

Ophir Hill

Application to Washoe County for a:

Special Use Permit

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Appendix A

Application Materials

- Washoe County Development Application
- Special Use Permit – Supplemental Information
- Special Use Permit for Grading – Supplemental Information
- Integrated Noxious Weed Management Plan
- Native Seed List

Appendix B

Civil Reports/Studies

[Conceptual Drainage Report](#)

[Geotechnical Investigation Report](#)

Civil & Landscape Plan Set (full size sheets - 24" x 36")

C1 Existing Conditions

C2 Rock Removal Grading Plan

C3 Preliminary Grading Plan

C4 Preliminary Cross Sections

CS Slope Analysis Map

C6 Cut Fill Map

L1 Preliminary Landscape Plan

Project Request

This application contains a request for a **Special Use Permit** for grading meeting the thresholds defined in Washoe County Development Code Section 110.438.35(a).

Project Location

The site is composed of three parcels (APN: 046-032-02, -04, -05) totaling 11.29 acres and is located adjacent to Old US 395 near Ophir Hill Road in Washoe Valley, about .75 miles south of Davis Creek Park Road. The site currently contains a single-family residence and one building for storage. Current primary access to the site is via Ophir Hill Road.



Figure 1 – Vicinity Map

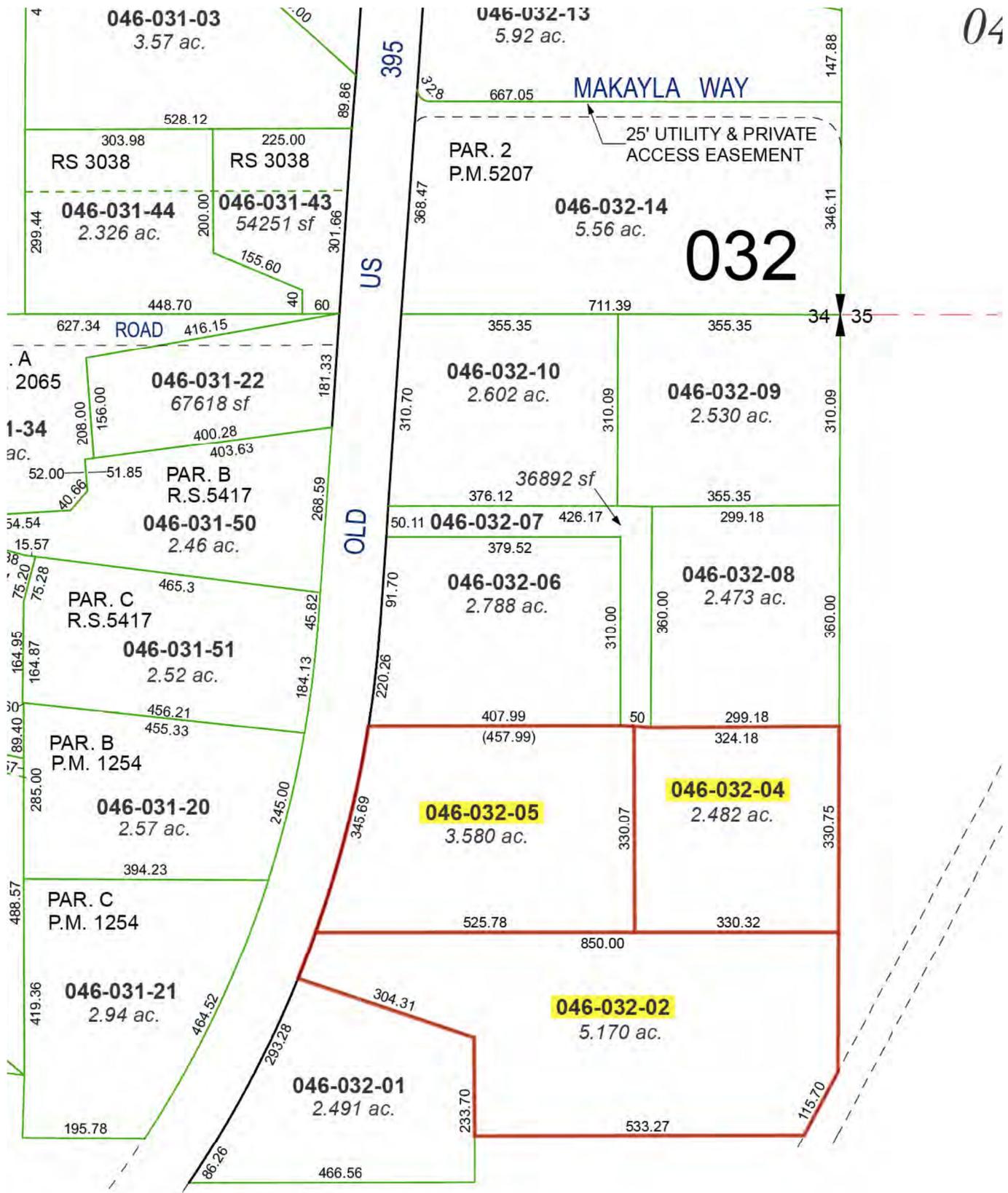


Figure 2 - Existing Parcel Map

Land Use and Zoning

The site is adjacent to vacant land to the east and south, and residential to the west and north. Rural Residential (RR) was established for the site's land use in the Washoe County Master Plan, and regulatory zoning is High Density Rural (HDR) (See Figures 3 and 4 below). The site is adjacent to similar rural or rural residential land uses on all sides. The site is part of the South Valleys Area Plan within its West Washoe Valley Rural Character Management Area.



