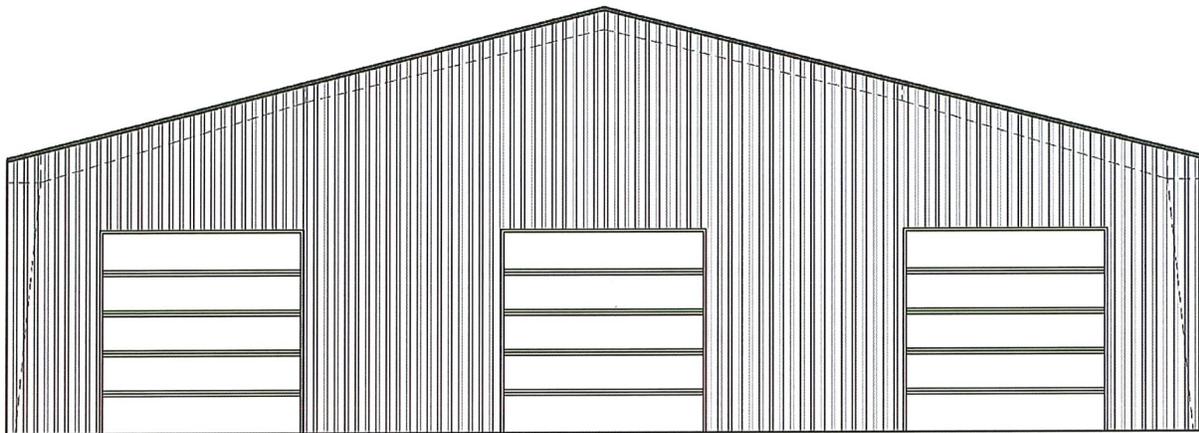


# 395 ZOLEZZI GARAGE

Administrative Permit



Prepared by:



November 8, 2022

# 395 Zolezzi Garage

## Administrative Permit

**Prepared for:**

Longshot Investments, LLC

375 Zolezzi Lane

Reno, Nevada 89511

**Prepared by:**

Christy Corporation, Ltd.

1000 Kiley Parkway

Sparks, Nevada 89436

(775) 425-4800

**November 8, 2022**

## **Table of Contents**

Introduction .....	1
Project Location.....	1
Existing Conditions.....	2
Project Description .....	3
Administrative Permit Findings .....	7

### **List of Figures:**

Figure 1 – Vicinity Map .....	1
Figure 2 – Existing Conditions.....	2
Figure 3 – Zoning .....	3
Figure 4 – Site Plan .....	4
Figure 5 – Floor Plan .....	5
Figure 6 – Building Elevations.....	6

### **Appendices:**

City of Reno Development Application  
Owner Affidavit  
Administrative Permit Checklist  
Property Tax Documents

### **Attachments:**

Engineering Plans, Floor Plan, Building Elevations

# 395 ZOLEZZI GARAGE

## Introduction

This application includes the following request:

- An **Administrative Permit** to allow for the construction of a garage larger than the primary residence within the Medium Density Suburban (MDS) zone.

## Project Location

The project site (APN # 044-320-20) consists of 0.666± acres located at 395 Zolezzi Lane in southwest Reno. Specifically, the property is located in the northeast corner of the intersection of Zolezzi Lane and Jeppson Lane. Figure 1 (below) depicts the project location.



Figure 1 – Vicinity Map

# 395 ZOLEZZI GARAGE

## Existing Conditions

The project site currently includes a 1,523± square foot residence and an 865± square foot detached garage. The northern portion of the site is unimproved currently.

Figures 2 (below) depict the existing onsite conditions.



Figure 2 – Existing Conditions

## 395 ZOLEZZI GARAGE

The project site is designated as Suburban Residential in the Reimagine Reno Master Plan and is zoned Medium Density Suburban (MDS). Surrounding uses include an undeveloped lot directly to the north, a townhome development to the west separated by Jeppson Lane, and single-family residential uses to the north, south, and east.

Figure 3 (below) depicts the existing site zoning as well as that of the surrounding area.

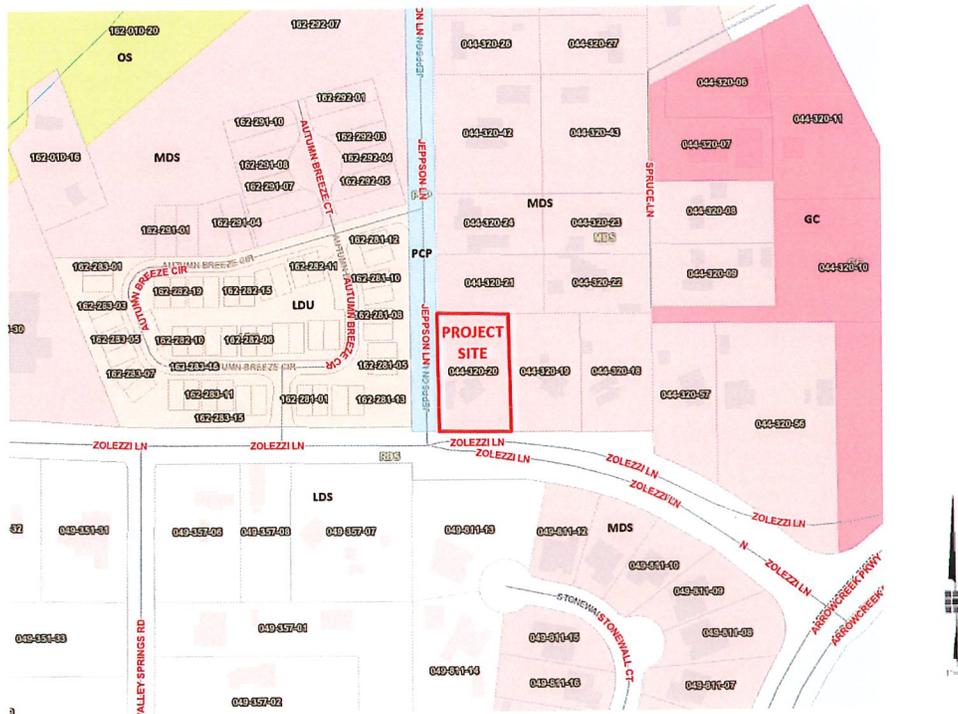


Figure 3 – Zoning

### Project Description

This application includes an Administrative Permit (AP) request to allow for the construction of a detached garage larger than the existing residence as required per the zoning code section 110.306.10(d). Specifically, the owners are proposing a new 7,488± square foot detached garage on the north half of the property. The building will be a 25.5-foot tall, one-story metal building.

The building is proposed as a pre-fabricated metal building. The west elevation, facing Jeppson Lane, includes three overhead metal doors. The northern and eastern elevations include one overhead door. The south elevation does not include any doors and will consist of a corrugated metal wall.

Figure 4 (following page) depicts the overall site plan for the garage while Figure 5 (page 5) provides a building floor plan of the new garage and Figure 6 (page 6) provides building elevations.

