

Community Services Department
Planning and Building
**DETACHED ACCESSORY DWELLING
ADMINISTRATIVE REVIEW
APPLICATION**



Community Services Department
Planning and Building
1001 E. Ninth St., Bldg. A
Reno, NV 89512-2845

Telephone: 775.328.6100

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name:			
Project Description:			
Project Address:			
Project Area (acres or square feet):			
Project Location (with point of reference to major cross streets AND area locator):			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone: Fax:		Phone: Fax:	
Email:		Email:	
Cell: Other:		Cell: Other:	
Contact Person:		Contact Person:	
Applicant/Developer:		Other Persons to be Contacted:	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone: Fax:		Phone: Fax:	
Email:		Email:	
Cell: Other:		Cell: Other:	
Contact Person:		Contact Person:	
For Office Use Only			
Date Received: Initial:		Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Property Owner Affidavit

Applicant Name: THEODORE MICHAEL MULVANEY

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
COUNTY OF WASHOE)

I, THEODORE MICHAEL MULVANEY
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 148-082-02

Printed Name THEODORE MICHAEL MULVANEY

Signed Theodore Michael Mulvane

Address 5895 LAUSANNE DR Reno, NV

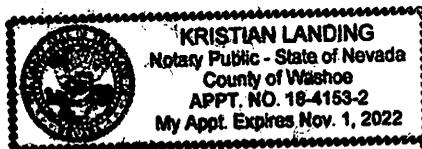
Subscribed and sworn to before me this 22nd day of JUNE, 2022.

(Notary Stamp)

[Signature]

Notary Public in and for said county and state

My commission expires: 11/1/2022



*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

Property Owner Affidavit

Applicant Name: Erin E. Mulvaney

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
COUNTY OF WASHOE)

I, Erin E. Mulvaney
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 148-082-02

Printed Name Erin E. Mulvaney

Signed Erin E. Mulvaney

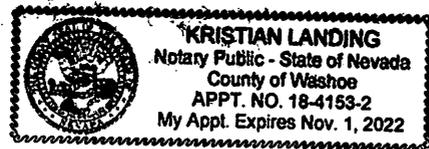
Address 5895 Lausanne Dr. Reno, NV 89511

Subscribed and sworn to before me this 22nd day of JUNE, 2022.

[Signature]
Notary Public in and for said county and state

My commission expires: 11/1/2022

(Notary Stamp)



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- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
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Administrative Review Permit Application for a Detached Accessory Dwelling Supplemental Information

(All required information may be separately attached)

1. What is the size (square footage) of the main dwelling or proposed main dwelling (exclude size of garage)?

2. What is the size of the proposed detached accessory dwelling (exclude size of garage)? If a manufactured or modular home is the secondary dwelling, list the age and size of the unit.

3. How are you planning to integrate the main dwelling and secondary dwelling to provide architectural compatibility of the two structures?

5. How many off-street parking spaces are available? Parking spaces must be shown on site plan. Are any new roadway, driveway, or access improvements be required?

6. What will you do to minimize any potential negative impacts (e.g. increased lighting, removal of existing vegetation, etc.) your project may have on adjacent properties?

The structure is one story and placed behind the main residence, minimizing its presence from the street. Exterior lighting will be located in areas that focuses light into the rear yard of the subject property. Disturbed areas will be re-landscaped per HOA guidelines

7. Is the subject property part of an active Home Owners Association (HOA) or Architectural Control Committee?

<input type="checkbox"/> Yes	<input type="checkbox"/> No	If yes, please list the HOA name.
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8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit a detached accessory dwelling on your property?

<input type="checkbox"/> Yes	<input type="checkbox"/> No	If yes, please attach a copy.
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9. Only one accessory dwelling unit, whether attached or detached, is allowed per parcel. Is there a guest apartment, mother-in-law unit, next-gen addition with kitchen or any other type of secondary dwelling on the subject property?

<input type="checkbox"/> Yes	<input type="checkbox"/> No	If yes, please provide information on the secondary unit.
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10. List who the service providers are for the main dwelling and accessory dwelling:

	Main Dwelling	Accessory Dwelling
Sewer Service		
Electrical Service		
Solid Waste Disposal Service		
Water Service		

Montreux Design Review Committee

18124 Wedge Parkway, #447
Reno, Nevada 89511
Office: 775-853-9056
Fax: 775-853-7304

March 11, 2022

TO:

Theodore & Erin Mulvaney
5895 Lausanne Drive
Reno, NV 89511

RE:

Lot: #212
Sub: Montreux
Unit: Two

At a meeting on **March 9, 2022**, the Montreux Design Review Committee considered the plan you submitted for the lot mentioned above. The following determination was made:

{ } The following was given preliminary approval

{X} The following was given final approval

(X) Room Addition*

{ } The following plan was not approved

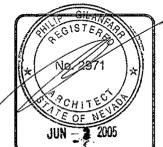
The Montreux Design Review Committee reviewed your submittal, and we would like to extend our thank you. After reviewing the room addition plan the Committee granted final approval and has made the following comments:

- 1) All exterior finishes must match the existing home.
- 2) Please add additional plant and tree material on the North side of the addition.
Please provide a revised landscape plan. Thank you!

If there are any further questions regarding this matter, please provide them in writing to the Committee.

Thank you for your cooperation.

***Montreux Design
Review Committee***



Philip Swanger
REGISTERED ARCHITECT
STATE OF NEVADA
No. 2871
JUN 2005

ClairFair + Associates
architecture

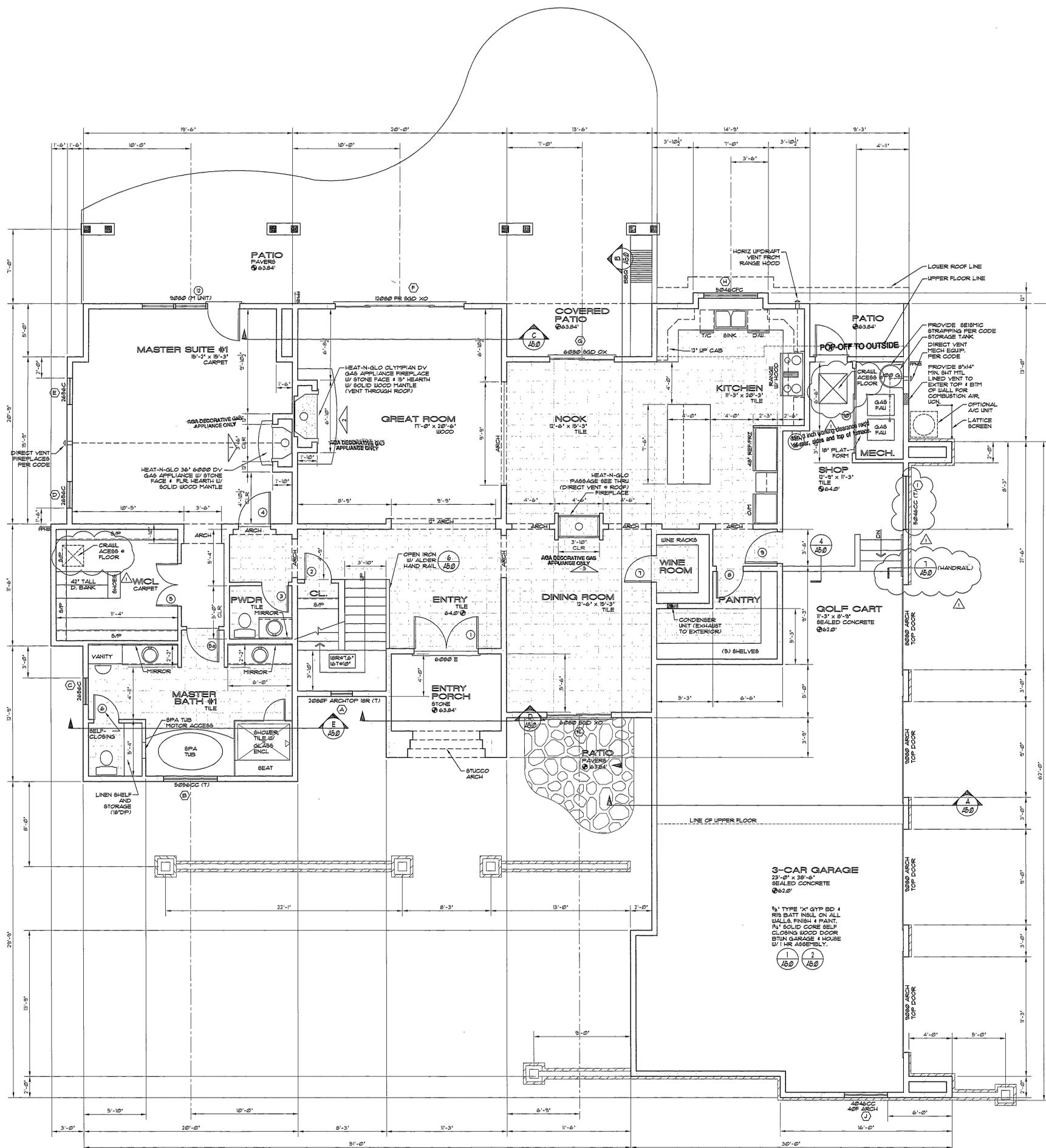
PO Box 8877
Incline Village, Nevada 89452
Tel: 702.251.8888 Fax: 702.251.8881

WASHE COUNTY BUILDING DEPT.
A CUSTOM RESIDENCE:
ZAHLER ENTERPRISES, INC.
1885 LAUREN DRIVE, RENO, NV 89502
OFFICE COPY

FILE: MAIN FLOOR PLAN
REVISIONS
6/25 UCBD
FILE: Lausanna AI
DATE: 20 APRIL 05
SCALE: AS NOTED
DRAWN: BBS
SHEET: A1.0
OF 11 SHEETS

WASHE COUNTY
APPROVED
BY: 4 DEPT.

MAIN FLOOR LIVING AREA = 2421 SF.
TOTAL LIVING AREA = 4819 SF.
DECKS AND PATIOS = 1114 SF.
GARAGE + SHOP AREA = 1249 SF.



DOOR SCHEDULE								
SYMBOL	SIZE	THK	HINGE	STYLE	REMARKS	JAMB	LOCKSET & HARDWARE	
MAIN FLOOR								
1	6'0"0"	1-3/4"	L-HINGE	CUSTOM	ENTRY	FIELD VERIFY	FULL MORTISE	
2	2'6"0"	1-3/4"	R-HINGE	PANEL	CLOSET	FIELD VERIFY	PASSAGE	
3	2'6"0"	1-3/4"	R-HINGE	PANEL	POUNDER	FIELD VERIFY	PRIVACY	
4	3'0"0"	1-3/4"	L-HINGE	PANEL	MASTER BED #1	FIELD VERIFY	PRIVACY	
5	4'0"0"	1-3/4"	M-UNIT	PANEL	M. W.C.L.	FIELD VERIFY	PASSAGE	
5a	3'0"0"	1-3/4"	R-HINGE	PANEL	M. BATH	FIELD VERIFY	PRIVACY	
6	2'4"0"	1-3/4"	R-HINGE	SC	PANEL	M. TOILET	FIELD VERIFY	PASSAGE
7	2'6"0"	1-3/4"	R-HINGE	CUSTOM	WINE	FIELD VERIFY	PASSAGE	
8	2'6"0"	1-3/4"	L-HINGE	PANEL	PANTRY	FIELD VERIFY	DB #4 PASSAGE	
9	3'0"0"	1-3/4"	R-HINGE	SC	PANEL	GARAGE	FIELD VERIFY	PASSAGE
10	6'0"0"	1-3/4"	M-UNIT	PANEL	MECHANICAL	FIELD VERIFY	PASSAGE	
11	3'0"0"	1-3/4"	BI-PASS	PANEL	BACK YARD	FIELD VERIFY	PRIVACY	
12	3'0"0"	1-3/4"	M-UNIT	PANEL	M.B. PATIO	FIELD VERIFY	FULL MORTISE	
UPPER FLOOR								
13	3'0"0"	1-3/4"	R-HINGE	PANEL	MASTER BED #2	FIELD VERIFY	PRIVACY	
14	2'8"0"	1-3/4"	L-HINGE	PANEL	M. BATH	FIELD VERIFY	PASSAGE	
15	4'0"0"	1-3/4"	M-UNIT	PANEL	M. W.C.	FIELD VERIFY	PRIVACY	
16	2'4"0"	1-3/4"	R-HINGE	PANEL	M. TOILET	FIELD VERIFY	PRIVACY	
17	2'8"0"	1-3/4"	L-HINGE	PANEL	BED #3	FIELD VERIFY	PASSAGE	
18	2'6"0"	1-3/4"	R-HINGE	PANEL	W.C.	FIELD VERIFY	PRIVACY	
19	2'6"0"	1-3/4"	L-HINGE	PANEL	BATH	FIELD VERIFY	PRIVACY	
20	2'8"0"	1-3/4"	R-HINGE	PANEL	BED #4	FIELD VERIFY	PASSAGE	
21	6'0"0"	1-3/4"	BI-PASS	PANEL	CLOSET	FIELD VERIFY	PRIVACY	
22	2'6"0"	1-3/4"	R-HINGE	PANEL	BATH	FIELD VERIFY	PRIVACY	
23	2'4"0"	1-3/4"	R-HINGE	PANEL	TOILET	FIELD VERIFY	PASSAGE	
24	3'0"0"	1-3/4"	L-HINGE	PANEL	FAMILY ROOM	FIELD VERIFY	PASSAGE	
25	3'0"0"	1-3/4"	R-HINGE	PANEL	LAUNDRY	FIELD VERIFY	PASSAGE	
26	6'0"0"	1-3/4"	M-UNIT	PANEL	M.B. DECK	FIELD VERIFY	PASSAGE	

