

**SPECIAL USE PERMIT  
APPLICATION**

to

**WASHOE COUNTY  
PLANNING AND BUILDING  
DIVISION**

for the

**CANINE REHABILITATION CENTER  
AND CAT SHELTER**

**March 8, 2022**

**architects + LLC**

35 Martin Street Reno, Nevada 89509

Phone: (775) 329-8001 Fax: (775) 329-8292 Email: [ernygregory@gmail.com](mailto:ernygregory@gmail.com)

Gregory L. Erny, FAIA

Paul D. Walsh, AIA





March 8, 2022

Washoe County Planning Program  
Planning and Building Division  
1001 E. Ninth Street  
Reno, Nevada 89512

Re: Special Use Permit Application  
Proposed New Cat Sanctuary  
555 US 395 S  
Washoe Valley, NV 89704

To Whom It May Concern,

On behalf of the Canine Rehabilitation Center and Cat Sanctuary, please accept this Special Use Permit Application for the construction of a new Cat Cottage facility along with associated site improvements at their existing shelter facility at 555 US 395 S, Washoe Valley, Nevada.

The proposed Cat Cottage will be an approximately 4000 sq. ft. new facility that will provide a home to foster cats, cats with adoptability issues, administrative and offices for both the Canine Rehabilitation Center and Cat Sanctuary. Proposed site improvements include new parking, landscaping, site drainage improvements, canine exercise and training paths, canine enrichment yards, a canine city simulation area, a future Canine Behavior and Education Center, and future multi-purpose pavilion and amphitheater.

The proposed new Cat Cottage is a complimentary addition to the existing canine rescue center and site amenities that have been operating on the site since November of 2013. The existing Canine Center provides valuable foster, shelter, and training facilities for dogs that are in need of either a temporary home before adoption, or a long-term home for those canines that have adoptability issues. The proposed new Cat Cottage will allow the Canine Rehabilitation Center and Cat Sanctuary to provide a home for felines requiring similar care and services in the Truckee Meadows.

If there are any questions regarding either the attached Special Use Permit Application documents, the operations associated with the existing Canine Rehabilitation Center, or the new Cat Cottage, please do not hesitate to contact us.

Respectfully,

Architects + LLC

A handwritten signature in blue ink, appearing to read 'Gregory L. Erny', is written over the typed name.

Gregory L. Erny FAIA, NCARB  
President

1. COVER LETTER
2. DEVELOPMENT APPLICATION
3. OWNER AFFIDAVIT
4. PROOF OF PROPERTY TAX PAYMENT
5. 8 ½" X 11" SITE PLAN
6. DRAWING COVER PAGE – VICINITY MAP
7. GRADING DRAWINGS
  - C1.1 EXISTING SITE PLAN
  - C1.2 CIVIL SITE PLAN
  - C1.3 CIVIL GRADING PLAN
  - C1.4 CIVIL HYDRO REPORTS – CHANNEL REPORT
8. TRAFFIC IMPACT REPORT
9. LANDSCAPE DRAWINGS
  - EVP EXISTING VEGETATION PLAN
  - LP LANDSCAPE PLAN
  - LIP LANDSCAPE IRRIGATION PLAN
10. LIGHTING PLAN
11. BUILDING ELEVATIONS

## Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

<b>Project Information</b>		Staff Assigned Case No.: _____	
Project Name:			
Project Description:			
Project Address:			
Project Area (acres or square feet):			
Project Location (with point of reference to major cross streets <b>AND</b> area locator):			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
<b>Applicant Information</b> (attach additional sheets if necessary)			
<b>Property Owner:</b>		<b>Professional Consultant:</b>	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone:                      Fax:		Phone:                      Fax:	
Email:		Email:	
Cell:                              Other:		Cell:                              Other:	
Contact Person:		Contact Person:	
<b>Applicant/Developer:</b>		<b>Other Persons to be Contacted:</b>	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone:                      Fax:		Phone:                      Fax:	
Email:		Email:	
Cell:                              Other:		Cell:                              Other:	
Contact Person:		Contact Person:	
<b>For Office Use Only</b>			
Date Received:                      Initial:		Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

# Special Use Permit Application Supplemental Information

(All required information may be separately attached)

1. What is the project being requested?

2. Provide a site plan with all existing and proposed structures (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.)

3. What is the intended phasing schedule for the construction and completion of the project?

4. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

5. What are the anticipated beneficial aspects or affects your project will have on adjacent properties and the community?

6. What are the anticipated negative impacts or affect your project will have on adjacent properties? How will you mitigate these impacts?

7. Provide specific information on landscaping, parking, type of signs and lighting, and all other code requirements pertinent to the type of use being purposed. Show and indicate these requirements on submitted drawings with the application.

8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the special use permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input type="checkbox"/> No
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9. Utilities:

a. Sewer Service	
b. Electrical Service	
c. Telephone Service	
d. LPG or Natural Gas Service	
e. Solid Waste Disposal Service	
f. Cable Television Service	
g. Water Service	

For most uses, Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required.

h. Permit #		acre-feet per year	
i. Certificate #		acre-feet per year	
j. Surface Claim #		acre-feet per year	
k. Other #		acre-feet per year	

Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources).

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10. Community Services (provided and nearest facility):

a. Fire Station	
b. Health Care Facility	
c. Elementary School	
d. Middle School	
e. High School	
f. Parks	
g. Library	
h. Citifare Bus Stop	

**Special Use Permit Application  
for Grading  
Supplemental Information**  
(All required information may be separately attached)

1. What is the purpose of the grading?

2. How many cubic yards of material are you proposing to excavate on site?

3. How many square feet of surface of the property are you disturbing?

4. How many cubic yards of material are you exporting or importing? If none, how are you managing to balance the work on-site?

5. Is it possible to develop your property without surpassing the grading thresholds requiring a Special Use Permit? (Explain fully your answer.)

6. Has any portion of the grading shown on the plan been done previously? (If yes, explain the circumstances, the year the work was done, and who completed the work.)

7. Have you shown all areas on your site plan that are proposed to be disturbed by grading? (If no, explain your answer.)

8. Can the disturbed area be seen from off-site? If yes, from which directions and which properties or roadways?

9. Could neighboring properties also be served by the proposed access/grading requested (i.e. if you are creating a driveway, would it be used for access to additional neighboring properties)?

10. What is the slope (horizontal/vertical) of the cut and fill areas proposed to be? What methods will be used to prevent erosion until the revegetation is established?

11. Are you planning any berms?

Yes	No	If yes, how tall is the berm at its highest?
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12. If your property slopes and you are leveling a pad for a building, are retaining walls going to be required? If so, how high will the walls be and what is their construction (i.e. rockery, concrete, timber, manufactured block)?

13. What are you proposing for visual mitigation of the work?

14. Will the grading proposed require removal of any trees? If so, what species, how many and of what size?

15. What type of revegetation seed mix are you planning to use and how many pounds per acre do you intend to broadcast? Will you use mulch and, if so, what type?

16. How are you providing temporary irrigation to the disturbed area?

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17. Have you reviewed the revegetation plan with the Washoe Storey Conservation District? If yes, have you incorporated their suggestions?

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18. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit the requested grading?

Yes	No	If yes, please attach a copy.
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# Special Use Permit Application for Stables Supplemental Information

(All required information may be separately attached)

1. What is the maximum number of horses to be boarded, both within stables and pastured?

2. What is the maximum number of horses owned/maintained by the owner/operator of the project, both within stables and pastured?