Figure 3 – Washoe County Master Plan

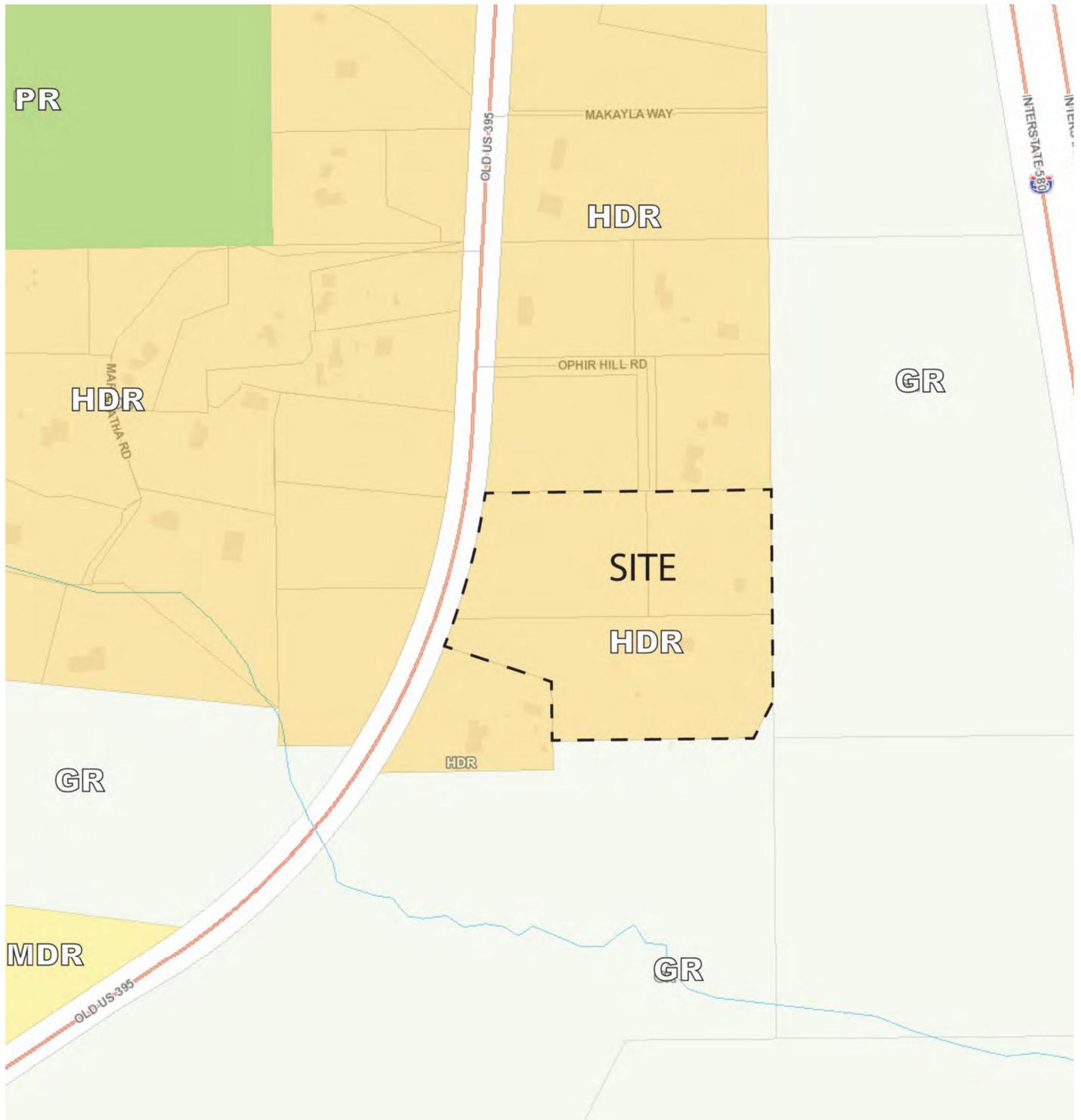


Figure 4 – Washoe County Zoning Map

Project Description

The primary purpose of this SUP application is to terminate all commercial use of the site and restore the site from the prior grading operation that has occurred over past years. This is a ceased excavation operation transitioning to material haul off program coupled with an SUP for restoration of an excavated site along with preparing for subdivision improvements.

This is also referenced as a restoration project that involves a grading request for 22,050 cubic yards of cut, 16,750 yds of fill and a net cut of 5,300 yds. There is the net export needed per the grading plan.

The total project area of 11.29 acres will include a four-lot subdivision with a shared driveway to serve them (see Figure 5 below). The parcels range from 2.5 to 3.26 acres in size. Graded material will be used to create the proposed driveway and elevate building pads, as well as to route runoff to a stormwater basin.

On April 8, 2021, the Washoe County Parcel Map Review Committee approved a tentative parcel map (now expired) for the property described by assessor's parcel numbers (APN's) 046-032-02, 04, and 05. The tentative parcel map (WTM21-0002) divided the property into four parcels. The tentative parcel map conditions of approval included one to submit new grading plans showing how the property will be regraded to adequately accommodate future residential use. That is the primary purpose of this SUP application.

The 0.82-acre area to the south of the property line for APN 046-032-02 extends from the south property line to an existing ranch fence. This area is BLM land south of the project site and was previously cleared as a part of the aggregate operation. This area will be re-graded and re-vegetated as a part of the Ophir Hill restoration effort, but is not a part of the subdivision boundary or developed project area.

As a residential use, landscape area is not required for the project per Washoe County Code Article 412. However, there are several stands of mature trees located throughout the property as shown on the site plan and civil plan sets. This was a significant and intentional issue in the design process to maximize efforts and preserve the trees, many of which are greater than 6" DBH. A native seed mix has been provided by BLM (in Appendix A) and will be used for revegetation, and a Noxious Weed Management program is provided in Appendix A as well.

Property & Project History

Following is a brief timeline of events associate with development permits for this property:

- SUP for Grading was approved by Board of Adjustment on 2/2/17.
- SUP Extension request was granted in a letter by staff on 12/17/20, extending SUP expiration to 3/1/21.
- A Tentative Parcel Map was approved on 4/8/21 to create the 4 parcels.
- A Revised SUP for Grading was submitted on 9/8/22 to meet a condition of approval of the prior Parcel Map approval. That SUP application was placed on hold.
- Washoe County required termination of the Burdick Excavating business operation on 10/10/22.
- This SUP is another revised version with a new Tentative Parcel Map application submitted on 5/8/23.