WINDOW AND PATIO DOOR SCHEDULE							
SYMBOL	SIZE	STYLE	TYPE	HINGED	TEMPERED	HEADER HEIGHT	
LOWER FLOOR							
A	2'0"0"	F			YES	(7)	16'-0" FROM LOWER FF
B	5'0"6"	CC			YES		8'-0"
C	2'6"6"	C		LEFT			8'-0"
D	2'6"6"	C		LEFT			8'-0"
E	2'6"6"	C		RIGHT			8'-0"
F	12'0"0"-4	FR SLIDER	DOUBLE		YES		8'-0"
G	6'0"0"	FR SLIDER	DOOR	XG	YES		8'-0"
H	6'0"0"	CC			YES		8'-0"
I	4'0"6"	CC			YES		1'-0"
J	4'0"6"	CC			YES		8'-0" FROM GARAGE FF
K	4'0"6"	FR SLIDER	ARCHTOP		YES		8'-0" FROM GARAGE FF
UPPER FLOOR							
AA	5'0"0"	CC					7'-0"
BB	5'0"6"	F	ARCHTOP		YES		8'-0"
BB	5'0"6"	CC			YES		12'-0"
CC	2'6"6"	F		LEFT			7'-0"
DD	2'6"6"	C		RIGHT			7'-0"
EE	12'0"0"-4	F					19'-0"
FF	12'0"0"	F					FIELD MEASURE
GG	6'0"0"	FR SLIDER			YES		7'-0"
HH	3'6"6"	A	RAIN GLASS		YES		8'-0"
II	5'0"6"	CC					8'-0"
JJ	2'6"6"	C		RIGHT			8'-0"
KK	2'6"6"	C		LEFT			8'-0"
LL	3'6"6"	A	RAIN GLASS		YES		8'-0"
MM	4'0"6"	CC					8'-0"
NN	4'0"6"	CC					8'-0"
OO	4'0"6"	F	ARCHTOP				8'-0"
PP	4'0"6"	CC					8'-0"
QQ	4'0"6"	F	ARCHTOP				8'-0"

NOTES:
C - Casement, F - Fixed
Windows shall have jamb extensions for wall thickness of 6-9/16"
Verify additional width at these walls
All screens to be delivered separately boxed and marked for inst.
Hardware for slider to be oiled rubbered bronze finish

ALL BEDROOMS -
One window shall open
min. 20" wide, 24" high,
44" maximum sill height,
min. 5.7 sq. ft. of
openable area

ICE DAM REQUIRED AT 5300
FOOT ELEVATION AND ABOVE

SNOW DIVERTERS REQUIRED
AT CHIMNEYS AND VENTS.

MAIN FLOOR PLAN
SCALE: 1/4" = 1' - 0"

SEE WARNING
SHEET
BOTH SIDES

Glenn + Associates
 architecture
 a professional corporation
 p.o. box 8627
 Incline Village, Nevada 89418
 fax: 775/515/8563 voice: 775/515/8561



EAST ELEVATION
 SCALE: 1/4" = 1' - 0"

STUCCO
 EXPANSION JOINTS REQUIRED
 EVERY 10 FEET VERT. AND
 HORIZ. AND VERT. AT DOORS
 AND WINDOWS.

APPROVED BY:
 NOT 3.905
 MONTREUX DESIGN
 REVIEW COMMITTEE



SOUTH ELEVATION
 SCALE: 1/4" = 1' - 0"

SEE WARNING
 SHEET
 BOTH SIDES

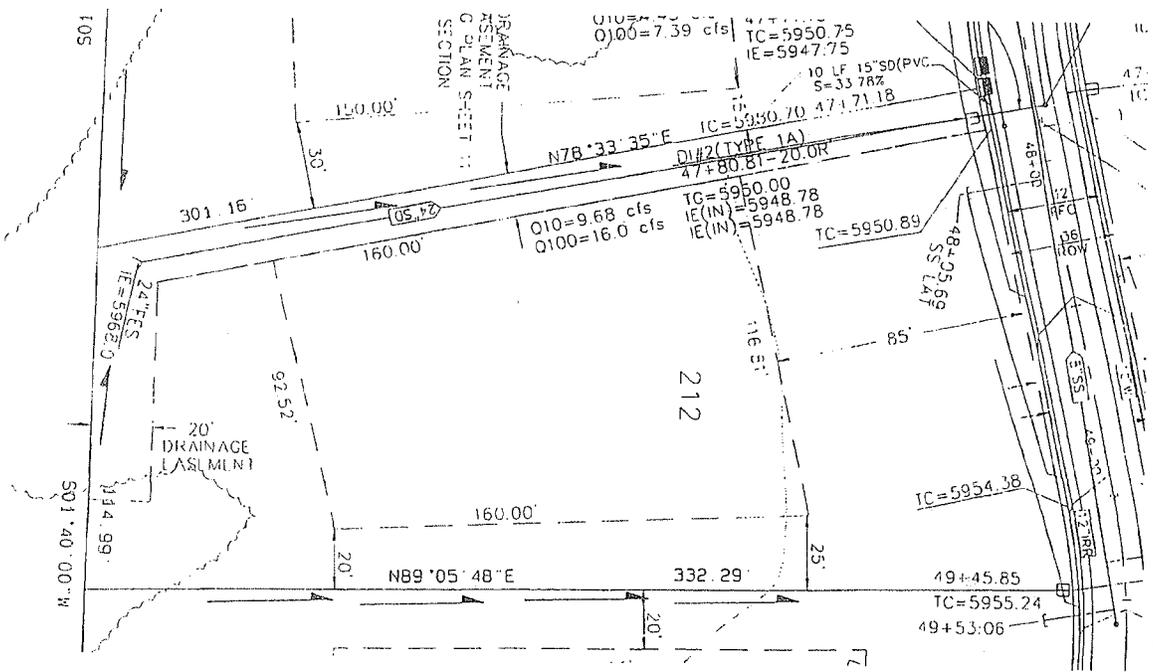
WASHOE COUNTY
 APPROVED
 4 JEFF

TITLE: EXTERIOR ELEVATIONS
 A CUSTOM RESIDENCE
 WASHOE COUNTY BUILDING DEPT.
ZAHLER ENTERPRISES, INC.
 1000 W. WASHINGTON ST., SUITE 100, WASHINGTON, NV 89440
 LOT 20, WASHINGTON SUBDIVISION UNIT NO. 2
 APR. 18, 2005-02

REVISIONS

FILE:	Leusime AI
DATE:	30 DEC 04
SCALE:	AS NOTED
DRAWN:	BBG
SHEET:	A3.0
OF 17 SHEETS	

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- LEGEND**
- LOT LINE SWALE
 - BUILDING SET BACK LINE
 - SEWER LINE WITH LATERAL
 - WATER LINE WITH METER
 - FIRE HYDRANT
 - EXISTING TREE



JEFF CODEGA
PLANNING/DESIGN, INC.

planners • landscape architects • engineers

417 West Park Lane • Suite 100 • Denver, Colorado 80202 • (303) 733-1000 • FAX (303) 733-7551

MONTREUX UNIT 2

LAUSANNE DRIVE

Lot 212	
Scale: 1" = 40'	
DATE	APRIL 1997

MULVANEY GUEST SUITE

5895 LAUSANNE DR

MONTREUX, RENO, NEVADA



CWX ARCHITECTS INC.
1680 Montclair Ave., Suite A
Reno, Nevada
(775) 829-7747
www.cwxarchitects.com