# 395 ZOLEZZI GARAGE

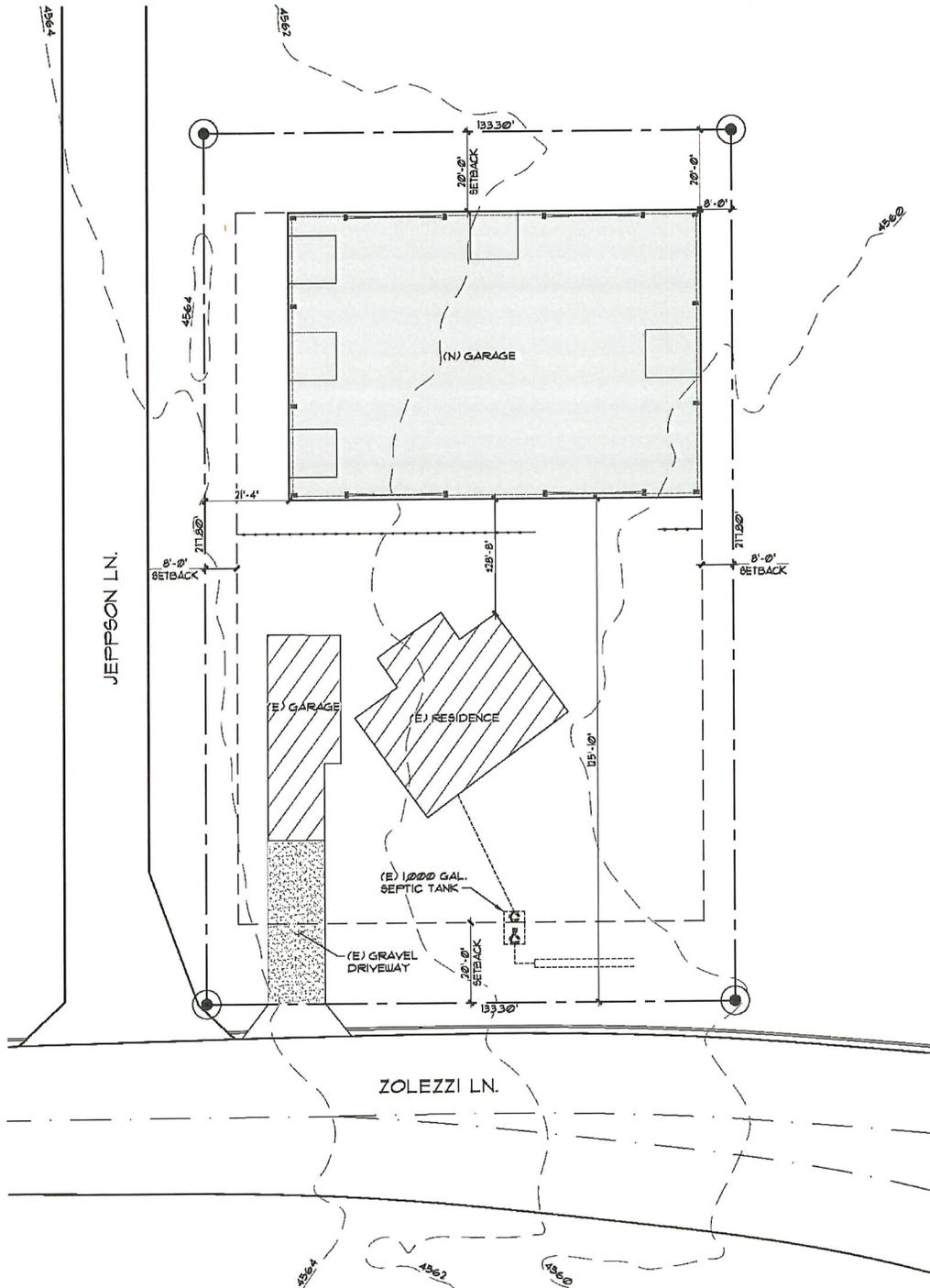


Figure 4 – Site Plan

# 395 ZOLEZZI GARAGE

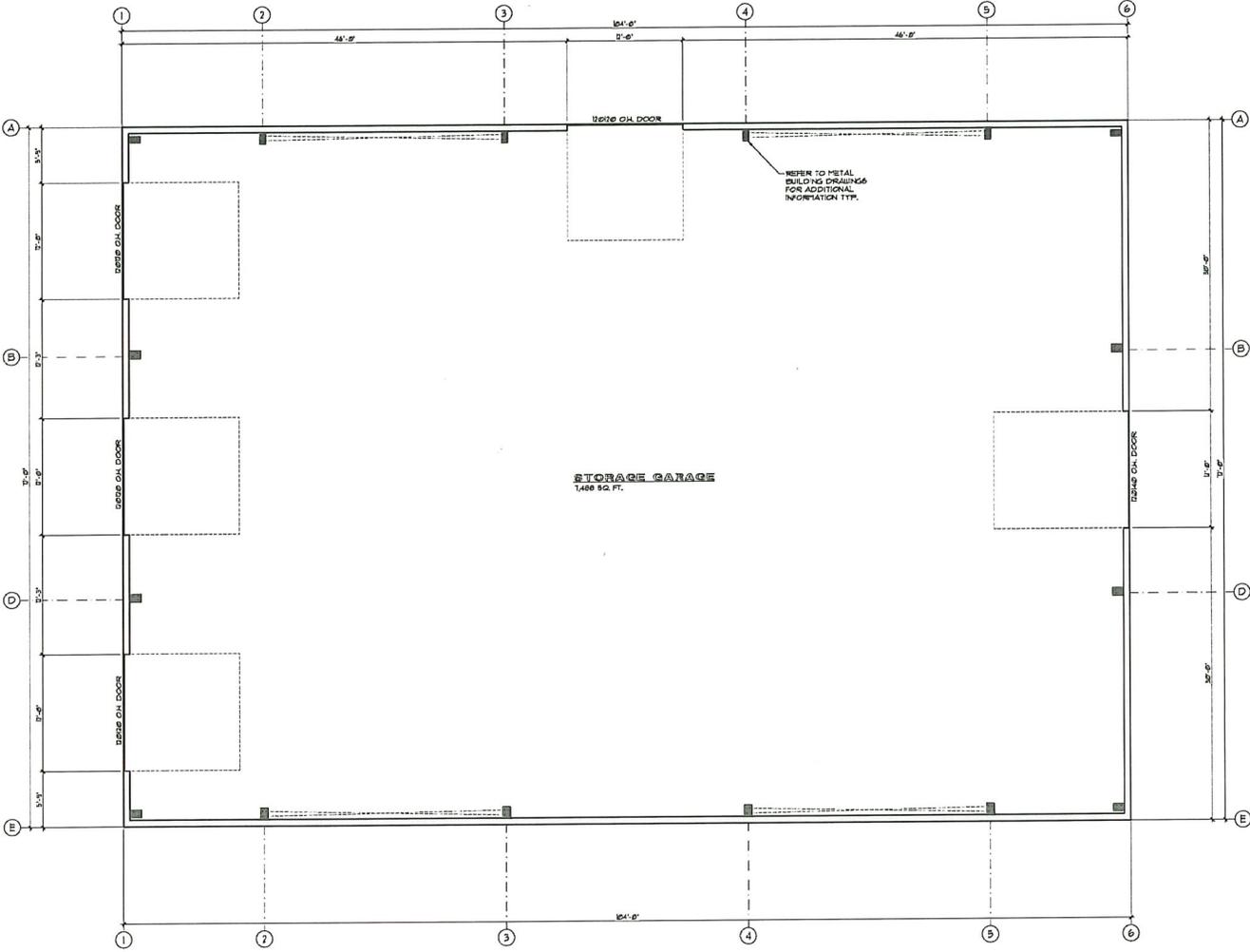
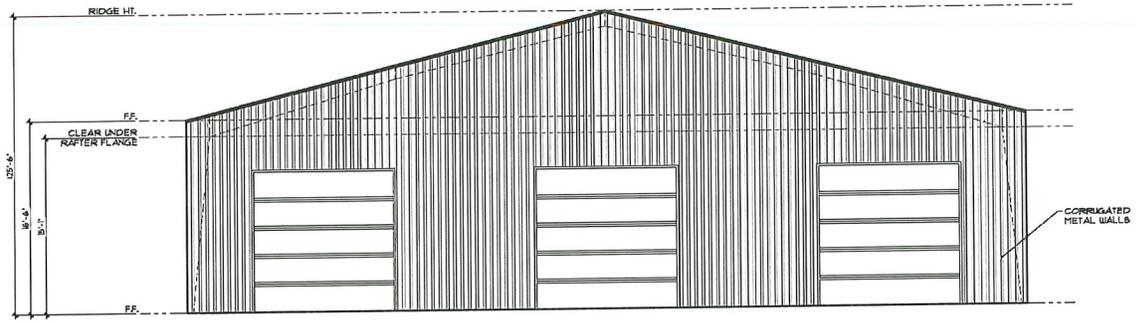
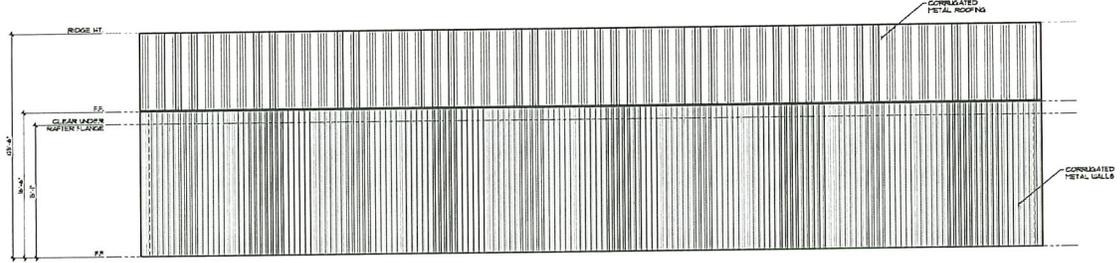


