Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information	S	Staff Assigned Case No.:						
Project Name: Melarkey Residence Barn								
	a new detached	accessory dwelling structu	re with a					
Project Address: 6390 Galena	Canyon Trail Ren	o, NV 89511						
Project Area (acres or square fee	et): 2,400 square fee	et of new construction						
Project Location (with point of re	ference to major cross	streets AND area locator):						
Mt Rose Hwy, Left of	on Callahan	Rd, Left on Galena (Canyon Trail					
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:					
148-122-01	4.286							
	:							
Indicate any previous Washo Case No.(s). WBLD19-1041		s associated with this applicat 4124, 04-2128	ion:					
Applicant Info	ormation (attach	additional sheets if necess	ary)					
Property Owner:		Professional Consultant:						
Name: MELARKEY COMMUNITY PROP	TRUST, MICHAEL & KAREN	Name: K2 Engineering and Structural Design						
Address: 6390 Galena Canyo	on Trail	Address:						
Reno, NV	Zip: 89511	Zip:						
Phone: 775-742-3127	Fax:	Phone:	Fax:					
Email: mike@mmelarkey.cor	n	Email:						
Cell: Same as phone	Other:	Cell:	Other:					
Contact Person: Mike Melarke	∍y	Contact Person:						
Applicant/Developer:		Other Persons to be Contact	ed:					
Name: Bill Wardell (Owner's	Agent)	Name:						
Address: 439 Chelmsford Dri	ve	Address:						
Verdi, NV	Zip: 89439		Zip:					
Phone:	Fax:	Phone: Fax:						
Email: billwardell@gmail.con	n	Email:						
Cell: 775-750-7325	Other:	Cell: Other:						
Contact Person: Bill Wardell		Contact Person:						
	For Office	Use Only						
Date Received:	Initial:	Planning Area:						
County Commission District:		Master Plan Designation(s):						
CAB(s):		Regulatory Zoning(s):						

Administrative Review Permit Application for a Detached Accessory Dwelling Supplemental Information

(All required information may be separately attached)

1. What is the size (square footage) of the main dwelling or proposed main dwelling (exclude size of garage)?

Existing Main Dwelling is 5,148 sf

2. What is the size of the proposed detached accessory dwelling (exclude size of garage)? If a manufactured or modular home is the secondary dwelling, list the age and size of the unit.

Total size is 2,400sf of which 2,090sf is Garage and Storage

How are you planning to integrate the main dwelling and secondary dwelling to provide architectura compatibility of the two structures?
The structure is designed as a freestanding barn and matches character with the surrounding properties

5. How many off-street parking spaces are available? Parking spaces must be shown on site plan. Are any new roadway, driveway, or access improvements be required?

3 exterior and 3 interior

6. What will you do to minimize any potential negative impacts (e.g. increased lighting, removal of existing vegetation, etc.) your project may have on adjacent properties?
Location is within an existing open field area - New native planting will be located to maintain the surround area. Lighting will be dark sky compliant

7. Is the subject property part of an active Home Owners Association (HOA) or Architectural Control Committee?

Per Ves No If yes, please list the HOA name. Galena Canyon

8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit a detached accessory dwelling on your property?

☐ Yes ☐ No If yes, please attach a copy.

9. Only one accessory dwelling unit, whether attached or detached, is allowed per parcel. Is there a guest apartment, mother-in-law unit, next-gen addition with kitchen or any other type of secondary dwelling on the subject property?

Yes	No		If yes, please provide information on the secondary unit.

10. List who the service providers are for the main dwelling and accessory dwelling:

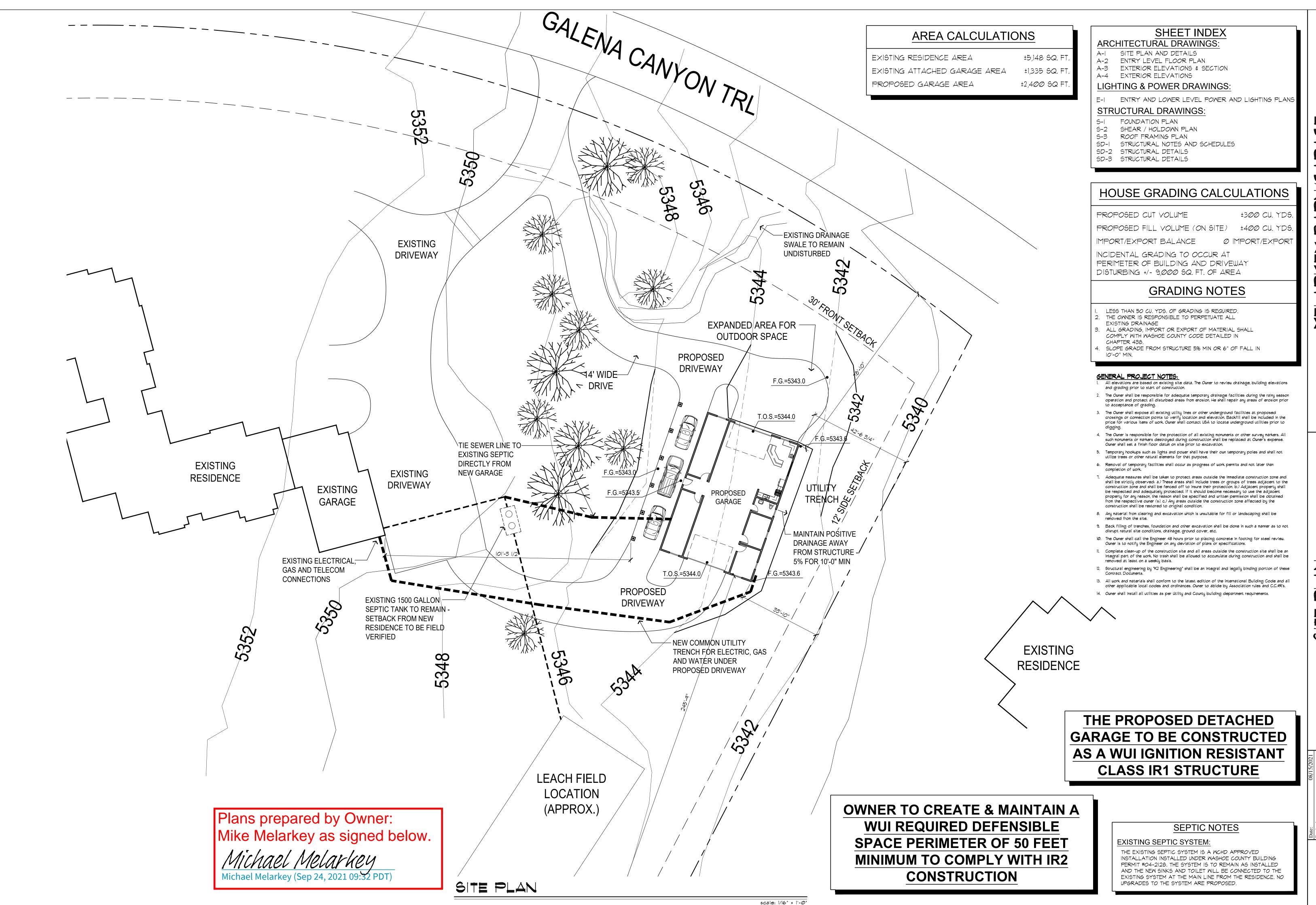
	Main Dwelling	Accessory Dwelling
Sewer Service	Septic on Site	Septic on Site
Electrical Service	NV Energy	NV Energy
Solid Waste Disposal Service	Waste Management	Waste Management
Water Service	TMVVA	TMWA

Property Owner Affidavit

Applicant Name: Mehanney	communists Prosects Trust
	July of Marie
	nittal does not guarantee the application complies with all ment Code, the Washoe County Master Plan or the oning, or that the application is deemed complete and will
being duly sworn, depose and say that I am th application as listed below and that the foregoi information herewith submitted are in all respects	e print name) the owner* of the property or properties involved in this and statements and answers herein contained and the complete, true, and correct to the best of my knowledge
and belief. I understand that no assurance or Building.	guarantee can be given by members of Planning and
	each property owner named in the title report.)
	8-122-01
	Signed Have L. Meraphily Signed Have L. Meraphily Address 6390 Galena Canyon Tr
Subscribed and sworn to before me this 2/e day of October, 262	(Notary Stamp) LYNN MOORE Notary Public - State of Nevada Appointment Recorded in Washoe County No: 97-0433-2 - Expires March 2, 2026
Owner refers to the following: (Please mark appro	opriate box.)
☐ Corporate Officer/Partner (Provide copy of	record document indicating authority to sign.)
 Power of Attorney (Provide copy of Power of 	of Attorney.)
Owner Agent (Provide notarized letter from	property owner giving legal authority to agent.)
Property Agent (Provide copy of record docLetter from Government Agency with Stewa	
	•

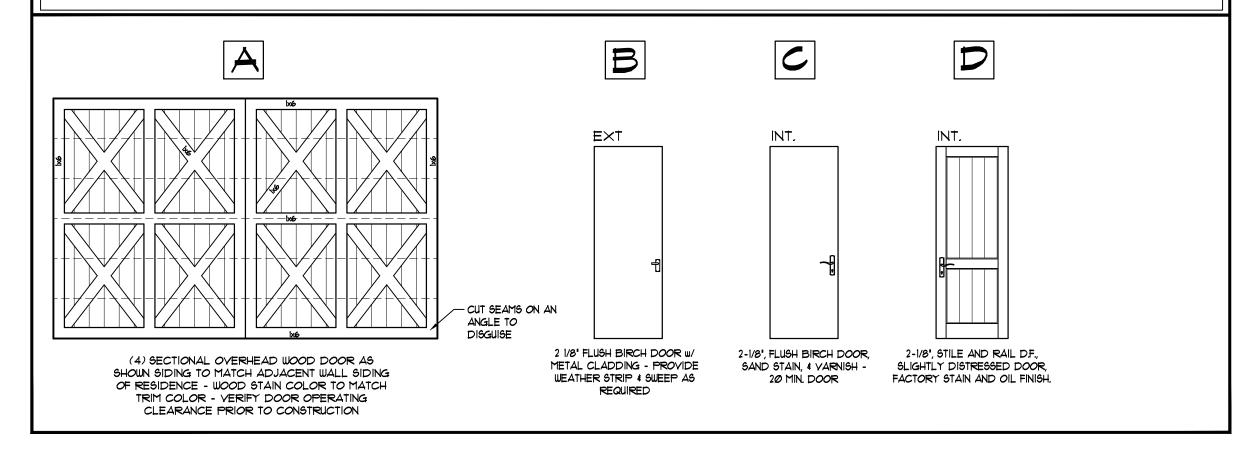
Property Owner Affidavit

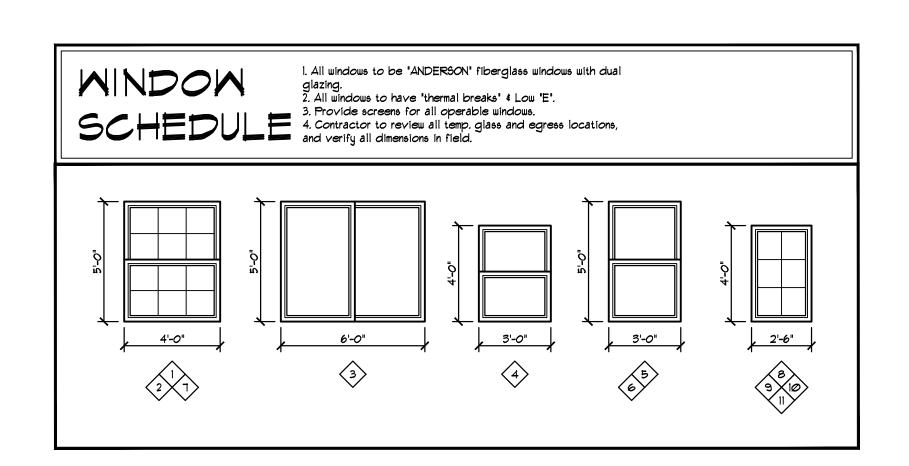
Applicant Name: MICHAEL J. MELARILLEY
The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.
STATE OF NEVADA) COUNTY OF WASHOE)
1, WILHALL T. MELARILLY (please print name)
being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.
(A separate Affidavit must be provided by each property owner named in the title report.)
Assessor Parcel Number(s): 148-122-01 148-122-01
Signed MICHARLY WE LARRY Y Signed Mall Company To the Meno, NV 8950, H
Subscribed and sworn to before me this 12 day of October , 2021. (Notary Stamp) Notary Public in and for said county and state My commission expires: 8 3 2024 My commission expires: 8 3 2024 (Notary Stamp) LAURA PETERSEN BROWNING Notary Public - State of Nevada Appointment Recorded in Washoe County No: 12-8484-2 - Expires August 3, 2024
*Owner refers to the following: (Please mark appropriate box.) Owner Corporate Officer/Partner (Provide copy of record document indicating authority to sign.) Power of Attorney (Provide copy of Power of Attorney.) Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
 □ Property Agent (Provide copy of record document indicating authority to sign.) □ Letter from Government Agency with Stewardship