MULVANEY GUEST SUITE
MONTREUX, RENO, NEVADA

ABBREVIATIONS	PROJECT REQUIREMENTS	GENERAL NOTES	PROJECT DATA & CODE ANALYSIS	DRAWING INDEX																																																																																																																																																																																																																																																																																																																																																																																																																				
<table border="0"> <tr><td>ABV</td><td>ABOVE</td><td>F.S.</td><td>FLOOR SINK / FINISH SURFACE</td><td>PLAS.</td><td>PLASTIC</td></tr> <tr><td>ADQUS</td><td>ADDITIONAL</td><td>FT.</td><td>FOOT / FEET</td><td>P.LAM</td><td>PLASTIC LAMINATE</td></tr> <tr><td>ADJ.</td><td>ADJUSTABLE / ADJACENT</td><td>FTG.</td><td>FOOTING</td><td>PLWD.</td><td>PLYWOOD</td></tr> <tr><td>A.F.F.</td><td>ALTERNATE</td><td>F.V.</td><td>FOUNDATION VENT</td><td>PR.</td><td>PAIR</td></tr> <tr><td>ALUM.</td><td>ALUMINUM</td><td>GAL.</td><td>GALVE / GAGE</td><td>P.T.</td><td>PRESSURE TREATED</td></tr> <tr><td>ANOD.</td><td>ANODIZED</td><td>GA.</td><td>GALVANIZED</td><td>QT.</td><td>QUARRY TILE</td></tr> <tr><td>APPROX.</td><td>APPROXIMATE</td><td>GFRG.</td><td>GLASS FIBER REINFORCED GYPSUM</td><td>R.</td><td>RISER / RADIUS</td></tr> <tr><td>AWN.</td><td>AWNING</td><td>G.C.</td><td>GENERAL CONTRACTOR</td><td>RAD.</td><td>RADIUS</td></tr> <tr><td>BD.</td><td>BOARD</td><td>GL.</td><td>GLASS</td><td>R.D.</td><td>ROOF DRAIN</td></tr> <tr><td>BLDG.</td><td>BUILDING</td><td>GRD.</td><td>GRADE</td><td>REINF.</td><td>REINFORCE</td></tr> <tr><td>BK.</td><td>BLOCK</td><td>GYP.</td><td>GYPSUM</td><td>REQ.</td><td>REQUIRED</td></tr> <tr><td>BLKG.</td><td>BLOCKING</td><td>H.</td><td>HIGH</td><td>RM.</td><td>ROOM</td></tr> <tr><td>BLW.</td><td>BELOW</td><td>H.B.</td><td>HOSE BIBB</td><td>R.O.</td><td>ROUGH OPENING</td></tr> <tr><td>BM.</td><td>BEAM</td><td>H.C.</td><td>HOLLOW CORE</td><td>R.S.</td><td>ROUGH SAWN</td></tr> <tr><td>BOT.</td><td>BOTTOM</td><td>H.C.</td><td>HOLLOW CORE</td><td>RWD.</td><td>REDWOOD</td></tr> <tr><td>CAB.</td><td>CABINET</td><td>HDR.</td><td>HEADER</td><td>S.C.</td><td>SOLID CORE</td></tr> <tr><td>CEM.</td><td>CEMENT</td><td>HDWD.</td><td>HARD WOOD</td><td>SCHED.</td><td>SCHEDULE</td></tr> <tr><td>CER.</td><td>CERAMIC</td><td>HDWE.</td><td>HARDWARE</td><td>SECT.</td><td>SECTION</td></tr> <tr><td>C.I.</td><td>CAST IRON</td><td>HGT.</td><td>HEIGHT</td><td>S.F.</td><td>SQUARE FEET</td></tr> <tr><td>CLG.</td><td>CEILING</td><td>H.M.</td><td>HOLLOW METAL</td><td>SGD.</td><td>SLIDING GLASS DOOR</td></tr> <tr><td>CLO.</td><td>CLOSET</td><td>HORIZ.</td><td>HORIZONTAL</td><td>SH</td><td>SINGLE HUNG</td></tr> <tr><td>CLR.</td><td>CLEAR</td><td>I.B.C.</td><td>INTERNATIONAL BUILDING CODE</td><td>SHT.</td><td>SHEET</td></tr> <tr><td>CMU.</td><td>CONCRETE MASONRY UNIT</td><td>I.D.</td><td>INSIDE DIAMETER / DIMENSION</td><td>SIM.</td><td>SIMILAR</td></tr> <tr><td>COL.</td><td>COLUMN</td><td>INT.</td><td>INTERIOR</td><td>SLDR.</td><td>SLIDER</td></tr> <tr><td>COMP.</td><td>COMPACTED</td><td>INSUL.</td><td>INSULATION</td><td>SQ.</td><td>SQUARE</td></tr> <tr><td>CONC.</td><td>CONCRETE</td><td>INT.</td><td>INTERIOR</td><td>S&R.</td><td>SHELF & ROD</td></tr> <tr><td>CONN.</td><td>CONNECTION</td><td>I.R.C.</td><td>INTERNATIONAL RESIDENTIAL CODE</td><td>S.S.</td><td>STAINLESS STEEL</td></tr> <tr><td>CONT.</td><td>CONTINUOUS</td><td>JAN.</td><td>JANITOR</td><td>SLDR.</td><td>SLIDER</td></tr> <tr><td>C.T.</td><td>COUNTERSUNK</td><td>J.T.</td><td>JOINT</td><td>STL.</td><td>STEEL</td></tr> <tr><td>CSK.</td><td>CASEMENT</td><td>K.D.</td><td>KNOCK DOWN</td><td>STOR.</td><td>STORAGE</td></tr> <tr><td>CSMT.</td><td>CASEMENT</td><td>K.O.</td><td>KNOCK OUT</td><td>STRUC.</td><td>STRUCTURAL</td></tr> <tr><td>D.</td><td>DEEP</td><td>K.O.</td><td>KNOCK OUT</td><td>SUSP.</td><td>SUSPENDED</td></tr> <tr><td>DET.</td><td>DETAIL</td><td>L.A.M.</td><td>LAMINATE</td><td>SYN.</td><td>SYMMETRICAL</td></tr> <tr><td>D.F.</td><td>DOUGLAS FIR / DRINKING FOUNTAIN</td><td>LAV.</td><td>LAVATORY</td><td>T.</td><td>TREAD</td></tr> <tr><td>DIA.</td><td>DIAMETER</td><td>LOC.</td><td>LOCATION</td><td>T.C.</td><td>TOP OF CURB</td></tr> <tr><td>DM.</td><td>DIMENSION</td><td>L.</td><td>LONG</td><td>TEL.</td><td>TELEPHONE</td></tr> <tr><td>DN.</td><td>DOWN</td><td>L.P.</td><td>LOUISIANA-PACIFIC</td><td>TEMP.</td><td>TEMPERED / TEMPORARY</td></tr> <tr><td>D.S.</td><td>DOWNSPOUT</td><td>L.P.</td><td>LOUISIANA-PACIFIC</td><td>T&G.</td><td>TONGUE & GROOVE</td></tr> <tr><td>DWG.</td><td>DRAWING</td><td>MAX.</td><td>MAXIMUM</td><td>THK.</td><td>THICK</td></tr> <tr><td>EA.</td><td>EACH</td><td>MECH.</td><td>MECHANICAL</td><td>T.O.B.</td><td>TOP OF BEAM</td></tr> <tr><td>EFS.</td><td>EXTERIOR INSULATION FINISH SYSTEM</td><td>MTL.</td><td>METAL</td><td>T.O.C.</td><td>TOP OF CONCRETE</td></tr> <tr><td>ELEV.</td><td>ELEVATOR</td><td>MFR.</td><td>MANUFACTURER</td><td>T.O.F.</td><td>TOP OF FRAMING</td></tr> <tr><td>ELEC.</td><td>ELECTRICAL</td><td>MIN.</td><td>MINIMUM</td><td>T.O.J.</td><td>TOP OF JOIST</td></tr> <tr><td>EQ.</td><td>EQUAL</td><td>MISC.</td><td>MISCELLANEOUS</td><td>T.O.L.</td><td>TOP OF LEDGER</td></tr> <tr><td>EXH.</td><td>EXHAUST</td><td>M.O.</td><td>MASONRY OPENING</td><td>T.O.M.</td><td>TOP OF MASONRY</td></tr> <tr><td>EXP.</td><td>EXPANSION</td><td>MTD.</td><td>MOUNTED</td><td>T.O.P.</td><td>TOP OF PARAPET</td></tr> <tr><td>EXT.</td><td>EXTERIOR</td><td>MUL.</td><td>MULLION</td><td>T.O.PL.</td><td>TOP OF PLATE</td></tr> <tr><td>EX.</td><td>EXISTING</td><td>N.</td><td>NEW</td><td>TYP.</td><td>TYPICAL</td></tr> <tr><td>EXST.</td><td>EXISTING</td><td>N.C.</td><td>NOT IN CONTRACT</td><td>U.N.O.</td><td>UNLESS NOTED OTHERWISE</td></tr> <tr><td>F.A.U.</td><td>FORCED AIR UNIT</td><td>N.O.</td><td>NUMBER</td><td>V.C.T.</td><td>VINYL COMPOSITE TILE</td></tr> <tr><td>F.E.C.</td><td>FIRE EXTINGUISHER CABINET</td><td>NOM.</td><td>NOMINAL</td><td>VERT.</td><td>VERTICAL</td></tr> <tr><td>F.D.</td><td>FLOOR DRAIN</td><td>N.T.S.</td><td>NOT TO SCALE</td><td>VEST.</td><td>VESTIBULE</td></tr> <tr><td>F.G.</td><td>FINISH GRADE / FIBER GLASS</td><td>O.A.</td><td>OVERALL / OUTSIDE AIR</td><td>V.G.D.F.</td><td>VERTICAL GRAIN DOUGLAS FIR</td></tr> <tr><td>F.H.C.</td><td>FIRE HOSE CABINET</td><td>OBS.</td><td>OBSOLETE</td><td>V.T.R.</td><td>VENT THRU ROOF</td></tr> <tr><td>FIN.</td><td>FINISH</td><td>O.C.</td><td>ON CENTER</td><td>V.V.C.</td><td>VINYL WALL COVERING</td></tr> <tr><td>FLR.</td><td>FLOOR</td><td>O.D.</td><td>OUTSIDE DIAMETER / DIMENSION</td><td>W.</td><td>WITH</td></tr> <tr><td>FLASH.</td><td>FLASHING</td><td>O.F.</td><td>OVERFLOW</td><td>W/O.</td><td>WITHOUT</td></tr> <tr><td>FLUOR.</td><td>FLUORESCENT</td><td>O.F.C.I.</td><td>OWNER FURNISHED CONTRACTOR INSTALLED</td><td>W.C.</td><td>WATER CLOSET</td></tr> <tr><td>F.O.</td><td>FACE OF</td><td>OFF.</td><td>OFFICE</td><td>W.D.</td><td>WOOD</td></tr> <tr><td>F.O.C.</td><td>FACE OF CONCRETE</td><td>OPNG.</td><td>OPENING</td><td>WDW.</td><td>WINDOW</td></tr> <tr><td>F.O.F.</td><td>FACE OF FINISH</td><td>OPP.</td><td>OPPOSITE</td><td>W.H.</td><td>WATER HEATER</td></tr> <tr><td>F.O.M.</td><td>FACE OF MASONRY</td><td>O.P.</td><td>OPPOSITE</td><td>W.P.</td><td>WATERPROOF</td></tr> <tr><td>F.O.S.</td><td>FACE OF STUD</td><td>O.H.</td><td>OVERHEAD</td><td>W.R.</td><td>WATER RESISTANT</td></tr> <tr><td>FRP.</td><td>FIBER REINFORCED PLASTIC</td><td>PARTN.</td><td>PARTITION</td><td>W.R.B.</td><td>WEATHER RESISTIVE BARRIER</td></tr> <tr><td></td><td></td><td>PC.</td><td>PRECAST / PORTLAND CEMENT</td><td>WSCT.</td><td>WAINSCOT</td></tr> <tr><td></td><td></td><td>PL.</td><td>PLATE</td><td>WT.</td><td>WEIGHT</td></tr> </table>	ABV	ABOVE	F.S.	FLOOR SINK / FINISH SURFACE	PLAS.	PLASTIC	ADQUS	ADDITIONAL	FT.	FOOT / FEET	P.LAM	PLASTIC LAMINATE	ADJ.	ADJUSTABLE / ADJACENT	FTG.	FOOTING	PLWD.	PLYWOOD	A.F.F.	ALTERNATE	F.V.	FOUNDATION VENT	PR.	PAIR	ALUM.	ALUMINUM	GAL.	GALVE / GAGE	P.T.	PRESSURE TREATED	ANOD.	ANODIZED	GA.	GALVANIZED	QT.	QUARRY TILE	APPROX.	APPROXIMATE	GFRG.	GLASS FIBER REINFORCED GYPSUM	R.	RISER / RADIUS	AWN.	AWNING	G.C.	GENERAL CONTRACTOR	RAD.	RADIUS	BD.	BOARD	GL.	GLASS	R.D.	ROOF DRAIN	BLDG.	BUILDING	GRD.	GRADE	REINF.	REINFORCE	BK.	BLOCK	GYP.	GYPSUM	REQ.	REQUIRED	BLKG.	BLOCKING	H.	HIGH	RM.	ROOM	BLW.	BELOW	H.B.	HOSE BIBB	R.O.	ROUGH OPENING	BM.	BEAM	H.C.	HOLLOW CORE	R.S.	ROUGH SAWN	BOT.	BOTTOM	H.C.	HOLLOW CORE	RWD.	REDWOOD	CAB.	CABINET	HDR.	HEADER	S.C.	SOLID CORE	CEM.	CEMENT	HDWD.	HARD WOOD	SCHED.	SCHEDULE	CER.	CERAMIC	HDWE.	HARDWARE	SECT.	SECTION	C.I.	CAST IRON	HGT.	HEIGHT	S.F.	SQUARE FEET	CLG.	CEILING	H.M.	HOLLOW METAL	SGD.	SLIDING GLASS DOOR	CLO.	CLOSET	HORIZ.	HORIZONTAL	SH	SINGLE HUNG	CLR.	CLEAR	I.B.C.	INTERNATIONAL BUILDING CODE	SHT.	SHEET	CMU.	CONCRETE MASONRY UNIT	I.D.	INSIDE DIAMETER / DIMENSION	SIM.	SIMILAR	COL.	COLUMN	INT.	INTERIOR	SLDR.	SLIDER	COMP.	COMPACTED	INSUL.	INSULATION	SQ.	SQUARE	CONC.	CONCRETE	INT.	INTERIOR	S&R.	SHELF & ROD	CONN.	CONNECTION	I.R.C.	INTERNATIONAL RESIDENTIAL CODE	S.S.	STAINLESS STEEL	CONT.	CONTINUOUS	JAN.	JANITOR	SLDR.	SLIDER	C.T.	COUNTERSUNK	J.T.	JOINT	STL.	STEEL	CSK.	CASEMENT	K.D.	KNOCK DOWN	STOR.	STORAGE	CSMT.	CASEMENT	K.O.	KNOCK OUT	STRUC.	STRUCTURAL	D.	DEEP	K.O.	KNOCK OUT	SUSP.	SUSPENDED	DET.	DETAIL	L.A.M.	LAMINATE	SYN.	SYMMETRICAL	D.F.	DOUGLAS FIR / DRINKING FOUNTAIN	LAV.	LAVATORY	T.	TREAD	DIA.	DIAMETER	LOC.	LOCATION	T.C.	TOP OF CURB	DM.	DIMENSION	L.	LONG	TEL.	TELEPHONE	DN.	DOWN	L.P.	LOUISIANA-PACIFIC	TEMP.	TEMPERED / TEMPORARY	D.S.	DOWNSPOUT	L.P.	LOUISIANA-PACIFIC	T&G.	TONGUE & GROOVE	DWG.	DRAWING	MAX.	MAXIMUM	THK.	THICK	EA.	EACH	MECH.	MECHANICAL	T.O.B.	TOP OF BEAM	EFS.	EXTERIOR INSULATION FINISH SYSTEM	MTL.	METAL	T.O.C.	TOP OF CONCRETE	ELEV.	ELEVATOR	MFR.	MANUFACTURER	T.O.F.	TOP OF FRAMING	ELEC.	ELECTRICAL	MIN.	MINIMUM	T.O.J.	TOP OF JOIST	EQ.	EQUAL	MISC.	MISCELLANEOUS	T.O.L.	TOP OF LEDGER	EXH.	EXHAUST	M.O.	MASONRY OPENING	T.O.M.	TOP OF MASONRY	EXP.	EXPANSION	MTD.	MOUNTED	T.O.P.	TOP OF PARAPET	EXT.	EXTERIOR	MUL.	MULLION	T.O.PL.	TOP OF PLATE	EX.	EXISTING	N.	NEW	TYP.	TYPICAL	EXST.	EXISTING	N.C.	NOT IN CONTRACT	U.N.O.	UNLESS NOTED OTHERWISE	F.A.U.	FORCED AIR UNIT	N.O.	NUMBER	V.C.T.	VINYL COMPOSITE TILE	F.E.C.	FIRE EXTINGUISHER CABINET	NOM.	NOMINAL	VERT.	VERTICAL	F.D.	FLOOR DRAIN	N.T.S.	NOT TO SCALE	VEST.	VESTIBULE	F.G.	FINISH GRADE / FIBER GLASS	O.A.	OVERALL / OUTSIDE AIR	V.G.D.F.	VERTICAL GRAIN DOUGLAS FIR	F.H.C.	FIRE HOSE CABINET	OBS.	OBSOLETE	V.T.R.	VENT THRU ROOF	FIN.	FINISH	O.C.	ON CENTER	V.V.C.	VINYL WALL COVERING	FLR.	FLOOR	O.D.	OUTSIDE DIAMETER / DIMENSION	W.	WITH	FLASH.	FLASHING	O.F.	OVERFLOW	W/O.	WITHOUT	FLUOR.	FLUORESCENT	O.F.C.I.	OWNER FURNISHED CONTRACTOR INSTALLED	W.C.	WATER CLOSET	F.O.	FACE OF	OFF.	OFFICE	W.D.	WOOD	F.O.C.	FACE OF CONCRETE	OPNG.	OPENING	WDW.	WINDOW	F.O.F.	FACE OF FINISH	OPP.	OPPOSITE	W.H.	WATER HEATER	F.O.M.	FACE OF MASONRY	O.P.	OPPOSITE	W.P.	WATERPROOF	F.O.S.	FACE OF STUD	O.H.	OVERHEAD	W.R.	WATER RESISTANT	FRP.	FIBER REINFORCED PLASTIC	PARTN.	PARTITION	W.R.B.	WEATHER RESISTIVE BARRIER			PC.	PRECAST / PORTLAND CEMENT	WSCT.	WAINSCOT			PL.	PLATE	WT.	WEIGHT	<p>1. ALL WORK FOR THIS PROJECT SHALL CONFORM TO THE 2018 INTERNATIONAL RESIDENTIAL CODE (I.R.C.) AS WELL AS ALL OTHER CODES, ORDINANCES & REGULATIONS AS ADOPTED & AMENDED BY THE GOVERNMENT ENTITIES HAVING JURISDICTION OVER THE PROJECT AT THE TIME OF APPLICATION FOR A BUILDING PERMIT.</p> <p>2. ARCHITECTURAL CONTROL COMMITTEE AND/OR HOMEOWNERS ASSOCIATION RULES, REGULATIONS AND GUIDELINES AS WELL AS THE RECORDED COVENANTS, CODES AND RESTRICTIONS (C.C. & R'S) SHALL BE STRICTLY ADHERED TO BEFORE, DURING AND AFTER THE CONSTRUCTION PROCESS. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL SUCH ITEMS STIPULATED IN THESE DOCUMENTS INCLUDING BUT NOT LIMITED TO HOURS OF OPERATION, MATERIAL STORAGE AND TRASH REMOVAL.</p> <p>3. UNLESS EXPLICITLY STATED IN THESE CONSTRUCTION DOCUMENTS, BY NOTE OR CLARIFICATION LETTER, THE ENTIRE SCOPE OF WORK REPRESENTED BY THESE DOCUMENTS SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.</p> <p>4. THESE CONSTRUCTION DOCUMENTS REPRESENT THE DESIGN INTENT OF THE ARCHITECT BASED ON DIMENSIONS OF EXISTING SITE AND/OR FIELD CONDITIONS. ACTUAL CONDITIONS MAY REQUIRE MODIFICATIONS OF THE CONSTRUCTION DETAILS TO ACHIEVE ARCHITECT'S DESIGN INTENT. CONTRACTOR SHALL NOTIFY ARCHITECT IN WRITING OF ANY DISCREPANCIES RELATED TO EXISTING SITE AND/OR FIELD CONDITIONS PRIOR TO CONTINUING ANY WORK.</p> <p>5. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO RECORD ALL OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE CONSTRUCTION DOCUMENTS AND BRING THEM TO THE ATTENTION OF THE ARCHITECT PRIOR TO COMMENCING ANY WORK. ANY DEVIATION FROM THE CONDITIONS SHOWN IN THESE CONSTRUCTION DOCUMENTS SHALL REQUIRE WRITTEN APPROVAL FROM THE ARCHITECT.</p> <p>6. DO NOT SCALE THE DRAWINGS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO COMMENCING ANY WORK.</p> <p>7. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY. WORK REQUIRED TO BE DONE BY ONE DOCUMENT AND NOT BY OTHERS SHALL BE DONE AS IF REQUIRED BY ALL.</p> <p>8. CONTRACTORS AND SUBCONTRACTORS SHALL INSURE THAT ALL WORK IS PERFORMED IN A PROFESSIONAL AND WORKMANLIKE MANNER BY SKILLED MECHANICS OF THE TRADE. SUBCONTRACTORS AND SUPPLIERS ARE HEREBY NOTIFIED THAT THEY ARE TO CONFER AND COOPERATE FULLY WITH EACH OTHER DURING THE COURSE OF CONSTRUCTION TO DETERMINE THE EXACT EXTENT AND OVERLAP OF EACH OTHER'S WORK AND TO SUCCESSFULLY COMPLETE THE EXECUTION OF THE WORK IN A TIMELY MANNER.</p> <p>9. CONTRACTOR AND SUBCONTRACTORS SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR JOB SITE CONDITIONS OR COMPLIANCE WITH SAFETY REGULATIONS GOVERNING WORK PERFORMED ON THIS PROJECT. ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK ON, OR RELATED TO THESE PLANS, SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED - AND SHALL COMPLY WITH THE OCCUPATIONAL SAFETY AND HEALTH REGULATIONS OF THE U.S. DEPARTMENT OF LABOR, AND WITH ANY AND ALL OTHER APPLICABLE STATE AND LOCAL SAFETY REGULATIONS. THE CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE SAFETY CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT AND THAT THIS REQUIREMENT SHALL DEFEND, INDEMNIFY, AND HOLD HARMLESS THE OWNER AND THE ARCHITECT FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH PERFORMANCE OF WORK ON THIS PROJECT.</p> <p>10. CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR THE INSTALLATION, ADEQUACY AND SAFETY OF ERECTION, BRACING, SHORING, TEMPORARY SUPPORTS, ETC. OF THE WORK AND SHALL BE RESPONSIBLE FOR ANY DAMAGES TO THE WORK PRIOR TO THE APPLICATION AND INSTALLATION OF ALL SHEAR WALLS, ROOF AND FLOOR DIAPHRAGMS, AND FINISH MATERIALS. THE STRUCTURE IS NOT DESIGNED AS A STABLE UNIT UNTIL AFTER ALL COMPONENTS ARE IN PLACE, AND THEREFORE THE CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING NECESSARY TO INSURE THE STABILITY OF ANY AND ALL PARTS OF THE PROJECT DURING CONSTRUCTION.</p> <p>11. CONTRACTOR AND SUBCONTRACTORS SHALL AT ALL TIMES INDEMNIFY AND SAVE OWNER, OWNERS AGENTS AND ARCHITECT HARMLESS AGAINST ALL LIABILITY FOR CLAIMS AND LIENS FOR LABOR PERFORMED OR MATERIALS USED OR FURNISHED TO BE USED ON THE JOB, INCLUDING ANY COST AND EXPENSES FOR ATTORNEY FEES AND ALL INCIDENTAL OR CONSEQUENTIAL DAMAGES RESULTING TO THE OWNER AND OWNER'S AGENT, ARCHITECT FROM SUCH CLAIMS. FURTHER, IN CASE SUIT ON SUCH CLAIMS IS BROUGHT, THE CONTRACTOR SHALL DEFEND SAID SUIT AT THEIR OWN COST AND EXPENSE, AND WILL PAY AND SATISFY ANY SUCH LIEN OR JUDGMENT AS DIRECTED BY THE COURT (OR AMERICAN ARBITRATION ASSOCIATION).</p> <p>12. BUILDER'S SET: THIS SET OF DRAWINGS HAS BEEN PREPARED SUFFICIENT TO OBTAIN A BUILDING PERMIT. ALL MATERIALS AND METHODS OF CONSTRUCTION NECESSARY TO COMPLETE THE PROJECT ARE NOT NECESSARILY DESCRIBED IN THIS BUILDER'S SET. THE IMPLEMENTATION OF THE DRAWINGS REQUIRES THE CONTRACTOR TO BE THOROUGHLY KNOWLEDGEABLE WITH THE APPLICATION CODES AND METHODS OF CONSTRUCTION SPECIFIC TO THIS PROJECT AND TYPE OF CONSTRUCTION.</p> <p>13. THE CONTRACTOR AND SUBCONTRACTORS SHALL MAKE NO STRUCTURAL SUBSTITUTIONS, CHANGES OR MODIFICATIONS WITHOUT WRITTEN APPROVAL OF STRUCTURAL ENGINEER.</p> <p>14. UNLESS SPECIFICALLY SHOWN OR NOTED ON THE DRAWINGS, NO STRUCTURAL MEMBER SHALL BE CUT, NOTCHED, BORED, OR OTHERWISE WEAKENED WITHOUT THE PERMISSION OF THE STRUCTURAL ENGINEER AND ARCHITECT.</p> <p>15. DESIGN / BUILD DISCIPLINES: A. THE GENERAL CONTRACTOR SHALL BE THE SINGLE SOURCE OF RESPONSIBILITY FOR ANY PORTION OF THE WORK WHICH IS DESIGNED BY HIMSELF, SUBCONTRACTORS OR ANY CONSULTING SERVICES CONTRACTED BY HIM OR THROUGH HIM. B. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COORDINATION OF PLANS AND FIELD WORK AND FOR SUBMITTALS TO GOVERNING AGENCIES AS MAY BE REQUIRED.</p>	<p>1. WALL DIMENSIONS ARE TO FACE OF STUDS UNLESS NOTED OTHERWISE. EXTERIOR WALLS ARE 2X6 AT 16" O.C. UNLESS NOTED OTHERWISE. INTERIOR WALLS ARE 2X4 AT 16" O.C. UNLESS NOTED OTHERWISE. GARAGE WALLS ARE 2X6 AT 16" O.C. UNLESS NOTED OTHERWISE.</p> <p>2. INSULATE ALL EXTERIOR WALLS, INTERIOR WALLS BETWEEN GARAGE AND RESIDENCE AND BETWEEN MECH. ROOMS AND RESIDENCE. INSULATE ALL BATHROOM, KITCHEN AND LAUNDRY ROOM WALLS. INSULATE ALL FLOORS.</p> <p>3. INTERIOR FINISH COLORS AND MATERIALS SHALL BE SELECTED BY THE OWNER.</p> <p>4. FINISH SURFACES OF FLOORS IN ALL ROOMS SHALL BE FLUSH AT SAME ELEVATION. CHANGE OF FLOOR MATERIALS TO BE AT CENTER LINE OF DOOR OR OPENING UNLESS NOTED OTHERWISE.</p> <p>5. CONTRACTOR SHALL VERIFY ALL WINDOW AND DOOR ROUGH OPENINGS. LOCATE ALL WINDOWS AND DOORS PER NOTED DIMENSIONS. IF DIMENSIONS ARE NOT NOTED, CENTER IN ROOM OR SPACE SO THAT THE SPACE ON EACH SIDE OF JAMB IS EQUAL OR TO WITHIN 4" OF PERPENDICULAR WALL.</p> <p>6. SAFETY GLAZING IN HAZARDOUS LOCATIONS (i.e. DOORS, RAILINGS, BATHROOMS, ENTRIES, etc.) SHALL COMPLY WITH I.R.C. SECTION R308.4.</p> <p>7. EGRESS WINDOWS AT ALL SLEEPING AREAS SHALL COMPLY WITH I.R.C. SECTION 310.</p> <p>8. AT ALL WALLS LOCATED BETWEEN GARAGE AND RESIDENCE, PROVIDE WALL AND DOOR CONSTRUCTION AND PENETRATION PROTECTION PER I.R.C. SECTION R302.5 & R302.6.</p> <p>9. AT ALL ENCLOSED USEABLE UNDER STAIR LOCATIONS, PROVIDE 1/2" GYP BOARD AT ALL WALLS AND CEILINGS LOCATED ON THE INTERIOR SIDE OF THE ENCLOSED SPACE PER I.R.C. SECTION R302.7.</p> <p>10. PROVIDE WATER-RESISTANT GYP BOARD AT LOCATIONS REQUIRED PER I.R.C.</p> <p>11. STAIRS AND STAIR HANDRAILS SHALL BE BUILT IN ACCORDANCE WITH I.R.C. SECTION R311.7. PROVIDE STAIR GUARDRAILS PER I.R.C. SECTION R312.</p> <p>12. REFER TO INTERIOR DESIGN CONSULTANT DRAWINGS FOR BUILT-IN CASEWORK, SPECS AND DETAILS.</p> <p>13. CRAWL SPACE ACCESS SHALL COMPLY WITH I.R.C. SECTION R408.4. ATTIC ACCESS SHALL COMPLY WITH I.R.C. SECTION R807.</p> <p>14. EXTERIOR CONCRETE FLAT WORK SHALL BE MIN. 4" OVER 4" COMPACTED AGGREGATE BASE. PROVIDE CONTROL JOINTS MAX. 10'-0" O.C. EA DIRECTION. PROVIDE TEXTURE & FINISH PER GENERAL CONTRACTOR'S DIRECTION. SLOPE STOOPS AND PATIOS AWAY FROM RESIDENCE FOR DRAINAGE.</p> <p>15. PROVIDE BACKING AND BLOCKING AS MAY BE REQUIRED FOR ALL BATHROOM ACCESSORIES SUCH AS TOWEL BARS, PAPER HOLDERS AND MIRRORS. ACCESSORIES SHALL BE SELECTED AND LOCATED BY OWNER.</p> <p>16. PROVIDE ATTIC VENTILATION PER I.R.C. SECTION R806. REFER TO ROOF PLAN.</p> <p>17. FIRE BLOCKING AND/OR STOPPING AT CEILING LINE OR 10'-0" VERTICAL MAX. AT ALL WALLS, WALL CAVITIES AND SHAFTS, TYPICAL. COMPLY WITH I.R.C. SECTION R302.11.</p>	<p>OWNER TED & ERIN MULVANEY 5895 LAUSANNE DRIVE RENO, NEVADA 89511 CONTACT: TED MULVANEY TEL.</p> <p>ARCHITECT CWX ARCHITECTS INCORPORATED 1680 MONTCLAIR AVENUE, SUITE A RENO, NEVADA 89508 CONTACT: MIKE FARLEY TEL. (775) 829-7747 FAX: (775) 829-8745</p> <p>STRUCTURAL K2 ENGINEERING & STRUCTURAL DESIGN 880 MAESTRO DRIVE, SUITE A RENO, NV 89511 CONTACT: BRANDT KENNEDY TEL. (775) 355-0505</p> <p>CONTRACTOR CHRISTY CONSTRUCTION INCORPORATED 1000 KILEY PARKWAY SPARKS, NEVADA 89436 TOMMY SABINI TEL. (775) 690-1299</p> <p>PROJECT ADDRESS 5895 LAUSANNE DRIVE</p> <p>A.P.N. 148-082-02</p> <p>ZONING LDS</p> <p>BUILDING CODES 2018 INTERNATIONAL RESIDENTIAL CODE 2018 INTERNATIONAL ENERGY CONSERVATION CODE 2018 WILDLAND URBAN INTERFACE CODE</p> <p>OCCUPANCY TYPE R-3</p> <p>CONSTRUCTION TYPE V-B</p> <p>FIRE HAZARD SEVERITY IGNITION-RESISTANT CONSTRUCTION - IR 2</p> <p>FIRE SPRINKLERS NOT REQUIRED</p> <p>FLOOR AREA</p> <table border="0"> <tr><td>GUEST SUITE LIVING AREA</td><td>832 S.F.</td></tr> <tr><td>EXISTING RESIDENCE AREA PER WASHOE COUNTY ASSESSOR PROPERTY DATA</td><td></td></tr> <tr><td>LIVING AREA</td><td>5,231 S.F.</td></tr> <tr><td>GARAGE AREA</td><td>1,315 S.F.</td></tr> </table>	GUEST SUITE LIVING AREA	832 S.F.	EXISTING RESIDENCE AREA PER WASHOE COUNTY ASSESSOR PROPERTY DATA		LIVING AREA	5,231 S.F.	GARAGE AREA	1,315 S.F.	<p>PROJECT DESCRIPTION</p> <p>THE PROJECT COMPRISES A DETACHED ACCESSORY STRUCTURE GUEST SUITE. THE STRUCTURE WILL BE WOOD FRAMED WITH A CONVENTIONAL CONCRETE FOUNDATION AND ENGINEERED WOOD TRUSS ROOF STRUCTURE, AND A WOOD TRELIS STRUCTURE.</p> <p>THE WORK INCLUDES GENERAL CONSTRUCTION, SITEWORK (INCLUDING UTILITY CONNECTIONS), MECHANICAL, PLUMBING, ELECTRICAL AND ALL OTHER WORK AS REQUIRED TO COMPLETE THE PROJECT AND OBTAIN A CERTIFICATE OF OCCUPANCY.</p>
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C.I.	CAST IRON	HGT.	HEIGHT	S.F.	SQUARE FEET																																																																																																																																																																																																																																																																																																																																																																																																																			
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COMP.	COMPACTED	INSUL.	INSULATION	SQ.	SQUARE																																																																																																																																																																																																																																																																																																																																																																																																																			
CONC.	CONCRETE	INT.	INTERIOR	S&R.	SHELF & ROD																																																																																																																																																																																																																																																																																																																																																																																																																			
CONN.	CONNECTION	I.R.C.	INTERNATIONAL RESIDENTIAL CODE	S.S.	STAINLESS STEEL																																																																																																																																																																																																																																																																																																																																																																																																																			
CONT.	CONTINUOUS	JAN.	JANITOR	SLDR.	SLIDER																																																																																																																																																																																																																																																																																																																																																																																																																			
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CSK.	CASEMENT	K.D.	KNOCK DOWN	STOR.	STORAGE																																																																																																																																																																																																																																																																																																																																																																																																																			
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DET.	DETAIL	L.A.M.	LAMINATE	SYN.	SYMMETRICAL																																																																																																																																																																																																																																																																																																																																																																																																																			
D.F.	DOUGLAS FIR / DRINKING FOUNTAIN	LAV.	LAVATORY	T.	TREAD																																																																																																																																																																																																																																																																																																																																																																																																																			