Figure 5 – Conceptual Site Plan

Slope Analysis

The manmade slopes are identified as such (road cut, excavation, stockpile, etc.). The Slope Map (see Figure 6) shows that majority of the site is flat, and the only steep areas are stockpiles (in red) as a result of the aggregate processing activities that took place on the site. The natural grade of site is of modest slopes (in green) that averages about 5% east to west and about 2% from north to south.

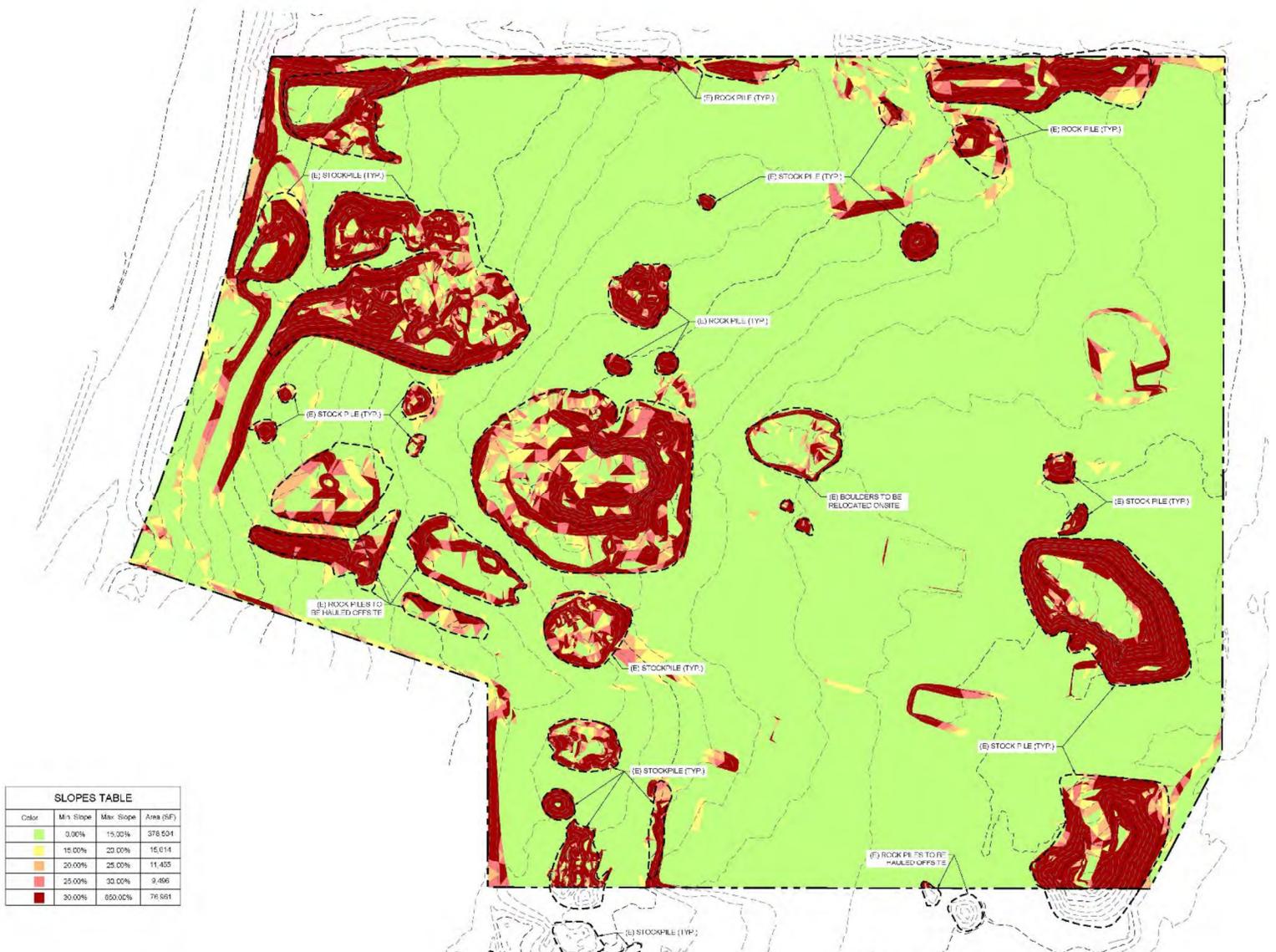


Figure 6 – Slope Analysis Map (with Stockpiles)

Hillside Development Analysis

Per Washoe County Development Code Section 110.424.05(a)(1), properties with 15 percent or greater slope on 20 percent or more of the site is subject to hillside development. This generally would apply to this project as more than 20% of the site exceeds 15% slope (see Table 1 below) As a result of the man-made slopes, this is not a hillside project as the mounds of rock created from the excavation company operation artificially alter the slope map. The intent of hillside development is not applicable to man-made piles of material and does not constitute slopes per se.

Number	Min. Slope	Max. Slope	Area (SF)	Percent of Site	Color
1	0.00%	15.00%	378,504	79.33%	Green
2	15.00%	20.00%	15,614	3.17%	Yellow
3	20.00%	25.00%	11,455	2.33%	Orange
4	25.00%	30.00%	9,496	1.93%	Red
5	30.00%	100.00%	76,961	15.64%	Brown

Site Development Standards for hillside development per WDC 110.424.30 are all met with the proposed project. In addition to those standards, the grading on the site subjects the project to additional standards of the Washoe County Development Code as stated below. Responses to the standards are written in *italics* below each code section beginning on page 11.

Grading Narrative

Figure 7 below shows 6 feet of fill in a small area within the setback along Old US 395 on the west side of proposed Parcel A. These areas are remnant roads between stockpiles that were used by loaders and trucks when moving material around on the site. When the grade is softened from Old US 395 to the back yards of the proposed houses, stockpiles will be removed and the roads will be filled in. The net result is that there is fill greater than 6 feet when those grades are smoothed-out.

It is our understanding that the intent about restricting fill in the setback area is not to prevent grading by way of smoothing out grades. Rather, the intent is to prevent obstructive berming. By removing the stockpiles and using the stockpiled material to fill in the access roads, we are actually improving the grade situation along Old US 395. See exhibit below showing this grading element.