Figure 5 – Floor Plan

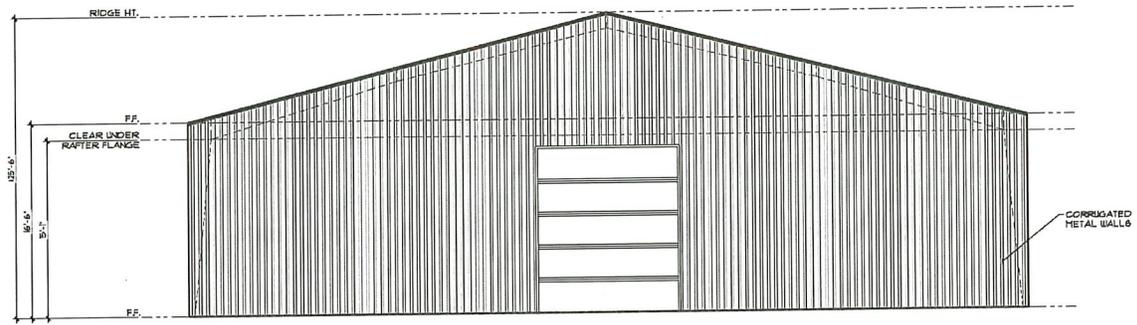
# 395 ZOLEZZI GARAGE



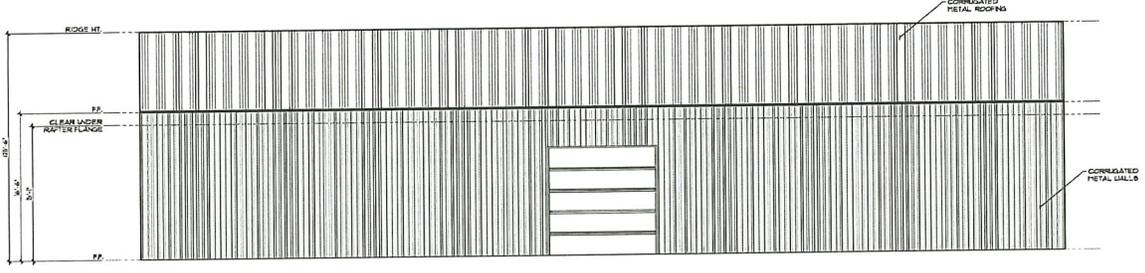
**WEST ELEVATION**  
SCALE 1/4" = 1'-0"



**SOUTH ELEVATION**  
SCALE 1/4" = 1'-0"



**EAST ELEVATION**  
SCALE 1/4" = 1'-0"



**NORTH ELEVATION**  
SCALE 1/4" = 1'-0"

Note: Full size building elevations are attached. The building walls will be neutral earth colors to match the surroundings.

**Figure 6 –Building Elevations**

## 395 ZOLEZZI GARAGE

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As depicted in Figure 4, the proposed garage meets the requirements for placement of a detached accessory structure. The proposed garage is placed to the rear of the existing main building with a setback from the main building of 28± feet. The placement meets the side and rear setbacks and has a maximum height of 25.5± feet. Additionally, the total lot coverage for all structures is 35%. No additional lighting is proposed other than exterior light fixtures affixed to the garage. All fixtures will be shielded/directed to ensure that spill over and glare do not occur to adjoining parcels. Lastly, there will be no increase in traffic with the addition and will not burden the adjoining roadways.

The construction of a garage at the project site would not impact the surrounding properties. The proposed detached accessory use complies with the Reno Municipal Code in terms of use and development standards. There are no new anticipated impacts.

### Administrative Permit Findings

The Reno Municipal Code establishes findings for Administrative permit requests. These findings are listed below and addressed in **bold face** type.

- a. Consistency. The proposed use is consistent with the policies, action programs, standards and maps of the Master Plan and the applicable area plan;

**The addition of a garage in the MDS zone is a consistent use with the Master Plan.**

- b. (b) Improvements. Adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been or will be provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven;

**The proposed garage will not require any addition or modification to existing utilities, roadways, etc. and will not negatively impact the surrounding properties or public facilities.**

- c. Site Suitability. The site is physically suitable for the type of development and for the intensity of the development;

**The site is flat and already developed with a single-family residence. The site is well suited for the addition of a detached garage at the rear of the property.**

- d. Issuance Not Detrimental. Issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area; and

**The proposed detached garage is in character with the surrounding residential uses. It will not result in a significant detriment to the public health, safety or welfare of the area and the adjacent properties.**

## 395 ZOLEZZI GARAGE

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- e. Effect on a Military Installation. If a military installation is required to be noticed pursuant to this article, the effect of the issuance of the permit will not be detrimental to the location, purpose and mission of the military installation.