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DN.	DOWN	L.P.	LOUISIANA-PACIFIC	TEMP.	TEMPERED / TEMPORARY																																																																																																																																																																																																																																																																																																																																																																																																																			
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EA.	EACH	MECH.	MECHANICAL	T.O.B.	TOP OF BEAM																																																																																																																																																																																																																																																																																																																																																																																																																			
EFS.	EXTERIOR INSULATION FINISH SYSTEM	MTL.	METAL	T.O.C.	TOP OF CONCRETE																																																																																																																																																																																																																																																																																																																																																																																																																			
ELEV.	ELEVATOR	MFR.	MANUFACTURER	T.O.F.	TOP OF FRAMING																																																																																																																																																																																																																																																																																																																																																																																																																			
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EXH.	EXHAUST	M.O.	MASONRY OPENING	T.O.M.	TOP OF MASONRY																																																																																																																																																																																																																																																																																																																																																																																																																			
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EXST.	EXISTING	N.C.	NOT IN CONTRACT	U.N.O.	UNLESS NOTED OTHERWISE																																																																																																																																																																																																																																																																																																																																																																																																																			
F.A.U.	FORCED AIR UNIT	N.O.	NUMBER	V.C.T.	VINYL COMPOSITE TILE																																																																																																																																																																																																																																																																																																																																																																																																																			
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F.D.	FLOOR DRAIN	N.T.S.	NOT TO SCALE	VEST.	VESTIBULE																																																																																																																																																																																																																																																																																																																																																																																																																			
F.G.	FINISH GRADE / FIBER GLASS	O.A.	OVERALL / OUTSIDE AIR	V.G.D.F.	VERTICAL GRAIN DOUGLAS FIR																																																																																																																																																																																																																																																																																																																																																																																																																			
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FLUOR.	FLUORESCENT	O.F.C.I.	OWNER FURNISHED CONTRACTOR INSTALLED	W.C.	WATER CLOSET																																																																																																																																																																																																																																																																																																																																																																																																																			
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F.O.C.	FACE OF CONCRETE	OPNG.	OPENING	WDW.	WINDOW																																																																																																																																																																																																																																																																																																																																																																																																																			
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F.O.M.	FACE OF MASONRY	O.P.	OPPOSITE	W.P.	WATERPROOF																																																																																																																																																																																																																																																																																																																																																																																																																			
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		PC.	PRECAST / PORTLAND CEMENT	WSCT.	WAINSCOT																																																																																																																																																																																																																																																																																																																																																																																																																			
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GUEST SUITE LIVING AREA	832 S.F.																																																																																																																																																																																																																																																																																																																																																																																																																							
EXISTING RESIDENCE AREA PER WASHOE COUNTY ASSESSOR PROPERTY DATA																																																																																																																																																																																																																																																																																																																																																																																																																								
LIVING AREA	5,231 S.F.																																																																																																																																																																																																																																																																																																																																																																																																																							
GARAGE AREA	1,315 S.F.																																																																																																																																																																																																																																																																																																																																																																																																																							
<p>SYMBOL LEGEND</p> <table border="0"> <tr><td></td><td>DETAIL NUMBER</td><td></td><td>TRUE NORTH</td></tr> <tr><td></td><td>REFERENCE</td><td></td><td>PLAN NORTH</td></tr> <tr><td></td><td>SHEET NUMBER</td><td></td><td>DOORS & FRAMES</td></tr> <tr><td></td><td>SECTION NUMBER</td><td></td><td>3040 FIXED WINDOWS</td></tr> <tr><td></td><td>SHEET NUMBER</td><td></td><td>REFERENCE GRID</td></tr> <tr><td></td><td>INTERIOR ELEVATION NUMBERS</td><td></td><td>REVISION</td></tr> <tr><td></td><td>SHEET NUMBER</td><td></td><td>KEYNOTE</td></tr> </table>		DETAIL NUMBER		TRUE NORTH		REFERENCE		PLAN NORTH		SHEET NUMBER		DOORS & FRAMES		SECTION NUMBER		3040 FIXED WINDOWS		SHEET NUMBER		REFERENCE GRID		INTERIOR ELEVATION NUMBERS		REVISION		SHEET NUMBER		KEYNOTE	<p>STUCCO FINISH & ADHERED STONE NOTES</p> <ol style="list-style-type: none"> ENVIRONMENTAL CONDITIONS <ul style="list-style-type: none"> INSURE THAT AMBIENT TEMPERATURES ARE WITHIN PRODUCT MANUFACTURERS ALLOWABLE RANGE PRIOR TO COMMENCING WORK. PROTECT WORK FROM WEATHER DURING INSTALLATION. WEATHER RESISTIVE BARRIER <ul style="list-style-type: none"> COMPLY WITH IRC SECTION R703 MEET REQUIREMENTS OF ICC-ES AC308 INSURE COMPATIBILITY AND CONFORMANCE WITH STUCCO SYSTEM MANUFACTURER AND WITH ADHERED MASONRY VENEER MANUFACTURERS REQUIREMENTS INSTALL PRODUCTS IN STRICT COMPLIANCE WITH MANUFACTURERS WRITTEN INSTRUCTIONS AND WITH MASONRY VENEER MANUFACTURERS ASSOCIATION GUIDE BOOK METAL LATH <ul style="list-style-type: none"> COMPLY WITH IRC SECTION R703 INSURE COMPATIBILITY & CONFORMANCE WITH STUCCO SYSTEM MFG. AND ADHERED MASONRY VENEER MANUFACTURER REQUIREMENTS FURNISH AND INSTALL 3.4 LBS PAPER BACKED FLAT SELF FURRING GALV. DIAMOND LATH IN STRICT COMPLIANCE WITH MANUFACTURERS REQUIREMENTS PROVIDE NOMINAL 3.4 LBS GALVANIZED METAL 3/8" HIGH RIB-LATH AT CEILINGS AND SOFFITS COMPLY WITH NAAMM-EMLA AND ASTM C842 AND C926 CONTROL JOINTS <ul style="list-style-type: none"> LATH SHALL NOT BE CONTINUOUS THROUGH CONTROL JOINTS PER ASTM C1063 INTERSECTIONS AND TERMINATIONS OF CONTROL JOINTS MUST BE EMBEDDED AND WEATHER SEALED IN A BEAD OF CAULKING PER ASTM E2266 VERTICAL JOINTS MUST BE CONTINUOUS AT INTERSECTIONS WITH HORIZONTAL CONTROL JOINTS STUCCO <ul style="list-style-type: none"> COMPLY WITH IRC SECTION 703 FURNISH AND INSTALL ALL SYSTEM COMPONENTS INCLUDING W.R.B., INSULATION BOARD GALV. METAL LATH, GALV. METAL STRIPS, BEADS, DRIP SCREDS, AND ALL OTHER ACCESSORIES AS REQUIRED TO COMPLETE THE WORK IN COMPLIANCE WITH STUCCO MANUFACTURERS WRITTEN INSTRUCTIONS AND PER R703.7 PROVIDE DIAMOND WALL PM SYSTEM AS MANUFACTURED BY OMEGA PRODUCTS INTERNATIONAL OR EQUAL PROVIDE AKROLASTIC TEXTURED ELASTOMERIC COLOR FINISH COAT AS MANUFACTURED BY OMEGA PRODUCTS INTERNATIONAL OR EQUAL FOAM DETAILS SHALL BE SHAPED FROM EPS FOAM, 1.0 LB/SQ. FT. MINIMUM DENSITY. CONTROL AND EXPANSION JOINTS - PROVIDE AT LOCATIONS SHOWN ON PLANS AND/OR IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS ADHERED STONE VENEER <ul style="list-style-type: none"> COMPLY WITH IRC SECTION 703 AND ASTM C1670 FURNISH AND INSTALL ALL ASSEMBLY COMPONENTS IN STRICT COMPLIANCE WITH BUILDING CODES MVMA STANDARDS AND MANUFACTURERS PRODUCT DATA 	<p>VICINITY MAP NO SCALE</p>																																																																																																																																																																																																																																																																																																																																																																																										
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	SHEET NUMBER		DOORS & FRAMES																																																																																																																																																																																																																																																																																																																																																																																																																					
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07/07/2022