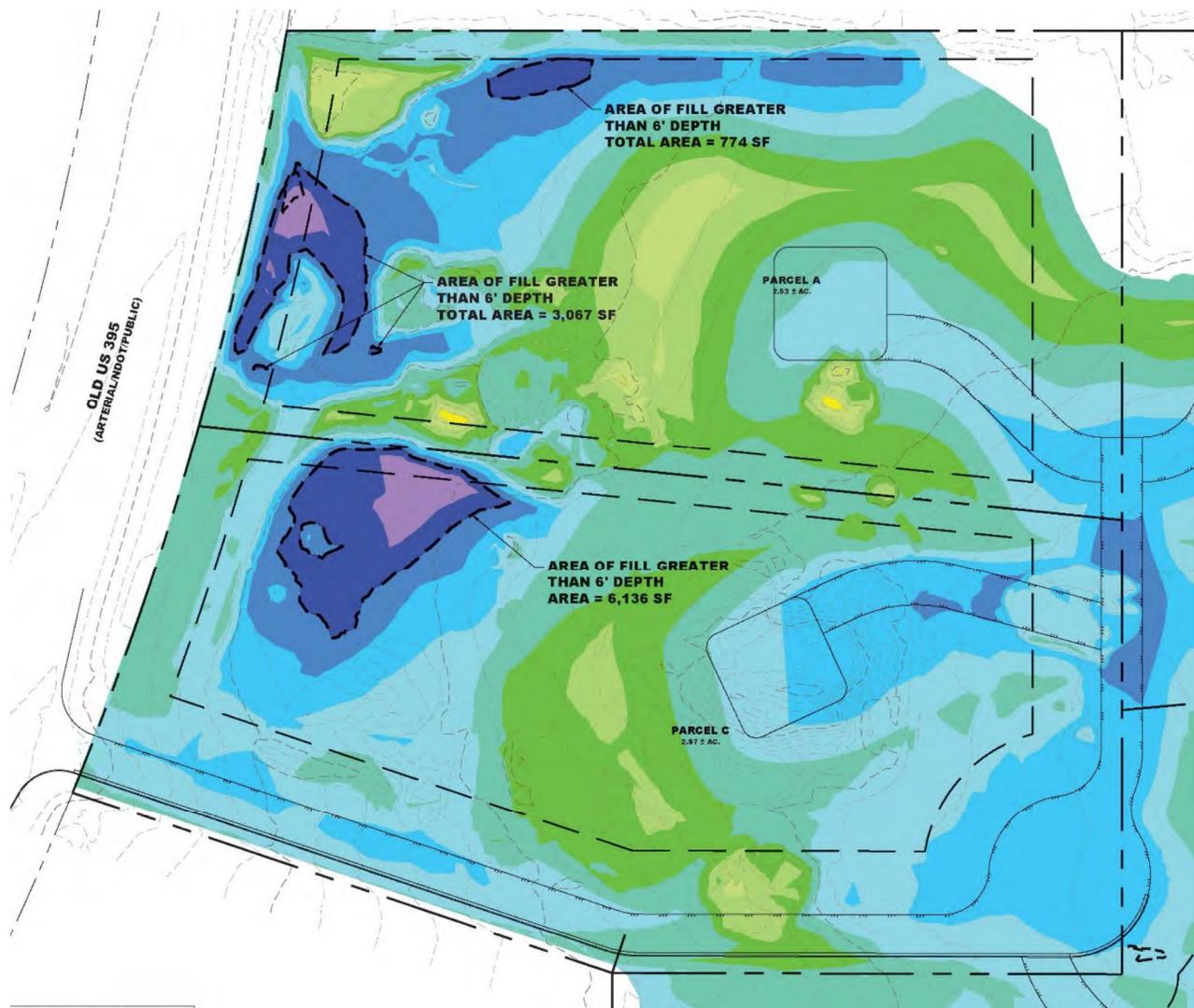


Figure 7 – Cut & Fill Map

As discussed with County staff in 2/6/23 meeting, we have added an intermediate grading plan. The intermediate grading plan is called “Rock Removal Grading Plan” in the civil plan set. It shows the rock piles that will be hauled to Mound House, the relocation of the boulders (to remain on site for landscaping) and the aggregate crushing/processing area. The plan shows the quantity of earthwork required to haul off the rock at 5,500 yds, noted as cut. That is more precisely the removal of piles of rock and not cutting native material

A final grading plan shows the site in its final graded state. That plan includes a) the quantity of materials being hauled off site, b) the quantity of earthwork moved (cut/fil) after the off-haul effort is complete, and c) the total earthwork (off-haul and final combined).

Project Phasing for the SUP

Phase 1: Removal of excess material: 4 months to complete upon authorization to proceed

This will include off haul of excess rock/stockpiles, old equipment, palletized rock, and any other bulk items to be removed. It is roughly 5,500 yds per the civil sheet C2 (the Rock Removal Plan). This effort will be completed within 4 months of the SUP approval. All rock not utilized on the finished project will be relocated to a commercial property at 5 Brown Drive in Mound house and Lyon County. The palletized material will remain at 5 Brown Drive, the loose material would be stored on a contiguous parcel owned by Richdel, Inc. located at 23 Industrial Parkway in Mound House Nevada with ingress and egress provided to this storage through 5 Brown Drive parcel. The applicant owns this property and has zoning to allow for such activity without further discretion. Times of operation for grading will be restricted to 7am to 7pm, Monday thru Saturday.

Phase 2: Final grading: 6 months to complete upon authorization to proceed

This will include grading for pads, the roadway, installing utilities, paving, and complete restoration of BLM land with temporary irrigation for revegetation. The reveg seed mix provided by the BLM is shown on the grading plan. The applicant is aware that any grading of pads/driveways will have to be stabilized/revegetated due to timing of the parcel map submittal and conditions of approval associated with the Parcel Map prior to final map. Riprap is only used in the drainage areas where the culvert is crossing under the road and/or driveway as shown on the grading plan. Also, driveways and the building pads will be shown as aggregate base. All other areas will be revegetated

Typically phasing is referenced in terms of traditional phasing of improvements and infrastructure to serve lots, which will be a single phase for this project.

Grading Standards

Section 110.424.35 Grading and Drainage Standards. This section sets forth development standards for grading and drainage of hillside and ridgeline properties.