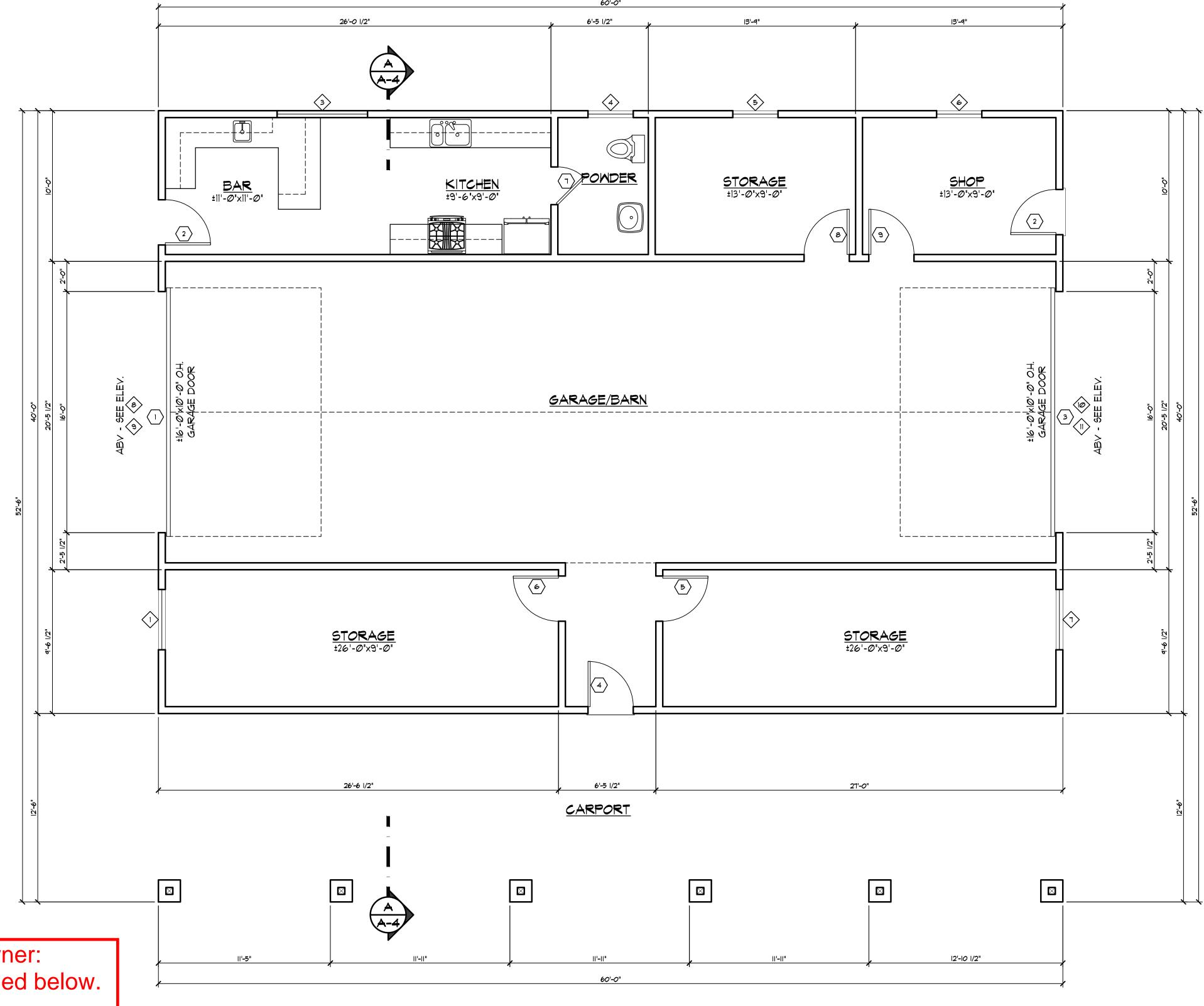


DOOR SCHEDULE										
0 N N 0		DO	OR		0 0 0 III	:	FRAME		REMARKS	
<u>o</u> _	THICK	MIDTH	HEIGHT	MAT'L	36	HEAD	JAMB	SILL		
1		16'-0"	10'-0"	MTL/WD	А	WOOD	WOOD	CONC	INSULATED OVERHEAD DOOR WITH CUSTOM WOOD OVERLAY	
2	2 1/8"	3'-Ø"	8'-Ø"	WOOD	В	WOOD	WOOD	MTL		
3		16'-0"	10'-0"	MTL/WD	А	WOOD	WOOD	CONC	INSULATED OVERHEAD DOOR WITH CUSTOM WOOD OVERLAY	
4	2 1/8"	3'-Ø"	8'-Ø"	WOOD	В	WOOD	WOOD	WOOD		
5	2 1/8"	3'-Ø"	8'-Ø"	WOOD	С	WOOD	WOOD	WOOD	-	
6	2 1/8"	3'-Ø"	8'-Ø"	WOOD	С	WOOD	WOOD	WOOD	-	
7	2 1/8"	2'-8"	8'-Ø"	WOOD	D	WOOD	WOOD	WOOD	-	
8	2 1/8"	3'-Ø"	8'-Ø"	WOOD	С	WOOD	WOOD	W00D	-	
(e)	2 1/8"	3'-Ø"	8'-Ø"	WOOD	С	WOOD	WOOD	WOOD	-	

DOOR TYPES





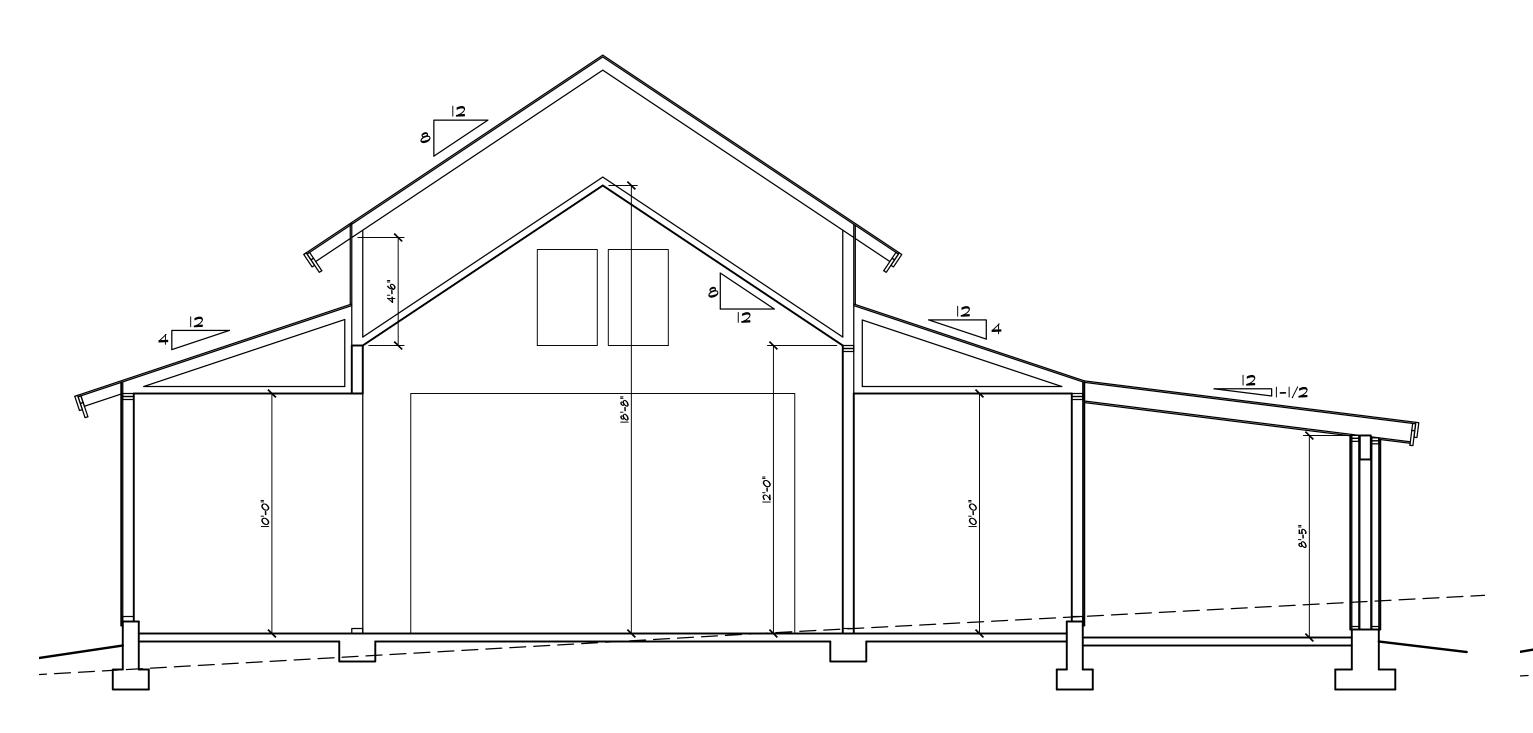


scale: 1/4" = 1'-0"

Plans prepared by Owner: Mike Melarkey as signed below. Michael Melarkey
Michael Melarkey (Sep 24, 2021 09:32 PDT)



MAX. BUILDING HEIGHT ELEV = ±5,273.0°



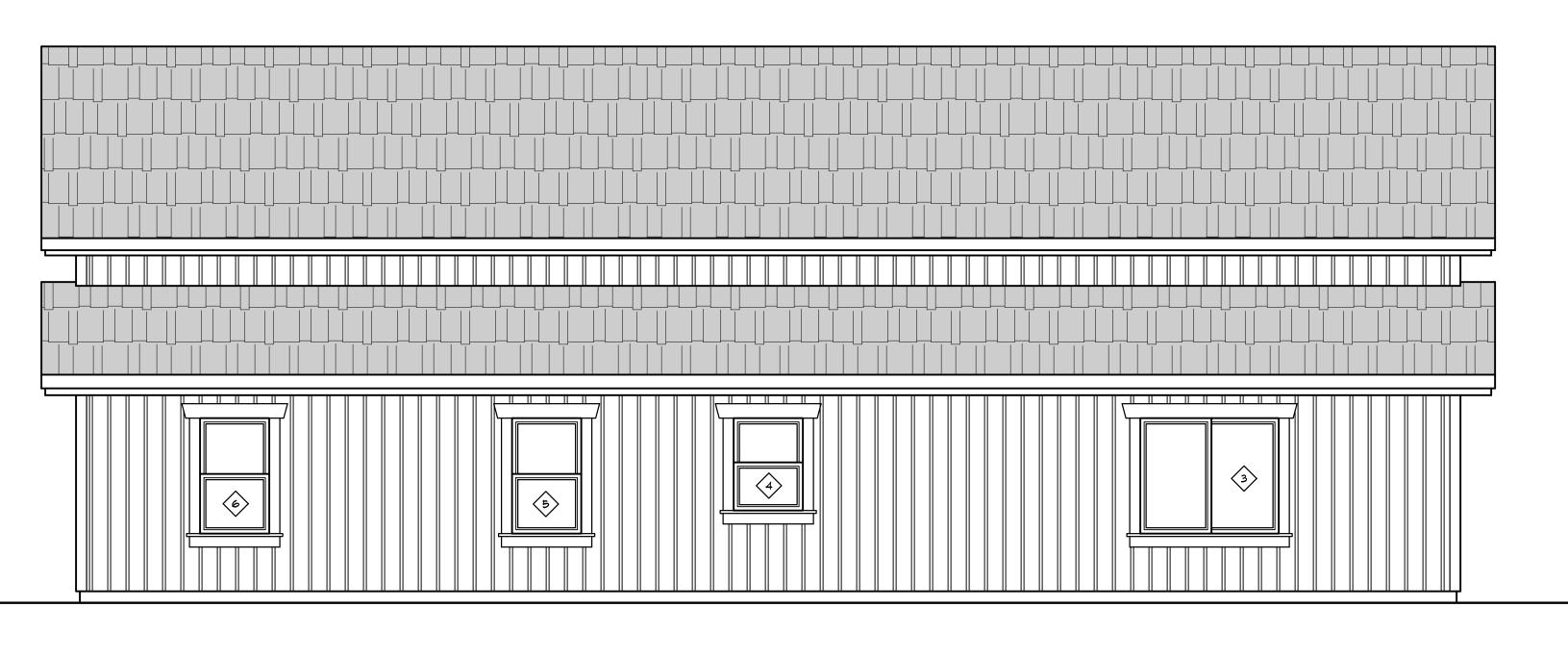
T.O.S. @ GARAGE -MAIN LEVEL = ±5,344.0'

SECTION 'A-A'

NORTH ELEVATION

Plans prepared by Owner: Mike Melarkey as signed below. Michael Melarkey (Sep 24, 2021 09:32 PDT)

ELEV = ±5,273.0°



T.O.S. @ GARAGE MAIN LEVEL = ±5,344.00'

EAST ELEVATION

scale: 1/4" = 1'-0"

EXTERIOR MATERIALS

NOTES:

1. ALL EXTERIOR MATERIALS SHALL COMPLY WITH THE WILDLAND URBAN INTERFACE REQUIREMENTS ESTABLISHED BY WASHOE COUNTY FOR A IR2 HIGH HAZARD WITH A CONFORMING WATER SUPPLY.

2. THE STRUCTURE IS NON-SPRINKLERED.

3. THE ROOF SYSTEM IS TO BE UNVENTILATED. ALL EAVES TO BE PROTECTED WITH STUCCO FINISH TO MATCH THE WALLS.

4. SEE ROOF PLAN SHEET A-8 FOR DRAIN LOCATIONS.

SIDING AT MALLS
ALL WOOD SIDING ALL EXTERIOR WOOD SIDING TO BE IXID VERTICAL GRAIN D.F. APPLIED VERTICALLY W/ IX3 VERTICAL BATTS AT EACH JOINT, WITH BROWN PATINA, TYP ALL WALLS TO BE WRAPPED WITH "TYPAR" OR EQUAL HOUSE WRAP AND ALL PENETRATIONS TO BE TAPED AND FLASHED PER MANUFACTURERS DETAILS. NO EXTERIOR INSULATION TO BE USED.

ROOF FINISH

ROOF WILL BE SHEATHED WITH 3/4" MIN T&G CDX PLYWOOD OR EQUAL

W/ (2) LAYERS "GRACE" ICE AND WATER SHIELD (HIGH TEMP) W/

"ENVIROSLATE" OR APPROVED EQUAL SLATE STYLE METAL ROOFING

PANELS, ALL TERMINATIONS TO BE CAPPED WITH "J" MOLD OR "Z"

FLASHING AS APPLIES.

WOOD EXTERIOR DOORS 2-1/8" THICK SOLID WOOD W/ WATER BASED STAIN FINISH

EXTERIOR WINDOWS, PATIO AND SLIDING GLASS DOORS
'ANDERSON' OR EQUAL FIBERGLASS CLADDING OVER SOLID WOOD
FRAME W/ TEMPERED EXTERIOR GLASS TO COMPLY WITH WUI
REQUIREMENTS - SEE WINDOW SCHEDULE FOR SIZES AND INTERIOR
TEMPERING REQUIREMENTS

BUILDING HEIGHT CALCULATION

MAXIMUM ALLOWABLE HEIGHT PER CODE = 30 FEET ABOVE MEDIAN GRADE ELEVATION LOW POINT AT EXISTING GRADE = ±5,241' HIGH POINT AT EXISTING GRADE = ±5,245' MEDIAN GRADE ELEVATION = ±5,243' MAXIMUM ALLOWABLE BUILDING ELEVATION = ±5,273' AVERAGE CROSS SLOPE AT BUILDING =

T.O.S. @ GARAGE

MAX. BUILDING HEIGHT

ELEV = ±5,273.00'

T.O.S. @ GARAGE MAIN LEVEL = ±5,344.0°

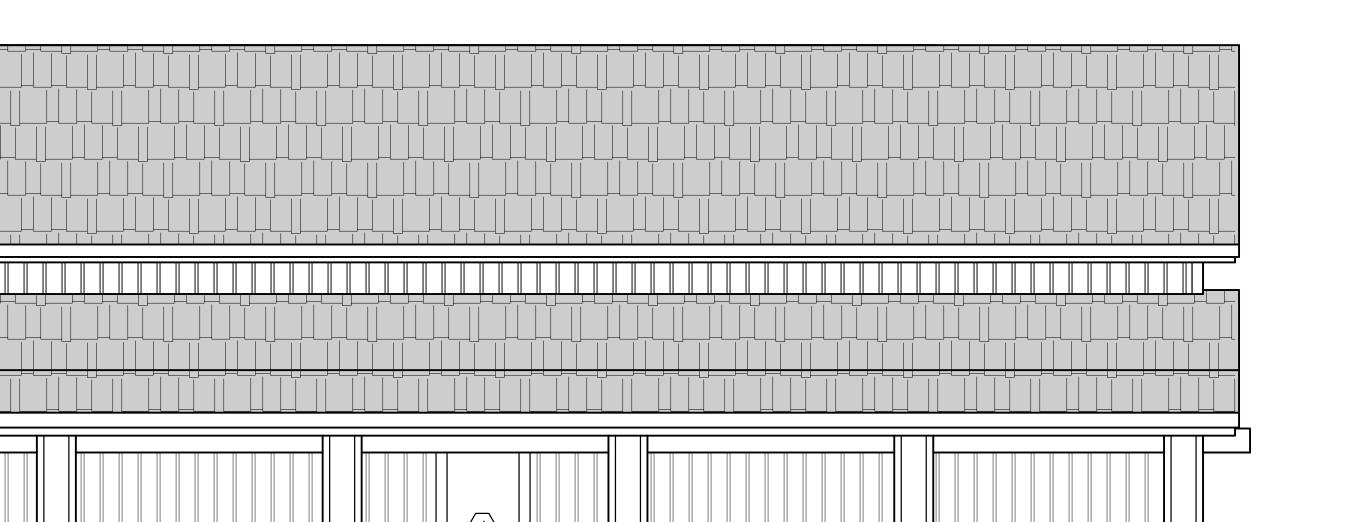
scale: 1/4" = 1'-0"



SOUTH ELEVATION

Plans prepared by Owner: Mike Melarkey as signed below.

Michael Melarkey
Michael Melarkey (Sep 24, 2021 09:32 PDT)



WEST ELEVATION

scale: 1/4" = 1'-0"



SMOKE DETECTOR REQUIREMENTS

PER NFPA 72, SECTION 29.8.3.4 SMOKE ALARMS OR DETECTORS MUST BE A MINIMUM OF 20 FEET FROM A COOKING APPLIANCE, UNLESS THEY ARE IONIZATION (ALLOWED AT 10') OR LISTED FOR CLOSE PROXIMITY TO PERMANENTLY INSTALLED COOKING EQUIPMENT

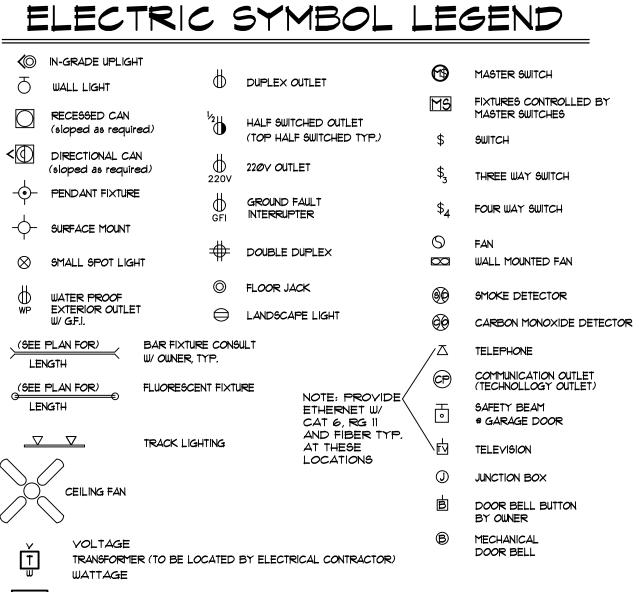
PER NFPA 72, SECTION 29.8.3.4. 2. SMOKE DETECTORS MUST BE MORE THAN 36" HORIZONTAL AND NOT BE IN THE DIRECT AIRFLOW OF THE MECHANICAL SUPPLY VENTS.

ELECTRICAL CODE REQUIREMENTS

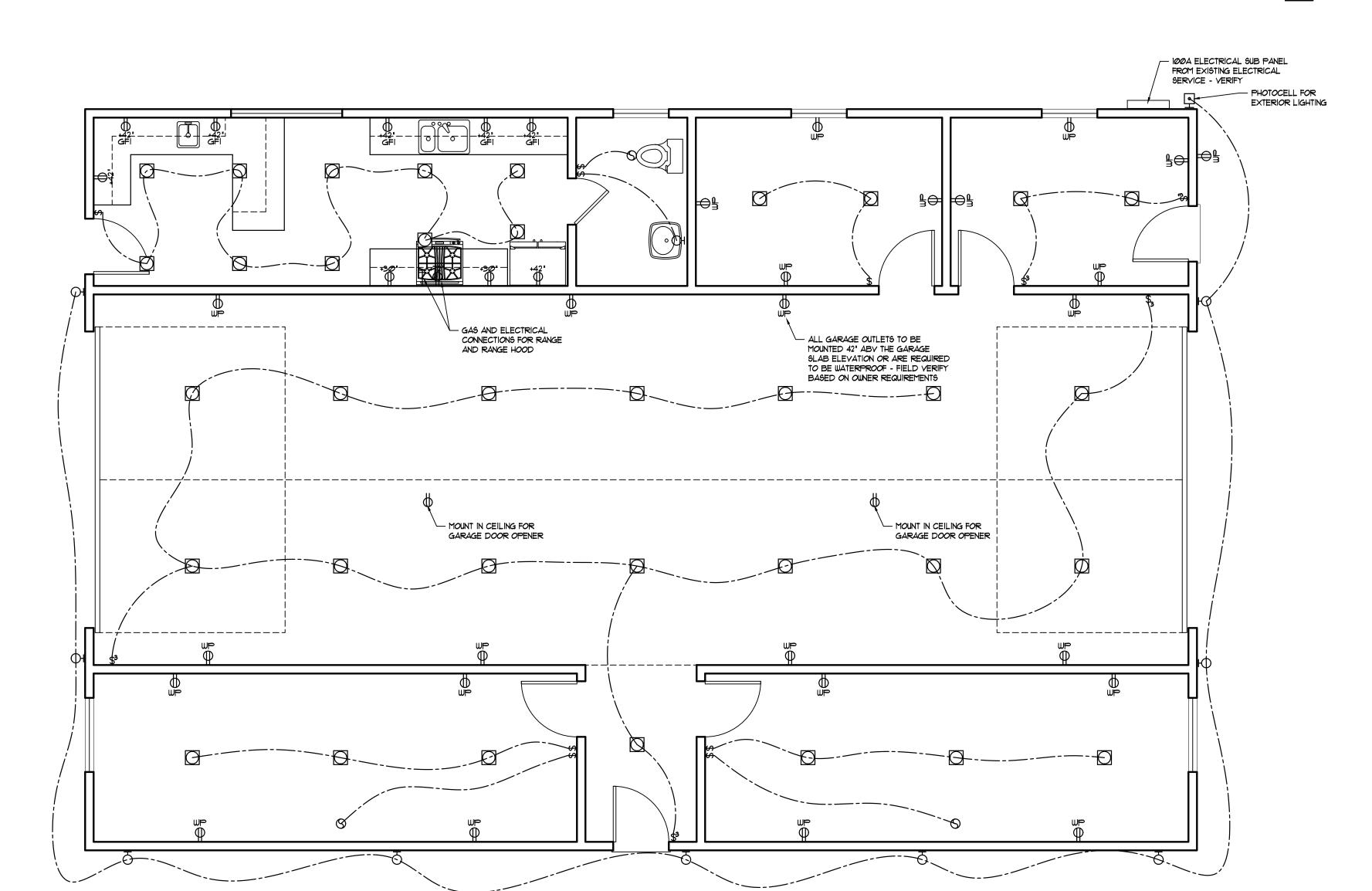
. A DEDICATED 20 AMP CIRCUIT TO SERVE THE REQUIRED BATHROOM

OUTLETS IS TO BE INSTALLED. 2). COUNTERTOP RECEPTICLE OUTLETS IN THE KITCHEN SHALL BE SUPPLIED BY NO FEWER THAN TWO 20 AMP SMALL APPLIANCE BRANCH CIRCUITS. 3). CONDUCTOR WIRES FOR WITH AN INSULATED NEUTRAL AND A FOUR PRONG OUTLET ARE REQUIRED FOR DRYERS AND COOKING UNITS.

4). ALL 125-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES INSTALLED IN GARAGE AREAS SHALL HAVE GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION FOR PERSONNEL..



LOAD NUMBERS (FOR CONTROL SYSTEM)



DESIGN / BUILD GENERAL ELECTRICAL

- NOTES

 ALL SWITCHES AND RECEPTACLE COVER PLATES ON GYP. BD.

 SURFACES TO BE 'SIERRA' OR EQUAL WALL PLATES, SMOOTH,

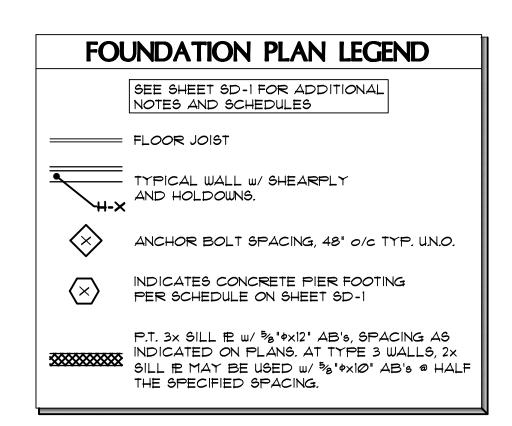
 PLASTIC AND WHITE IN COLOR PROVIDE SAMPLE.
- ELECTRICAL CONTRACTOR SHALL VERIFY AND SEEK APPROVAL OF PANEL DISTRIBUTION AND SERVICE FROM OWNER PRIOR TO INSTALLATION.
- 3. ALL CIRCUIT BREAKERS SHALL BE 20 AMP UNLESS OTHERWISE NOTED.
- 4. ELECTRICAL CONTRACTOR TO FURNISH AND INSTALL ALL LAMPS AND BULBS, ALL LED LIGHT BULBS TO BE 3500k OR ADJUSTABLE LIGHTS.
- 5. UNLESS OTHERWISE NOTED, ALL WALL MOUNTED FIXTURES SHALL BE MOUNTED 496' FROM FINISH FLOOR TO CENTERLINE OF FIXTURE.
 REFER TO INTERIOR ELEVATIONS FOR HEIGHT OF BATHROOM LIGHT VALENCE FIXTURE. CONSULT W/ OWNER PRIOR TO INSTALLATION.
- . ELECTRICAL CONTRACTOR TO PROVIDE FOUR WATERPROOF DUPLEX OUTLETS UNDER THE EAVES. LOCATION ON THE PLANS OF LIGHT FIXTURES, SWITCHES, PLUGS, TELEPHONE OUTLETS, TV OUTLETS, THERMOSTATS, ETC. ARE APPROXIMATE IN NATURE ONLY. ELECTRICAL CONTRACTOR TO REVIEW EXACT LOCATION WITH OWNER OR OWNER FOR APPROVAL,
- REVIEW EXACT LOCATION WITH OWNER OR OWNER FOR APPROVAL, PRIOR TO INSTALLATION, ALL CEILING FIXTURES SHALL BE PHYSICALLY MOCKED UP ON CEILING WITH ALL PROPOSED FINISHES ON CEILINGS LAID OUT. ANY ELECTRICAL FIXTURES LOCATED WITHOUT APPROVAL SHALL BE MOVED AT ELECTRICAL 8. ALL WORK TO CONFORM TO CURRENT AND APPLICABLE CODE (IBC, UMC, UPC, IEC) AND COUNTY REQUIREMENTS.
- ELECTRICAL CONTRACTOR TO WIRE AND HOOK UP ALL EXHAUST FANS, APPLIANCES, FURNACES, AND ALL OTHER EQUIPMENT REQUIRING ELECTRICAL SERVICE.
- D. ALL THERMOSTATS ARE SPECIFIED BY MECHANICAL CONTRACTOR. VERIFY ALL REQUIREMENTS W/ MECHANICAL CONTRACTOR. GROUND FAULT INTERRUPT REQUIRED IN BATHROOM, OUTSIDE GARAGE, AND KITCHEN WHERE APPLICABLE.
- . PERMANENTLY WIRED SMOKE DETECTORS REQUIRED WITH BATTERY
- B. ELECTRICAL CONTRACTOR SHALL DESIGN ALL REQUIRED CIRCUITS, VERIFY ALL SIZING AND SUBMIT A LAYOUT FOR PROPOSED MAIN RUNS TO OWNER / OWNER PRIOR TO CONSTRUCTION

ENTRY LEVEL ELECTRICAL AND LIGHTING PLAN

SCALE: 1/4"=1'-0"

Plans prepared by Owner: Mike Melarkey as signed below.

860 Maestro Dr - Suite A Reno, NV 89511 P: (775) 355-0505 F: (775) 355-0566 www.K2eng.net



CONCRETE NOTES

SOILS ENGINEER SHALL EXAMINE SITE AFTER EXCAVATION \$ PRIOR TO SETTING ANY CONC. FORMS. SOIL ENGINEER'S RECOMMENDATIONS CONCERNING OVER EXCAVATION, COMPACTION, ETC. SHALL BE FOLLOWED.

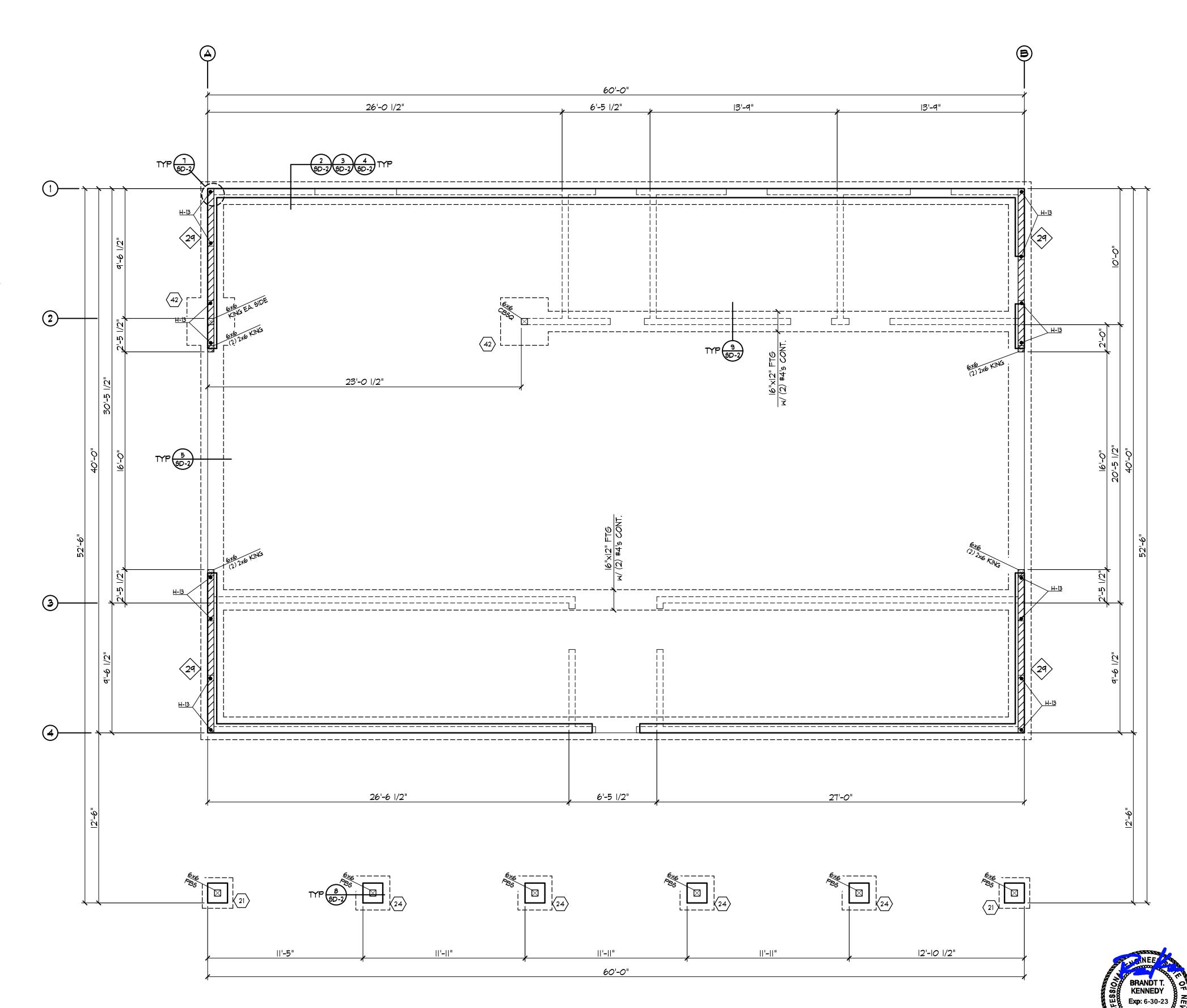
CONC. FOOTINGS 16" \times 10" w/ 2-*4 REBAR CONT., TYP. U.N.O. STEP FOOTINGS AS REQ'D. TO BEAR ON NATIVE GRADE OR AS DIRECTED BY SOILS ENGINEER. FOOTING SHALL BE A MIN. OF 2'-0" BELOW FINISHED GRADE.