REVISIONS

NO.	DESCRIPTION	DATE

ISSUE DATE
DADAR REVIEW 7-7-22

Project No. 14421
Drawn by MF
Checked by MF

TITLE
COVER SHEET

SHEET
A0.1



CWX ARCHITECTS INC.
1680 Montclair Ave., Suite A
Reno, Nevada
(775) 829-7747
www.cwxarchitects.com

MULVANEY GUEST SUITE

MONTREUX, RENO, NEVADA

5895 LAUSANNE DR

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07/07/2022

REVISIONS

No.	Description

ISSUE DATE

DADAR REVIEW 7-7-22

Project No. 14421

Drawn by MF

Checked by MF

TITLE
ARCHITECTURAL
SITE PLAN

SHEET

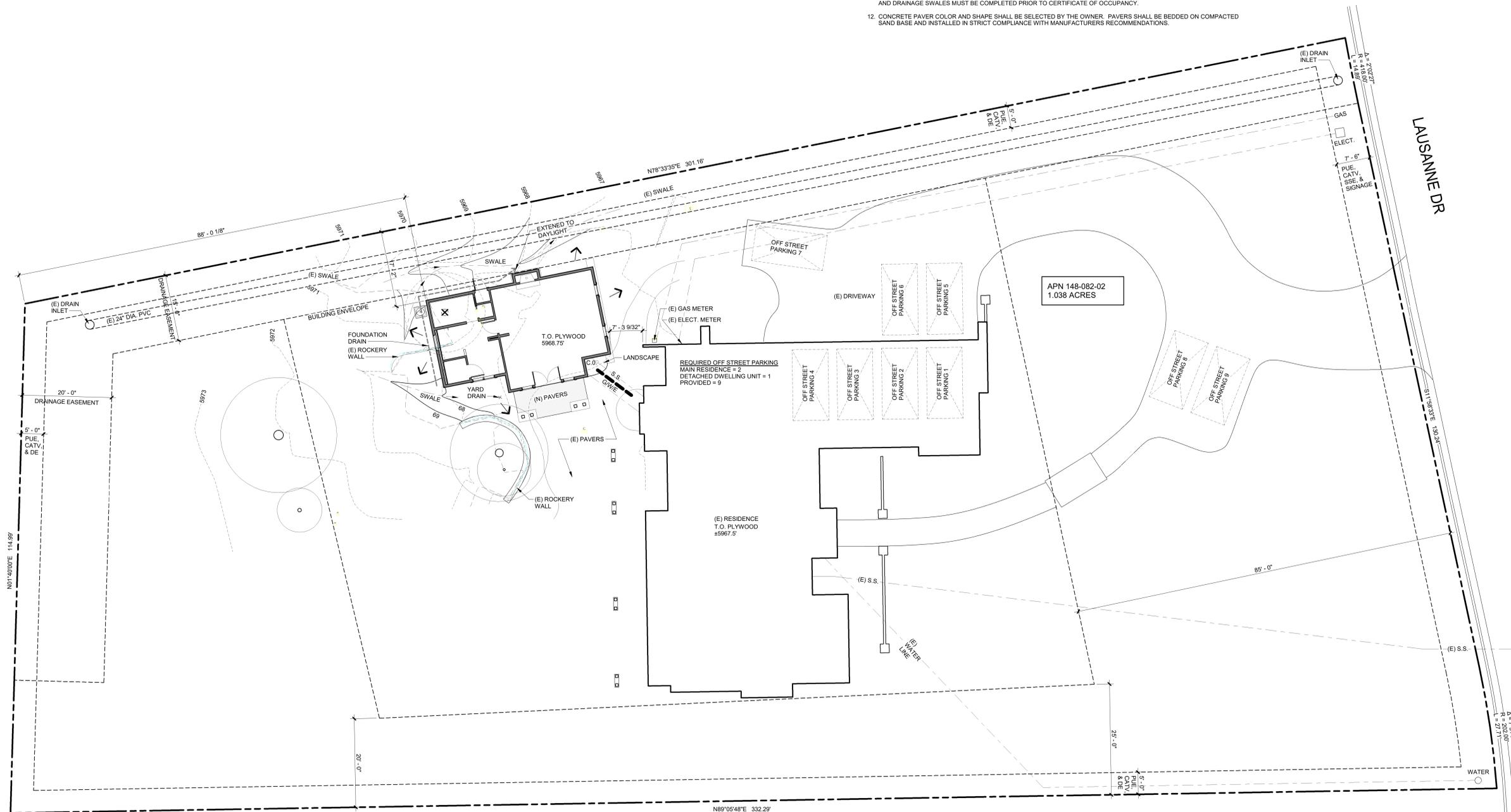
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SITE PLAN NOTES

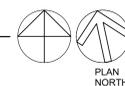
1. PLACEMENT OF STRUCTURE WITHIN SETBACKS AND THE BUILDING ENVELOPE SHALL BE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR. NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS.
2. CONTRACTOR TO VERIFY (VERT. & HORIZ.) LOCATION OF ALL UTILITIES AND EASEMENTS PRIOR TO COMMENCING ANY WORK. PROVIDE ALL EXISTING AND NECESSARY UTILITIES TO PRIMARY AND ACCESSORY STRUCTURES AS SHOWN OR NOTED ON DRAWINGS OR AS OTHERWISE REQUIRED FOR THE PROJECT. PROVIDE STUB-OUTS FOR FUTURE ACCESSORY BUILDINGS. PROVIDE STUB-OUTS FOR ALL FUTURE UTILITIES NOT YET AVAILABLE FOR THIS PARCEL. ALL SUCH WORK SHALL BE COORDINATED WITH OWNER AND APPROPRIATE AGENCIES.
3. MAINTAIN MINIMUM 8" CLEAR BETWEEN FINISH GRADE AT BUILDING PERIMETER AND EXTERIOR FINISH EXCEPT AS SHOWN ON THIN STONE VENEER DETAIL.
4. PROVIDE 5% MINIMUM PROTECTIVE SLOPE GRADE AWAY FROM ALL EXTERIOR WALLS. SEE FOUNDATION DWG'S
5. SLOPE DRIVEWAY A MINIMUM OF 2% AWAY FROM RESIDENCE. DRIVEWAY SLOPE SHALL NOT EXCEED 10% AT ANY LENGTH OF RUN.
6. FINISH GRADES SHALL NOT EXCEED A SLOPE RATIO OF 1 FT. VERT. PER 3 FT. HORIZ. UNLESS SHOWN OTHERWISE ALL SUCH SLOPES SHALL BE STABILIZED WITH LANDSCAPING AND/OR BOULDERS.
7. SLOPE LAWN AREAS 5% MINIMUM AWAY FROM STRUCTURE AND TOWARD DRAINAGE SWALES AS SHOWN ON PLANS OR AS OTHERWISE REQUIRED FOR PROPER DRAINAGE.
8. THE FINISH, COLOR, TEXTURE, PATTERN AND CONTROL JOINT LOCATIONS OF ALL CONCRETE FLATWORK SHALL BE APPROVED BY THE OWNER PRIOR TO COMMENCEMENT OF FLATWORK. REFER TO STRUCTURAL DWG'S FOR CONCRETE REINFORCING REQUIREMENTS.
9. COORDINATE SITE WORK WITH LANDSCAPE AND IRRIGATION PLANS PREPARED BY OTHERS. ALL AREAS TO BE DISTURBED BY CONSTRUCTION MUST BE LANDSCAPED AND IRRIGATED.
10. THE GENERAL CONTRACTOR SHALL ESTABLISH WORK LIMITS AND MATERIAL STAGING AREAS THAT MINIMIZE THE IMPACT TO THE SITE. THE GENERAL CONTRACTOR SHALL PROVIDE PROTECTION FOR EXISTING LANDSCAPING AND SITE AMENITIES, (I.E. AREAS TO REMAIN NATURAL, TREES, SHRUBS, ROCK OUTCROPPINGS, STRUCTURES, UTILITIES ETC.) THE GENERAL CONTRACTOR SHALL USE ANY AND ALL MEANS AVAILABLE TO PREVENT DAMAGE FROM OCCURRING. DAMAGE TO ANY OF THESE ITEMS SHALL BE REPAIRED BY THE GENERAL CONTRACTOR AT NO COST TO THE OWNER.
11. ALL SITE WORK AND FINISH GRADING INCLUDING IRRIGATION SLEEVES, RETAINING WALLS, ROCK EMBANKMENTS, AREAWAYS AND DRAINAGE SWALES MUST BE COMPLETED PRIOR TO CERTIFICATE OF OCCUPANCY.
12. CONCRETE PAVER COLOR AND SHAPE SHALL BE SELECTED BY THE OWNER. PAVERS SHALL BE BEDDED ON COMPACTED SAND BASE AND INSTALLED IN STRICT COMPLIANCE WITH MANUFACTURERS RECOMMENDATIONS.