- (a) Grading. These grading standards are applicable to hillside and ridgeline development only if a special use permit for grading is required pursuant to Washoe County Ordinance 811. The following standards are intended to preserve natural topographic features, foster resource preservation and minimize degradation of the visual character of hillsides:

- (1) Grading shall relate to the natural topography with the natural topography maintained to the greatest extent possible;

This standard has been met with grading as proposed and is really intended to get the site closer to its natural condition. We are moving from disturbance to revegetation and restoration.

- (2) Where alteration to the natural topography is necessary, graded slopes shall be contoured to provide a smooth and gradual transition of grading and natural slopes, while maintaining the basic character of the terrain;

All grading (whether in cut or fill areas) is counter graded to provided smooth and gradual transitions. There are no slopes resulting from the grading plan. In addition, restoration of graded areas with revegetation, and planting will help with mitigation.

- (3) Standard pad grading or terracing which results in grading outside the building footprint and access area shall be discouraged;

This has been accomplished as there is no terracing of the pads. There are raised pads for placement of the home footprints to ensure proper drainage is provided around the homes. However, grading outside of the building footprint is 100 percent imperative for a project like this.

- (4) Grading of knolls, ridgelines or toes of slopes shall be rounded to conform with the natural grade and to provide a smooth transition to the natural slope;

The notion of grading of knolls or ridgelines being proposed in the grading plan is not relevant to anything in this grading scenario. The predominant land form characteristic of this site is essentially flat land near the bottom on Washoe Valley that has been previously graded. All finished slopes are designed with a smooth transition to the natural slope.

- (5) Grading shall create varying gradients in order to avoid a “manufactured” appearance;

Similar to above, our approach to vary gradients is to avoid a manufactured appearance in the proposed contours. This will be largely accomplished with the revegetation and planting.

- (6) Grading in environmentally sensitive habitat areas shall occur only when necessary to protect, maintain, enhance or restore the habitat; and

There are no environmentally sensitive areas on the site. This grading SUP is intended to simulate a more native condition of the site. This is the key point in the overall grading discussion given there are no significant water ways, drainageways, vegetation including trees and shrubs, wildlife or rock outcroppings on the property.

- (7) A slope stability and scarring mitigation plan, certificated by the project engineer, shall be reviewed and approved by the Director of Community Development and the Public Works Department prior to initiation of grading.

There is no issue of slope stability and scarring from this grading plan. The applicant agrees with this requirement.

- (b) Drainage and Erosion Control. All hillside development shall satisfy current Washoe County Code for drainage and erosion control.

The project will satisfy code requirements for drainage and erosion control. We accept that preventive measures on drainage and erosion control that satisfy the applicable articles of the development code can and will be met.

Section 110.438.45 Grading of Slopes. The standards in this section shall apply to all grading for subdivision improvements, special use permits, or other discretionary permits. The standards in this section shall also apply to all grading for building and grading permits upon or adjacent to lots less than or equal to five (5) acres in size, and to all grading within one hundred (100) feet of all property lines on parcels greater than five (5) acres in size.

- (a) Grading shall not result in slopes in excess of, or steeper than, three horizontal to one vertical (3:1) except as provided below:
 - (1) Storm drainage improvements.
 - (2) Cut and fill slopes less than thirty (30) inches in height.
 - (3) Cut slopes proposed to be located behind civic, commercial and industrial buildings, when the cut slope is shorter than and substantially screened by the proposed building. Such slopes are subject to approval of a Director's Modification of Standards by the Director of Community Development.
 - (4) The County Engineer may waive this requirement for up to fifteen (15) percent of the length of the cut and/or fill where the presence of rock or, in his determination, other practical hardships exists.

This project does not propose any slopes greater than 3:1, thus meeting this standard.

- (b) Within the required yard setbacks fills shall not differ from the natural or existing grade by more than forty-eight (48) inches (see Figure 110.438.45.1).

The standard is met with current project design, as the setback fills do not differ from the existing grade by more than 48 inches.

- (c) Finish grading shall not vary from the natural slope by more than ten (10) feet in elevation. Exposed finish grade slopes greater than ten (10) feet in height may be

allowed upon the approval of a director's modification of standards by the Director of Community Development upon recommendation by the County Engineer.

This is not applicable as a practical matter as the cuts and fills are due to leveling of stockpiles and not cutting hills, or knolls, or significant landforms. The project will require a maximum cut of 22' and a maximum fill of 8' in height to achieve a uniform finished grade for the building pad locations.

Special Use Permit Findings

Section 110.810.30 Findings. Prior to approving an application for a special use permit, the Planning Commission, Board of Adjustment or a hearing examiner shall find that all of the following are true:

- (a) Consistency. The proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the applicable area plan;

The character statement of the South Valleys Area Plan emphasizes large residential parcels in West Washoe Valley, and specifically notes a density of one unit per 2.5 acres for the HDR zone in this CMA. The proposed 2.5- to 3.5-acre lots achieved with the proposed grading meet this standard. These statements make the proposed large lot residential use consistent with the plan's goals and the best fit for the intended vision for the project site.

- (b) Improvements. Adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven;

One common private driveway will be extended to serve the site as shown in the project site plan. That driveway will be a shared driveway for parcel access. The site will be served by private wells and sewer septic systems. Community systems are not available in the area. Any additional utility improvements needed will be provided upon construction. Drainage improvements are outlined in the attached civil plan set.

- (c) Site Suitability. The site is physically suitable for the type of development and for the intensity of development;

The site is essentially flat land, but several scattered areas of manufactured steeper slopes make it impossible to propose residential developments of an appropriate size without grading. It is all residential zoned area and the typical slopes used for residential lots are flat in scale and necessitate grading as requested with this special use permit. However, the four lots in the project design are within the allowable height for the zoning district and all other intensity factors are met as described above.

- (d) Issuance Not Detrimental. Issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area; and

Issuance of the permit has no conceivable detriment to the public health, safety, or welfare; is not injurious to the property or improvements of adjacent properties; and is not of detrimental character to the surrounding area.

- (e) Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Issuance of the permit will not have a detrimental effect on the location, purpose, or mission of a military installation.

South Valleys Area Plan Analysis

Beyond its Washoe County land use designation, the project site is located in the area managed by the South Valleys Area Plan. Further, it is within the West Washoe Valleys Rural Character Management Area. The following sections discuss the themes and policies associated with the project in grading.

Grading Policies

- SV.2.2 Whenever possible, grading for residential purposes after the date of final adoption of this plan will:
 - Minimize disruption to natural topography.
 - Utilize natural contours and slopes.
 - Complement the natural characteristics of the landscape.
 - Preserve existing vegetation and ground coverage to minimize erosion.
 - Minimize cuts and fills.

All physical characteristics were considered in the project design and engineering. As a grading specific project, attention was given to the slopes and soil conditions on the site that were evaluated in the design per the geotechnical study recommendations. Slope treatment with revegetation will be utilized to restore slopes and limit erosion and subsequent sedimentation within adjacent storm-water conveyances.

- SV.12.2 The Washoe County Departments of Community Development and Public Works will establish and oversee compliance and enforcement of design standards for grading that minimize the visual impact of all residential and non-residential hillside development, including road cuts and driveways.

All design standards for grading will be met as designed and the applicant agrees with this oversight and enforcement standard.

- SV.12.3 The grading design standards referred to in Policy SV.12.2 will, at a minimum, ensure that disturbed areas shall be finished, and fill slopes will not exceed a 3:1 slope, and that hillside grading will establish an undulating naturalistic appearance by creating varying curvilinear contours.

All physical characteristics were considered in the project design and engineering. As a grading specific project, attention was given to the slopes and soil conditions on the site that were evaluated in the design per the geotechnical study recommendations. Slope treatment with revegetation will be utilized to restore slopes and limit erosion and subsequent sedimentation within adjacent storm-water conveyances.

- SV.12.7 At the time of master plan amendment and tentative subdivision map application submittal, and prior to the issuance of grading permits for final maps, an applicant should submit to the Community Development staff, for review and approval, a "developable area analysis" for all portions of a development on slopes greater than 15 percent. The developable area analysis should include the following:
 - An analysis identifying the developable area of a hillside, as evidenced by soils, geotechnical, biological and hydrological studies;
 - Areas underlain with faults that have been active during the Holocene epoch of geological time;
 - Habitat areas of known endangered or rare plant and/or animal species;
 - Significant streams, ravines and/or drainageways; and,
 - A developable area map designed in accordance with the following:
 - Identifying the location;
 - Identifying the amount of total land area suitable for development;
 - Identifying areas of landslide or potential landslide; and,
 - Drawn to a scale appropriate for the project.

The factors for analysis listed above are all included with this application. This application stems from the need to further analyze the grading associated with a conditionally approved tentative parcel map.

Appendix A

Application Materials

Washoe County Development Application

Property Owner Affidavit

Special Use Permit Checklist

Special Use Permit – Supplemental Information

Special Use Permit for Grading – Supplemental Information

Washoe County Treasurer – Tax Payment Records

Integrated Noxious Weed Management Plan

Native Seed List

Special Use Permit Application Supplemental Information

(All required information may be separately attached)

1. What is the project being requested?

Special Use Permit for grading that exceeds Major Grading Permit Thresholds per Article 438 of Washoe County Development Code. Grading will be for a four-unit residential subdivision

2. Provide a site plan with all existing and proposed structures (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.)

This is provided in the 4 lot subdivision design which is the site plan.

3. What is the intended phasing schedule for the construction and completion of the project?

This is a single phase project. Construction timeline has not been established yet.

4. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

Proposed project is of a similar nature to neighboring residential properties. Slopes are negligible and grading in the spirit of restoration will be required to prepare the site for development.

5. What are the anticipated beneficial aspects or affects your project will have on adjacent properties and the community?

Improved visual impacts, reduction of dust, reduction of noise, reduction of truck traffic.

6. What are the anticipated negative impacts or affect your project will have on adjacent properties? How will you mitigate these impacts?

There are only positive impacts created with such a project as this. This will menace livability of adjacent properties.

7. Provide specific information on landscaping, parking, type of signs and lighting, and all other code requirements pertinent to the type of use being purposed. Show and indicate these requirements on submitted drawings with the application.

No landscape plan is required, we are saving mature trees that exceed any and all landscape requirements

8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the special use permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
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9. Utilities:

a. Sewer Service	Private
b. Electrical Service	NVE
c. Telephone Service	None
d. LPG or Natural Gas Service	None
e. Solid Waste Disposal Service	Waste Management
f. Cable Television Service	Charter
g. Water Service	Private

For most uses, Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required.

h. Permit #	N/A	acre-feet per year	
i. Certificate #	N/A	acre-feet per year	
j. Surface Claim #	N/A	acre-feet per year	
k. Other #	N/A	acre-feet per year	

Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources).

Not applicable at this time

10. Community Services (provided and nearest facility):

a. Fire Station	Truckee Meadows Fire Station 32
b. Health Care Facility	Saint Mary's Galena Urgent Medical Center
c. Elementary School	Pleasant Valley Elementary School
d. Middle School	Herz Middle School
e. High School	Damonte Ranch High School
f. Parks	Davis Creek Regional Park
g. Library	South Valleys Library
h. Citi fare Bus Stop	Herz Boulevard / Mount Rose Highway

**Special Use Permit Application
for Grading
Supplemental Information**
(All required information may be separately attached)

1. What is the purpose of the grading?

To prepare the site for the construction of single family residences, to construct a shared-access driveway, and to route runoff to a stormwater detention basin.

2. How many cubic yards of material are you proposing to excavate on site?

There is a total of 22,050 cubic yards of earthwork being cut including the rock pile removal.

3. How many square feet of surface of the property are you disturbing?

The entire site is being graded (restored is more appropriate) which is 491,792 sq. ft. +

4. How many cubic yards of material are you exporting or importing? If none, how are you managing to balance the work on-site?

There is a net cut of 5,300 yds. There is net export needed per the grading plan.

5. Is it possible to develop your property without surpassing the grading thresholds requiring a Special Use Permit? (Explain fully your answer.)