**Not Applicable**

# **APPENDICES**

## Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

<b>Project Information</b>		Staff Assigned Case No.: _____	
Project Name: <b>395 Zolezzi Garage</b>			
Project Description: Build a large residential storage garage. The primary residence is a mobile home with a detached garage on the lot. The storage garage would be larger than the primary residence.			
Project Address: 395 Zolezzi Lane, Reno, NV 89511			
Project Area (acres or square feet): 0.666 acres			
Project Location (with point of reference to major cross streets <b>AND</b> area locator): The site is located in the northeast corner of the intersection of Zolezzi Lane and Jepson Lane.			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
044-320-20	0.666		
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
<b>Applicant Information</b> (attach additional sheets if necessary)			
<b>Property Owner:</b>		<b>Professional Consultant:</b>	
Name: Longshot Investments, LLC		Name: Christy Corporation, LTD	
Address: c/o Series 5, 375 Zolezzi Lane		Address: 1000 Kiley Parkway	
Reno, NV	Zip: 89511	Sparks, NV	Zip: 89436
Phone:	Fax:	Phone: (775) 502-8552	Fax:
Email: Bob@weiglconcrete.com		Email: Lisa@christynv.com	
Cell: (775) 690-2330	Other:	Cell: (908) 763-6576	Other:
Contact Person: Bob Weigl		Contact Person: Lisa Nash	
<b>Applicant/Developer:</b>		<b>Other Persons to be Contacted:</b>	
Name:		Name: Longshot Investments, LLC	
Address:		Address: c/o Series 5, 375 Zolezzi Lane	
	Zip:	Reno, NV	Zip: 89511
Phone:	Fax:	Phone:	Fax:
Email:		Email: Tami@weiglconcrete.com	
Cell:	Other:	Cell: (775) 750-6197	Other:
Contact Person:		Contact Person: Tami Weigl	
<b>For Office Use Only</b>			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

# Administrative Permit Application Supplemental Information

(All required information may be separately attached)

1. What is the type of project or use being requested?

Build a large residential storage garage. The primary residence is a mobile home with a detached garage on the lot. The storage garage would be larger than the primary residence.

2. What section of the Washoe County code requires the Administrative permit required?

**110.306.10 (d)**

3. What currently developed portions of the property or existing structures are going to be used with this permit?

This permit is for a detached accessory structure. The main building or existing garage will not be affected.

4. What improvements (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.) will have to be constructed or installed and what is the projected time frame for the completion of each?

A new metal garage will be constructed on site and completed within a year.

5. Is there a phasing schedule for the construction and completion of the project?

**No phasing planned**

6. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

The property is ideally suited for the addition of the garage. The site is flat, the rear of the property is vacant and adjoins Jeppson Lane.

7. What are the anticipated beneficial aspects or effect your project will have on adjacent properties and the community?

No negative impacts are expected for adjacent properties and the community.

8. What will you do to minimize the anticipated negative impacts or effect your project will have on adjacent properties?

The proposed building will be built according to all Reno municipal codes and no negative impacts are expected.

9. Please describe any operational parameters and/or voluntary conditions of approval to be imposed on the administrative permit to address community impacts.

**Not applicable.**

10. How many improved parking spaces, both on-site and off-site, are available or will be provided? (Please indicate on site plan.)

Not applicable.

11. What types of landscaping (e.g. shrubs, trees, fencing, painting scheme, etc.) are proposed? (Please indicate location on site plan.)

No additional landscaping is proposed beyond what exists currently.

12. What type of signs and lighting will be provided? On a separate sheet, show a depiction (height, width, construction materials, colors, illumination methods, lighting intensity, base landscaping, etc.) of each sign and the typical lighting standards. (Please indicate location of signs and lights on site plan.)

Not applicable.

13. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the administrative permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
------------------------------	--

14. Utilities:

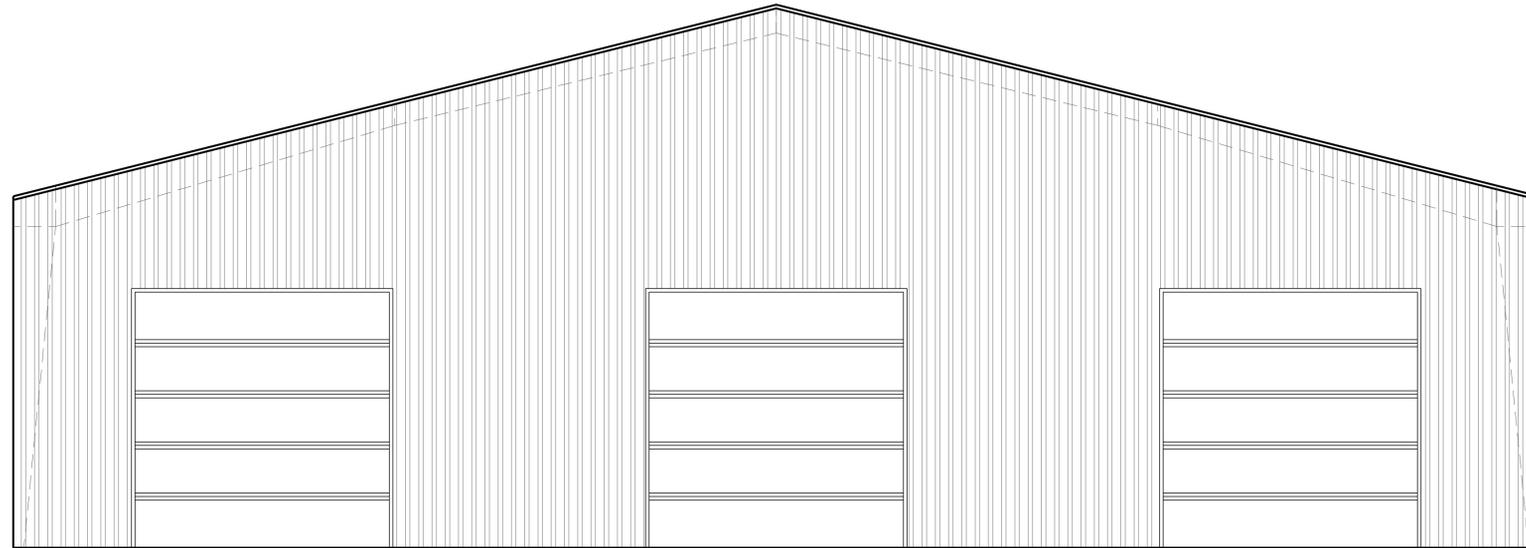
a. Sewer Service	Septic
b. Water Service	Well

For most uses, the Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required:

c. Permit #		acre-feet per year	
d. Certificate #		acre-feet per year	
e. Surface Claim #		acre-feet per year	
f. Other, #		acre-feet per year	

Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources):

# 395 Zolezzi Garage



**K2 ENGINEERING**  
AND STRUCTURAL DESIGN  
860 Maestro Dr., Ste. A  
Reno, NV 89511  
P: (775) 355-0505  
F: (775) 355-0566  
www.K2eng.net

**395 Zolezzi Garage**  
Washoe County, NV  
89511  
395 Zolezzi Ln.  
A.P.N.: 044-320-20

Brandt T. Kennedy, P.E.  
Jared A. Krupa, P.E.