3. List any ancillary or additional uses proposed (e.g., tack and saddle sales, feed sales, veterinary services, etc.). Only those items that are requested may be permitted.

4. If additional activities are proposed, including training, events, competition, trail rides, fox hunts, breaking, roping, etc., only those items that are requested may be permitted. Clearly describe the number of each of the above activities which may occur, how many times per year and the number of expected participants for each activity.

5. What currently developed portions of the property or existing structures are going to be used with this permit?

6. To what uses (e.g., restrooms, offices, managers living quarters, stable area, feed storage, etc.) will the barn be put and will the entire structure be allocated to those uses? (Provide floor plans with dimensions).

7. Where are the living quarters for the operators of the stables and where will employees reside?

8. How many improved parking spaces, both on-site and off-site, are available or will be provided? (Please indicate on site plan.) Have you provided for horse trailer turnarounds?

9. What are the planned hours of operation?

10. What improvements (e.g. new structures including the square footage, roadway/driveway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.) will have to be constructed or installed and what is the projected time frame for the completion of each?

11. What is the intended phasing schedule for the construction and completion of the project?

12. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

13. What are the anticipated beneficial aspects or affects your project will have on adjacent properties and the community?

14. What are the adverse impacts upon the surrounding community (including traffic, noise, odors, dust, groundwater contamination, flies, rats, mice, etc.) and what will you do to minimize the anticipated negative impacts or effects your project will have on adjacent properties?

15. Please describe operational parameters and/or voluntary conditions of approval to be imposed on the administrative permit to address community impacts.

16. What types of landscaping (e.g. shrubs, trees, fencing, painting scheme, etc.) are proposed? (Please indicate location on site plan.)

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17. What type of signs and lighting will be provided? On a separate sheet, show a depiction (height, width, construction materials, colors, illumination methods, lighting intensity, base landscaping, etc.) of each sign and the typical lighting standards. (Please indicate location of signs and lights on site plan.)

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18. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the administrative permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input type="checkbox"/> No
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19. Community Sewer

<input type="checkbox"/> Yes	<input type="checkbox"/> No
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20. Community Water

<input type="checkbox"/> Yes	<input type="checkbox"/> No
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**Property Owner Affidavit**

**Applicant Name:** Kristen Ivey, Canine Rehabilitation Center and Cat Sanctuary

The receipt of this application at the time of submittal does not guaranteed the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA )  
COUNTY OF WASHOE )

I, Kristen Ivey  
(please print name)

being duly sworn, depose and say that I am the owner\* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

**(A separate Affidavit must be provided by each property owner named in the title report.)**

Assessor Parcel Number(s): 2124977 and 04608016

Printed Name Kristen Ivey

Signed Kristen Ivey

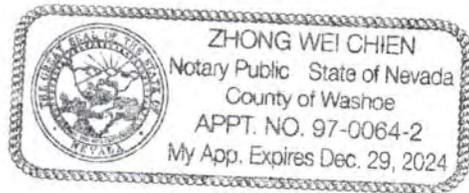
Address 555 US Highway 395 N  
Carson City, NV 89704

STATE OF NV, COUNTY OF WASHOE  
Subscribed and sworn to before me this  
7 day of MARCH, 2022.

[Signature]  
Notary Public in and for said county and state

My commission expires: 12/29/2024

(Notary Stamp)



\*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

# Canine Rehabilitation Center and Cat Sanctuary Special Use Permit

555 US HWY 395  
Washoe Valley, Nevada

## LANDSCAPE ARCHITECTURE

JLLA LANDSCAPE ARCHITECTURE  
14475 HERON TRAIL  
RENO, NEVADA 89521  
PH. (775) 750-0258

## ARCHITECTS + LLC

35 MARTIN STREET  
RENO, NEVADA 89509  
(775) 329-8001  
FAX (775) 329-8292

## CIVIL DESIGN

ROBINSON ENGINEERING CO. INC.  
846 VICTORIAN AVE  
SPARKS, NEVADA 89431  
PH. (775) 852-2251



PROJECT LOCATION  
555 US HWY 395

revisions



architects + llc  
environmental  
designers  
35 Martin St.  
Reno, NV 89509  
PH. 775-329-8001  
FAX 775-329-8292



Project  
Canine Rehabilitation Center  
Renovation  
555 US Hwy 395, North Washoe Valley  
Nevada, 89704

sheet title
COVER SHEET

drawn by KJP
checked by CE
date 03/07/2022
job no. 555 US Hwy 395
sheet

A-0



**EXISTING VEGETATION LEGEND**

Symbol	Scientific Name	Common Name	Deciduous or Evergreen	DBH (size)	Action
<b>EXISTING TREES</b>					
TREE 1	Pinus jeffyi	Jeffrey Pine	Evergreen	36"	Remain
TREE 2	Ulmus pumila	Siberian Elm	Deciduous	18"	Remove
TREE 3	Ulmus pumila	Siberian Elm	Deciduous	18"	Remove
TREE 4	Ulmus pumila	Siberian Elm	Deciduous	30"	Remove
TREE 5	Ulmus pumila	Siberian Elm	Deciduous	30"	Remove
TREE 6	Ulmus pumila	Siberian Elm	Deciduous	30"	Remove
TREE 7	Ulmus pumila	Siberian Elm	Deciduous	30"	Remove
TREE 8	Ulmus pumila	Siberian Elm	Deciduous	30"	Remove
TREE 9	Ulmus pumila	Siberian Elm	Deciduous	30"	Remove
TREE 10	Ulmus pumila	Siberian Elm	Deciduous	30"	Remove
TREE 11	Ulmus pumila	Siberian Elm	Deciduous	30"	Remove
TREE 12	Ulmus pumila	Siberian Elm	Deciduous	30"	Remain
TREE 13	Ulmus pumila	Siberian Elm	Deciduous	30"	Remain
TREE 14	Ulmus pumila	Siberian Elm	Deciduous	30"	Remain
TREE 15	Ulmus pumila	Siberian Elm	Deciduous	30"	Remove
TREE 16	Alnus altissima	Tree of Heaven	Deciduous	10"	Remove
TREE 17	Alnus altissima	Tree of Heaven	Deciduous	10"	Remove
TREE 18	Alnus altissima	Tree of Heaven	Deciduous	10"	Remove
TREE 19	Alnus altissima	Tree of Heaven	Deciduous	10"	Remove
TREE 20	Salix	Willow Tree	Deciduous	30"	Remain
TREE 21	Ulmus pumila	Siberian Elm	Deciduous	30"	Remove
TREE 22	Ulmus pumila	Siberian Elm	Deciduous	30"	Remove
TREE 23	Ulmus pumila	Siberian Elm	Deciduous	30"	Remove
TREE 24	Ulmus pumila	Siberian Elm	Deciduous	30"	Remove
TREE 25	Ulmus pumila	Siberian Elm	Deciduous	30"	Remove
TREE 26	Ulmus pumila	Siberian Elm	Deciduous	30"	Remove
TREE 27	Alnus altissima	Tree of Heaven	Deciduous	10"	Remain
TREE 28	Alnus altissima	Tree of Heaven	Deciduous	10"	Remain
TREE 29	Alnus altissima	Tree of Heaven	Deciduous	10"	Remain
TREE 30	Alnus altissima	Tree of Heaven	Deciduous	10"	Remain
TREE 31	Alnus altissima	Tree of Heaven	Deciduous	10"	Remain
TREE 32	Alnus altissima	Tree of Heaven	Deciduous	10"	Remove
TREE 33	Alnus altissima	Tree of Heaven	Deciduous	10"	Remove
TREE 34	Alnus altissima	Tree of Heaven	Deciduous	10"	Remain
TREE 35	Alnus altissima	Tree of Heaven	Deciduous	10"	Remove
TREE 36	Alnus altissima	Tree of Heaven	Deciduous	10"	Remove
TREE 37	Alnus altissima	Tree of Heaven	Deciduous	10"	Remove
TREE 38	Alnus altissima	Tree of Heaven	Deciduous	10"	Remove
TREE 39	Alnus altissima	Tree of Heaven	Deciduous	10"	Remove
TREE 40	Alnus altissima	Tree of Heaven	Deciduous	10"	Remove
TREE 41	Alnus altissima	Tree of Heaven	Deciduous	10"	Remove
TREE 42	Alnus altissima	Tree of Heaven	Deciduous	10"	Remove
TREE 43	Alnus altissima	Tree of Heaven	Deciduous	10"	Remove
TREE 44	Alnus altissima	Tree of Heaven	Deciduous	12"	Remove
TREE 45	Alnus altissima	Tree of Heaven	Deciduous	10"	Remove
TREE 46	Alnus altissima	Tree of Heaven	Deciduous	14"	Remove
TREE 47	Alnus altissima	Tree of Heaven	Deciduous	18"	Remove
TREE 48	Alnus altissima	Tree of Heaven	Deciduous	12"	Remove
TREE 49	Alnus altissima	Tree of Heaven	Deciduous	10"	Remove
TREE 50	Alnus altissima	Tree of Heaven	Deciduous	12"	Remain
TREE 51	Ulmus pumila	Siberian Elm	Deciduous	30"	Remove
TREE 52	Ulmus pumila	Siberian Elm	Deciduous	30"	Remove
TREE 53	Ulmus pumila	Siberian Elm	Deciduous	30"	Remain
TREE 54	Ulmus pumila	Siberian Elm	Deciduous	30"	Remain
TREE 55	Ulmus pumila	Siberian Elm	Deciduous	30"	Remain
TREE 56	Acer	Maple	Deciduous	6"	Remain
TREE 57	Acer	Maple	Deciduous	6"	Remain