8" CONC. FOUNDATION WALL w/1-#4 TOP \$ #4 VERT. @ 32" O.C. TYP. UN.O. PROVIDE $\frac{5}{8}$ " ϕ x 10" AB'S @ 48" O.C. TO 2x6 P.T. SILL UN.O. IN SHEAR WALL PLAN. PROVIDE 2x6 P.T. SOLE PLATE @

ALL SLABS TO BE 4" THICK CONCRETE W/ #3 BARS @ 18" O/C E.W. OR 6x6 10/10 WELDED WIRE FABRIC REINFORCING AND SHALL BE PLACED OVER 4" TYPE-11 BASE COMPACTED TO 95% ON COMPACTED NATIVE SOIL, IF SUITABLE.

FOR 2x SILL PLATE, USE 5/8" + x 10" A.B. FOR 3x OR DOUBLE SILL PLATE, USE 1/8" * x 12" A.B. EXTEND SILL BOLTS 7" INTO FOUNDATION MINIMUM; MAXIMUM SPACING SHALL BE 4'-0" O.C. WITH MINIMUM (2) BOLTS IN EACH SILL BOARD, BOLTS SHALL BE LOCATED NOT MORE THAN (12) NOR LESS THAN (7) BOLT DIAMETERS FROM EACH END OF SILL PIECE. MINIMUM 3"x3"x1/4" THICK PLATE WASHERS SHALL BE INSTALLED ON EACH SILL

SILL PLATE: USE FOUNDATION GRADE REDWOOD OR TIMBERSTRAND LSL TREATED W/ ZINC BORATE OR PRESSURE TREATED DOUGLAS FIR MUDSILL. SEE SHEARWALL SCHEDULE FOR IMPORTANT INFORMATION REGARDING SILL PLATES. FOR ALL SILL PLATES NOTED, USE 2x WALL WIDTH WOOD SILL. ALL SHEAR WALLS, EXCEPT TYPE "6" & "4", REQUIRE FOUNDATION SILL PLATES & ALL FRAMING MEMBERS RECEIVING EDGE NAILING FROM ABUTTING PANELS TO BE NOT LESS THAN A SINGLE 3" NOMINAL MEMBER. PLYWOOD JOINT & SILL PLATE NAILING SHALL BE STAGGERED IN ALL CASES.





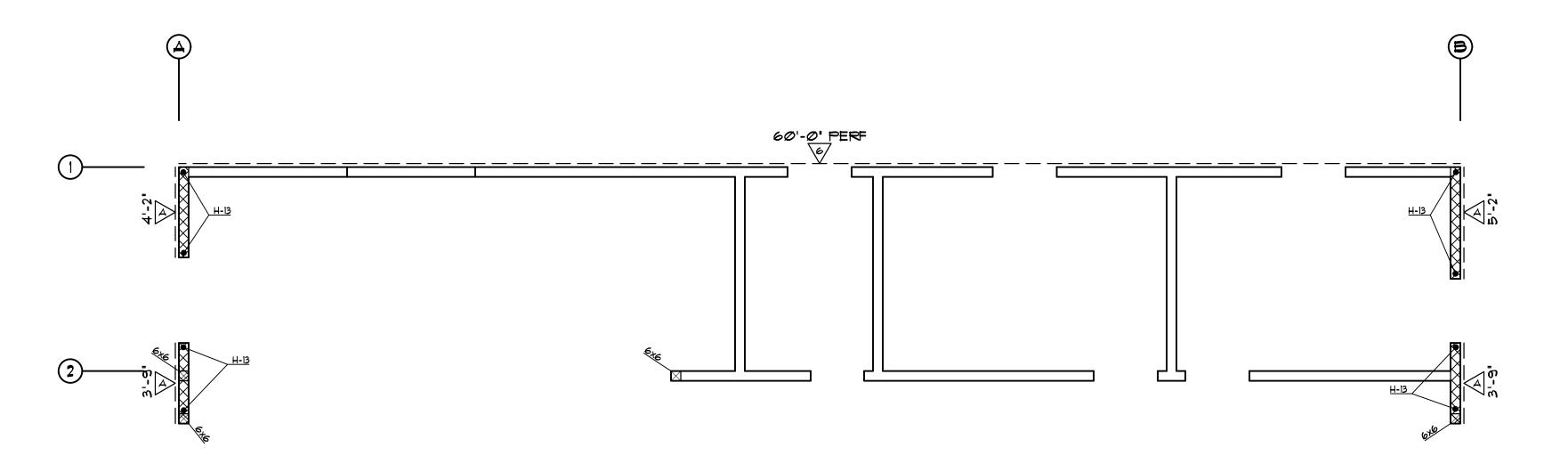


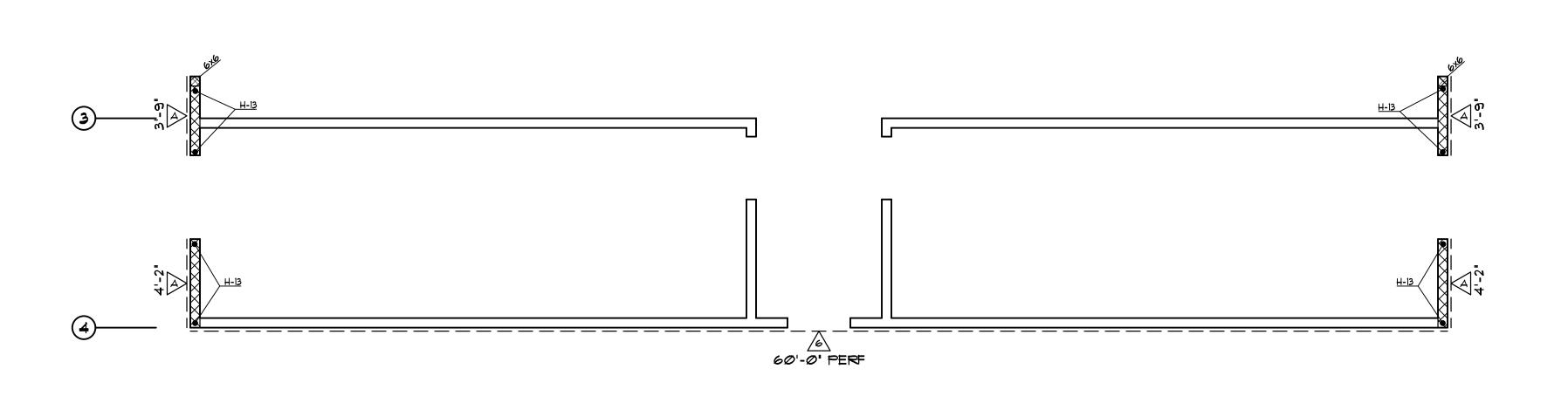
Reno, NV 89511 P: (775) 355-0505 F: (775) 355-0566

www.K2eng.net

















ENGINEERING

ROOF FRAMING PLAN LEGEND

SEE SHEET SD-1 FOR ADDITIONAL NOTES AND SCHEDULES

WOOD HEADER/BEAM

------ PRE MANUFACTURED TRUSSES

ROOF RAFTERS

INTERIOR BEARING WALL

BALLOON FRAMED WALL

3x FRAMING AT ADJOINING PANEL EDGES & P.T. 3x SILL P. w/ 5/8" +x12" AB's, SPACING AS INDICATED ON PLANS. AT TYPE 3 WALLS, 2x SILL #2 MAY BE USED w/ 5/6" PX10"

ROOF FRAMING NOTES

ROOF LOADS: SNOW 49# SQ. FT. : DEAD 21# SQ. FT.

USE (1)-LAYER %" (40/20) CDX APA RATED ROOF SHEATHING OR OSB EQUIVALENT, APPLY FACE GRAIN/LONG DIMENSION PERPENDICULAR TO SUPPORT FRAMING. STAGGER PANELS & NAIL w/ 1004'S @ 6" O.C. EDGES & BOUNDARIES & 1004'S @ 12" O.C. FIELD. NAIL ALL DRAG MEMBERS, SHEAR PANELS, BLOCKING, E.T.C. w/ NAILS SPACED @ 4" O.C. SEE DETAILS FOR ADDITIONAL NAILING REQUIREMENTS.

AB'S @ HALF THE SPECIFIED SPACING.

ALL FRAMING HARDWARE NOTED SHALL BE "SIMPSON" INSTALL PER MANUFACTURES REQUIREMENTS.

PROVIDE MIN. DOUBLE STUDS BELOW ALL (1) & (2) PLY GIRDER TRUSSES w/ SIMPSON H6. USE (3) STUDS @ 3-PLY TRUSSES & (4) STUDS @ 4-PLY TRUSSES, U.N.O. CONNECT GIRDER TRUSS TO POST W/ SIMPSON H6 U.N.O.

ALL GLU-LAM BEAMS SHALL BE DOUG-FIR 24F-V4 U.N.O. TYP HEADER U.N.O. USE 6x8 D.F. #1

USE 12-16d BETWEEN TOP PLATE SPLICES. TYP UN.O.

USE 2x6 FLAT w/ 2x6 STRONGBACK @ 48" O.C. @ GABLE END FRAMING

PROVIDE G.I. FLASHING @ ALL VALLEYS & ROOF-TO-WALL CONNECTIONS, TYP PROVIDE BITUTHANE MEMBRANE @ CRICKETS SLOPING LESS THAN 3:12 & AS NOTED ON ROOF PLAN

USE BOUNDARY NAILING @ ALL DRAG TRUSSES U.N.O.

A35 @ 48" O.C. TRUSS BLK'G TO TOP PLATE TYP U.N.O.

PROVIDE ICE & WATER DAM MEMBRANE @ HIPS, EAVES, VALLEYS & RIDGES AS PER LOCAL BLDG DEPT STANDARDS

PROVIDE SNOW DIVERTERS @ ALL ROOF PENETRATIONS

PROVIDE ATTIC ACCESS (22"x30") PER I.R.C. SECTION R807.1

PROVIDE ROOF VENTILATION PER I.R.C. SECTION R806.1

PROVIDE BLOCKING @ ALL RIDGES, HIPS & VALLEYS TYP PROVIDE CONT ROOF PLY UNDER ALL ROOF OVER FRAMING

PRE-MANUFACTURED WOOD ROOF TRUSSES

TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR ALL ENGINEERING, LAYOUT DRAWINGS CONNECTIONS, BLOCKING, BRACING, & TRUSS ERECTION INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER COORDINATION BETWEEN ENGINEER/ARCHITECT DRAWINGS, TRUSS MANUFACTURER INFORMATION, ANY REQUIRED FIELD CHANGES, PROPER INSTALLATION OF FINAL PRODUCT & ITS CONFORMANCE TO THE ARCHITECT'S DESIGN. THE ARCHITECT (ENGINEER ASSUME NO LIABILITY FOR SAID PRODUCT.

TRUSS MANUFACTURER TO VERIFY LOCATION OF & PROVIDE REINFORCED TRUSSES FOR THE SUPPORT OF ANY MECHANICAL EQUIPMENT WHERE OCCURRING.

TRUSS MANUFACTURER TO VERIFY LOCATION OF & DESIGN FOR ALL CEILING HEIGHT CHANGES, ATTIC ACCESSES, RETURN AIR GRILLS, ETC. TRUSS MANUFACTURER TO COORDINATE ANY FINDINGS TO BOTH K2 ENGINEERING & THE ARCHITECT.

DEAD LOAD DEFLECTIONS SHALL BE LIMITED TO L/240.

GABLE END TRUSSES SHALL BE STRUCTURAL, DESIGNED TO SUPPORT OVERHANG & TO ALLOW A TOP CHORD NOTCH OF ONE & A HALF INCHES

ALL NON-BEARING WALLS ARE TO HAVE A ONE-FOURTH OF AN INCH GAP TO THE BOTTOM CHORD OF THE TRUSSES. SECURE BOTTOM CHORD TO WALL BELOW W/ SIMPSON STC CLIPS.

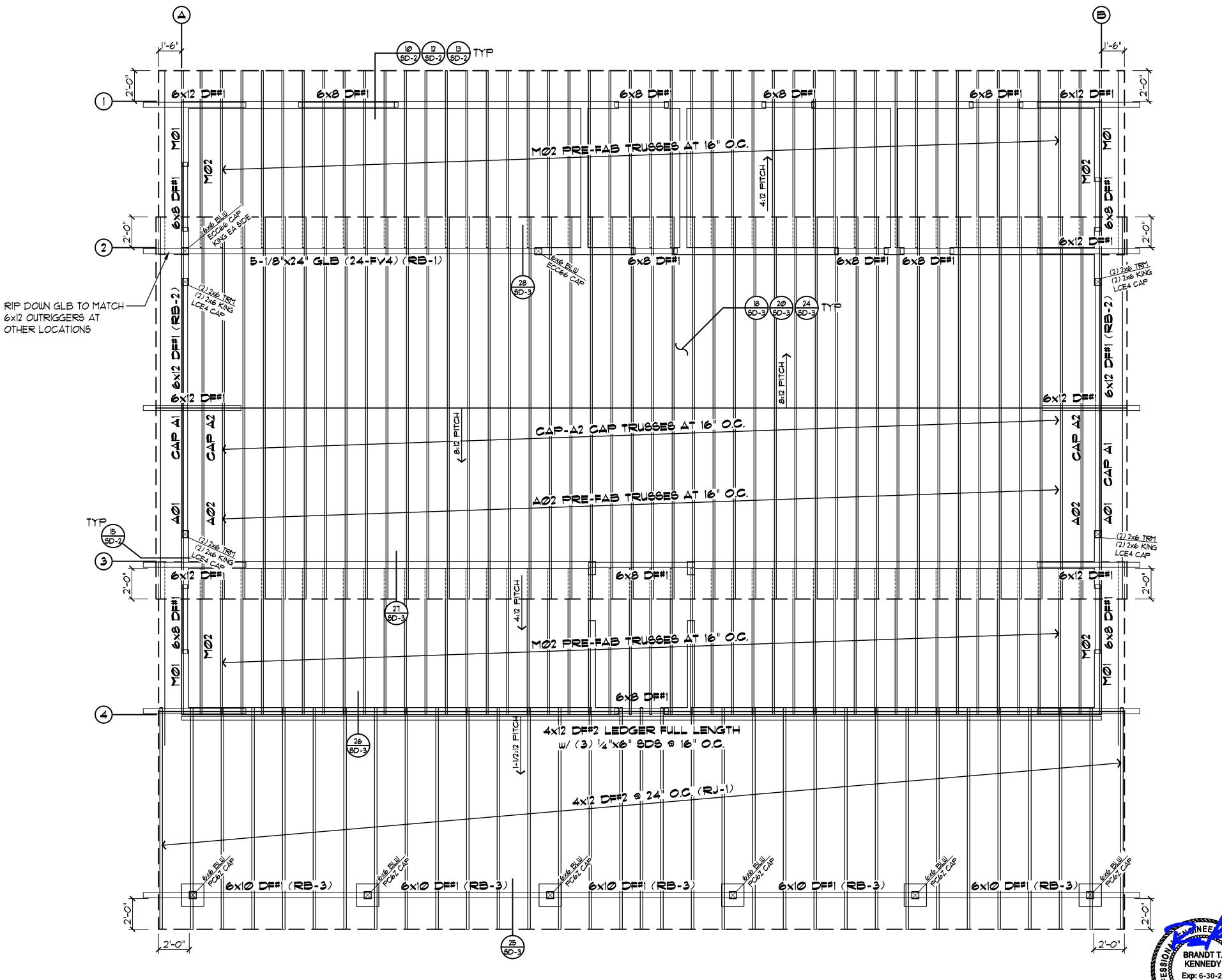
USE PRE-ENGINEERED MANUFACTURED TRUSSES. SOLID BLOCK @ ALL SUPPORTS & PER MANUFACTURER'S SPECIFICATIONS. USE SIMPSON HI @ EACH SUPPORT WALL/BEAM TO EACH TRUSS & H6 @ EACH SUPPORT WALL/BEAM TO EACH GIRDER TRUSS.

HANG TRUSSES & GIRDER TRUSSES W/ SIMPSON HUS26 OR AS SPECIFIED ON PLAN. TRUSS CALCULATIONS HOLD PRECEDENCE OVER PLAN @ ALL TRUSS-TO-TRUSS CONNECTIONS.

TRUSSES ARE TO BE HANDLED, INSTALLED, & BRACES IN ACCORDANCE W/ HIB-41 OF THE TRUSS PLATE INSTITUTE (TPI).

THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL FIELD CONDITIONS, PLATE HEIGHTS, TRUSS DIMENSIONS, ROOF PITCHES AND OVERHANGS PRIOR TO TRUSS FABRICATION.

NO TRUSSES SHALL BE DELIVERED TO THIS RESIDENCE THAT ARE NOT FROM RENO TRUSS, UNLESS PRIOR WRITTEN APPROVAL IS OBTAINED.



HOLD K2 ENGINEERING HARMLESS.

- ALL WORK, DETAILS OF DESIGN, WORKMANSHIP, AND MATERIALS SHALL CONFORM TO REQUIREMENTS OF THE 2018 EDITION OF THE INTERNATIONAL BUILDING CODE (IBC) OF THE INTERNATIONAL CODE COUNCIL AND THE APPLICABLE COUNTY/CITY BUILDING CODES.
- 2. K2 ENGINEERING EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY MATTER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO A THIRD PARTY WITHOUT THE EXPRESS WRITTEN CONSENT OF K2 ENGINEERING. IN THE EVENT OF UNAUTHORIZED REUSE OF THESE PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL
- . K2 ENGINEERING RESERVES THE RIGHT TO PERFORM OBSERVATION VISITS TO THE SITE AT ANY TIME. OBSERVATIONS ARE PERFORMED SOLELY FOR THE PURPOSE OF DETERMINING IF THE CONTRACTOR UNDERSTANDS DESIGN INTENT CONVEYED IN THE PLANS. OBSERVATIONS DO NOT GUARANTEE CONTACTOR'S PERFORMANCE AND ARE NOT TO BE CONSTRUED AS SUPERVISION OF THE PROJECT.
- I. IN THE EVENT THAT CERTAIN EXISTING DIMENSIONS AND/OR CONDITIONS ARE FOUND TO BE DIFFERENT FROM THOSE SHOWN ON THE PLANS AND DETAILS, THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED SO THAT THE PROPER REVISIONS CAN BE MADE IF NECESSARY. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WHICH THE CONTRACTOR FAILED TO NOTIFY K2
- ENGINEERING OF BEFORE CONSTRUCTION AND/OR FABRICATION OF THE WORK. 5. K2 ENGINEERING IS RESPONSIBLE FOR THE STRUCTURAL ITEMS IN THE PLANS ONLY. SHOULD ANY CHANGES BE MADE, OR SHOULD THE RESULTS OF THESE CALCULATIONS NOT BE FULLY OR PROPERLY TRANSFERRED TO THE PLANS, K2 ENGINEERING ASSUMES NO RESPONSIBILITY FOR THE STRUCTURE.
- 6. THE DETAILS SHOWN ON THE DRAWINGS ARE TYPICAL. SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS. NO DEVIATIONS FROM STRUCTURAL DETAILS SHALL BE MADE WITHOUT THE PRIOR WRITTEN APPROVAL OF K2 ENGINEERING.
- . THE CALCULATIONS ARE BASED UPON A COMPLETE STRUCTURE. TEMPORARY SUPPORTS, ETC., ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND HAVE NOT BEEN CONSIDERED BY K2 ENGINEERING. SHOULD AN UNFINISHED STRUCTURE BE SUBJECT TO LOADS, K2 ENGINEERING SHOULD BE CONSULTED FOR AN INTERIM DESIGN OR
- IF NOT, WILL ASSUME NO LIABILITY. 8. ALL NOTES ARE TYPICAL UNLESS NOTED OTHERWISE ON THE PLANS. ALL HARDWARE AND FRAMING MEMBERS SPECIFIED IN THE CALCULATIONS AND/OR PLANS ARE MINIMUMS AND LARGER MEMBERS OF EQUAL OR BETTER GRADE MAY BE SUBSTITUTED.

- . K2 ENGINEERING HAS NOT MADE A GEOTECHNICAL REVIEW OF THE BUILDING SITE AND IS NOT RESPONSIBLE FOR GENERAL SITE STABILITY OR SOIL SUITABILITY FOR THE PROPOSED PROJECT, K2 ENGINEERING RECOMMENDS A REVIEW OF THE SITE BY A GEOLOGICAL ENGINEER OR A QUALIFIED CIVIL ENGINEER TO DETERMINE GENERAL SITE STABILITY AND SOIL SUITABILITY FOR THE PROJECT.
- . BUILDING SITES ARE ASSUMED TO BE DRAINED AND FREE OF CLAY OR EXPANSIVE SOIL. ALL FOOTINGS SHALL BE LEVEL OR STEPPED AND BEAR ON FIRM, STABLE, NATURAL, UNDISTURBED SOIL OR AN APPROVED COMPACTED FILL.
- 4. PERIMETER OR EXTERIOR FOOTING DEPTHS MUST EXTEND BELOW FROSTLINE (18' OR 24' AS PER LOCAL CODE REQUIREMENTS). ALL OTHER FOOTINGS (INTERIOR) SHALL BOTTOM 12" MINIMUM BELOW NATURAL UNDISTURBED GRADE.
- 5. BUILDING PADS SHALL BE GRADED 2% TOWARD APPROVED DRAINAGE FACILITIES AND PROVISIONS SHALL BE MADE TO CONTROL AND DRAIN SURFACE WATER AROUND BUILDING. 6. ASSUME CLASS D SOILS WITH ALLOWABLE SOIL BEARING PRESSURE OF 1500 PSF WITH A CONSTANT EXPANSION INDEX LESS THAN 20. SOIL BEARING PRESSURE HAS BEEN

<u>FILL AND BACKFILL</u>

1. FILL MATERIAL SHALL BE FREE FROM DEBRIS, YEGETATION, AND OTHER FOREIGN

DETERMINED IN ACCORDANCE WITH IBC TABLE 1806.2.

- 2. BACKFILL TRENCHES SHALL BE COMPACTED TO 90% DENSITY PER ASTM 1557 TO WITHIN 12" OF FINISHED GRADE. THE TOP 12" SHALL BE LANDSCAPE FILL
- 3. BACKFILL AT PIPE TRENCHES SHALL BE COMPACTED ON BOTH SIDES OF PIPE IN 6' LIFTS. 4. WATERPROOF EXTERIOR FACES OF ALL FOUNDATION WALLS ADJACENT TO USABLE SPACES. WATERPROOFING OF ALL FOUNDATION AND RETAINING WALLS TO BE THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR
- 5. ALL BACKFILL AGAINST FOUNDATION WALLS MUST BE COMPACTED TO 90% RELATIVE
- 6. PROVIDE A 4" DIAMETER PYC PERFORATED DRAINPIPE AT GRADE SIDE OF ALL RETAINING WALLS. SLOPE PIPE TO DRAIN TO DAYLIGHT AND DRYWELL.

- . REINFORCED CONCRETE WORK SHALL CONFORM TO APPLICABLE REQUIREMENTS OF THE IBC AND ACI STANDARD 318-11.
- . AGGREGATE SHALL CONFORM TO ASTM C33 FOR STONE CONCRETE. 3. CONCRETE STOOPS TO BE MACHINED MIXED AND PLACED IN ACCORDANCE WITH
- THE IBC. 4. COMPRESSION STRENGTH OF ALL REINFORCED CONCRETE SHALL NOT BE LESS THAN
- 3000 PSI AT 28 DAYS. 5. STRUCTURAL DESIGN BASED ON Fig = 2500 PSI (SPECIAL INSPECTION NOT REQUIRED). 6. USE NORMAL WEIGHT CONCRETE (145 PCF) FOR ALL CONCRETE. USE TYPE II CEMENT
- TYPICAL. IF SOIL CONTAINS SULFATE CONCENTRATIONS OF .2% OR MORE, USE TYPE Y CEMENT.
- T. THE MAXIMUM SLUMP SHALL NOT EXCEED 3". PLASTICIZERS MAY BE USED TO INCREASE SLUMP TO 8' MAXIMUM PROVIDED THEY DO NOT INCREASE SHRINKAGE. 8. MAXIMUM WATER/CEMENT RATIO SHALL BE .55 FOR 3000 PSI CONCRETE.
- 9. EXTERIOR SLABS ON GRADE SHALL CONTAIN NOT LESS THAN 5% NOR MORE THAN 6% ENTRAINED AIR 10. FOLLOW RECOMMENDED PRACTICES FOR HOT AND COLD WEATHER CONCRETING BY
- OBSERVING ACI 305 AND ACI 306 GUIDELINES. II. PROVIDE STANDARD CRACK CONTROL JOINTS IN ALL SLABS ON GRADE USING MAXIMUM DIMENSION OF 10 FEET FOR 4" SLABS AND 12 FEET FOR 6" SLABS. JOINT DEPTH SHALL NOT EXCEED ONE-FOURTH OF SLAB DEPTH.
- 2. TOP OF CONCRETE SLABS SHALL BE MINIMUM 6' ABOVE FINISHED GRADE. 3. PIPES MAY PASS THROUGH STRUCTURAL CONCRETE IN SLEEVES, BUT SHALL NOT BE EMBEDDED THEREIN, PIPES OR DUCTS EXCEEDING ONE-THIRD THE SLAB OR WALL THICKNESS SHALL NOT BE PLACED IN STRUCTURAL CONCRETE
- 14. DO NOT PLACE CONCRETE UNTIL ALL REINFORCEMENT, CONDUIT, OUTLET BOXES, ANCHORS, HANGERS, SLEEVES, BOLTS, HOLDOWNS, ANCHOR BOLTS OR OTHER EMBEDDED MATERIALS AND ITEMS ARE SECURELY AND PROPERLY FASTENED IN THEIR PROPER PLACES AND POSITIONS.

- ALL CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C30, GRADE N. FIM = 1500 PSI. USE 85 PCF MINIMUM WEIGHT UNITS ABOVE GRADE AND 110 PCF MINIMUM WEIGHT UNITS BELOW GRADE. USE MOISTURE CONTROLLED UNITS ONLY. USE OPEN-END MASONRY UNITS AS MUCH AS POSSIBLE AND AT WALL INTERSECTIONS.
- 2. ALL BRICK SHALL CONFORM TO ASTM C62, GRADE MW. 3. MORTAR FOR CONCRETE MASONRY SHALL CONFORM TO ASTM C279, TYPE S. 4. GROUT FOR CONCRETE MASONRY SHALL BE IN ACCORDANCE WITH IBC SECTION 2103.
- MINIMUM 28-DAY COMPRESSIVE STRENGTH SHALL NOT BE LESS THAN 2000 PSI. 5. ALL WALLS SHALL BE GROUTED SOLID. GROUT SHALL BE VIBRATED INTO PLACE AND SHALL BE PLACED IN LIFTS NOT EXCEEDING 4' UNLESS APPROPRIATE CLEANOUT HOLES ARE PROVIDED IN ACCORDANCE WITH IBC.
- 6. AGGREGATES FOR MORTAR AND GROUT SHALL BE NATURAL SAND AND ROCK CONFORMING TO ASTM C-144 (MORTAR) AND C-404 (GROUT).
- 1. CEMENT SHALL BE PORTLAND CEMENT CONFORMING TO ASTM C-150, TYPE I OR II, LOW ALKALI.
- 8. ALL CONCRETE BLOCK AND BRICK SHALL BE LAID IN RUNNING BOND. 9. WHEN ABSOLUTELY NECESSARY FOR CONSTRUCTION PURPOSES TO STOP OFF LONGITUDINAL RUNS OF MASONRY, STOP OFF ONLY BY RACKING BACK ONE-HALF UNIT LENGTH IN EACH
- *0.* MASONRY WALLS SHALL BE REINFORCED WITH *4'S VERT @ 16" O.C. EACH WAY \$ *4 @ 24" O.C. HORIZ. BAR SPLICES SHALL BE STAGGERED.

REINFORCING STEEL

COURSE. TOOTHING SHALL NOT BE PERMITTED.

- . REINFORCING BARS SHALL BE DEFORMED BARS CONFORMING TO THE REQUIREMENTS OF ASTM AGI5 GRADE 60 FOR ALL #5 AND LARGER BARS AND GRADE 40 FOR ALL #4
- 2. ALL DETAILS OF FABRICATION AND INSTALLATION OF REINFORCING STEEL SHALL BE IN ACCORDANCE WITH THE ACI MANUAL OF STANDARD PRACTICE.
- 3. WELDED FABRIC (MESH) SHALL CONFORM TO LATEST REVISED ASTM A185 AND BE FURNISHED IN FLAT SHEETS. SMOOTH WIRE FABRIC SHALL CONFORM TO ASTM A-85 HAVING A YIELD STRENGTH OF 60 KSI.
- 4. WELDING OF REINFORCING STEEL SHALL CONFORM TO AWS DIZ-1 USING LOW HYDROGEN ELECTRODES.
- 5. ALL BARS SHALL BE LAPPED WITH A MINIMUM OF 40 BAR DIAMETERS (2' MINIMUM) AT ALL 6. SPLICES OF HORIZONTAL REBAR IN WALLS AND FOOTINGS SHALL BE STAGGERED 4' MINIMUM.
- 7. DOWELS FOR WALLS AND COLUMNS SHALL BE THE SAME SIZE AND SPACING AS THE WALL/COLUMN REINFORCING. 8. ALL REINFORCING STEEL SHALL BE ACCURATELY LOCATED AND ADEQUATELY SECURED IN
- POSITION BEFORE AND DURING PLACEMENT OF CONCRETE. 9. MASONRY REINFORCEMENT, BOLTS, ETC. SHALL HAVE MINIMUM GROUT COVERAGE OF THREE-FOURTHS OF AN INCH.
- 10. REINFORCEMENT COVER IN CAST-IN-PLACE CONCRETE SHALL BE AS FOLLOWS: A. 3" - CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH

B. 2" - FORMED SURFACES EXPOSED TO GROUND OR WEATHER

- STRUCTURAL STEEL
- 1. STRUCTURAL STEEL AND MISCELLANEOUS IRON SHALL CONFORM TO ASTM A-36.
- W SECTIONS SHALL CONFORM TO ASTM A992, GRADE 50. 2. STEEL PIPE COLUMNS SHALL CONFORM TO ASTM A-53, TYPE E OR S, GRADE B. 3. STEEL TUBE SECTIONS SHALL CONFORM TO ASTM A500, GRADE B.
- 4. STEEL PLATES SHALL CONFORM TO ASTM A-282, GRADE "A". 5. ALL DETAILING SHALL CONFORM TO CURRENT AISC SPECIFICATIONS.
- 6. ALL WELDING SHALL CONFORM TO CURRENT AISC AND AWS 1.1 SPECIFICATIONS, AND SHALL PERFORMED BY CERTIFIED WELDERS APPROVED BY THE LOCAL BUILDING AUTHORITY. ALL SHOP WELDING SHALL BE IN AN APPROVED FABRICATORS SHOP AUTHORIZED BY THE BUILDING AUTHORITY OR SPECIFIC INSPECTION PER IBC.
- 1. ALL COMPLETE JOINT PENETRATION WELDS REQUIRE SPECIAL INSPECTION AND UT TESTING. 8. ALL WELDING ELECTRODES SHALL BE ETØXX OR SHIELDED WIRES WITH FY GREATER THAN OR EQUAL TO TO KSI.
- 9. BOLTS, NUTS, AND SCREWS SHALL CONFORM TO ASTM A30T GRADE 'A'. 10. HIGH STRENGTH BOLTS SHALL BE ASTM A325, CONTACT FACES OF STEEL CONNECTIONS
- WHERE HIGH STRENGTH BOLTS ARE TO BE USED SHALL NOT BE PAINTED. 11. ALL FOUNDATION BOLTS SHALL BE ASTM A-36 GALVANIZED ALL THREAD OR ASTM A307 UNFINISHED BOLTS, ALL SILL BOLTS IN SEISMIC ZONE 4 SHALL BE FIVE-EIGHTHS INCHES IN DIAMETER BOLT HOLES TO BE ONE-THIRTY-SECONDS OF AN INCH TO ONE-SIXTEENTH OF
- AN INCH LARGER THAN SPECIFIED BOLT. 12. ALL STRUCTURAL STEEL AND MISCELLANEOUS IRON NOT ENCASED IN CONCRETE SHALL RECEIVE ONE SHOP COAT OF APPROVED PRIMER PAINT.
- 13. ALL STEEL EXPOSED TO WEATHER SHALL BE HOT-DIP GALVANIZED AFTER FABRICATION OR OTHER APPROVED WEATHER PROOFING METHOD HAVING EQUIVALENT RESULTS MAY BE USED. 14. WHERE NECESSARY, PROVIDE ONE-HALF INCH DIAMETER X THREE INCH NELSON STUDS
- 15. ALL GROUT UNDER STEEL BEARING PLATES SHALL BE SOLID DRYPACK OR NON-SHRINK GROUT PLACED AS DIRECTED BY THE MANUFACTURER.
- 16. PROVIDE WELDER'S CERTIFICATE FOR ALL SINGLE-PASS FILLET WELDS NOT EXCEEDING 5/16" IN SIZE, OR PROVIDE THE CERTIFICATE OF COMPLIANCE THAT THE WORK WAS PERFORMED IN AN APPROVED FABRICATOR'S SHOP.

WOOD FRAMING NOTES

- 1. ALL LUMBER FRAMING AND BEARING STUDS TO BE DOUGLAS FIR-LARCH WITH MOISTURE CONTENT LESS THAN 19%.
- GLUE LAMINATED TIMBER BEAMS TO BE APA/EWS MARKED 24F-V4. GLU-LAMS EXPOSED TO WEATHER SHALL BE RATED FOR EXTERIOR USE BY THE MANUFACTURER OR AN APPROVED PROTECTION FROM EXPOSURE SHALL BE PROVIDED.
- LAMINATED VENEER LUMBER (LVL) TO BE 1.9E, Fb=2600 P61. Fv= 285 P61 EQUIVALENT OR BETTER FOR MEMBERS LESS THAN 10" DEEP, CONNECT PLIES WITH (2) ROWS 16D BOX NAILS AT 12" O.C. FOR MEMBERS GREATER THAN 10" DEEP, CONNECT PLIES WITH (3) ROWS 16d BOX NAILS AT 12"O.C. FOR THREE PIECE MEMBER, NAILING SPECIFIED 15 FROM EACH SIDE
- PARALLEL STRAND LUMBER (PSL) TO BE 2.0E, Fb= 2900 PSI Fv= 290 PSI EQUIVALENT
- OR BETTER. • 4x AND SMALLER FRAMING TO BE DF #2.
- 6x AND LARGER FRAMING TO BE DF #1.
- INTERIOR NON-BEARING STUDS AND PLATES MAY BE CONSTRUCTION GRADE OR BETTER. 2. APA RATED SHEATHING SHALL BE MANUFACTURED WITH EXTERIOR GLUE IN ACCORDANCE WITH THE REQUIREMENTS OF THE IBC AND PS 1-1, PS-2, OR APA PRP-108. SHEAR
- PLYWOOD SHALL BE C-D, C-C, 303 (TI-II), OR AN APPROVED EQUAL 3. ALL RESAWN AND ROUGH SAWN BEAMS ARE TO BE FREE OF HEART CENTER.
- 4. ALL FRAMING CLIPS AND DEVICES SHALL BE 'SIMPSON TIE' OR ICC APPROVED EQUAL 5. MINIMUM NAILING FOR CONNECTION NOT INDICATED ON THE DRAWINGS SHALL BE IN ACCORDANCE WITH IBC 6. ALL MULTIPLE TRIMMERS, MULTIPLE STUDS, OR POSTS SHALL BE STACKED IN ALL WALL
- FRAMING CONNECTED WITH POSITIVE CONNECTIONS, SOLID BLOCKING SIMILAR IN SIZE TO FRAMING ABOVE SHALL BE PROVIDED AT ALL FLOORS ALL THE WAY DOWN TO THE FOUNDATION.
- 7. DO NOT NOTCH BEAMS, JOISTS, OR STUDS. 8. ALL NAILS SHALL BE "COMMON" WIRE NAILS AND SHALL CONFORM TO THE FOLLOWING:

SPECIFICATIONS									
SIZE	SHANK DIA.	LENGTH	EQUIVALENT STAPLE SIZES						
8d	Ø.131 "	21/2"	13 GA x 1-3/4"						

- Ø.162" 3½" NO SUBSTITUTIONS UNLESS APPROVED IN WRITING BY K2 ENGINEERING OR SPECIFICALLY ADDRESSED IN THESE CALCULATIONS OR THE PLANS. ALL NAILS EXPOSED
- TO WEATHER SHALL BE GALVANIZED. • REFER TO SIMPSON SPECIFICATIONS FOR FRAMING HARDWARE ATTACHMENT REQUIREMENTS. ALL NAILS SHALL MEET THE REQUIREMENTS OF ASTM F 1667.
- 9. SHEATH AND NAIL ALL SHEAR PANELS AND GABLE END TRUSSES THE SAME AS THE SHEAR WALL ABOVE OR BELOW.
- IØ. CONNECT DOUBLE STUDS, DOUBLE JOISTS, OR ANY OTHER MULTIPLE PIECE MEMBER W/ 11N. (2) ROWS 16d BOX NAILS @ 12**"** O.C. 11. TYPICAL LOAD BEARING AND EXTERIOR STUDWALL CONSTRUCTION:
- STUD HEIGHT ≤ 10'-0" 2x4 @ 16" O.C. STUD HEIGHT ≤ 14'-0" - 2x6 @ 16" O.C.
- STUD HEIGHT ≤ 18'-0" 1-3/4" x 5-1/2" L.Y.L. @ 12" O.C. STUD HEIGHT ≤ 22'-Ø" - 1-3/4" x 7-1/4" L.V.L. @ 12" O.C. STUD HEIGHT ≤ 27'-0' - 1-3/4" x 9-1/4" L.Y.L. @ 12" O.C. 12. USE (2) CONT. KING STUDS E.S. OF OPENINGS WHERE STUD HEIGHT EXCEEDS 10'-6" U.N.O.
- ALWAYS RAKE/BALLOON FRAME STUDWALLS. 13. PORTIONS OF STRUCTURAL GLU-LAM BEAMS, WHICH ARE EXPOSED TO WEATHER, SHALL BE PRESSURE TREATED OR WOOD OF NATURAL RESISTANCE TO DECAY, EQUIVALENT

DO NOT BREAK CONT. KING STUDS BY SPANNING HEADER OVER MULTIPLE OPENINGS.

PROTECTION MAY BE PROVIDED WITH TWO COATS MINIMUM OF SEALER.

ROOF FRAMING NOTES

1. ROOF LOADS: SNOW = 49 PSF : DEAD = 23 PSF 2. USE (1)-LAYER 5/8' (40/20) CDX APA RATED ROOF SHEATHING OR OSB EQUIVALENT, APPLY FACE GRAIN/LONG DIMENSION PERPENDICULAR TO SUPPORT FRAMING. STAGGER PANELS AND NAIL WITH <u>1001'S</u> AT 6" O.C. EDGES AND BOUNDARIES AND <u>1001'S</u> AT 12" O.C.

FIELD. NAIL ALL DRAG MEMBERS, SHEAR PANELS, BLOCKING, E.T.C. W/ NAILS SPACED AT

- 4" O.C. SEE DETAIL FOR ADDITIONAL NAILING REQUIREMENTS. 3. USE (2) TRIMMERS AND (1) KING STUD UNDER ALL OPENINGS <u>6'-0"</u> OR GREATER. 4. CONNECT TRUSS BLOCKING AND GABLE END TRUSSES TO TOP PLATE OR BEAM BELOW WITH A35's, LTP4's, L70's, OR L650's @ 48" O.C. UNLESS NOTED OTHERWISE.
- 5. DOUBLE TOP PLATE LAP SPLICES SHALL BE 4'-0' MINIMUM AND FACE NAILED WITH (12)-16d NAILS. 6. THE FOLLOWING COLUMN/POST CAPS ARE INTERCHANGEABLE: CC, ECC, CCQ, & ECCQ. 1. WHERE HEADERS ARE PLACED HIGH IN THE WALL AND BREAK THE DOUBLE TOP PLATE,
- AN MSTC28 SHALL CONNECT THE HEADER TO THE TOP PLATE AT EACH END. 8. ENCLOSED ATTIC AND RAFTER SPACES SHALL HAVE CROSS VENTILATION BY OPENINGS EQUAL TO 1/150TH OF THE AREA. WHERE EAVE OR CORNICE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING. ROOFS WITH RAFTERS, BAYS AND/OR VAULTED CEILINGS MUST BE VENTILATED TO OUTSIDE AT RIDGE.

PRE-MANUFACTURED WOOD ROOF TRUSSES

- 1. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR ALL ENGINEERING, LAYOUT DRAWINGS, CONNECTIONS, BLOCKING, BRACING, AND TRUSS ERECTION INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER COORDINATION BETWEEN ENGINEER/ARCHITECT DRAWINGS, TRUSS MANUFACTURER INFORMATION, ANY REQUIRED FIELD CHANGES, PROPER INSTALLATION OF FINAL PRODUCT AND ITS CONFORMANCE TO THE ARCHITECT'S DESIGN.
- 2. TRUSS MANUFACTURER TO VERIFY LOCATION OF AND PROVIDE REINFORCED TRUSSES FOR THE SUPPORT OF ANY MECHANICAL EQUIPMENT WHERE OCCURRING. 3. TRUSS MANUFACTURER TO VERIFY LOCATION OF AND DESIGN FOR ALL CEILING HEIGHT CHANGES, ATTIC ACCESSES, RETURN AIR GRILLS, ETC. TRUSS MANUFACTURER TO

THE ARCHITECT AND ENGINEER ASSUME NO LIABILITY FOR SAID PRODUCT.

- COORDINATE ANY FINDINGS TO BOTH K2 ENGINEERING AND THE ARCHITECT. 4. DEAD LOAD DEFLECTIONS SHALL BE LIMITED TO L/240. 5. GABLE END TRUSSES SHALL BE STRUCTURAL, DESIGNED TO SUPPORT OVERHANG AND TO ALLOW A TOP CHORD NOTCH OF ONE AND A HALF INCHES.
- 6. ALL NON-BEARING WALLS ARE TO HAVE A ONE-FOURTH OF AN INCH GAP TO THE BOTTOM CHORD OF THE TRUSSES. SECURE BOTTOM CHORD TO WALL BELOW WITH
- 1. USE PRE-ENGINEERED MANUFACTURED TRUGGEG @ 24" O.C. SOLID BLOCK @ ALL SUPPORTS AND PER MANUFACTURER'S SPECIFICATIONS. USE SIMPSON HI @ EACH SUPPORT WALL/BEAM TO EACH TRUSS AND H6 @ EACH SUPPORT WALL/BEAM TO EACH GIRDER TRUSS.

8. HANG TRUSSES AND GIRDER TRUSSES W/ SIMPSON HUS26 OR AS SPECIFIED ON PLAN.

TRUSS CALCULATIONS HOLD PRECEDENCE OVER PLAN AT ALL TRUSS TO TRUSS 9. TRUSSES ARE TO BE HANDLED, INSTALLED, AND BRACED IN ACCORDANCE WITH HIB-91 OF THE TRUSS PLATE INSTITUTE (TPI).

FOUNDATION/FLOOR FRAMING NOTES

- 1. ALL EXTERIOR WALLS SHALL BE CONSIDERED SHEARWALLS NAILED AS TYPE '6' WALLS (SEE SHEARWALL SCHEDULE). 2. FLOOR SHEATHING SHALL BE T. &G. APA RATED STURD-I-FLOOR APPLY FACE GRAIN/LONG
- 10d AT 6" O.C. AT ALL EDGES AND BOUNDARIES (BLOCKING AT INTERIOR SHEAR WALLS, DRAG MEMBERS, ETC.), AND 10d AT 10" O.C. FIELD, GLUE AND NAIL THROUGHOUT. 3. FLOOR JOISTS SHALL BE BLOCKED SOLID @ ALL SUPPORT LINES (CONNECT BLOCKING TO WALL/BEAM BELOW WITH A35'S @ TWICE THE JOIST SPACING), BENEATH ALL INTERIOR-BEARING WALLS, AND UNDER ALL HOLDOWNS. USE DOUBLE JOISTS BELOW ALL PARALLEL

DIMENSION PERPENDICULAR TO SUPPORT FRAMING. STAGGER PANELS AND NAIL WITH

- INTERIOR-BEARING WALLS. PROVIDE L.S.L. RIM BOARD THROUGHOUT. PROVIDE CRUSH BLOCKS, WEB STIFFENERS, ETC. PER MANUFACTURER'S SPECIFICATIONS. 4. ALL FLOOR OPENINGS SHALL BE BETWEEN JOISTS.
- 5. ALL HOLDOWNS SHALL BE INSTALLED AT THE TIME APPROPRIATE MEMBERS ARE FRAMED AND ACCORDING TO MANUFACTURER'S SPECIFICATIONS. IF STRUCTURE IS MULTIPLE STORIES, AS MUCH AS POSSIBLE, LINE FLOOR-TO-FLOOR HOLDOWNS UP WITH FLOOR-TO-FOUNDATION HOLDOWNS SO THAT HOLDOWNS ARE ATTACHED TO COMMON MEMBERS. USE SHEAR PLY NAILING TO ALL HOLDOWN MEMBERS.
- 6. PROVIDE FULL BEARING, FULL DEPTH BLOCKING UP TO FLOOR TO SUPPORT POSTS, DOUBLE STUDS, OR DOUBLE TRIMMERS ABOVE.
- WHERE COLUMN BASE OR POST BASE IS CALLED OUT ON A PIER BENEATH THE SUBFLOOR, PROVIDE POST UP TO SUBFLOOR TO SUPPORT IDENTICAL POST ABOVE, USE (2) SIMPSON ST6224 ON OPPOSITE SIDES OF POST TO STRAP POST ABOVE THROUGH THE FLOOR TO THE POST BELOW.

T. ANCHOR BOLTS: FOR 2x SILL PLATE, USE ½ 4 x 1Ø AB.

- FOR 3x OR DOUBLE SILL PLATE, USE ½ o x 12 AB. EXTEND SILL BOLTS T' INTO FOUNDATION MINIMUM, MAXIMUM SPACING SHALL BE 4'-Ø' O.C. WITH MINIMUM (2) BOLTS IN EACH SILL BOARD. BOLTS SHALL BE LOCATED NOT MORE THAN (12) NOR LESS THAN (7) BOLT DIAMETERS FROM EACH END OF SILL PIECE. MINIMUM 3'x3'x¹4" THICK PLATE WASHERS SHALL BE INSTALLED ON EACH SILL BOLT. SPACE WASHER
- /2" FROM SHEATING OR RIM. SILL PLATES: USE FOUNDATION GRADE REDWOOD OR TIMBERSTRAND L.S.L. TREATED WITH ZINC BORATE OR PRESSURE TREATED MUDSILL. SEE SHEARWALL SCHEDULE FOR IMPORTANT INFORMATION REGARDING SILL PLATES, FOR ALL SILL PLATES NOT NOTED, USE 2'X WALL WIDTH WOOD SILL. ALL SHEAR WALLS, EXCEPT TYPE "6" AND "4", REQUIRE FOUNDATION SILL PLATES AND ALL FRAMING MEMBERS RECEIVING EDGE NAILING FROM ABUTTING PANELS TO BE NOT LESS THAN A SINGLE 3" NOMINAL MEMBER. PLYWOOD JOINT AND SILL PLATE NAILING SHALL BE STAGGERED IN ALL CASES.
- 8. AN 8' WIDE CONCRETE FOUNDATION WALL SHALL BE CENTERED ON CONTINUOUS FOOTING BELOW W/(1)*4 CONTINUOUS @ TOP OF WALL & *4 VERTICALS @ 32" O.C. MAX HOOKED AT FOOTING (ALTERNATE HOOKS).
- 9. CONTINUOUS CONCRETE FOOTINGS TO BE 16"X10" W/ (2) *4"s CONT. STEP FOOTING AS REQUIRED TO BEAR ON NATIVE GRADE OR AS DIRECTED BY SOILS ENGINEER, EXTEND EXTERIOR FOOTING DEPTHS TO FROST LINE (2'-Ø'). 10. THE FOLLOWING COLUMN/POST BASES ARE INTERCHANGEABLE: CB & CBQ OR CBS & CBSQ. 11. ALL SLABS TO BE 4" THICK CONCRETE W/ 6x6 10/10 WELDED WIRE FABRIC REINFORCING OR

CONCRETE SHALL HAVE FIBERMESH ADDITIVE @ PLANT. SLAB SHALL BE PLACED OVER 4"

- TYPE-II BASE COMPACTED TO 90% RELATIVE DENSITY ON UNDISTURBED NATIVE SOIL 12. REFERENCE HOLDOWN SCHEDULE FOR IMPORTANT INFORMATION PERTAINING TO FOOTINGS. 13. STAIRWAYS SHALL NOT BE LESS THAN 36" IN WIDTH. EVERY STAIRWAY SHALL HAVE MINIMUM 6'-8" HEADROOM. THE MAXIMUM VERTICAL HEIGHT ALLOWED BETWEEN LANDINGS IS 12'-O". THE RISE OF STEPS IN THE STAIRWAY SHALL NOT EXCEED 8", AND THE TREAD
- SHALL BE NOT LESS THAN 9". 14. STAIR HANDRAILS SHALL BE PLACED NOT LESS THAN 34" NOR MORE THAN 38" ABOVE LANDINGS AND THE NOSING OF THE TREADS. THEY SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE STAIRS AND THE ENDS SHALL BE RETURNED. IN RESIDENTIAL OCCUPANCIES HANDRAILS MAY HAVE STARTING NEWELS WITHIN THE FIRST TREAD. HANDGRIP PORTION OF HANDRAILS SHALL BE NOT LESS THAN 11/4" NOR MORE THAN 2" IN CROSS-SECTIONAL DIMENSION AND HAVE A SMOOTH GRIPPING SURFACE. A SPACE OF NOT LESS THAN $1\frac{1}{2}$ "
- SHALL BE PROVIDED BETWEEN THE WALL AND THE RAIL. 15. GUARDRAILS SHALL BE A MINIMUM OF 42" HIGH, UN.O. NO OPENINGS OVER 4", TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN SIDE OF A STAIRWAY ARE PERMITTED TO BE OF SUCH SIZE THAT A SPHERE 6' IN DIAMETER
- CANNOT PASS THROUGH. 16. FIRE BLOCKING BETWEEN CHIMNEYS AND COMBUSTIBLE CONSTRUCTION SHALL BE INSTALLED
- AT 10'-0" INTERVALS, BOTH VERTICAL AND HORIZONTAL 17. INSTALL ADHERED VENEER IN COMPLIANCE WITH LOCAL CODES. FOUNDATION SUPPORT REQUIRED FOR EXTERIOR ROCK VENEER. ANCHOR TIES SHALL BE PROVIDED TO HORIZONTAL
- JOINT REINFORCEMENT WIRE OF NO. 9 GAUGE OR EQUIVALENT. 18. EXTERIOR STUCCO WALLS SHALL HAVE A WEEP SCREED AT OR BELOW THE FOUNDATION PLATE LINE AND 4" ABOVE GRADE OR 2" ABOVE PAVED AREAS THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEATHER-RESISTIVE BARRIER SHALL LAP THE ATTACHMENT FLANGE, AND THE EXTERIOR LATH SHALL COVER AND
- TERMINATE ON THE ATTACHMENT FLANGE OF THE SCREED. 19. COLUMNS OR POSTS LOCATED ON CONCRETE OR MASONRY FLOORS AND THAT SUPPORT PERMANENT STRUCTURES SHALL BE SUPPORTED BY CONCRETE PIERS OR METAL PEDESTALS PROJECTING ABOVE EXPOSED EARTH A MINIMUM OF 6" AND AT LEAST 1" ABOVE SUCH FLOORS UNLESS TREATED WOOD IS USED. INDIVIDUAL CONCRETE OR MASONRY PIERS SHALL PROJECT AT LEAST 8" ABOVE EXPOSED GROUND UNLESS THE COLUMNS OR POSTS
- THAT THEY SUPPORT ARE OF WOOD RESISTANT TO DECAY. 20. MINIMUM CLEARANCE FROM GROUND UNDER GIRDERS SHALL BE 12 INCHES±

OF UNDERFLOOR AREA, AND MUST PROVIDE CROSS VENTILATION.

48"

54'

60'

< 54 \

 \langle 60 angle

UNDER JOISTS SHALL BE 18 INCHES. 21. UNDERFLOOR VENTS SHALL EQUAL 1 SQUARE FOOT FOR EACH 150 SQUARE FEET

Beam Equivalent Table DF No. 1 BEAM | EQUIVALENT BEAM | DF No. 1 BEAM | EQUIVALENT BEAM

			<u></u>
6×8	6x8 DF No. 1 RMT (2) 1-3/4x9-1/2 LVL 1.9E 5-1/4x9-1/2 PGL 2.ØE 5-1/8x7-1/2 GLB 24F-V4	6×12	6x12 DF No. 1 RMT (2) 1-3/4x14 LVL 1.9E 5-1/4x11-7/8 PSL 2.ØE 5-1/8x12 GLB 24F-V4
6x10	6x10 DF No. 1 RMT (2) 1-3/4x11-7/8 LVL 1.9E 5-1/4x9-1/2 PSL 2.0E 5-1/8x10-1/2 GLB 24F-V4	6×14	6x14 DF No. 1 RMT (2) 1-3/4x16 LVL 1.9E 5-1/4x14 PSL 2.0E 5-1/8x13-1/2 GLB 24F-V4

Pier Footing Schedule Continuous Footing Schedule DENOTES FOOTING SIZE 12 DENOTES FOOTING SIZE <u>DEPTH</u> (NA TO <u>SYMBOL</u> <u>DEPTH</u> <u>SYMBOL</u> (EACH SIDE) (EACH WAY) (MIN) (CONTINUOUS) MONOPOUR) (12 12" (2) #4's 10" (2) #4 (14) (2) #4's 14" (2) #4's 10" (16 (2) *4's (2) #4's (18 (3) #4's 18" 10" (2) *4's < 21 [^] 24 (3) #4's 10" (3) *****4's (24) 28 24" (3) *****4's (3) #4's (28) 28" (3) *****4's (3) #4's 36 (32) 32" (4) #4's (4) #4's (36) (5) #4's LOADING AND EARTHQUAKE DESIGN DATA: < 42) 42" (6) #4's 1. LOADING:

(T) #4's

(8) #4's

(9) #4's

- FLOOR LOADS: LIVE = 40 PSF : DEAD = 15 PSF ROOF LOADS: SNOW = 49 PSF : DEAD = 23 PSF 2. EARTHQUAKE DESIGN DATA:
- Ss = 1.50, S1 = 0.60, SDS = 1.00, SD1 = 0.72 SEISMIC DESIGN CATEGORY: D BASE SHEAR Y = Cs*W = (1*Rho*F*SDS/1.4*R)*WR = 6.5 (LIGHT FRAMED WOOD WALLS SHEATHED WITH

WOOD STRUCTURAL PANELS RATED FOR SHEAR RESISTANCE).

Design Parameters

Abbreviations

AB

ATR

BRG

BET

BLK

BOT

MECH

MIN

(N)

NTS

O.C.

REQ'D

SCHED

16. ALL NOTES ARE TYPICAL UN.O.

SAD

SIM

SQ

STD STL THD

T#G

T#B

UNO

WWM

YERT

TRIMM

SPEC

BS(B/S

APPROX

ALTERNATE

BEAM

BEARING

BETWEEN

BOTH SIDES

CANTILEVER

CENTERLINE

CONTINUOUS

CONTROL JOINT

COUNTERSINK

DEAD LOAD

DETAIL

DIAMETER

DIMENSION

DOUGLAS FIR

DRAG TRUSS

DOUBLE

DRAWING

EACH END

EACH FACE

EACH SIDE

EACH WAY

EDGE NAIL

ELEVATION

EMBEDMENT

EQUAL

EXISTING

FLOOR

FOOTING

FIELD NAIL

FOUNDATION

GALVANIZED

HORIZONTAL

INFORMATION

INTERIOR

KING STUD

LIVE LOAD

MAXIMUM

MINIMUM

MACHINE BOLT

MANUFACTURER

MISCELLANEOUS

NOT TO SCALE

ON CENTER

PLATE

PLYWOOD

REDWOOD

REFERENCE

REQUIRED

SCHEDULE

SIMILAR

SQUARE

STEEL

STANDARD

THREADED

TOP PLATE

TUBE STEEL

TRIMMERS

TYPICAL

VERTICAL

TOP & BOTTOM

TONGUE & GROOVE

WELDED WIRE MESH

UNLESS NOTED OTHERWISE

SHEAR WALL

SPECIFICATION

ON OR OVER

PENETRATION

MECHANICAL

HEADER

HEIGHT

HEM-FIR

GLUED-LAMINATED BEAM

KING STUD EACH SIDE

LAMINATED VENEER LUMBER

POUND PER SQUARE FOOT

POUND PER SQUARE INCH

PRESERVATIVE TREATED

SEE ARCHITECTURAL DRAWINGS

POWDER DRIVEN FASTENER PDF

EXTERIOR

EACH

CONCRETE MASONRY UNIT

CONCRETE

BLOCK

BOTTOM

ANCHOR BOLT

APPROXIMATE

ALL THREAD ROD

2018 IBC AND LOCAL DESIGN CRITERIA 536Ø' PROJECT ELEVATION:

SITE CLASS: WIND SPEED:

WIND EXPOSURE: DESIGN INCLUDES SNOW LOAD FOR DRIFT AND UNBALANCED LOADING.

Shearwall Symbol	Sheathing Thickness	Nail Size	Shear Na E.N.	il Spacing F.N.	16d Nail Spacing	1/4" SDS Spacing	3x Framing at Adj. Panel Edges	***5/8" A.B. Spacing	***1/2" A.B. Spacing
6	3/8"	8d	6' O.C.	12" O.C.	6' O.C.	16" O.C.	No	48' O.C.	48" O.C.
4	3/8"	8d	4' O.C.	12" O.C.	4' O.C.	12" O.C.	No	48" O.C.	35" O.C.
3	3/8"	8d	3' O.C.	12" O.C.	3' O.C.	8' O.C.	Yes:	46" O.C.	3Ø" O.C.
2	3/8"	8d	2" O.C.	12" O.C.	2 ' O.C.	6' O.C.	Yes	35" O.C.	23' O.C.
4/2	3/8' B/9	1Ød	4" O.C.	12" O.C.	2 ' O.C.	5-1/2" O.C.	Yes	32' <i>O.C.</i>	21" O.C.
3/2	3/8' B/S	8d	3' O.C.	12" O.C.	N/A	4" O.C.	Yes	23 ' O.C.	15" O.C.
2/2	3/8' B/9	8d	2" O.C.	12" O.C.	N/A	3' O.C.	Yes	18' O.C.	11" O.C.
A	1/2"	1Ød	2" O.C.	12" O.C.	N/A	6' O.C.	Yes	29' O.C.	19 ' O.C.
B	5/8"	1Ød	2" O.C.	12" O.C.	N/A	5-1/2" O.C.	Yes	26' O.C.	16' O.C.
L6\	7/16" Smart Panel Siding	8d	6' O.C.	12" O.C.	6' O.C.	16" O.C.	No	48' O.C.	48" O.C.
L4	7/16" Smart Panel Siding	8d	4' O.C.	12" O.C.	4" O.C.	16" O.C.	No	48' O.C.	39' O.C.
L3	7/16" Smart Panel Siding	8d	3' O.C.	12" O.C.	3' O.C.	12" O.C.	Yes:	48" O.C.	36' O.C.
L2	7/16" Smart Panel Siding	8d	2' O.C.	12 ' O.C.	2 ' O.C.	8' O.C.	Yes*	42" O.C.	27' O.C.

120 MPH (3 SECOND GUST)

ALL SHEAR WALL STUDS SHALL BE DOUGLAS FIR LARCH SPACED AT 16" O.C. NAIL ALL SHEAR PLY WITH EDGE NAIL SPACING AT TOP PLATES, MUD SILLS,

ALL POSTS, ALL KING STUDS, AND ALL STUDS WITH HOLDOWNS. WHERE APPLICABLE, PLYWOOD JOINT AND SILL PLATE NAILING SHALL BE STAGGERED IN ALL CASES. FOR ALL SHEAR WALLS EXCEPT TYPES 6, 4, L6, L4 USE:

A. 3 INCH NOMINAL OR THICKER SILL PLATES WITH 5/8" X 12" AB'S AND (2) 20d BOX NAILS FOR STUD END NAILING. B. 3 INCH NOMINAL OR THICKER FRAMING MEMBERS, OR DOUBLE 2x FRAMING MEMBERS STITCHED TOGETHER WITH MINIMUM (2) ROWS OF 16d NAILS @ 12" O.C. AT ALL ADJOINING PANEL EDGES. FOR SHEAR WALL TYPE 3, L3, & L2, A 2" NOMINAL SILL PLATE MAY BE USED IF ANCHOR

BOLTS ARE SPACED AT 1/2 THE SPECIFIED SPACING. PROVIDE BLOCKING OR SOLID FRAMING AT ALL PANEL EDGES.

1/2. DOUBLE SHEAR WALLS TO HAVE SHEAR PLY WITH SPECIFIED NAILING BOTH SIDES. PROVIDE 3" NOMINAL OR THICKER FRAMING MEMBERS ON ALL ABUTTING PANEL EDGES. B/S IS BOTH SIDES. USE SIMPSON MSTC48 OR MSTC52 TO STRAP ACROSS BEAMS AT ANY BREAK IN TOP PLATES, UN.O. FOUNDATION SILL ANCHOR BOLTS SHALL BE 5/8'XIQ" SPACED AT 48" O.C. ON ALL EXTERIOR WALL UN.O.

13. USE 3"x3"x14" THICK STEEL PLATE WASHERS AT ALL WOOD SILL PLATES FOR SHEAR WALLS. SPACE WASHERS 1/2" FROM SHEATHING OR RIM 4.* ALL MASA MUDSILL ANCHORS TO BE INSTALLED WITH BOTH LEGS FULLY NAILED INTO SIDE AND TOP OF SILL PLATE. 5***5/8" AND 1/2" TITEN HD ANCHORS WITH 6" MINIMUM CONCRETE EMBEDMENT MAY BE USED AS A RETROFIT SOLUTION TO SUBSTITUTE AB'S WITH EQUAL DIAMETER.

Holdown Schedule

	I IOIGOWIT SCHEGUIE							
	FLOOR TO FLOOR HOLDOWN CONNECTIONS (SEE DETAILS FOR APPLICATIONS)							
Symbol	Holdown (1)	Min. Vertical Wood Thickness (2)	Additional Comments					
H-1	MSTC4Ø	(2) - 2x Studs	N/A					
H-2	MSTC52	(2) - 2x Studs	N/A					
H-3	MSTC66	(2) - 2x Studs	N/A					
H-4	CMST14	(2) - 2x Studs	Strap to be at Least 80' Long					
H-5	CMST12	(2) - 2x Studs	Strap to be at Least 102" Long					

FLOOR TO FOUNDATION HOLDOWN CONNECTIONS (SEE DETAILS FOR APPLICATIONS)

		Min. Vert Wood	Foundat		Garage Balta an		
Symbol (7)	Holdown Options (1)	Thickness (2)	Threaded Rod w/ Dbl. Nutted BP	Simpson SB (4)	Threaded Rod Retrofit w/ SET-XP Epoxy (5)	CL (8)	Screws, Bolts, or Nails (6)
	9) ØICHT8	(2) - 2x Studs	N/A	N/A	N/A	N/A	(20) 16d
H-1Ø	HTT4	(2) - 2x Studs	5/8' W/ 12" Embed	SB 5/8x24 W/ 18" Embed	5/8" W/ 12" Embed	1-3/8"	(18) 16d
	HDU2-6D62.5	(2) - 2x Studs	5/8' W/ 14' Embed	SB 5/8x24 W/ 18" Embed	5/8" W/ 12" Embed	1-5/16"	(6) SDS
	STHD14 (9)	(2) - 2x Studs	N/A	N/A	N/A	N/A	(24) 16d
H-11	HTT5	(2) - 2x Studs	5/8" W/ 14" Embed	SB 5/8x24 W/ 18" Embed	5/8" W/ 12" Embed	1-3/8"	(26) 16d
	HDU4-5D52.5	(2) - 2x Studs	5/8" W/ 14" Embed	SB 5/8x24 W/ 18" Embed	5/8" W/ 12" Embed	1-5/16"	(1Ø) SDS
	HDU5-SDS2.5	(2) - 2x Studs	5/8' W/ 20' Embed	SB 5/8x24 W/ 18" Embed	5/8" W/ 16" Embed	1-5/16"	(14) SDS
H-12	HDTB	(2) - 2x Studs	7/8" W/ 20" Embed	5B 7/8x24 W/ 18" Embed	7/8" W/ 16" Embed	1-1/4"	(3) 3/4" Bolts
11.12	HDQ8-5D53	3-1/2"	7/8" W/ 20" Embed(3)	5B 7/8x24 W/ 18" Embed	N/A	1-1/4"	(2Ø) SDS
H-13	HD9B	3-1/2"	7/8' W/ 20' Embed(3)	5B 7/8x24 W/ 18" Embed	N/A	1-1/4"	(3) 7/8" Bolts
11.17	HHDQII	5-1/2"	1" W/8" Embed Into Ftg. (3)	N/A	N/A	1-1/2"	(24) SDS
H-14	HD12	5-1/2"	1" W/8" Embed Into Ftg. (3)	N/A	N/A	2-1/8"	(4) Bolts
	HHDQ14	5-1/2"	i" W/8" Embed Into Ftg. (3)	N/A	N/A	1-1/2"	(3Ø) SDS
H-15	HDU14-9D62.5	5-1/2"	i' W/8' Embed Into Ftg. (3)	N/A	N/A	1-9/16"	(36) SDS

INSTALL ALL HOLDOWNS PER SIMPSON'S SPECIFICATIONS, MAINTAINING REQUIRED EDGE CLEARANCES. DOUBLE STUDS TO BE CONNECTED BY (2) ROWS OF 16d NAILS AT 4" O.C. STAGGERED

DAYS IN ADVANCE PRIOR TO INSTALLATION. USE SIMPSON SET-XP EPOXY FOR CONCRETE DRILL & EPOXY

USE (1) *4 BAR YERTICAL EACH SIDE OF 1/8" OR GREATER THREADED ROD (TOTAL OF 2) TO CONNECT STEMWALL TO FOOTING. . SB EMBEDMENTS ARE FOR SINGLE POUR INSTALLATION ONLY. REFER TO LATEST VERSION OF SIMPSON CATALOG FOR DOUBLE POUR APPLICATIONS SPECIAL INSPECTION IS REQUIRED AT ALL EPOXY-SET ANCHORS. CONTACT ENGINEER OF RECORD 2-WORKING

APPLICATIONS & SET EPOXY FOR SOLID GROUTED CMU APPLICATIONS 5. BOLT HOLES SHALL BE A MINIMUM OF 1/32" AND NO MORE THAN 1/16" LARGER THAN THE SPECIFIED BOLT DIAMETER. . IT IS ACCEPTABLE TO SUBSTITUTE HOLDOWNS SPECIFIED HIGHER IN THE TABLE WITH HOLDOWNS OCCURING LOWER IN THE TABLE.

. "CL" IS IS THE DIMENSION TO THE CENTERLINE OF AB HOLE IN HOLDOWN. 9. USE STHORJ WHEN RIM JOIST IS PRESENT. 10. USE ASTM A307 ALL THREADED RODS TYPICAL.

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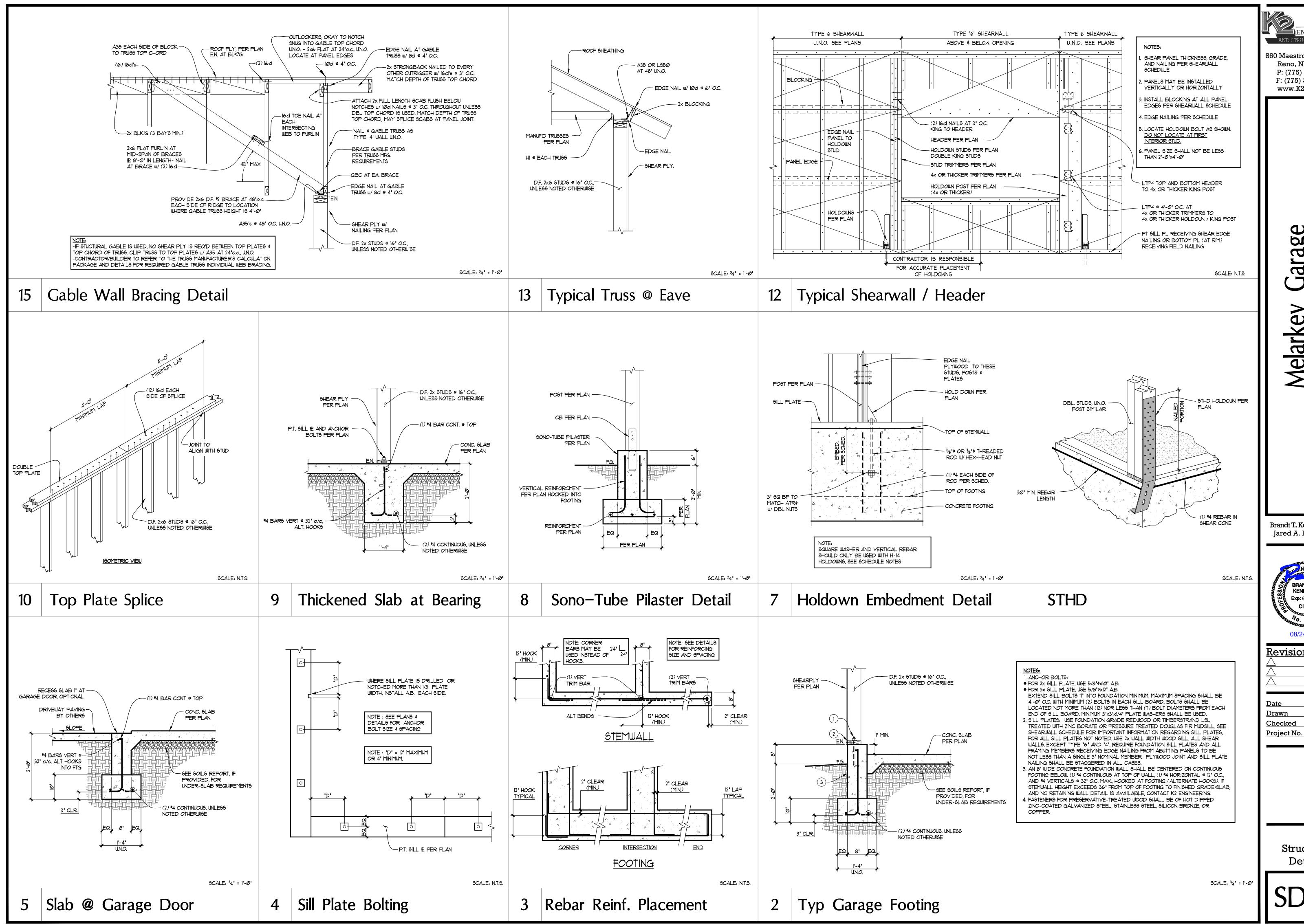
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Exp: 6-30-23

Revisions

8/24/2021 <u>Drawn</u> <u>BTK</u> **Checked** 21-269 <u>Project No.</u>

Structural Notes & Schedules



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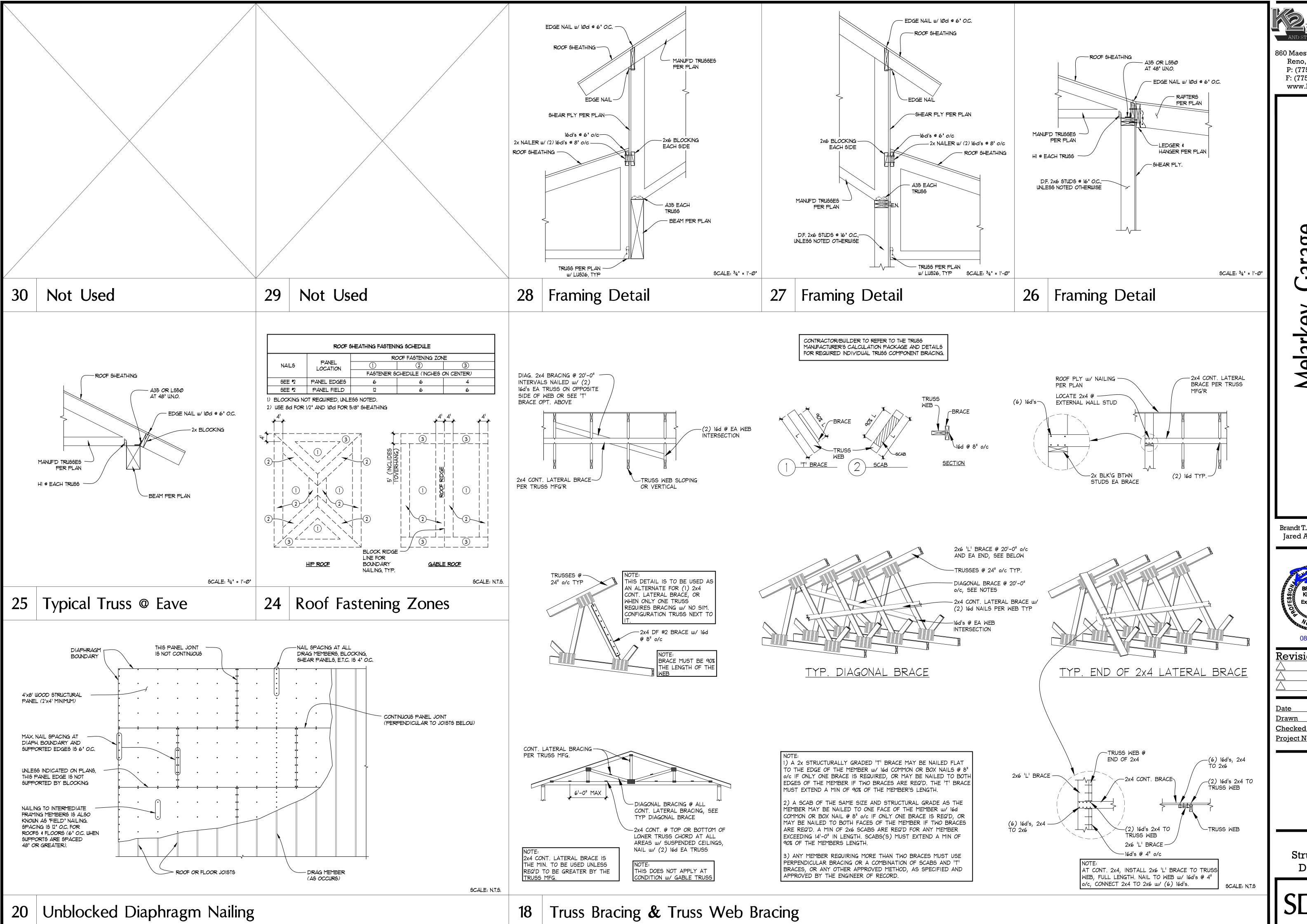
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8/24/2021

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Structural Details