NOT FOR  
CONSTRUCTION

## GENERAL NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL JOB SITE REQUIREMENTS AND FOR COORDINATION OF ARCHITECTURAL DRAWINGS.
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGNER OF ANY DISCREPANCIES, ERRORS, OMISSIONS, OR OTHER QUESTIONS RELATING TO THE CONSTRUCTION DOCUMENTS. DO NOT PROCEED WITH THE WORK UNTIL THE INTENT OF THE DOCUMENTS IS CLEAR.
- THE CONTRACT DOCUMENTS ARE COMPLEMENTARY. WORK REQUIRED TO BE DONE BY ONE DOCUMENT AND NOT BY OTHERS SHALL BE DONE AS IF REQUIRED BY ALL.
- CONTRACTORS AND SUBCONTRACTORS SHALL ENSURE THAT ALL WORK IS PERFORMED IN A PROFESSIONAL AND WORKMANLIKE MANNER BY SKILLED MECHANICS OF THE TRADE. SUBCONTRACTORS AND SUPPLIERS ARE HEREBY NOTIFIED THAT THEY ARE TO CONFER AND COOPERATE FULLY WITH EACH OTHER DURING THE COURSE OF CONSTRUCTION TO DETERMINE THE EXACT EXTENT AND OVERLAP OF EACH OTHER'S WORK AND TO SUCCESSFULLY COMPLETE THE EXECUTION OF THE WORK IN A TIMELY MANNER.
- CONTRACTOR AND SUBCONTRACTORS SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES, AND FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE RESIDENTIAL DESIGNER SHALL NOT BE RESPONSIBLE FOR JOB SITE CONDITIONS OR COMPLIANCE WITH SAFETY REGULATIONS GOVERNING WORK PERFORMED ON THIS PROJECT. ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK ON, OR RELATED TO THESE PLANS, SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED - AND SHALL COMPLY WITH THE 'OCCUPATIONAL SAFETY AND HEALTH REGULATIONS' OF THE U.S. DEPARTMENT OF LABOR, AND WITH ANY AND ALL OTHER APPLICABLE STATE AND LOCAL SAFETY REGULATIONS. THE CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE SAFETY CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT AND THAT THIS REQUIREMENT SHALL DEFEND, INDEMNIFY, AND HOLD HARMLESS THE OWNER AND THE RESIDENTIAL DESIGNER FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH PERFORMANCE OF WORK ON THIS PROJECT.
- CONTRACTOR AND SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION, ADEQUACY AND SAFETY OF ERECTION, BRACING, SHORING, TEMPORARY SUPPORTS, ETC. OF THE WORK AND SHALL BE RESPONSIBLE FOR ANY DAMAGES TO THE WORK PRIOR TO THE APPLICATION AND INSTALLATION OF ALL SHEAR WALLS, ROOF AND FLOOR DIAPHRAGMS, AND FINISH MATERIALS. THE STRUCTURE IS NOT DESIGNED AS A STABLE UNIT UNTIL AFTER ALL COMPONENTS ARE IN PLACE, AND THEREFORE THE CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING NECESSARY TO ENSURE THE STABILITY OF ANY AND ALL PARTS OF THE PROJECT DURING CONSTRUCTION.
- CONTRACTOR AND SUBCONTRACTOR SHALL MAINTAIN THE PREMISES, CLEAN AND FREE OF ALL TRASH AND DEBRIS, AND SHALL PROTECT ALL ADJACENT WORK FROM DAMAGE, SOILING, AND PAINT OVERSPRAY.
- BUILDER'S SET: THIS SET OF DRAWINGS HAS BEEN PREPARED SUFFICIENT TO OBTAIN A BUILDING PERMIT. ALL MATERIALS AND METHODS OF CONSTRUCTION NECESSARY TO COMPLETE THE PROJECT ARE NOT NECESSARILY DESCRIBED IN THIS 'BUILDER'S SET'. THE IMPLEMENTATION OF THE DRAWINGS REQUIRES THE CONTRACTOR TO BE THOROUGHLY KNOWLEDGEABLE WITH THE APPLICATION CODES AND METHODS OF CONSTRUCTION SPECIFIC TO THIS PROJECT AND TYPE OF CONSTRUCTION.
- THE CONTRACTOR AND SUBCONTRACTORS SHALL MAKE NO STRUCTURAL SUBSTITUTIONS, CHANGES OR MODIFICATIONS WITHOUT WRITTEN APPROVAL OF STRUCTURAL ENGINEER.
- UNLESS SPECIFICALLY SHOWN OR NOTED ON THE DRAWINGS, NO STRUCTURAL MEMBER SHALL BE CUT, NOTCHED, BORED, OR OTHERWISE WEAKENED WITHOUT THE PERMISSION OF THE STRUCTURAL ENGINEER.
- CODE COMPLIANCE
  - ALL WORK FOR THIS PROJECT SHALL COMPLY WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE, INTERNATIONAL FIRE CODE, INTERNATIONAL PLUMBING CODE, UNIFORM MECHANICAL CODE, NATIONAL ELECTRIC CODE AND OTHER CODES AND ORDINANCES AS CURRENTLY ADOPTED AND AMENDED BY AGENCIES HAVING JURISDICTION OVER THE PROJECT.

## BASIS OF DESIGN

- BUILDING CODE:**
- 2018 INTERNATIONAL BUILDING CODE - 'IBC'
  - 2018 INTERNATIONAL RESIDENTIAL CODE - 'IRC'
  - 2018 INTERNATIONAL ENERGY CONSERVATION CODE - 'IECC'
  - 2018 INTERNATIONAL FUEL GAS CODE - 'IFGC'
  - 2018 INTERNATIONAL MECHANICAL CODE - 'IMC'
  - 2018 UNIFORM PLUMBING CODE - 'UPC'
  - 2018 UNIFORM MECHANICAL CODE - 'UMC'
  - 2017 NATIONAL ELECTRICAL CODE - 'NEC'
  - 2018 NORTHERN NEVADA CODE AMENDMENTS BY THE NNCICC

ALL OTHER CODES AND ORDINANCES AS CURRENTLY ADOPTED AND AMENDED BY AGENCIES HAVING JURISDICTION OVER THE PROJECT

## PROJECT INFORMATION

**SCOPE OF WORK:**  
A NEW 17,844 SQ. FT. DETACHED METAL BUILDING.

**ADDRESS:** 395 ZOLEZZI LN.  
WASHOE COUNTY, NV 89511

**A.P.N.:** 044-320-20

**ZONING:** MDS

**FLOOD ZONE:** X

**NUMBER OF STORIES:** ONE

**PARCEL AREA:** 0.666 ACRES

## AREA TABULATIONS

(E) LIVING AREA: 11,523 S.F.  
(E) GARAGE AREA: 1865 S.F.  
(N) METAL BUILDING AREA: 17,844 S.F.

## VICINITY MAP

NO SCALE



## SYMBOL LEGEND

- (X) DETAIL NUMBER
- (A-A) SECTION NUMBER
- (X) KEY NOTE NUMBER
- (X) SHEET NUMBER
- (X) REVISION SYMBOL
- (NORTH) NORTH

## DRAWING INDEX

- ARCHITECTURAL**
- A-0 COVER SHEET, PROJECT DATA, BASIS OF DESIGN, VICINITY MAP, SYMBOL LEGEND
  - A-1 SITE PLAN
  - A-2 FLOOR PLAN
  - A-3 ELEVATIONS
  - A-4 ELEVATIONS

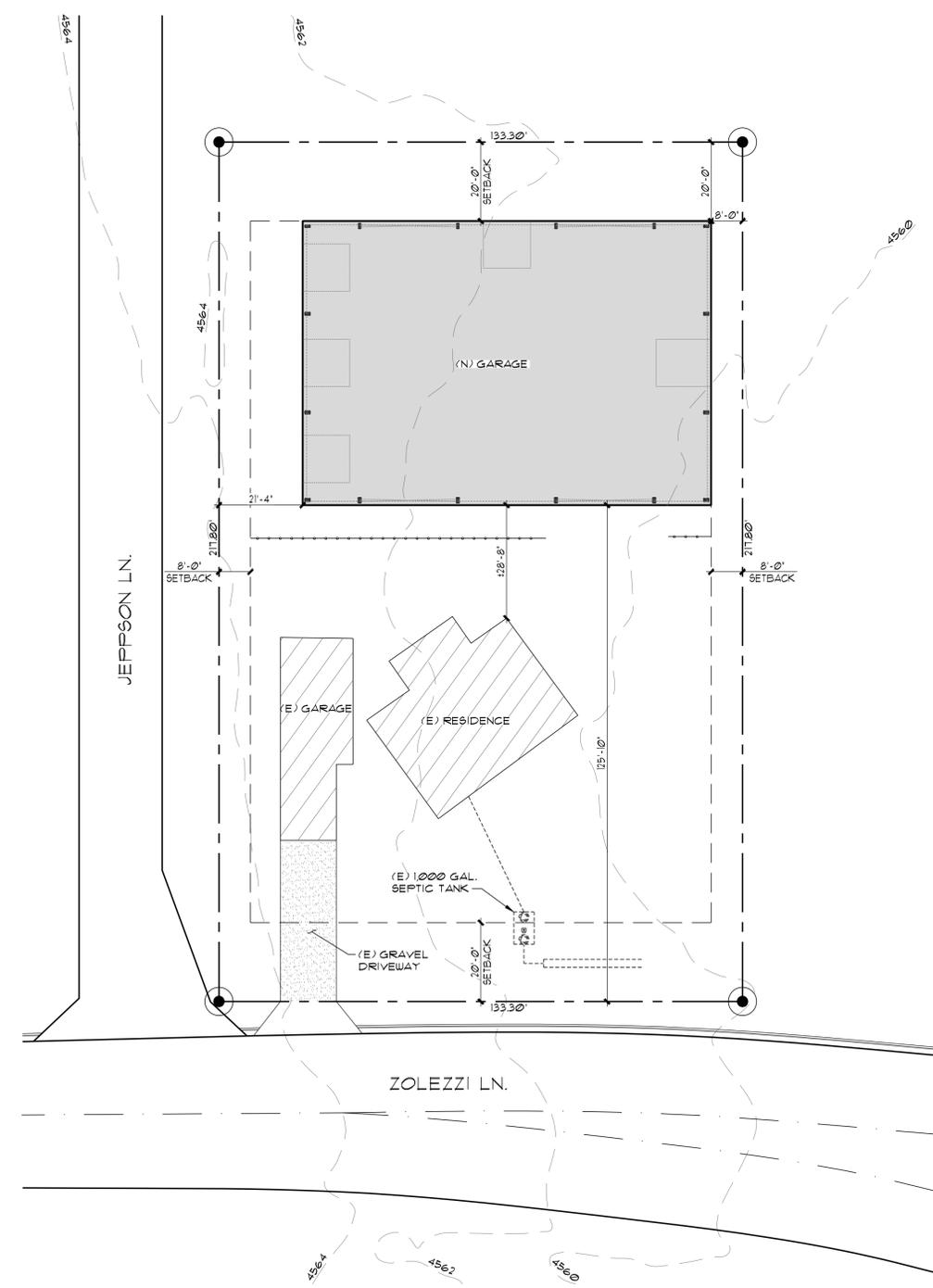
## DIRECTORY

**OWNER/DEVELOPER**  
LONGSHOT INVESTMENTS LLC  
375 ZOLEZZI LN.  
RENO, NV 89511

**ENGINEER**  
BRANDT KENNEDY PE  
K2 ENGINEERING  
860 MAESTRO DR., STE. A  
RENO, NV 89511  
P: (775) 355-0505  
F: (775) 355-0566  
WWW.K2ENG.NET

Cover Sheet

**A-0**



**SITE PLAN**  
SCALE 1" = 20'-0"



**GENERAL SITE NOTES**

1. ALL WORK MUST CONFORM W/ LOCAL BUILDING CODES, CITY, COUNTY AND STATE ORDINANCES, SUBDIVISION REGULATIONS AND THE INTERNATIONAL BUILDING CODE, INTERNATIONAL RESIDENTIAL CODE, UNIFORM MECHANICAL CODE, UNIFORM PLUMBING CODE, INTERNATIONAL ENERGY CONSERVATION CODE (2018 EDITIONS) AND THE 2017 NATIONAL ELECTRICAL CODE.
2. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING AND PROPOSED GRADES, UTILITIES, AND DIMENSIONS PRIOR TO THE START OF CONSTRUCTION.
3. THE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING AND COORDINATING ALL SERVICE REQUIREMENTS WITH THE APPROPRIATE PUBLIC AGENCY OR UTILITY PROVIDER. CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REQUIREMENTS.
4. PLACEMENT OF STRUCTURE WITHIN SETBACKS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. NOTIFY OWNER OF ANY DISCREPANCIES.
5. CONC. FLATWORK TO BE FINISHED PER OWNERS REQUIREMENTS.
6. SLOPE LAWN AREAS FOR DRAINAGE MIN. 1/4" PER 1'-0".
7. MAINTAIN EXISTING DRAINAGE WITH 5% (2% MIN) SLOPE AWAY FROM PROPOSED STRUCTURE FOR A MINIMUM OF 10' AND DRAINAGE SWALE 2'-6" MIN. IN FROM PROPERTY LINES AS REQUIRED TO PREVENT DRAINAGE ONTO ADJACENT PRIVATE PROPERTY. MINIMUM SLOPE OF DRAINAGE SWALE SHALL BE 1%.
8. THIS SITE IS LOCATED IN FEMA FLOOD ZONE X WHICH IS DETERMINED TO BE OUTSIDE OF THE 100-YEAR FLOOD PLAIN BOUNDARY OF THE 100-YEAR FLOOD PLAN IS NOT WITHIN 100 FEET OF PROPERTY.
9. THIS SITE IS SERVICED BY DOMESTIC WELL AND SEPTIC SYSTEM.
10. THE DESIGN FOR THIS SITE HAS BEEN BASED ON THE BEST AVAILABLE INFORMATION. ALL ASSUMED EXISTING AND PROPOSED INFORMATION SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ALL PARTIES SHOULD ANTICIPATE THE POTENTIAL NEED FOR MODIFICATIONS TO THE INITIAL DESIGN IN ORDER TO ACCOMMODATE ACTUAL FIELD CONDITIONS. ALL DISCREPANCIES DISCOVERED IN THE FIELD SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.
11. NEITHER A TOPOGRAPHICAL OR BOUNDARY SURVEY WAS PERFORMED FOR THIS SITE. THE TOPOGRAPHY SHOWN IS FROM THE WASHOE COUNTY GIS WEBSITE AND THE BOUNDARY SHOWN IS BASED ON RECORD INFORMATION. IT IS RECOMMENDED THAT PRIOR TO CONSTRUCTION A FULL SURVEY IS PERFORMED IN ORDER TO ACCURATELY PLACE THE IMPROVEMENTS.
12. SHOULD ANY PREHISTORIC OR HISTORIC REMAINS/ARTIFACTS BE DISCOVERED DURING SITE DEVELOPMENT, WORK SHALL TEMPORARILY BE HALTED AT THE SPECIFIC SITE AND THE STATE HISTORIC PRESERVATION OFFICE OF THE DEPARTMENT OF MUSEUMS, LIBRARY AND ARTS, SHALL BE NOTIFIED TO RECORD AND PHOTOGRAPH THE SITE. THE PERIOD OF TEMPORARY DELAY SHALL BE LIMITED TO A MAXIMUM OF TWO (2) WORKING DAYS FROM THE DATE OF NOTIFICATION.
13. THERE ARE NO WATERCOURSES WITHIN 100' OF PROPERTY.

**Grading Note:**  
SITE DISTURBANCE LESS THAN 50 CUBIC YARDS. NO GRADING REQUIRED.



860 Maestro Dr., Ste. A  
Reno, NV 89511  
P: (775) 355-0505  
F: (775) 355-0666  
www.K2eng.net

**395 Zolezzi Garage**  
 Washoe County, NV 89511  
 395 Zolezzi Ln.  
 A.P.N.: 044-320-20

Brandt T. Kennedy, P.E.  
Jared A. Krupa, P.E.

NOT FOR CONSTRUCTION

**Revisions**

Date	11/7/2022
Drawn	AMH
Checked	BTK
Project No.	22-408

Site Plan

**A-1**

**395 Zolezzi Garage**  
Washoe County, NV  
89511  
395 Zolezzi Int.  
A.P.N.: 044-320-20

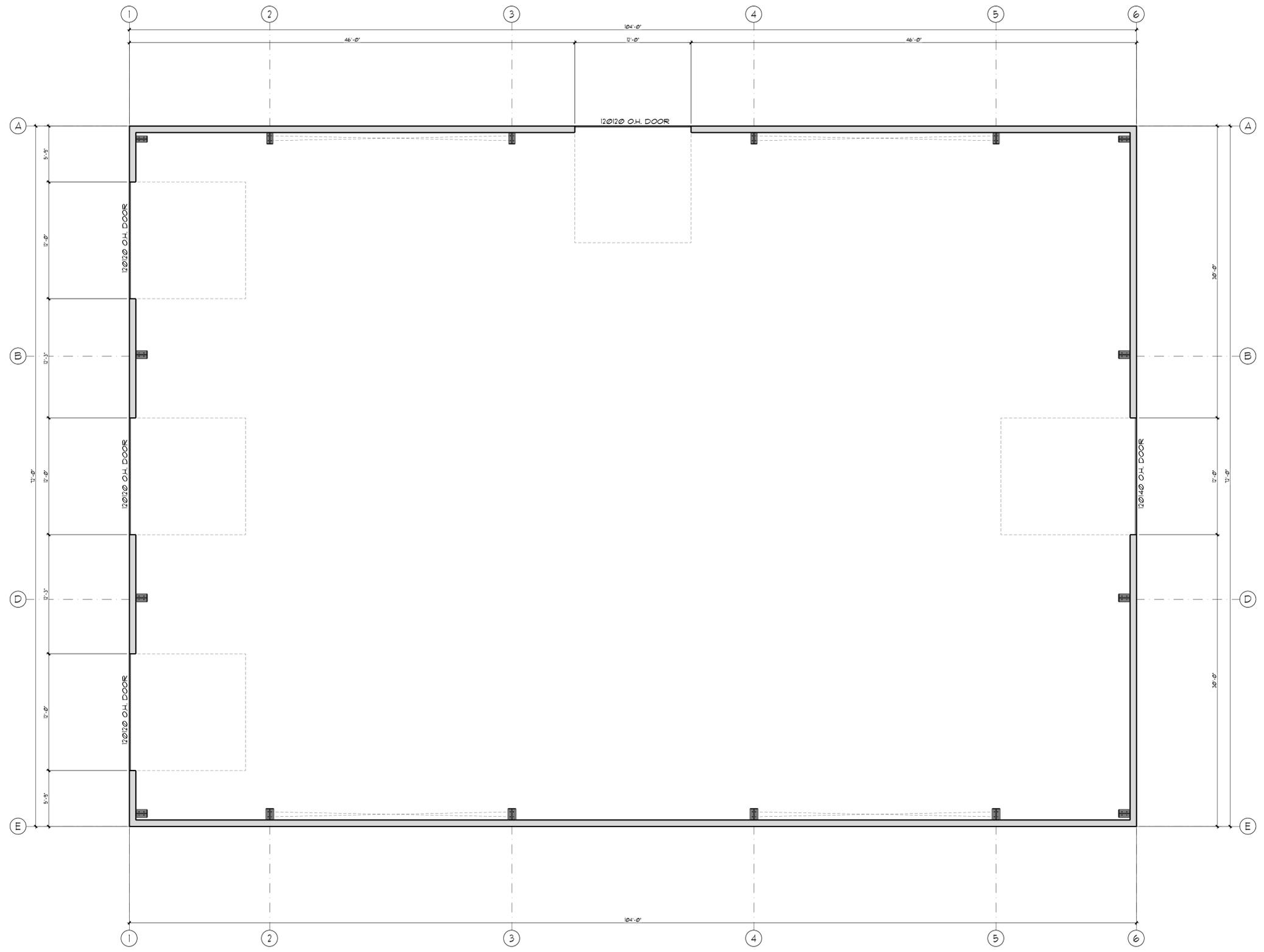
Brandt T. Kennedy, P.E.  
Jared A. Krupa, P.E.

**NOT FOR  
CONSTRUCTION**

Revisions	
△	
△	
△	

Date	11/7/2022
Drawn	AMH
Checked	BTK
Project No.	22-408



**FLOOR PLAN**  
SCALE 1" = 20'-0"

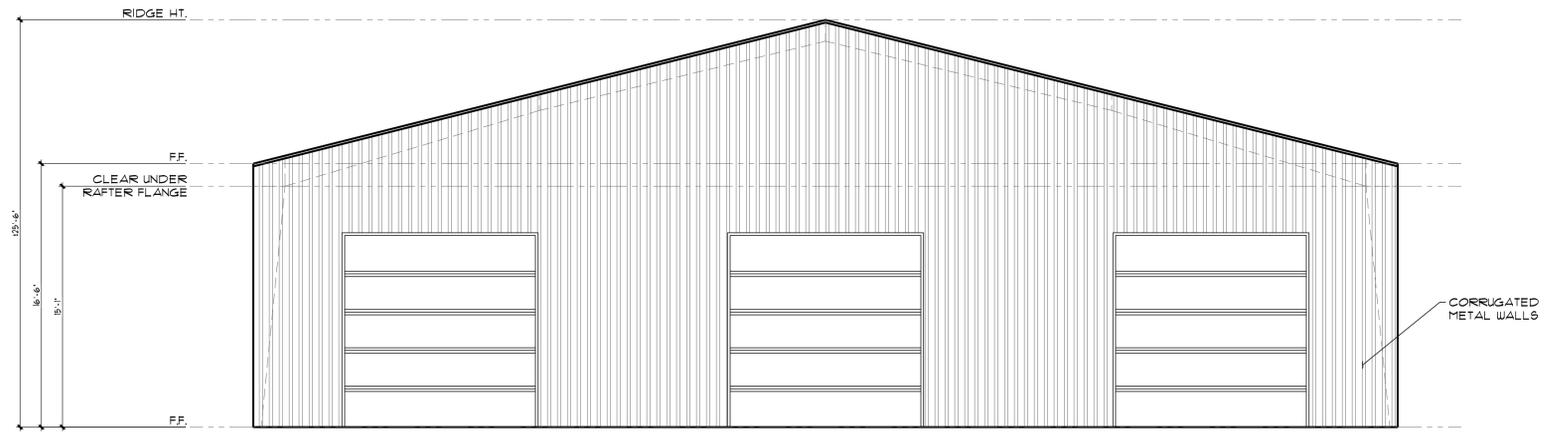
Floor Plan

NOT FOR  
CONSTRUCTION

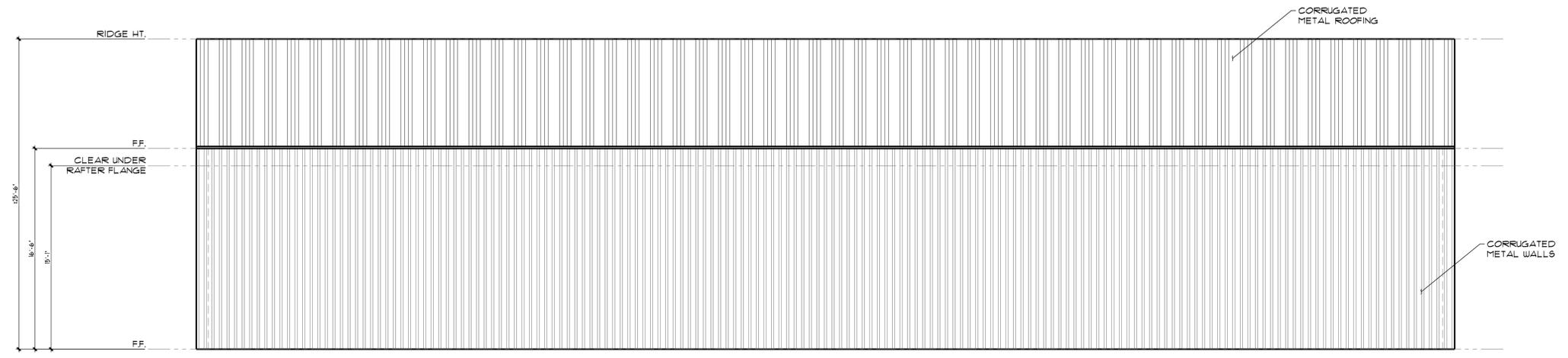
Revisions


Date 11/7/2022  
Drawn AMH  
Checked BTK  
Project No. 22-408

Elevations



**WEST ELEVATION**  
SCALE 1" = 20'-0"



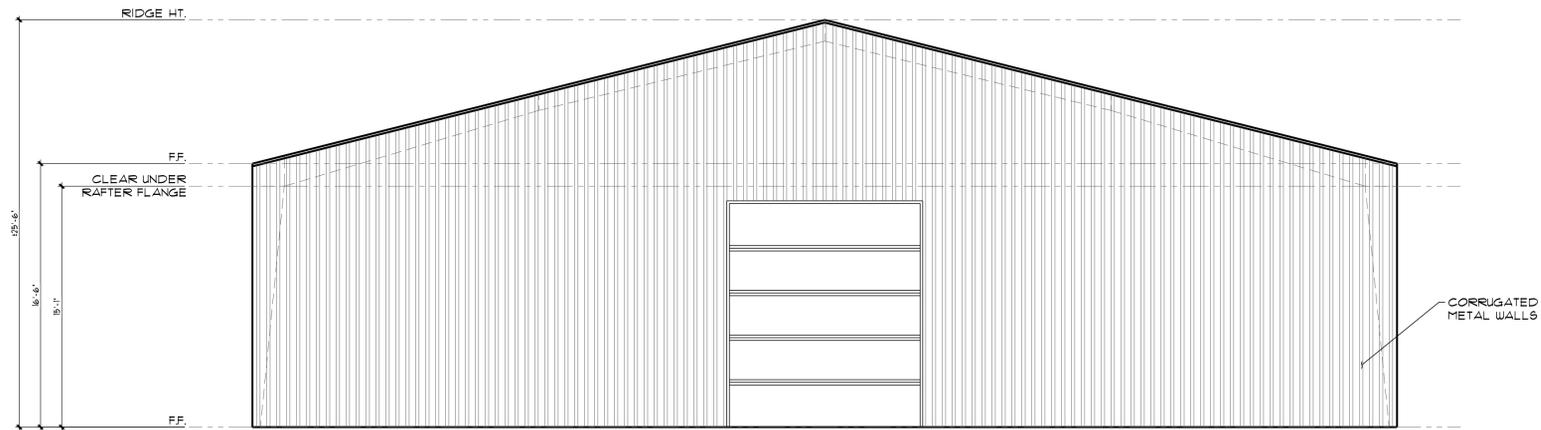
**SOUTH ELEVATION**  
SCALE 1" = 20'-0"

NOT FOR  
CONSTRUCTION

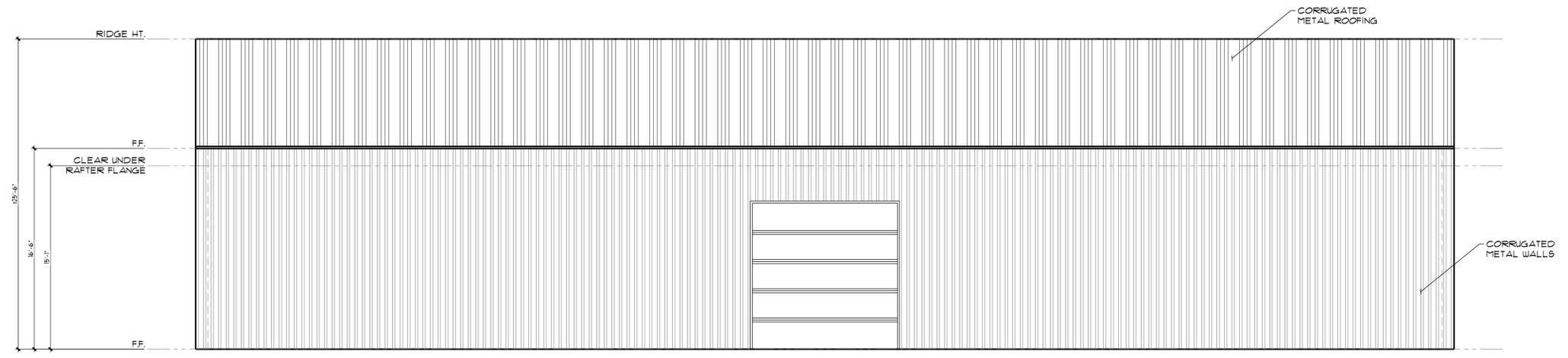
Revisions	
△	
△	
△	

Date	11/7/2022
Drawn	AMH
Checked	BTK
Project No.	22-408



**EAST ELEVATION**  
SCALE 1" = 20'-0"



**NORTH ELEVATION**  
SCALE 1" = 20'-0"