**LANDSCAPE PROTECTION NOTES**

- PROTECT IN PLACE TREES NOTED TO REMAIN AND ALL NATIVE SAGE BRUSH AREA NOTED TO REMAIN.

**LANDSCAPE AREA LEGEND**

	SHRUB REMAINING	16,868 sf
	SHRUB REMOVAL	19,040 sf
	TREE CANOPY PRESERVED	10,432 sf
	TREE CANOPY REMOVED	17,500 sf
	NEW IRRIGATED LANDSCAPE	20,582 sf
	LAWN AREA	3,272 sf
	RE-VEGETATION AREA	9,177 sf
	NON-IRRIGATED NATIVE AREAS	16,868 sf

DATE: \_\_\_\_\_

REVISIONS:



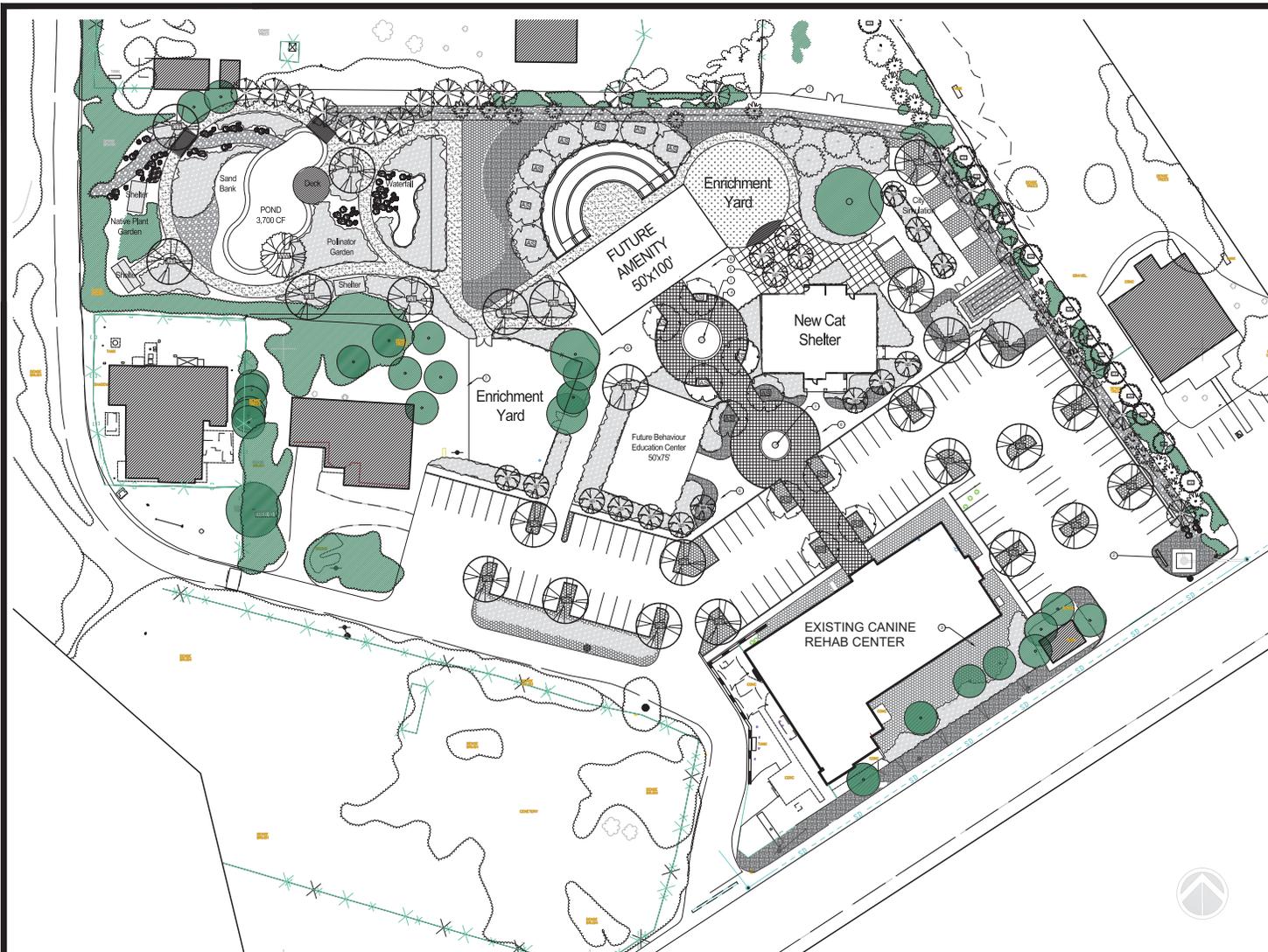
14475 HURON TRAIL  
RENO, NEVADA 89521  
PHONE: 775-750-0258  
jll@jll.net

JLLA  
LANDSCAPE  
ARCHITECTURE

EXISTING VEGETATION PLAN:  
555 US HWY 395  
WASHOE VALLEY, NV 89704

SCALE: 1"=40'  
DRAWN: JLL  
CHECKED:  
DATE: 3/6/22  
NOTES:

SHEET  
**EVP**



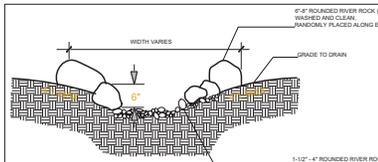
### PLANTING LEGEND

Symbol	Scientific Name	Common Name	Quantity	Size	Spacing	Row #	Row # @ 20' Intervals
<b>DECIDUOUS TREES</b>							
AS	<i>Acer saccharum</i>	Common Silver Maple	3	2" Caliper	Per Plan	7'	20'
MS	<i>Malus White Flowering Crabapple</i>	White Flowering Crabapple	4	1" Caliper	Per Plan	5'	15'
QT	<i>Quercus laevis</i>	Shoestring Liveoak	2	2" Caliper	Per Plan	8'	20'
SB	<i>Saxifraga hypnifolia</i>	Winged Willow	1	2" Caliper	Per Plan	8'	20'
LP	<i>Platanus x acerifolia</i>	London Plane Tree	3	2" Caliper	Per Plan	7'	20'
<b>EVERGREEN TREES</b>							
RJ	<i>Pinus Jeffreyi</i>	Jeffrey Pine	2	8" Min. High	Per Plan	5'	20'
CD	<i>Callitriche occidentalis</i>	Western Cedar	3	6" Min. High	Per Plan	5'	20'
PN	<i>Pinus nigra</i>	Australian Pine	6	12" Min. High	Per Plan	5'	20'
SD	<i>Sequoia giganteum</i>	Giant Sequoia	3	6" Min. High	Per Plan	5'	20'
<b>SHRUBS</b>							
	<i>Cornus alba Elegans</i>	Invigilated Red Twig Dogwood	5 Gal	7" x 5"			
	<i>Syringa vulgaris</i>	Common Lilac	5 Gal	8" x 6"			
	<i>Autumn Spendor</i>	Autumn Spendor	5 Gal	8" x 6"			
	<i>Euonymus alatus</i>	Spreading Dogwood	5 Gal	7" x 5"			
	<i>Yucca filamentosa</i>	Soft Spine Yucca	5 Gal	7" x 5"			
	<i>Phlox x Inland</i>	Flamingo Phlox	5 Gal	7" x 5"			
	<i>Physocarpus opulifolius</i>	Winged Bark	5 Gal	7" x 5"			
	<i>Buxus microcarpa</i>	Winter Green Boxwood	1 Gal	9" x 6"			
	<i>Caryopteris clancostana</i>	Blue Star Shrub	1 Gal	9" x 6"			
	<i>Hamamelis virginica</i>	Witch Hazel	1 Gal	9" x 6"			
	<i>Calceolaria</i>	Earl Fendler Grass	1 Gal	9" x 6"			
	<i>Andropogon scoparius</i>	Stony Milkvetch	1 Gal	9" x 6"			
	<i>Festuca</i>	Quail Grass	15 Gal	12" x 6"			
	<i>Stipa sp.</i>	Stipa	5 Gal	12" x 6"			
	<i>Rhus aromatica</i>	Onion Leaf Sumac	5 Gal	10" x 6"			
	<i>Hebe x exoniifolia</i>	Red Flower	5 Gal	9" x 6"			
	<i>Chamaenerion</i>	Red Top	5 Gal	9" x 6"			
	<i>Fallopia paradisiaca</i>	Apache Pine	1 Gal	7" x 5"			
	<i>Penstemon</i>	Penstemon	1 Gal	9" x 6"			
	<i>Agave x americana</i>	Yucca	1 Gal	9" x 6"			

- ### LANDSCAPE LEGEND
- DRY CREEK - (APPROX. 824 SF) INSTALL PER DETAIL #1 ON THIS SHEET.
  - WOOD MULCH - (APPROX. 2,888 SF) 1.5" - 4" FRACTURED ROCK, WARM GREYS TO CHOCOLATE BROWN, 4" MIN. DEPTH PLACED OVER WEED FABRIC.
  - DECOMPOSED GRANITE MULCH (APPROX. 5,884 SF) DECOMPOSED GRANITE 3" MIN. DEPTH PLACED OVER NATIVE SOIL.
  - DECOMPOSED GRANITE PATH - (APPROX. 860 SF) INSTALL 2" LAYER OF DECOMPOSED GRANITE ON TOP OF 4" LAYER OF COMPACTED AGGREGATE BASE.
  - TURF GRASS - (APPROX. 323 SF) IRRIGATE WITH POP-UP SPRAY ROTORS. INSURE MINIMUM PRESSURE AT CONTROL VALVE IS 60 PSI.
  - NATIVE BOLLERS - SELECT BOLLERS FROM SITE. BURY 2' OF THE BOLLER FOR A NATURAL APPEARANCE.

- ### LANDSCAPE KEY
- SCULPTURAL ART FEATURE
  - FUTURE MONUMENT SIGN PER WASHOE COUNTY DEVELOPMENT STANDARDS.
  - EXISTING DECOMPOSED GRANITE MULCH TO REMAIN
  - INTERLOCKING CONCRETE PAVERS IN BROWN TO GREY TONES
  - CONCRETE PAVING WITH 50X 50 C.I. SCORE PATTERN, MEDIUM BROOM FINISH
  - CONCRETE PAVING WITH MEDIUM BROOM FINISH
  - 6" TALL GALVANIZED CHARLKN FENCING TYPICAL FOR ALL FENCING

- ### LANDSCAPE MAINTENANCE SCHEDULE
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE FULL YEAR. THE CONTRACTOR SHALL INSPECT THE SITE REGULARLY TO VERIFY THE CONDITION OF ALL PLANTINGS. IF ANY CHANGES IN THE OVERALL MAINTENANCE PROGRAM ARE REQUIRED TO IMPROVE THE CONDITION TO AN ACCEPTABLE STANDARD THE CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING. OTHERWISE THE CONTRACTOR ACCEPTS FULL RESPONSIBILITY FOR THE CONDITION OF THE PLANTINGS AND MUST FURNISH THE GUARANTEE.
  - IRRIGATE ALL NEW PLANTINGS WITH DRIP IRRIGATION.
  - MOW LAWN TO PROPER HEIGHT FOR TURF SPECIES.
  - VENTRIEZE IRRIGATION SYSTEM REGULATOR FIRST AND TURN ON MAY FIRST. CHECK FOR LEAKS OR EARLY FREEZE BEFORE TURNING ON OR OFF.
  - REMOVE LEAF LITTER AND CLIPPINGS AND COMPOST OR SETS FOR YEARLY MULCHING OF PLANT BEDS.
  - APPLY PRE-EMERGENT HERBICIDE EVERY FALL.
  - EMULSION LICHENS REMOVER TO INSPECT TREES FOR SAFETY AND HEALTH EVERY TWO YEARS.
  - KEEP WALKS CLEAR OF DEBRIS.
  - KEEP ROCK BEDS AND WEED FREE AND TRASH FREE.
  - KEEP SITE FREE OF TRASH.



**1 DRY CREEK SECTION**  
N.T.S.

DATE: \_\_\_\_\_

REVISIONS:



14475 HURON TRAIL  
RENO, NEVADA 89521  
PHONE: 775-760-0268  
jlellis@charter.net

JLLA  
LANDSCAPE  
ARCHITECTURE

LANDSCAPE PLAN:  
555 US HWY 395  
WASHOE VALLEY, NV 89704

SCALE: 1" = 40'  
DRAWN: JLL  
CHECKED:  
DATE: 3/6/22  
NOTES:

SHEET  
LP



### IRRIGATION EQUIPMENT LEGEND

VALVES, CONTROLS, & MISC. EQUIPMENT		
MANUFACTURER / MODEL #	DESCRIPTION	DET.
WATER METER	EXISTING 1"	
WATTS 2LF 009 QT REDUCED PRESSURE PRINCIPLE	BACKFLOW PREVENTOR INSIDE HEATED CABINET	NA
RAINBIRD XCZPGA-100-PRF	DRIP REMOTE CONTROL VALVE ASSEMBLY	NA
RAINBIRD 150-PCGA	TURF REMOTE CONTROL VALVE	NA
HOSE BIB		
WILKINS 500	PRESSURE REGULATOR	NA
RAINBIRD ESP-12 LX IN OUTDOOR ENCLOSURE	12 STATION AUTOMATIC CONTROLLER IN PLASTIC OUTDOOR WALL MOUNTED	NA

PIPING & SLEEVING		
SYM.	DESCRIPTION	DETAIL
---	PVC SCHEDULE 40 PRESSURE MAINLINE - 1-1/4"	NA
---	PVC SLEEVING FOR LATERALS, MAINLINE AND CONTROL WIRES	NA

BODY HEIGHT*		BODY HEIGHT.	
12	VALVE STATION NO.	6"	6" HEIGHT
12		12"	12" HEIGHT
1"	VALVE SIZE		
20	GPM		D= DRIP SYSTEM

DATE:	
REVISIONS:	



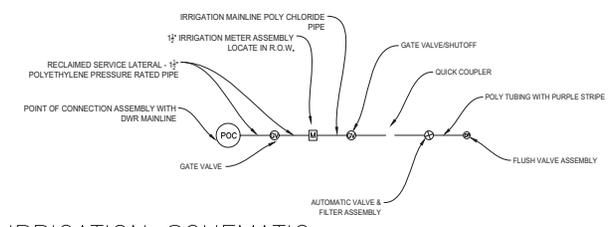
14475 HURON TRAIL  
 RENO, NEVADA 89521  
 PHONE: 775-750-0258  
 jelloles@charter.net

**JLLA**  
 LANDSCAPE  
 ARCHITECTURE

LANDSCAPE IRRIGATION PLAN:  
 555 US HWY 395  
 WASHOE VALLEY, NV 89704

SCALE: 1"=40'
DRAWN: JLL
CHECKED:
DATE: 3/6/22
NOTES:

SHEET  
**LIP**



IRRIGATION SCHEMATIC



**CANINE REHABILITATION CENTER RENOVATIONS**  
 SHEET 00  
 EXISTING CONDITIONS SITE PLAN

PROJECT NO. 2022-04-001  
 WASHOE COUNTY, NV  
 PROJECT LOG: 2022-04-001

PREPARED FOR: **ARCHITECTS + ENVIRONMENTAL DESIGNERS**  
 35 MARTIN ST.  
 RENO, NV 89509  
 (775) 326-0001  
 DRAWN BY: **DAVANN BEMP**  
 DATE: 2022-04-08

DATE: 2022-04-08

1 RECORD OF SURVEY 2022/08  
 2 FEMA MAP 3203(C)330G  
 3 FEMA MAP 3203(C)330G  
 4 RENS TOPO 2022-04-17

REFERENCES

NO.	DESCRIPTION	DATE	BY
P-1	FIRST SUBMITTAL SPECIAL USE PERMIT (SIP) 1022-04-08	04/08/2022	IMF

REVISIONS

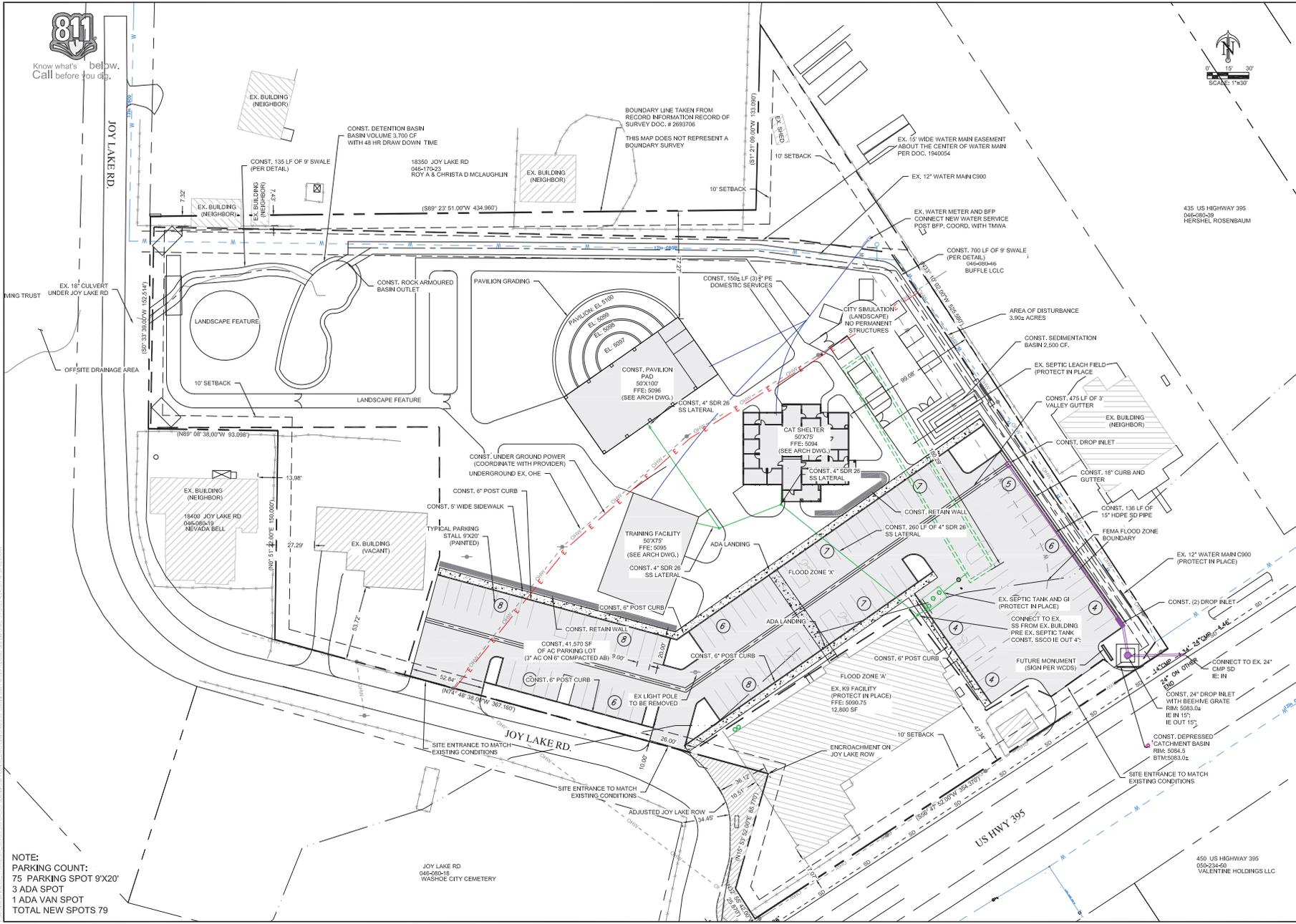
APPROVALS

450 US HIGHWAY 395  
 VALLETT

**C 1.1**



Know what's below.  
Call before you dig.



NOTE:  
PARKING COUNT:  
75 PARKING SPOT 9'X20'  
3 ADA SPOT  
1 ADA VAN SPOT  
TOTAL NEW SPOTS 79

**CANINE REHABILITATION CENTER RENOVATIONS**  
SHEET C1.2  
PROPOSED SITE & UTILITY PLAN

PREPARED FOR: ARCHITECTS + ENVIRONMENTAL DESIGNERS  
36 MARTIN ST.  
RENO, NV, 89509  
(775) 256-0001

DRAWN BY: [Signature]  
DATE: 2023-03-08

RECORD OF SURVEY 2893706  
FEMA MAP 3203C0350G  
FEMA MAP 3203C0350G  
RENS TOPO 202202017

NO.	DESCRIPTION	DATE	BY
1	RECORD OF SURVEY 2893706		CHND
2	FEMA MAP 3203C0350G		NER
3	FEMA MAP 3203C0350G		BMF
4	RENS TOPO 202202017		BMF

APPROVALS

C 1.2





# Stanka Consulting, LTD

A Professional Engineering Company

## Trip Generation Report

Project: Canine Rehab Center and Cat Sanctuary

APN 046-080-16

March 7, 2022

Prepared by:

Christopher Moltz, P.E.

Prepared for:

Washoe County



## **Executive Summary**

This letter is to serve as a Trip Generation Report and adequately show that a Traffic Impact Study is not required for this project. The proposed project (expansion to existing Canine Rehab Center and Cat Sanctuary) is an existing non-profit business located on Washoe County APN 046-080-16 (located at 555 US Highway 395 S A). US 395A is classified by NDOT as a “Minor Arterial” which connects between the City of Reno and Carson City, as an alternative route to I-580. The parcel is contiguous with US 395A, which provides direct access to the property. The project is located on US 395A in Washoe Valley, approximately 1.15 mi west of the north intersection with north Eastlake Blvd and approximately 1.50 miles east of the 395 overpass across I-580. The size of the subject parcel is 5.20 acres based on review of Washoe County Assessor Records. The purpose of this study is to address the project’s impact upon the adjacent roadway network.

The existing site is zoned GC (General Commercial) and an existing 12,800 square foot building that is currently in use as part of the Canine Rehab Center and Cat Sanctuary (Rehab Center). The proposed project intends to expand the Rehab Center to include two additional buildings. The first being a new 3,750 square foot cat shelter, and eventually adding an additional 3,750 square foot training facility. All traffic will utilize the existing driveway which provides direct access onto and off of US 395A. The main access into or out of the area is US 395A which provides direct access to the surrounding community as well as the City of Reno and Carson City.

The addition of the new 3,750 square foot cat shelter, and eventually adding an additional 3,750 square foot training facility, will add 7,500 square feet of GFA (gross floor area) to the project. This will result in 28.73 Peak Hour Trips. This is far below the 80 Peak Hour Trip threshold.

I would like to note that the existing 12,800 square foot building that is currently in use as part of the Rehab Center should **not** count towards the expansion, as these trips are pre-existing. However, even adding these pre-existing trips to the new trips to be generated results in a Peak Hour Trip generation of 77.75 trips, which is still below the 80 Peak Hour Trip threshold.

Documentation identifying these conditions and the analysis to come to this conclusion are included in this report.

Traffic generated by the expansion of the existing Rehab Center will have negligible impact on the adjacent street network.

No changes to the roadway network are required for this project due to the existing light traffic, roadway geometry, and (negligible) increase in traffic.

## **I. Introduction**

### **General Information**

The proposed project (expansion to existing Canine Rehab Center and Cat Sanctuary) is an existing non-profit business located on Washoe County APN 046-080-16 (located at 555 US Highway 395 S A). US 395A is classified by NDOT as a “Minor Arterial” which connects between the City of Reno and Carson City, as an alternative route to I-580. The parcel is contiguous with US 395A, which provides direct access to the property. The project is located on US 395A in Washoe Valley, approximately 1.15 mi west of the north intersection with north Eastlake Blvd and approximately 1.50 miles east of the 395 overpass across I-580. The size of the subject parcel is 5.20 acres based on review of Washoe County Assessor Records. The purpose of this study is to address the project’s impact upon the adjacent roadway network. The property is located in the S½ NE¼ of Section 23, T.17N., R.19E., M.D.B.&M. The purpose of this study is to address the project’s impact upon the adjacent roadway network with the proposed expansion of additional facilities.

The existing site is zoned GC (General Commercial) and an existing 12,800 square foot building that is currently in use as part of the Canine Rehab Center and Cat Sanctuary (Rehab Center). The proposed project intends to expand the Rehab Center to include two additional buildings. The first being a new 3,750 square foot cat shelter, and eventually adding an additional 3,750 square foot training facility. Almost all traffic will utilize the existing driveway which provides direct access onto and off of US 395A. The main access into or out of the area is US 395A which provides direct access to the surrounding community as well as the City of Reno and Carson City. The property is bounded on east, north, and west by other General Commercial parcels, on the west by Joy Lake Road, and on the south by US 395A, which provides direct access to the parcel. Joy Lake Road provides secondary access into the parcel. A general location map utilizing Google Earth aerials is included as Attachment 1. A project location map utilizing aerials from the Washoe Regional Mapping System is included as Attachment 2. The primary access to the property is an existing driveway which provides direct access onto and off of US 395A. Secondary access will be provided off of Joy Lake Road, which is contiguous with the parcel on the western boundary, and provides access onto US 395 A.

## **II. Existing Roadways and Intersections and Site Conditions**

The primary access to the property occurs via existing driveway located along the southern edge of the parcel, which provides direct access to the parcel via US 395 A. Joy Lake Road which runs along the west side of the parcel provides secondary access from the parcel to US 395 A.

US 395A is classified by NDOT as a “Minor Arterial” which connects between the City of Reno and Carson City, as an alternative route to I-580. The project is located on US 395A in Washoe Valley, approximately 1.15 mi west of the north intersection with north Eastlake Blvd and approximately 1.50 miles east of the 395 overpass across I-580.

A site visit to the study area identified light traffic in the area. The speed limit for US 395A was identified as 50 mph. There are no nearby traffic facilities which will be affected from this project. US 395A is free-flowing in the vicinity of the project. Although the speed limit is not low (50 mph), the extremely light traffic identified and wide site distances provide adequate sight distances for egress traffic from the proposed project.

There are no nearby roads to this project which may be affected by this project.

No local warrants, such as school zones or other nearby facilities or traffic conditions identified the need for any additional traffic calming or control devices.

### **III. Engineering Analysis to Determine if a Traffic Study is Required**

Per Washoe County requirements:

Traffic impact reports are required whenever the proposed development project will generate 80 or more weekday peak hour trips as determined using the latest edition Institute of Transportation Engineers (ITE) trip generation rates or other such sources as may be accepted by Washoe County Engineering. Projects with less than 200 peak hour trips may not need to perform an impact analysis for future years.

These conditions were reviewed to determine if a Traffic impact report was required for the proposed addition to the existing Rehab Center. Here are the following conditions and the resultant findings:

#### **1. 80 or More Peak Hours Trips**

Review of the ITE Trip Generation Manual 10<sup>th</sup> Edition (2017) was used for this analysis. The proposed residences were identified as having an ITE Land Use of 640: Animal Hospital/Veterinary Clinic. Review of Weekday AM Peak Hour Flows and Weekday PM Peak Hour Flows were reviewed per Washoe County requirements. The highest number of Peak Hour Trips identified was 3.83 trips per 1,000 sq. ft. of GFA (gross floor area) during the Weekday PM Peak Hour. This means that the addition of the new 3,750 square foot cat shelter, and eventually adding an additional 3,750 square foot training

facility, will add 7,500 square feet of GFA to the project. This will result in 28.73 Peak Hour Trips. This is far below the 80 Peak Hour Trip threshold. I would like to note that the existing 12,800 square foot building that is currently in use as part of the Rehab Center should not count towards the expansion, as these trips are pre-existing. However, even adding these pre-existing trips to the new trips to be generated results in a Peak Hour Trip generation of 77.75 trips, which is still below the 80 Peak Hour Trip threshold.

#### **IV. Conclusions:**

Per Washoe County requirements, traffic impact reports are required whenever the proposed development project will generate 80 or more weekday peak hour trips as determined using the latest edition Institute of Transportation Engineers (ITE) trip generation rates or other such sources as may be accepted by Washoe County Engineering.

The addition of the new 3,750 square foot cat shelter, and eventually adding an additional 3,750 square foot training facility, will add 7,500 square feet of GFA to the project. This will result in 28.73 Peak Hour Trips. This is far below the 80 Peak Hour Trip threshold.

I would like to note that the existing 12,800 square foot building that is currently in use as part of the Rehab Center should not count towards the expansion, as these trips are pre-existing. However, even adding these pre-existing trips to the new trips to be generated results in a Peak Hour Trip generation of 77.75 trips, which is still below the 80 Peak Hour Trip threshold.

Documentation identifying these conditions and the analysis to come to this conclusion have been included in this report.

Traffic generated by the expansion of the existing Rehab Center will have negligible impact on the adjacent street network.

No changes to the roadway network are required for this project due to the existing light traffic, roadway geometry, and (negligible) increase in traffic.

## Attachment 1 – General Location Map

(aerials from Google Earth Imagery Software)

2/16/2022 1:39:01 pm

Canine Rehabilitation Center and Cat Sanctuary

Washoe City

3120 ft

Martin Luther King, Jr. Memorial Hwy

Eastlake Blvd

580

101

101

Google Earth



## Attachment 2 – Project Location Map

(aerials from Washoe Regional Mapping System)





1 **FLOOR PLAN**  
SCALE 1/4" = 1 0'

revisions
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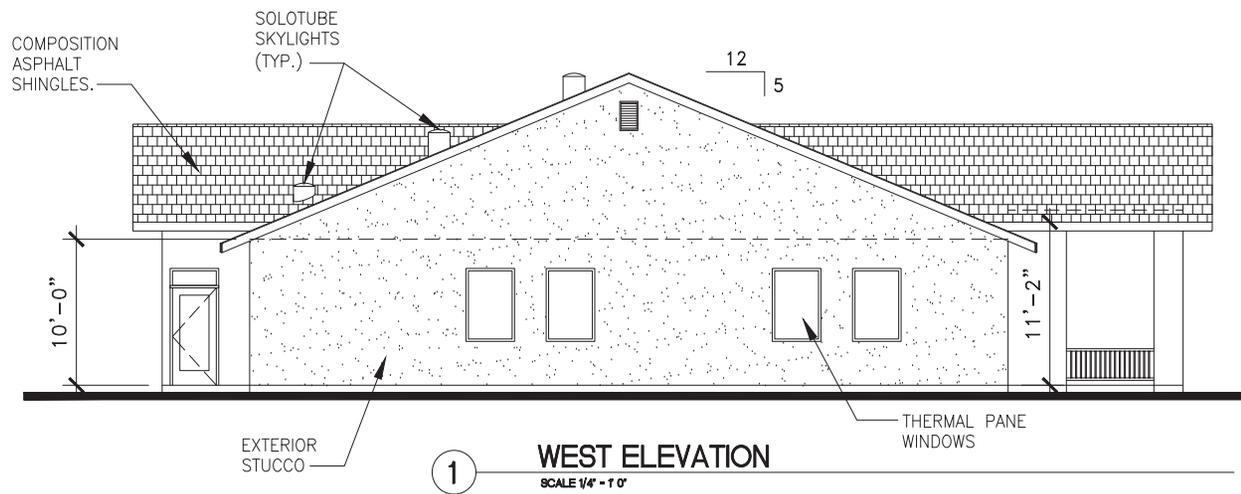
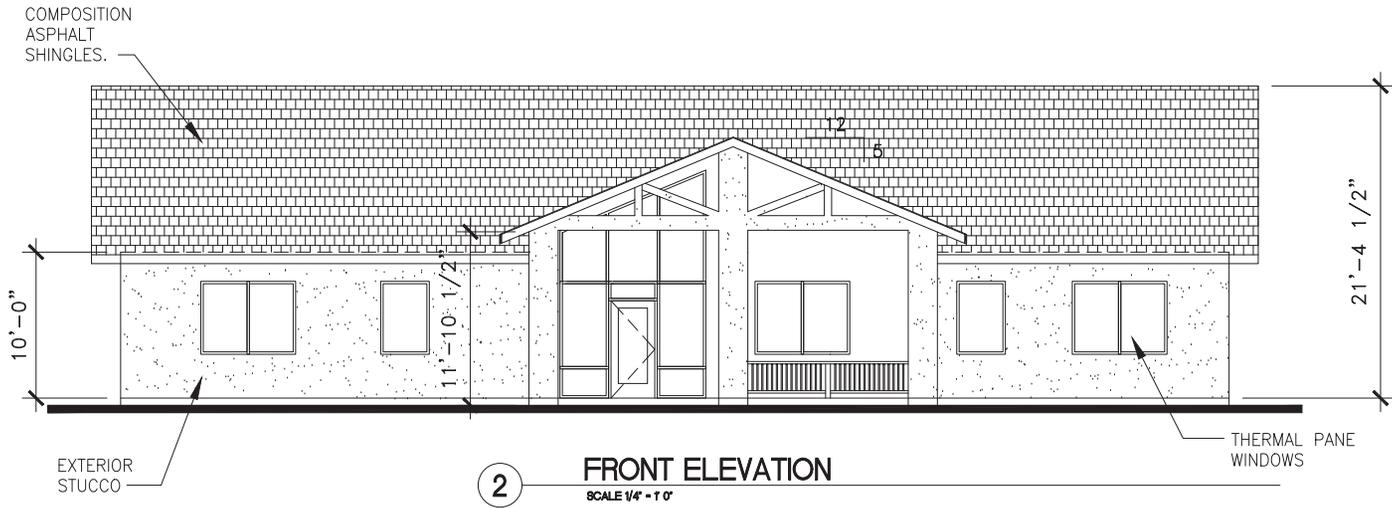
architects + llc  
 environmental  
 designers  
 25 Martin St.  
 Reno, NV 89509  
 FAX 775-322-8692

Project  
 Canine Rehabilitation Center  
 Renovation  
 555 US Hwy 395, North Washoe Valley  
 Nevada, 89704

Sheet Title  
 PROPOSED  
 FLOOR PLAN

drawn by K.P.
checked by CE
date 03/07/2022
job no. 555 US Hwy 395
sheet

A-1



Z:\projects\Jobes\Canine Rehabilitation Center and Cat Sanctuary\Canine Rehab A-2.0 Floor Plan.dwg, 3/8/2022 8:22:15 AM, DWG To PDF.pc3

revisions

architects + llc  
environmental  
designers

25 Martin St.  
Beverly Hills, CA 90209  
Tel: 775-328-8692  
Fax: 775-328-8692

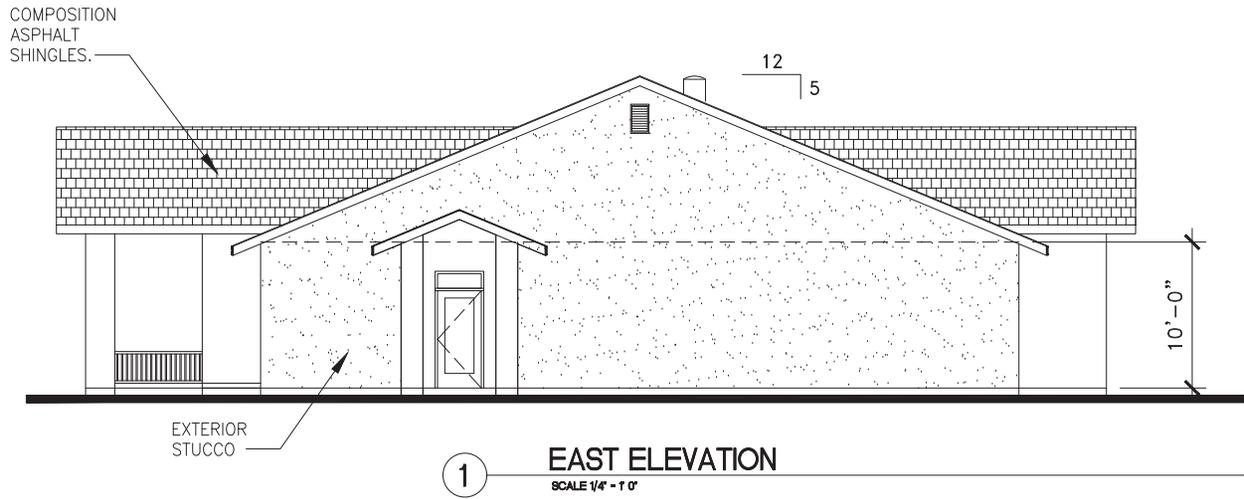
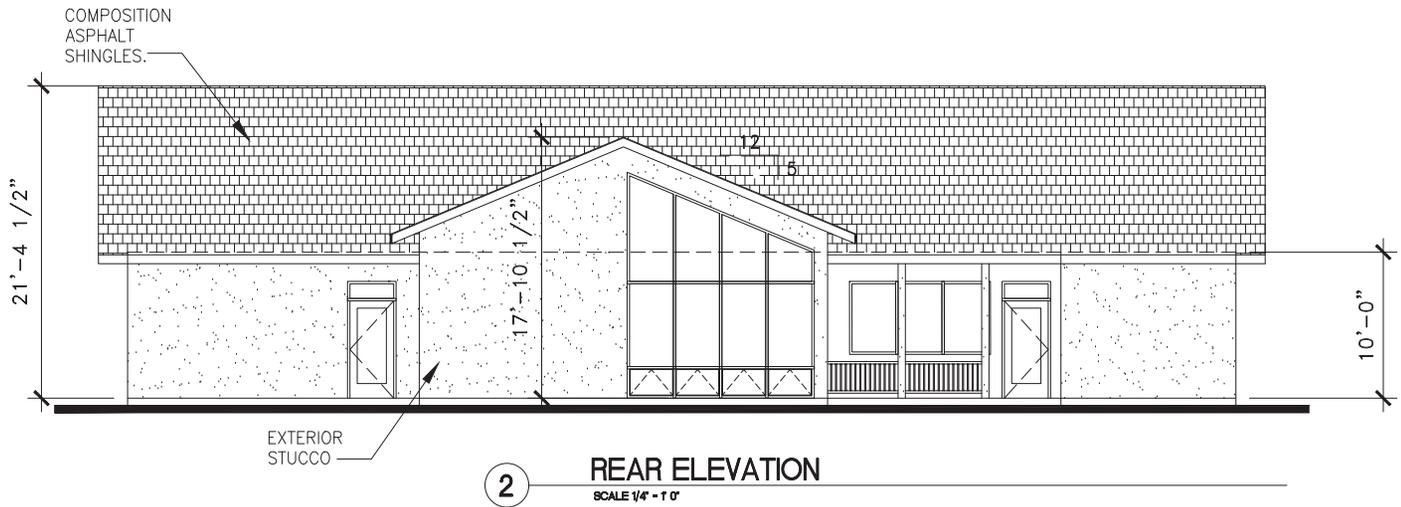
GEORGE L. LEPP  
REGISTERED ARCHITECT  
#1969  
03/08/2022  
REGISTERED ARCHITECT  
STATE OF NEVADA

Project  
Canine Rehabilitation Center  
Renovation  
555 US Hwy 395, North Washoe Valley  
Nevada, 89704

Sheet Title  
PROPOSED  
EXTERIOR  
ELEVATIONS

drawn by KJP
checked by OE
date 03/07/2022
job no. 555 US Hwy 395
sheet

A-2



revisions

architects + llc  
 environmental  
 designers

25 Martin St.  
 Reno, NV 89509  
 FAX: 775-328-8692

PROFESSIONAL ARCHITECT  
 REGISTERED  
 03/08/2022  
 STATE OF NEVADA

Project  
**Canine Rehabilitation Center  
 Renovation**  
 555 US Hwy 395, North Washoe Valley  
 Nevada, 89704

sheet title  
**PROPOSED  
 EXTERIOR  
 ELEVATIONS**

drawn by KJP
checked by CE
date 03/07/2022
job no. 555 US Hwy 395
sheet

**A-3**

Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens per Lamp	Light Loss Factor	Mounting Height	Wattage	Plot
S1			13	Lithonia Lighting	DS5X LED P2 40K 1P1M RWGLT	DS5X LED P2 40K 1P1M RWGLT	1	6007	0.9	12'	40	Max: 4163cd
S2			1	Lithonia Lighting	DS5X LED P2 40K 1P1M RWGLT	DS5X LED P2 40K 1P1M RWGLT	1	6007	0.9	12'	98	Max: 4163cd
W1			8	Lithonia Lighting	DS1XW1 LED LDC 700 40K 12M RWGLT	DS1XW1 LED WITH (1) 50 LED LIGHT ENGINES, TYPE 140 OPTIC, 4000K, @ 700mA	1	2761	0.9	12'	26.2	Max: 1800cd
W2			4	Lithonia Lighting	DS1XW1 LED LDC 350 40K 12M RWGLT	DS1XW1 LED WITH (1) 50 LED LIGHT ENGINES, TYPE 12M OPTIC, 4000K, @ 350mA	1	1448	0.9	12'	13.3	Max: 1399cd

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
PARKING AREA	+	1.2 fc	6.2 fc	0.0 fc	N/A	N/A
PAVILLION AREA	+	1.1 fc	4.1 fc	0.1 fc	41.0:1	11.0:1
Light Trespass	+	0.1 fc	4.2 fc	0.0 fc	N/A	N/A
Property Boundry	+	0.1 fc	3.3 fc	0.0 fc	N/A	N/A



Plan View