No, it is not. The site is 11.29 acres in size and was previously operated as an aggregate processing facility and mass graded for that operation. The entire site must be re-graded to accommodate a residential development.

6. Has any portion of the grading shown on the plan been done previously? (If yes, explain the circumstances, the year the work was done, and who completed the work.)

No.

7. Have you shown all areas on your site plan that are proposed to be disturbed by grading? (If no, explain your answer.)

Yes all areas in this case mean 100% of the site.

8. Can the disturbed area be seen from off-site? If yes, from which directions and which properties or roadways?

Yes. The disturbed area can be seen from the west from Old US 395, from the south from 3280 Old US 395. and from the north from 3220 Old US 395 and 3210 Ophir Hill Road.

9. Could neighboring properties also be served by the proposed access/grading requested (i.e. if you are creating a driveway, would it be used for access to additional neighboring properties)?

No. A shared access driveway will serve only the four proposed single family parcels that is exclusive for this project.

10. What is the slope (horizontal/vertical) of the cut and fill areas proposed to be? What methods will be used to prevent erosion until the revegetation is established?

Cut and fill slopes are typically 5:1 maximum. Fiber rolls will be primarily employed to prevent erosion until revegetation is established.

11. Are you planning any berms?

Yes	NoX	If yes, how tall is the berm at its highest?
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12. If your property slopes and you are leveling a pad for a building, are retaining walls going to be required? If so, how high will the walls be and what is their construction (i.e. rockery, concrete, timber, manufactured block)?

Retaining walls are not designed or needed for this project.

13. What are you proposing for visual mitigation of the work?

Landscape buffering is proposed along the Old US 395 frontage and along the boundaries with adjacent residential properties.

14. Will the grading proposed require removal of any trees? If so, what species, how many and of what size?

No, we are preserving trees as noted in the narrative.

15. What type of revegetation seed mix are you planning to use and how many pounds per acre do you intend to broadcast? Will you use mulch and, if so, what type?

Refer to attached revegetation seed mixture.

16. How are you providing temporary irrigation to the disturbed area?

Yes thru available water sources and irrigation technology.

17. Have you reviewed the revegetation plan with the Washoe Storey Conservation District? If yes, have you incorporated their suggestions?

We have not but expect to in this process.

18. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit the requested grading?

Yes	NoX	If yes, please attach a copy.
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July 7, 2022

TO: Washoe County Community Services, Planning & Building
RE: Burdick Excavating Company, APNs 046-032-02, -04, & 05
INTEGRATED NOXIOUS WEED MANAGEMENT PLAN OPHIR HILL SUBDIVISION

Every property owner in Nevada is responsible for removing noxious weeds from their land, according to the State Legislature. Noxious weeds are identified by the Nevada Department of Agriculture. Weed species change over time, depending on conditions in the field. The "Weed Warriors" program developed by the University of Nevada Cooperative Extension identifies most noxious weeds and the best methods for control. Weed control recommendations frequently change – it is the responsibility of the landscape management company to contact the Cooperative Extension's Educator for updates.

Most noxious weed seeds will be carried in with the wind or in the soil after grading operations. The landscape management company for the developer will be responsible for weed management on the site.

The Cooperative Extension outlines various levels of controls. The best action is preventing weeds from becoming established by planting native species that can out-compete weeds over a period of time.

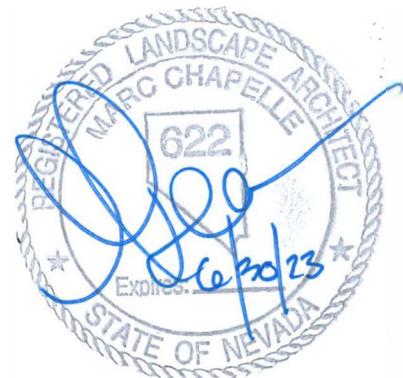
Control levels include:

1. Eradication – or the killing of an entire weed population, this control is most applicable to Military 8 and involves the removal of all weeds an area so they will not reoccur. This is only feasible for small new invasions and the area must be re-vegetated.
2. Weakening weeds.
3. Thinning weeds.
4. Eliminating seed production by damaging the top growth.

Weed removal includes the following methods:

1. Pulling weeds by uprooting with the hands (applicable for the project)
2. Mowing and cutting – this works best for large relatively flat and dry areas (applicable for the project). In some areas a weed trimmer could be used to cut down weeds such as cheatgrass before they set seed. This also reduces fire danger along roadways
3. Prescribed burning (not applicable for the project).
4. Cultural controls (applicable for the project). Controls include large restoration projects and re-establishing native plant communities on disturbed areas. This is the method used by the -- project which includes seeding native plants in areas disturbed by grading and the planting of native and adaptive native trees and shrubs in developed areas, that are then irrigated by a drip system. The intent is to out-compete the weeds before they can establish themselves.
5. Biological control by cattle grazing (not applicable for the project).
6. Herbicides, which are chemicals that kill or injure weeds (applicable to the project). These work best for eradication of certain weed species in certain situations, and are most effective on a single weed type where pulling is not effective or feasible. Timing of applications is critical to success. Drawbacks of herbicides include the potential for damaging or killing non-target plants.

Sincerely,
Marc Chapelle, PLA
Nevada Professional Landscape Architect #622
L.A. STUDIO NEVADA, LLC



Project Name: Ophir Hill
Acreage: 1

Date: 10/3/22
Application Rate (seed/sqft): 30
Application Method (drill or broadcast): broadcast

Location: Township 17 N, Range 19E, Section 34 Washoe Co.

Desired Species for Seed Mix (All seed must be certified as "weed-free")

Common Name	Scientific Name	USDA Symbol	Mix Ratio (%)	Purity	Germination	PLS	Seeds/lb ¹	Cost/lb ¹
Great Basin Wild Rye	Leymus cinereus	LECI4	20	0.9	0.85	0.765	120000	\$14.74
Wyoming big sagebrush	Artemisia tridentata wyoming	ARTRW8	40	0.14	0.8	0.112	2500000	\$7.17
Antelope bitterbrush	Purshia tridentata	PUTR	40	0.95	0.8	0.855	15000	\$6.78

¹Estimated, actual seeds/lb and cost vary by supplier

If you are drill, or broadcast seeding, please use the appropriate information columns below.

Species	Bulk lbs needed per species		Cost per species	
	Drill	Broadcast	Drill	Broadcast
LECI4	2.85	5.69	\$41.97	\$83.93
ARTRW8	1.87	3.73	\$27.52	\$55.03
PUTR	40.76	81.52	\$600.77	\$1,201.54

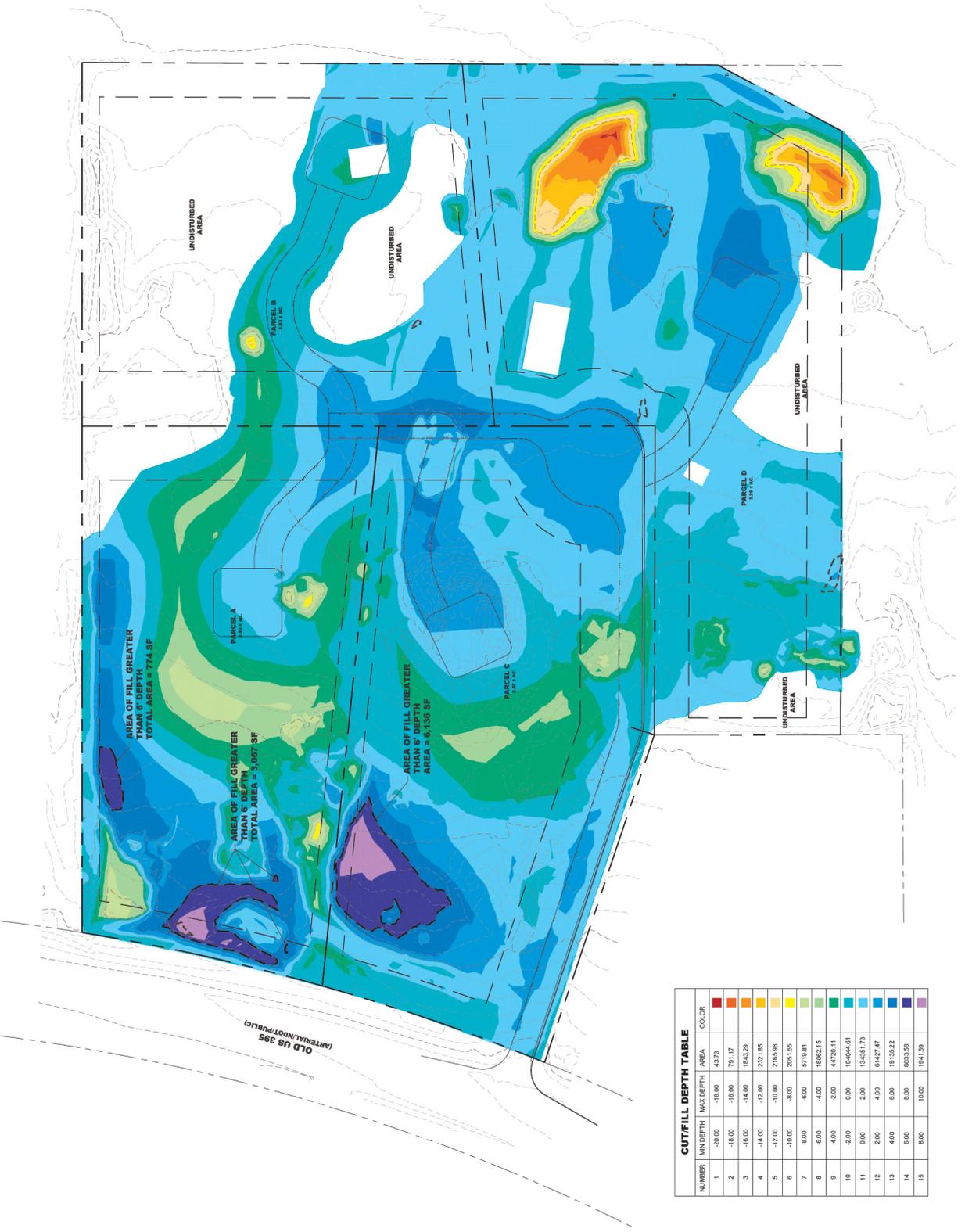
Weight and Cost Requirements

	Drill	Broadcast
² Total Cost:	\$642.74	\$1,285.47

²Varies depending on supplier

Plant and Seeding Information

Species	Link to USDA Fact Sheet	Seeding Information
LECI4	https://plants.usda.gov/factsheet/pdf/fs_pose.pdf	All seeding must be done during the period of October 1st - March 1st to maximize the potential for seeding success.
ARTRW8	https://www.nrcs.usda.gov/Internet/FSE_PLANTM/	All seeding must be done during the period of October 1st - March 1st to maximize the potential for seeding success.
PUTR	https://www.nrcs.usda.gov/Internet/FSE_PLANTM/	All seeding must be done during the period of October 1st - March 1st to maximize the potential for seeding success.



CUT/FILL DEPTH TABLE

NUMBER	MIN DEPTH	MAX DEPTH	AREA	COLOR
1	-20.00	-16.00	43.73	[Red]
2	-16.00	-14.00	791.17	[Orange-Red]
3	-14.00	-12.00	1643.29	[Orange]
4	-12.00	-10.00	2321.85	[Yellow-Orange]
5	-10.00	-8.00	2165.86	[Yellow]
6	-8.00	-6.00	2051.55	[Light Green]
7	-6.00	-4.00	5719.81	[Green]
8	-4.00	-2.00	16002.15	[Light Blue]
9	-2.00	0.00	44720.11	[Blue]
10	0.00	2.00	104044.81	[Light Blue-Gray]
11	2.00	4.00	13457.73	[Blue-Gray]
12	4.00	6.00	61427.47	[Dark Blue]
13	6.00	8.00	19135.22	[Purple-Blue]
14	8.00	10.00	8033.56	[Purple]
15	10.00	12.00	1941.59	[Dark Purple]

