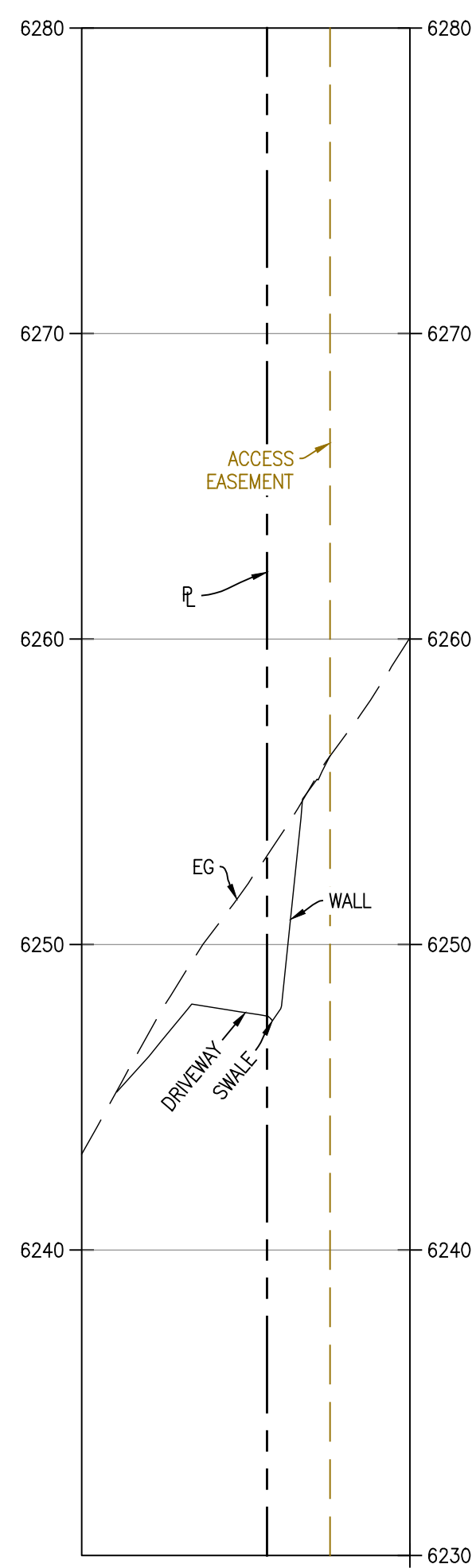


F-F
VERTICAL SCALE: 1"=5'
HORIZONTAL SCALE: 1"=30'

G-G
VERTICAL SCALE: 1"=5'
HORIZONTAL SCALE: 1"=30'



E-E
VERTICAL SCALE: 1"=5'
HORIZONTAL SCALE: 1"=30'



D-D
VERTICAL SCALE: 1"=5'
HORIZONTAL SCALE: 1"=30'



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Grading Cross Sections

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