SITE LEGEND

- CONCRETE PAVER FLATWORK
- NEW CONTOUR LINES
- EXISTING CONTOUR LINES
- GRADE SLOPE DIRECTION
- 6" PVC SLEEVE
- (E) TREE
- (E) TREE TO BE REMOVED



1 SITE PLAN
A1.1 SCALE: 1" = 10'-0"



PLAN NORTH



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REVISIONS

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Project No. 14421

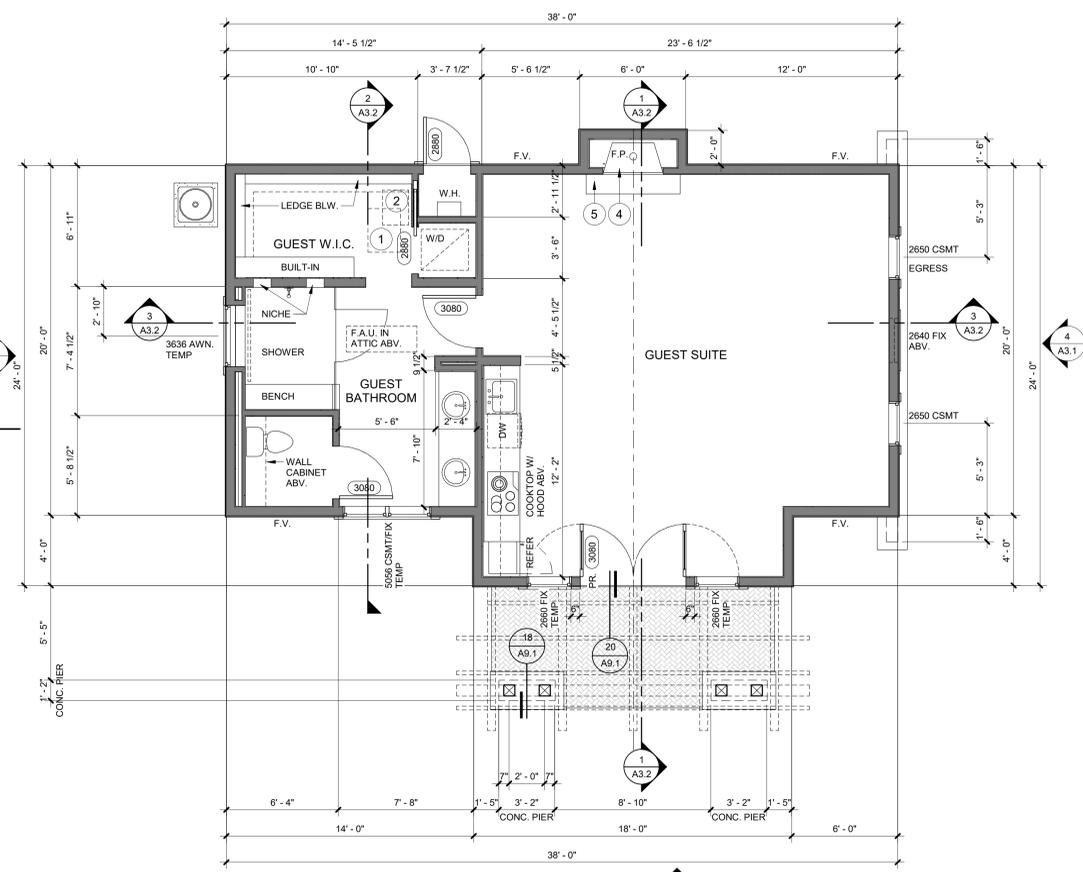
Drawn by MF

Checked by MF

TITLE
FLOOR PLAN &
ROOF PLAN

SHEET

A2.1



1 FLOOR PLAN
SCALE: 1/4" = 1'-0"

LIVING AREA = 832 S.F.

FLOOR PLAN LEGEND

- 2x6 WOOD STUD WALL, REFER TO STRUCTURAL FOR SHEAR WALL ASSEMBLY
- 2x4 WOOD STUD WALL
- 2x6 WOOD STUD WALL W/ MANUFACTURED THIN STONE VENEER, REFER TO STRUCTURAL FOR SHEAR WALL ASSEMBLY
- CONCRETE WALL W/ 2x4 FURRING
- CONCRETE FLATWORK
- GYP. BOARD SOFFIT

CRAWLSPACE VENTILATION

FOUNDATION VENTS (F.V.) 4 X 0.2 = 0.8 S.F.
REQUIRED = 832 S.F. / 1,500 = 0.6 S.F.
PER I.R.C. SECTION R408.2 EXCEPTION

FLOOR PLAN KEYNOTES

- 1 22" x 30" ATTIC ACCESS PANEL
- 2 18" x 24" CRAWL SPACE ACCESS PANEL
- 3 SHOWER WITH MORTAR SET TILE FLOOR, WALLS AND CEILING. PROVIDE BUILT-IN TILE BENCH AT 18" A.F.F. AND TILE LEDGES AT 60" A.F.F. ALL TILE WORK SHALL COMPLY WITH I.R.C. SECTION R702.4 AND T.C.A. STANDARDS. PROVIDE LINEAR SLOT DRAIN AS SHOWN.
- 4 U.L. LISTED GAS FIREPLACE APPLIANCE
- 5 12" H. x 14" DEEP STONE TILE FINISHED RAISED HEARTH

LEGEND

- CONCRETE TILE ROOFING
- SELF ADHERING ICE AND WATER SHIELD - MIN 72# MINERAL SURFACED PER 2018 WUI
- AREA OF ROOF OVER FRAMING
- LOW PROFILE VENT - OHAGIN FIRE/ICE

ATTIC VENTILATION

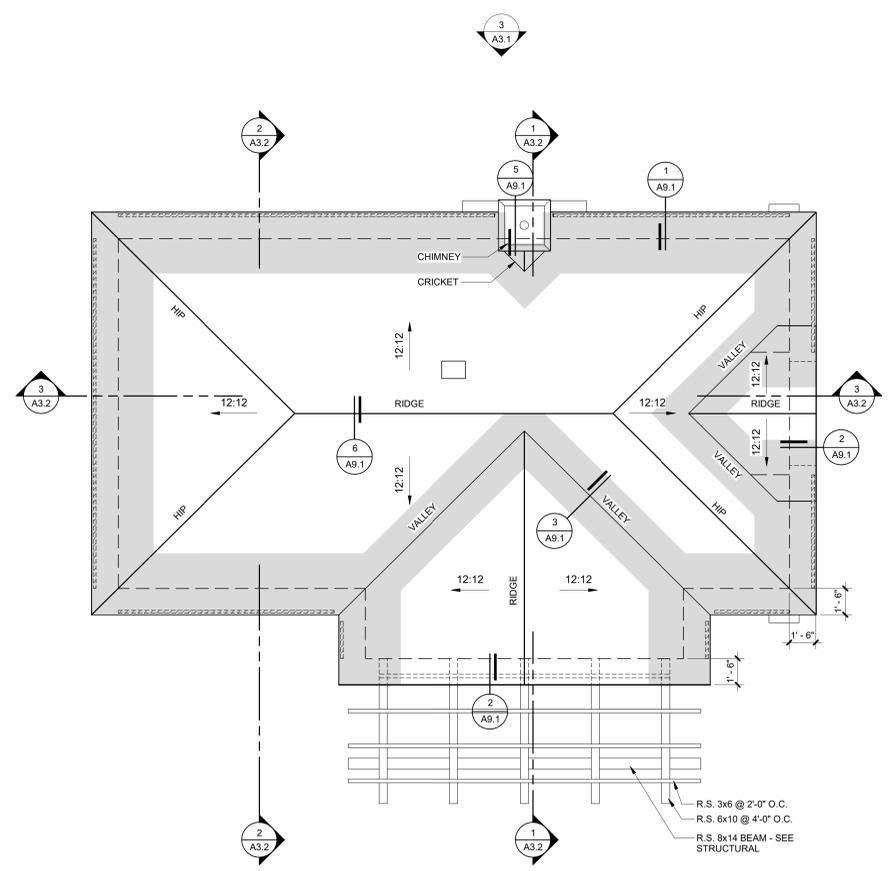
EAVE VENTS (4) 2"x3" VENT HOLES @ 17 BAYS = 1.5 S.F.
LOW PROFILE VENTS 2 x 68 S.F. = 1.4 S.F.
TOTAL VENT AREA PROVIDED = 2.9 S.F.
REQUIRED = 832 S.F. / 200 = 2.8 S.F.

ROOF NOTES

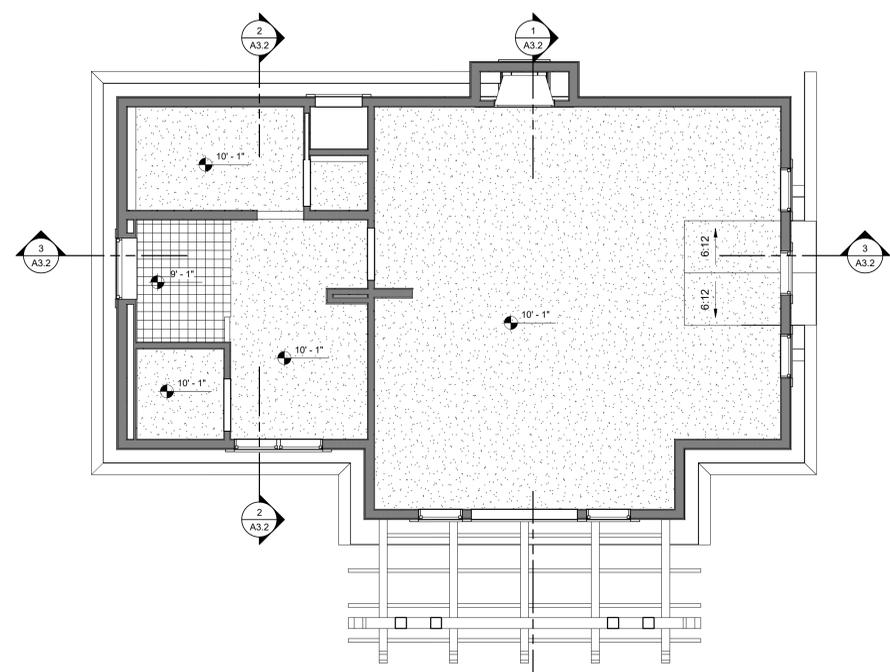
1. GENERAL: FURNISH AND INSTALL COMPLETE WEATHER-TIGHT ROOF SYSTEM IN STRICT COMPLIANCE WITH ROOF MANUFACTURERS WRITTEN RECOMMENDATIONS, INTERNATIONAL RESIDENTIAL CODE (IRC) CHAPTER 9, NATIONAL ROOFING CONTRACTORS ASSOCIATION (NRCA) STANDARDS, SIMONA SHEET METAL MANUAL, UNDERWRITERS LABORATORY (U.L.) CLASS A FIRE RETARDANT STANDARDS AND U.L. WIND RESISTANCE CLASSIFICATIONS FOR APPLICABLE ZONE.
2. CONCRETE TILE ROOF SHINGLES
 - a. EAGLE ROOFING PRODUCTS
 - b. STYLE & COLOR: BEL AIR 4595 DARK CHARCOAL
 - c. PROVIDE PREFORMED RAKE, HIP & RIDGE UNITS AND ALL ACCESSORIES
3. BATTENS
 - a. PROVIDE NOMINAL 1"x2" BATTENS. BATTENS TO BE PORTED OR SPACED TO ALLOW DRAINAGE
4. CONCRETE TILE ROOF UNDERLAYMENT
 - a. PROVIDE T143 LAYFAST SBS UNDERLAYMENT (OR EQUIVALENT)
 - b. PROVIDE ICE & WATER SHIELD MEMBRANE FLASHING WHERE SHOWN
 - c. AT VALLEYS PROVIDE 72# MINERAL-SURFACED, NONPERFORATED CAP SHEET COMPLYING WITH ASTM D3899 PER WUI: SECTION 505.2.1
 - d. AT 3:12 ROOF SLOPES USE (2) LAYERS OF UNDERLAYMENT APPLIED SHINGLE FASHION AND SOLIDLY CEMENTED TOGETHER WITH APPROVED CEMENT MATERIAL.
5. FURNISH AND INSTALL MISCELLANEOUS MATERIALS, FLASHING, GUTTERS AND DOWNSPOUTS, ROOF JACKS, SEALANTS & UNDERLAYMENTS AS REQUIRED.
6. ALL EXPOSED FLASHING AND MISCELLANEOUS SHEET METAL SHALL BE FABRICATED FROM PREFINISHED MATERIALS OR PAINTED GALVANIZED MATERIALS. COLOR SHALL MATCH COLOR OF ADJACENT FINISH MATERIAL.
7. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS AND DETAILS FOR ADDITIONAL REQUIREMENTS.
8. LOW PROFILE ROOF VENTS (WHERE SHOWN) AND ALL MECHANICAL, PLUMBING & ELECTRICAL ROOF PENETRATION PIPES & CAPS SHALL BE PAINTED TO MATCH ROOF COLOR.
9. TO THE GREATEST EXTENT POSSIBLE, ROUTE ALL PLUMBING AND MECHANICAL PENETRATIONS SUCH THAT THEY WILL NOT BE VISIBLE FROM THE STREET.
10. MISC FLASHING AND SHEET METAL:
 - a. MINIMUM 24 GA G60 GALVANIZED SHEET METAL OR PAINT-GRIP FINISH FOR PAINTED CONDITIONS, UNLESS NOTED OTHERWISE ON THE DRAWINGS
 - b. FLASHING, COPING AND GUTTERS SHALL BE FABRICATED AND INSTALLED TO ALLOW FOR EXPANSION AND CONTRACTION
 - c. PROVIDE FLAT LOCK SEAMS EXCEPT AT MOVING JOINTS
 - d. USE CONCEALED CLIPS AND FASTENERS TO GREATEST EXTENT POSSIBLE. ATTACHMENT SCREWS SHALL BE GALVANIZED WITH NEOPRENE WASHERS.
 - e. GUTTERS, COLLECTOR HEADS AND DOWN SPOUTS SHALL BE 20 GA PREFINISHED OR PAINT-GRIP METAL AS SHOWN ON THE DRAWINGS.
11. MEMBRANE FLASHING AND SEALANTS:
 - a. MEMBRANE FLASHING SHALL BE MIN 72# MINERAL SURFACED
 - b. SEALANT SHALL BE CONSTRUCTION SILICON PRODUCT APPROPRIATE FOR MATERIALS AND CONDITIONS

CEILING LEGEND

- PAINTED GYP. BOARD CEILING
- T&G DECKING
- TILE
- CEILING HEIGHT DESIGNATION
- 20"x30" ATTIC ACCESS PANEL
- VULCAN VENT EAVE VENT (VES22RT) - REFER TO ROOF PLAN FOR ALL VENT LOCATIONS



2 ROOF PLAN
SCALE: 1/4" = 1'-0"

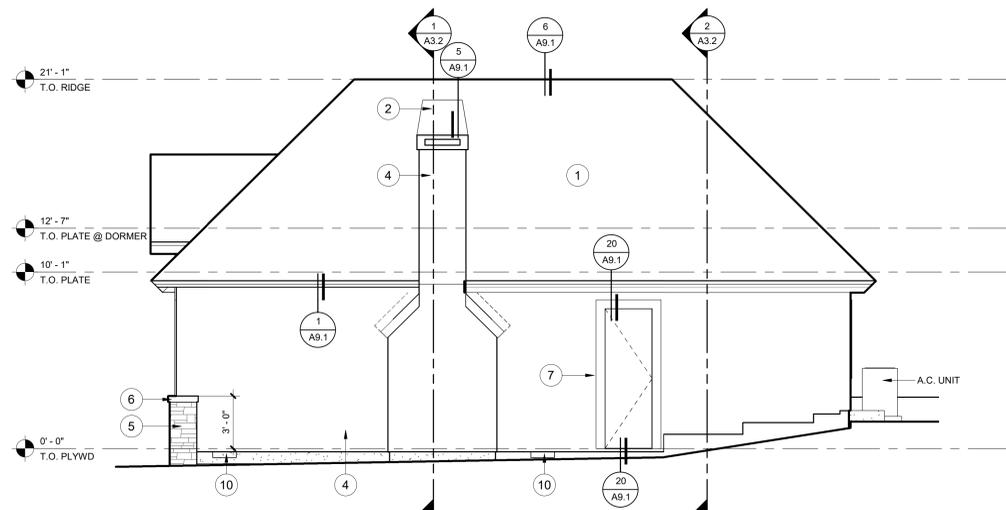


3 REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

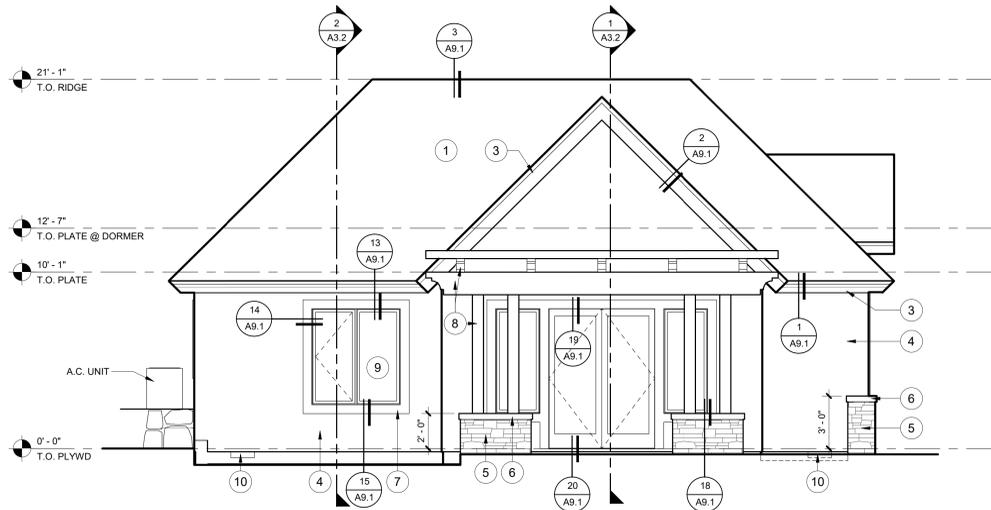


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3 NORTH ELEVATION
A3.1 SCALE: 1/4" = 1'-0"

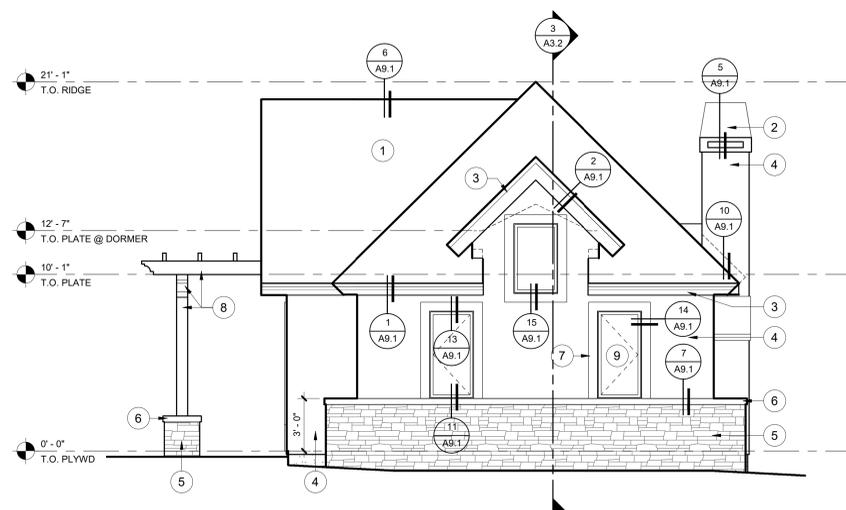


1 SOUTH ELEVATION
A3.1 SCALE: 1/4" = 1'-0"

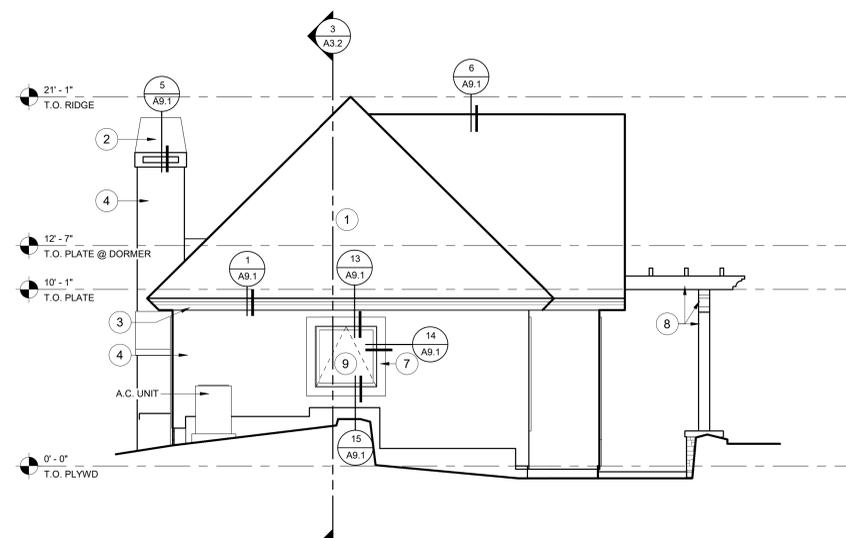
EXTERIOR ELEVATION KEYNOTES

1. DAVINCI SLATE ROOFING
2. METAL CHIMNEY CAP
3. R.S. CEDAR FASCIA AND RAKE BOARDS
4. STUCCO FINISH DRYVIT
5. NATURAL STONE VENEER
6. STONE CAP
7. PROJECTED FOAM STUCCO TRIM DETAIL
8. R.S. WOOD BEAMS AND POSTS
9. ALUMINUM CLAD WOOD WINDOWS
10. 4"x14" CRAWL SPACE VENT - VULCAN VENT (VFS414FB)

NOTE: MATERIALS, FINISHES AND DETAILING ARE TO MATCH THE EXISTING RESIDENCE.



4 EAST ELEVATION
A3.1 SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
A3.1 SCALE: 1/4" = 1'-0"

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EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION