

ADMINISTRATIVE REVIEW PERMIT

FOR

The Kurtz Detached Accessory Dwelling

Prepared For:

Kurtz Trust, Chris & Freda
PO Box 19434
Reno, NV 89511
775.849.9830

Prepared By:



575 E. Plumb Lane, Suite 101
Reno, NV 89502
775.636.7905

June 2021

20.032

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Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: Kurtz Guest House			
Project Description: The construction of a detached accessory dwelling for a single family main residence.			
Project Address: 2150 Rhodes Rd, Washoe County, NV 89521			
Project Area (acres or square feet): 15 Acres			
Project Location (with point of reference to major cross streets AND area locator):			
<small>The site is on the east side of Rhodes Rd between Chance Ln. and Willomonte Rd. The east side of the site is on the west side of Chance Ln. Access to the site is off Rhodes Rd.</small>			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
017-390-22	15		
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: Kurtz Trust, Chris & Freda		Name: Monte Vista Consulting, Ltd.	
Address: PO Box 19434, Reno, NV		Address: 575 E. Plumb Lane, Suite 101, Reno, NV	
Zip: 89511		Zip: 89502	
Phone: 775.849.9830	Fax:	Phone: 775.636.7905	Fax:
Email: ckurtz@cisnv.com		Email: mike@montevistaconsulting.com	
Cell:	Other:	Cell:	Other:
Contact Person: Chris Kurtz		Contact Person: Mike Vicks	
Applicant/Developer:		Other Persons to be Contacted:	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone:	Fax:	Phone:	Fax:
Email:		Email:	
Cell:	Other:	Cell:	Other:
Contact Person:		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Property Owner Affidavit

Applicant Name: Freda Kurtz, Trustee of The Chris and Freda Kurtz Trust

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
)
COUNTY OF WASHOE)

I, Freda Kurtz, Trustee of the Chris and Freda Kurtz Trust
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 01739022

Printed Name Freda Kurtz, Trustee of The Chris and Freda Kurtz Trust

Signed Freda Kurtz, Trustee of The Chris and Freda Kurtz Trust

Address 202 Redington Ct.

Reno, NV 89511

^{2nd} _{no 16th} Subscribed and sworn to before me this June day of 2021.

(Notary Stamp)

Anne Wright

Notary Public in and for said county and state

My commission expires: 7/31/2024



*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

Property Owner Affidavit

Applicant Name: Chris Kurtz, Trustee of The Chris and Freda Kurtz Trust

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
)
COUNTY OF WASHOE)

I, Chris Kurtz, Trustee of The Chris and Freda Kurtz Trust
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 01739022

Printed Name Chris Kurtz, Trustee of The Chris and Freda Kurtz Trust

Signed [Signature], Trustee of the Chris and Freda Kurtz Trust

Address 202 Raddington Ct

Reno, NV 89511

Subscribed and sworn to before me this 2nd day of June, 2021.

(Notary Stamp)

Anne Wright
Notary Public in and for said county and state

My commission expires: 7/31/2024



*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

Administrative Review Permit Application for a Detached Accessory Dwelling Supplemental Information

(All required information may be separately attached)

1. What is the size (square footage) of the main dwelling or proposed main dwelling (exclude size of garage)?

Main Level= 5,194 S.F.; Upper Level= 4,747 S.F.; Total= 9,941 S.F.

2. What is the size of the proposed detached accessory dwelling (exclude size of garage)? If a manufactured or modular home is the secondary dwelling, list the age and size of the unit.

1,497 S.F.

3. How are you planning to integrate the main dwelling and secondary dwelling to provide architectural compatibility of the two structures?

Roofing, siding materials, trims and exterior detailing will match on both structures.

5. How many off-street parking spaces are available? Parking spaces must be shown on site plan. Are any new roadway, driveway, or access improvements be required?

The main residence includes a 2-car garage, the detached garage accommodates 6+ vehicles, and the guest house includes a 1-car garage in addition to driveway parking.

6. What will you do to minimize any potential negative impacts (e.g. increased lighting, removal of existing vegetation, etc.) your project may have on adjacent properties?

There will be no negative impacts on adjacent properties.

7. Is the subject property part of an active Home Owners Association (HOA) or Architectural Control Committee?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please list the HOA name.
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8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit a detached accessory dwelling on your property?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please attach a copy.
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9. Only one accessory dwelling unit, whether attached or detached, is allowed per parcel. Is there a guest apartment, mother-in-law unit, next-gen addition with kitchen or any other type of secondary dwelling on the subject property?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please provide information on the secondary unit.
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10. List who the service providers are for the main dwelling and accessory dwelling:

	Main Dwelling	Accessory Dwelling
Sewer Service	Private Septic System	Private Septic System
Electrical Service	NV Energy	NV Energy
Solid Waste Disposal Service	Waste Management	Waste Management
Water Service	Private Well	Private Well

Project Information

Location: 2150 Rhodes Road

APN: 017-390-22

Site Area: 15 ac

Zoning: MDR 33%/LDS 65%/GR 2%

Master Plan Designation: SR

Proposed Use: Single Family Residential

Administrative Permit Required for: Per Washoe County Code 110.306.25 Detached Accessory Dwellings

Pre-Development Discussion

Existing Conditions & Development:

The site is currently undeveloped consisting of native grasses and brush. Access to the site is from Rhodes Road and existing dirt roads that loop throughout the site that are minimally used. The slopes throughout the site are generally mild with some areas having steeper slopes. The driveway access to the site slopes between 1 – 7%. The slopes in area where the proposed development will occur range from 1 to 3%. All other areas of the site slopes between 1 to 14%.

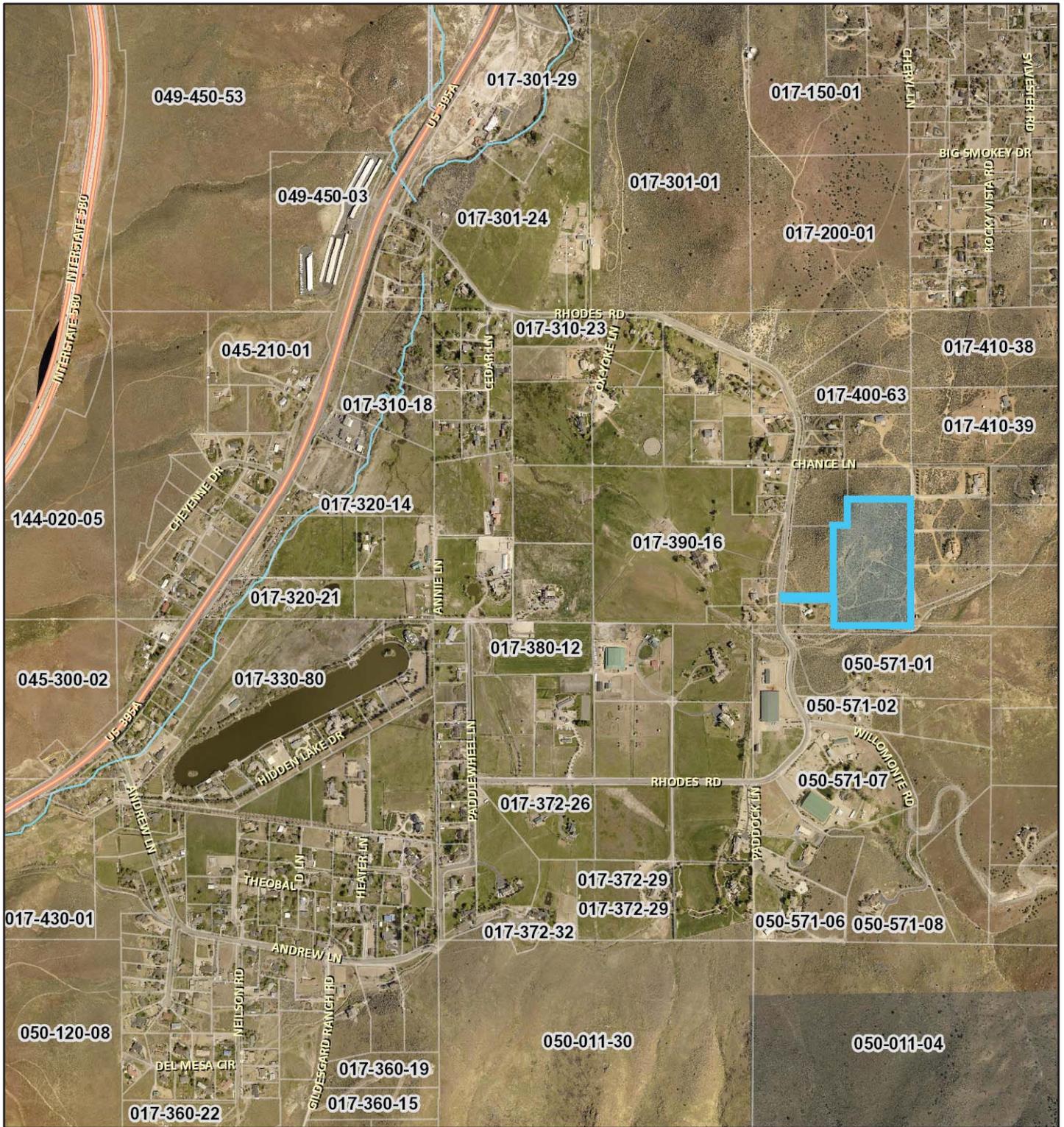
Surrounding Properties:

- | | | |
|---|----------------------|-------------------|
| ○ North: Undeveloped Residential | Zoning: MDR, LDS, GR | Use: Vacant |
| ○ South: Undeveloped Residential | Zoning: HDR | Use: Vacant |
| ○ East: Undeveloped & Developed Residential | Zoning: MDR, HDR | Use: Vacant & SFR |
| ○ West: Rhodes Road, Undeveloped &
Developed residential | Zoning: MDR, LDS, GR | Use: Vacant & SFR |

Proposed Development Discussion

Proposed Improvements:

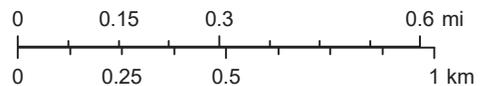
The proposed single-family residence, guest house and detached garage are consistent with the master plan and zoning. Improvements include the construction of a 9,941 s.f. main residence, a 1,497 s.f. guest house, a 6,000 s.f. detached garage and associated driveway, utility connections and drainage improvements. The site is served by a private onsite well as well as a private septic system. In association with the proposed work, the disturbed area will be landscaped adjacent to the residence and the remainder will be revegetated with natural vegetation while maintaining the required defensible space requirements. All development will be consistent with single family residential development.



June 12, 2020

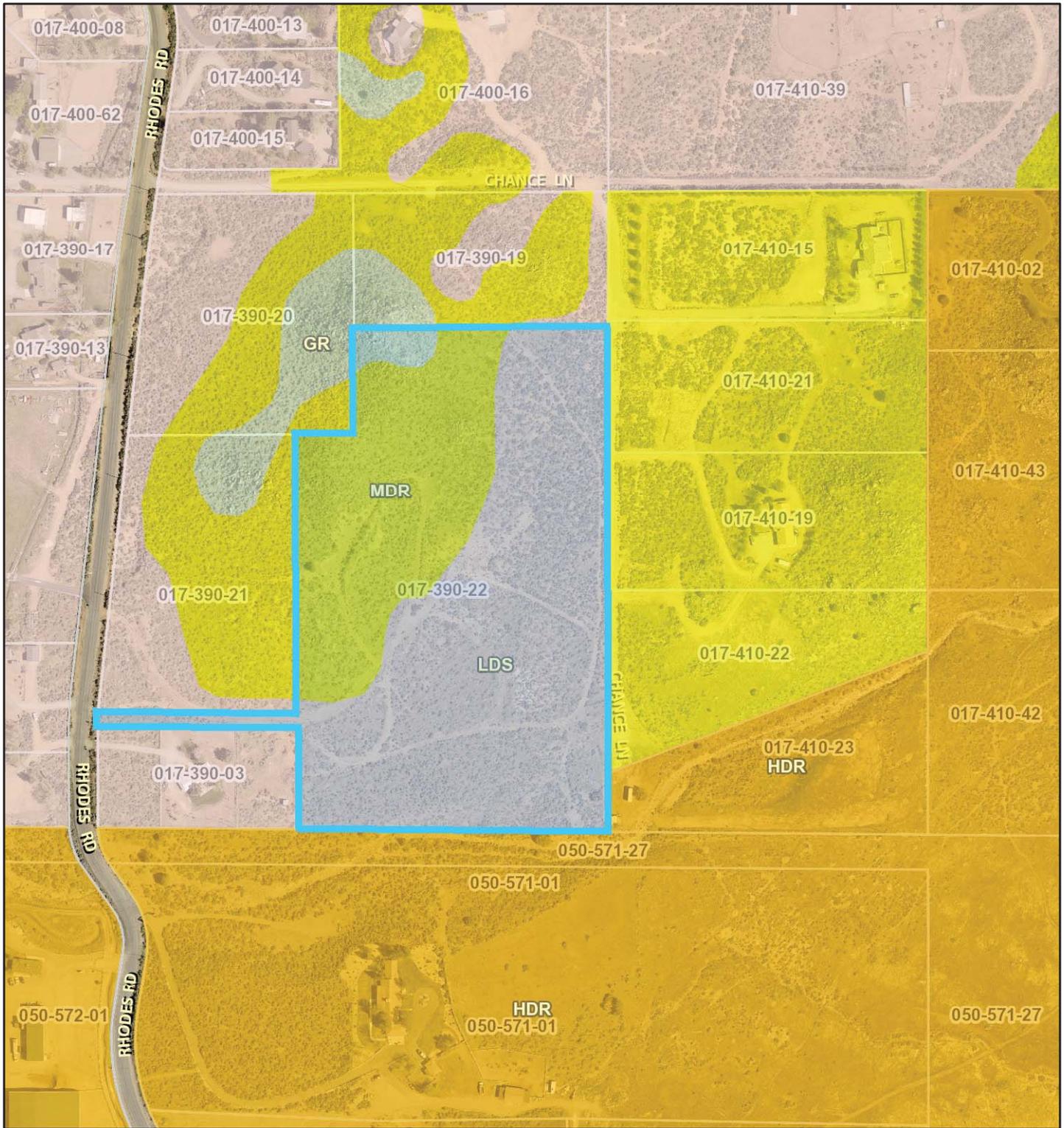
APN

1:18,056



Washoe County
 Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS,
 USDA, USGS, AeroGRID, IGN, and the GIS User Community
 Washoe County GIS

This information for illustrative purposes only. Not be used for boundary resolution
 or location and not intended to be used for measurement, calculation, or delineation.

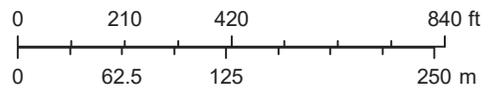


June 12, 2020

1:4,514

Regulatory Zoning

CITY	HDS	MDS	PSP	APN
DL	I	MDS4	RDS	
GC	LDR	MDU	RRRW	
GR	LDS	NC	SP	
GRA	LDS2	NDA	TC	
HDR	LDU	OS	TL	
	MDR	PR	WB	

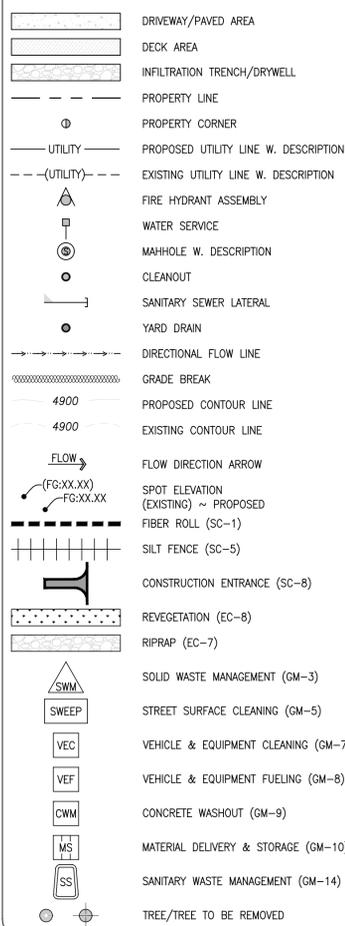


Washoe County
 Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS,
 USDA, USGS, AeroGRID, IGN, and the GIS User Community
 Washoe County GIS

This information for illustrative purposes only. Not to be used for boundary resolution or location and not intended to be used for measurement, calculation, or delineation.

Reduced Plans

SITE PLAN LEGEND



SITE NOTES

- MONTE VISTA CONSULTING, LTD. (MVC) IS THE DESIGN ENGINEER FOR THIS PROJECT. ALL CONTRACTORS ARE DIRECTED TO CONTACT MVC FOR ANY QUESTIONS REGARDING THE STATED OR IMPLIED MEANING OF ANY NOTE OR OTHER INFORMATION CONTAINED ON THESE IMPROVEMENT PLANS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INSURE THAT THEIR CONTRACT FOR SERVICES INCLUDES THE RESPONSIBILITIES DEFINED BY THE APPLICABLE NOTES. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS INCLUDING, DIMENSIONS, GRADES & POINTS OF CONNECTION. THE CONTRACTOR SHALL NOTIFY MONTE VISTA CONSULTING, LTD. OF ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OR CONTINUATION OF WORK.
- THE FIELD SURVEY PREPARED BY ALPINE LAND SURVEYORS IS THE BASIS OF THIS DESIGN.
- BASIS OF BEARINGS IS THE NEVADA STATE PLANCE COORDINATE SYSTEM, WEST ZONE NAD 83/94, BASED UPON REAL TIME KINEMATIC (RTK) GPS OBSERVATIONS TAKEN ON SURVEY MONUMENTS SHOWN ON THIS MAP. DISTANCES AND COORDINATES SHOWN ARE GROUND. TO CONVERT TO GRICE, DIVIDE DISTANCES AND COORDINATES BY A COMBINED FACTOR OF 1.000197939.
- BASIS OF ELEVATION IS THE NAVD 1988 VERTICAL DATUM BASED UPON REAL TIME KINEMATIC (RTK) GPS OBSERVATIONS WITH CORRECTIONS FROM WASHOE COUNTY COORS STATIONS.
- AN ENCROACHMENT & EXCAVATION PERMIT IS REQUIRED FOR ALL WORK WITHIN THE WASHOE COUNTY RIGHT-OF-WAY.
- ALL WORK WITHIN THE WASHOE COUNTY RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST CODES, STANDARD SPECIFICATIONS & DETAILS.
- PLACEMENT OF THE STRUCTURE WITHIN THE REQUIRED SETBACKS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- REFERENCE ARCHITECTURAL PLANS FOR ALL BUILDING DIMENSIONS.
- REPLACE ALL DETERIORATED, DAMAGED AND/OR DISPLACED, CURB, GUTTER AND SIDEWALK AND APPROACHES PRIOR TO ANY CERTIFICATE OF OCCUPANCY. ANY EXISTING IMPROVEMENTS THAT ARE REPLACED SHALL MATCH THE EXISTING GRADE AND ALIGNMENT UNLESS OTHERWISE NOTED.
- BACKFILL MAINTAINING 8" (6" MIN.) BETWEEN FINISHED GRADE AND SIDING UNLESS OTHERWISE NOTED.
- PROVIDE 5% (2% MIN., 21% MAX.) SLOPE AWAY FROM PROPOSED STRUCTURE TO DRAINAGE SWALE OR APPROVED DRAINAGE OUTFALL 10' MIN. FROM STRUCTURE.
- PROVIDE A DRAINAGE SWALE 10' (5' MIN.) AWAY FROM PROPOSED STRUCTURE WITH A MINIMUM SLOPE OF 1% TOWARDS AN APPROVED DRAINAGE OUTFALL.
- THIS SITE LIES IN FEMA FLOOD ZONE X (UNSHADED) (32031C3351G). ZONE X (UNSHADED) IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD, WHICH ARE THE AREAS OUTSIDE THE 0.2-PERCENT-ANNUAL-CHANCE FLOODPLAIN.
- MONTE VISTA CONSULTING, LTD. IS NOT RESPONSIBLE FOR ANY STRUCTURAL DESIGN OF SITE RETAINING WALLS OR FEATURES. REFERENCE STRUCTURAL DESIGN BY OTHERS.
- CONC. FLATWORK TO BE FINISHED PER OWNERS REQUIREMENTS.
- SLOPE LAWN AREAS 2.0% MIN. TOWARD THE DRAINAGE SWALE OR OTHER APPROVED DRAINAGE FACILITY.
- UNLESS SPECIFIED OTHERWISE, ALL DRAINAGE IMPROVEMENTS ARE PRIVATE AND SHALL BE MAINTAINED BY THE PROPERTY OWNER.
- ALL EROSION CONTROL MEASURES SHALL BE PLACED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ANY EROSION CONTROL MEASURES SHOWN ARE A MINIMUM AND THE CONTRACTOR MAY MODIFY, RELOCATE AND IMPROVE AS REQUIRED THROUGHOUT THE CONSTRUCTION PROCESS.
- PROVIDE INLET PROTECTION AT ALL EXISTING CATCH BASINS SURROUNDING THE SITE.
- STABILIZE THE CONSTRUCTION ENTRANCE.
- MVC RECOMMENDS A SITE SPECIFIC GEOTECHNICAL INVESTIGATION/REPORT AND ADDENDUMS PRIOR TO CONSTRUCTION. IN THE EVENT OF DISCREPANCY BETWEEN THE REPORT AND THE NOTES HEREIN, THE REPORT SHALL PREVAIL.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VISIT THE SITE AND MAKE HIS OWN INTERPRETATIONS WITH REGARD TO MATERIALS, METHODS AND EQUIPMENT NECESSARY TO PERFORM THE WORK REQUIRED FOR THIS PROJECT.
- THE DEVELOPER IS RESPONSIBLE FOR RETAINING THE SERVICES OF A TESTING COMPANY TO PROVIDE ALL REQUIRED TESTING AND INSPECTION OF GRADING AND CONSTRUCTION NOT INSPECTED DIRECTLY BY WASHOE COUNTY OR ANY UTILITY COMPANY. THE CONTRACTOR SHALL PROVIDE ANY INSPECTING ENTRY TWO (2) WORKING DAYS ADVANCE NOTICE OF ANY REQUIRED TESTING AND INSPECTION.
- THE CONTRACTOR WILL PREPARE AN INDEPENDENT ESTIMATE OF EARTHWORK QUANTITIES. ANY QUANTITIES PROVIDED IN THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND DO NOT ACCOUNT FOR MATERIAL EXPANSION OR SHRINKAGE.
- UNSATURATED SOIL OR MATERIALS, NOT TO BE INCLUDED IN THE WORK INCLUDE: ORGANIC MATERIALS SUCH AS PEAT, MULCH, ORGANIC SILT OR SOIL, SOILS CONTAINING EXPANSIVE CLAYS, MATERIAL CONTAINING EXCESSIVE MOISTURE, POORLY GRADED COARSE MATERIAL, PARTICLE SIZE IN EXCESS OF 6 INCHES, MATERIAL WHICH WILL NOT ACHIEVE DENSITY AND/OR BEARING REQUIREMENTS.
- ALL EXCESS OR UNSUITABLE MATERIAL SHALL BE DISPOSED OF IN ACCORDANCE WITH THE LATEST GOVERNMENTAL REGULATIONS OR IN APPROVED AREAS AS SHOWN ON THE GRADING PLAN.
- UTILITIES MAY EXIST THAT ARE NOT SHOWN ON THE PLANS. THE LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE ONLY AND ARE BASED ON THE BEST AVAILABLE INFORMATION AT THE TIME. THE INFORMATION IS NOT TO BE RELIED UPON AS EXACT OR COMPLETE. THE CONTRACTOR SHALL VERIFY ACTUAL LOCATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. SHOULD THE CONTRACTOR DISCOVER ANY DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THE INFORMATION SHOWN ON THESE DRAWINGS, THEY SHALL NOTIFY MONTE VISTA CONSULTING, LTD. BEFORE PROCEEDING WITH CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING AND COORDINATING ALL SERVICE REQUIREMENTS WITH THE APPROPRIATE PUBLIC AGENCY OR UTILITY PROVIDER. CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REQUIREMENTS.
- THERE IS NO PUBLIC SEWER WITHIN 400' OF THIS PROPERTY.
- THERE IS NO PUBLIC WATER AVAILABLE.
- THERE IS NO PUBLIC WELL WITHIN 200' OF THIS PROPERTY.
- MAINTAIN 3.0' MINIMUM COVER OVER ALL WATER SERVICES.
- MAINTAIN 3.0' MINIMUM HORIZONTAL CLEARANCE AROUND ALL FIRE HYDRANTS.
- MONTE VISTA CONSULTING, LTD. IS NOT RESPONSIBLE FOR WATER ANALYSIS INCLUDING PIPE SIZING, PUMPING, AND WATER PRESSURES.
- MONTE VISTA CONSULTING, LTD. IS NOT RESPONSIBLE FOR FIRE SERVICE LINE SIZING OR INTERNAL FIRE SUPPRESSION SYSTEM DESIGN. REFERENCE FIRE SPRINKLER DESIGN BY OTHERS.
- REF. NV ENERGY PLANS, SITE ELECTRICAL PLAN & SITE PLUMBING PLAN FOR ALL GAS AND ELECTRIC IMPROVEMENTS.
- SHOULD ANY PREHISTORIC OR HISTORIC REMAINS/ARTIFACTS BE DISCOVERED DURING SITE DEVELOPMENT, WORK SHALL TEMPORARILY BE HALTED AT THE SPECIFIC SITE AND THE STATE HISTORIC PRESERVATION OFFICE OF THE DEPARTMENT OF MUSEUMS, LIBRARY AND ARTS, SHALL BE NOTIFIED TO RECORD AND PHOTOGRAPH THE SITE. THE PERIOD OF TEMPORARY DELAY SHALL BE LIMITED TO A MAXIMUM OF TWO (2) WORKING DAYS FROM THE DATE OF NOTIFICATION.
- ADD 4600' TO ALL ELEVATIONS.

STANDARD BMP NOTES

- THE OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL EACH DAY REMOVE ALL SEDIMENT, MUD, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED TO, OR ACCUMULATE IN, THE WASHOE COUNTY RIGHT-OF-WAY AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS SITE DEVELOPMENT OR CONSTRUCTION PROJECT. SUCH MATERIALS SHALL BE PREVENTED FROM ENTERING THE STORM SEWER SYSTEM.
- ADDITIONAL CONSTRUCTION SITE DISCHARGE BEST MANAGEMENT PRACTICES MAY BE REQUIRED OF THE OWNER AND THEIR AGENTS DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT MEET THE PERFORMANCE STANDARDS SPECIFIED IN THE STATE OF NEVADA & TRUCKEE MEADOWS CONSTRUCTION SITE BEST MANAGEMENT PRACTICES HANDBOOK.
- TEMPORARY OR PERMANENT STABILIZATION PRACTICES WILL BE INSTALLED ON DISTURBED AREAS AS SOON AS PRACTICABLE AND NO LATER THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. SOME EXCEPTIONS MAY APPLY; REFER TO STORMWATER GENERAL PERMIT NVR100000 (SECTION III.A.5).
- AT A MINIMUM, THE CONTRACTOR OR HIS AGENT SHALL INSPECT ALL DISTURBED AREAS, AREAS USED FOR STORAGE OF MATERIALS AND EQUIPMENT THAT ARE EXPOSED TO PRECIPITATION, VEHICLE ENTRANCE AND EXIT LOCATIONS AND ALL BMP'S WEEKLY, PRIOR TO A FORECASTED RAIN EVENT AND WITHIN 24 HOURS AFTER ANY ACTUAL RAIN EVENT. THE CONTRACTOR OR HIS AGENT SHALL UPDATE OR MODIFY THE STORMWATER POLLUTION PLAN AS NECESSARY. SOME EXCEPTIONS TO WEEKLY INSPECTIONS MAY APPLY, SUCH AS FROZEN GROUND CONDITION OR SUSPENSION OF LAND DISTURBANCE ACTIVITIES. REFER TO STORMWATER GENERAL PERMIT NVR100000, (SECTION III.A.11-12).
- ACCUMULATED SEDIMENT IN BMP'S SHALL BE REMOVED AT REGULAR INTERVALS, WITHIN SEVEN DAYS AFTER A STORMWATER RUNOFF EVENT, AND PRIOR TO THE NEXT FORECASTED STORM EVENT WHICHEVER IS EARLIER. SEDIMENT MUST BE REMOVED WHEN BMP DESIGN CAPACITY HAS BEEN REDUCED BY 50 PERCENT OR MORE.

DEFENSIBLE SPACE & VEGETATION MANAGEMENT NOTES

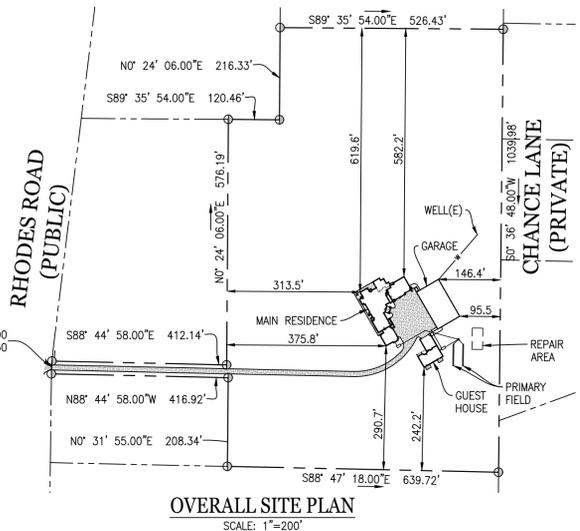
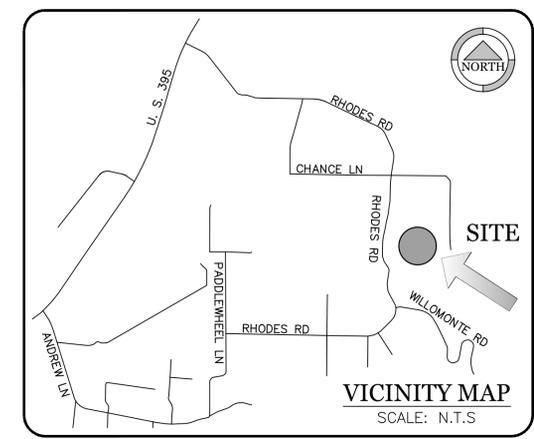
- REQUIRED DEFENSIBLE SPACES SHALL BE 30' FOR MODERATE HAZARD RATINGS OR AS MODIFIED BY THE FIRE MARSHALL.
- DEFENSIBLE SPACE SHALL BE MAINTAINED TO THE REQUIRED DISTANCE OR TO THE PROPERTY LINE, WHICHEVER IS LESS MEASURED ON A HORIZONTAL PLANE FROM THE PERIMETER OR PROJECTION OF THE BUILDING OR STRUCTURE.
- CULTIVATED GROUND COVER SUCH AS GRASS, IVY, SUCCULENTS OR SIMILAR PLANTS USED AS GROUND COVER ARE ALLOWED WITHIN THE DEFENSIBLE SPACE PROVIDED THEY DO NOT FORM A MEANS OF TRANSMITTING FIRE FROM THE NATIVE GROWTH TO ANY STRUCTURE.
- THE OWNER SHALL BE RESPONSIBLE FOR MAINTAINING THE DEFENSIBLE SPACE WHICH SHALL INCLUDE MODIFYING OR REMOVING NON FIRE-RESISTIVE VEGETATION AND KEEPING LEAVES, NEEDLES AND OTHER DEAD VEGETATIVE MATERIAL REGULARLY REMOVED FROM ROOFS OF BUILDINGS & STRUCTURES.
- TREE CROWNS SHALL BE PRUNED IN ORDER TO MAINTAIN 10' CLEARANCE FROM ANY STRUCTURE AND TO MAINTAIN A 6" VERTICAL CLEARANCE BETWEEN THE GROUND AND LIMBS WITHIN THE DEFENSIBLE SPACE. DEADWOOD & LITTER SHALL BE REGULARLY REMOVED FROM TREES.
- SPARK ARRESTORS SHALL BE INSTALLED ON CHIMNEYS SERVICING FIREPLACES, BARBECUES, INCINERATORS OR DECORATIVE HEATING APPLIANCES IN WHICH SOLID OR LIQUID FUEL IS USED.
- FIREWOOD AND OTHER COMBUSTIBLE MATERIALS SHALL NOT BE STORED IN UNENCLOSED SPACES BENEATH BUILDINGS OR STRUCTURES, ON DECKS OR UNDER EAVES, CANOPIES OR OTHER PROJECTIONS/OVERHANGS. WHEN FIREWOOD OR OTHER COMBUSTIBLE MATERIALS SHALL BE STORED A MINIMUM OF 20' FROM STRUCTURES AND SEPARATED FROM THE CROWN OF TREES BY A MINIMUM HORIZONTAL DISTANCE OF 15'.
- TREE SPACING GUIDELINES: SLOPES 0%-20%: 10'; SLOPES 20%-40%: 20'; SLOPES GREATER THAN 40%: 30'
- SHRUB SPACING GUIDELINES: SLOPES 0%-20%: 2 TIMES THE HEIGHT OF THE SHRUB; SLOPES 20%-40%: 4 TIMES THE HEIGHT OF THE SHRUB; SLOPES GREATER THAN 40%: 6 TIMES THE HEIGHT OF THE SHRUB)
- VERTICAL SPACE BETWEEN THE TOP OF A SHRUB AND THE BOTTOM OF LOWER TREE BRANCHES IS RECOMMENDED TO BE 3 TIMES THE HEIGHT OF THE SHRUB.

EARTHWORK ANALYSIS	
SITE AREA	15 AC
SITE DISTURBANCE	2.3 AC
PROPOSED CUT	2,100 YD ³
PROPOSED FILL	2,100 YD ³
NET EARTHWORK	BALANCED

THESE QUANTITIES ARE FOR PERMITTING PURPOSES ONLY AND DO NOT ACCOUNT FOR ANY OVER EXCAVATION, SHRINKAGE OR EXPANSION OF MATERIALS. THE CONTRACTOR SHALL REVIEW THE GEOTECHNICAL INVESTIGATION AND PERFORM AN INDEPENDENT EARTHWORK ANALYSIS FOR CONSTRUCTION PURPOSES.

SITE INFORMATION	
ADDRESS	2150 RHODES RD
APN	017-390-22
LOT SIZE	653,400 S.F.
ZONING	MOR 33%/LDS 65%/GR 2%
WUI FIRE RISK RATING	MODERATE
SETBACKS (F/R/S)	LDS 30/30/12 (FT)

OWNER INFORMATION
 KURTZ TRUST, CHRIS & FREDA
 PO BOX 19434
 RENO, NV 89511

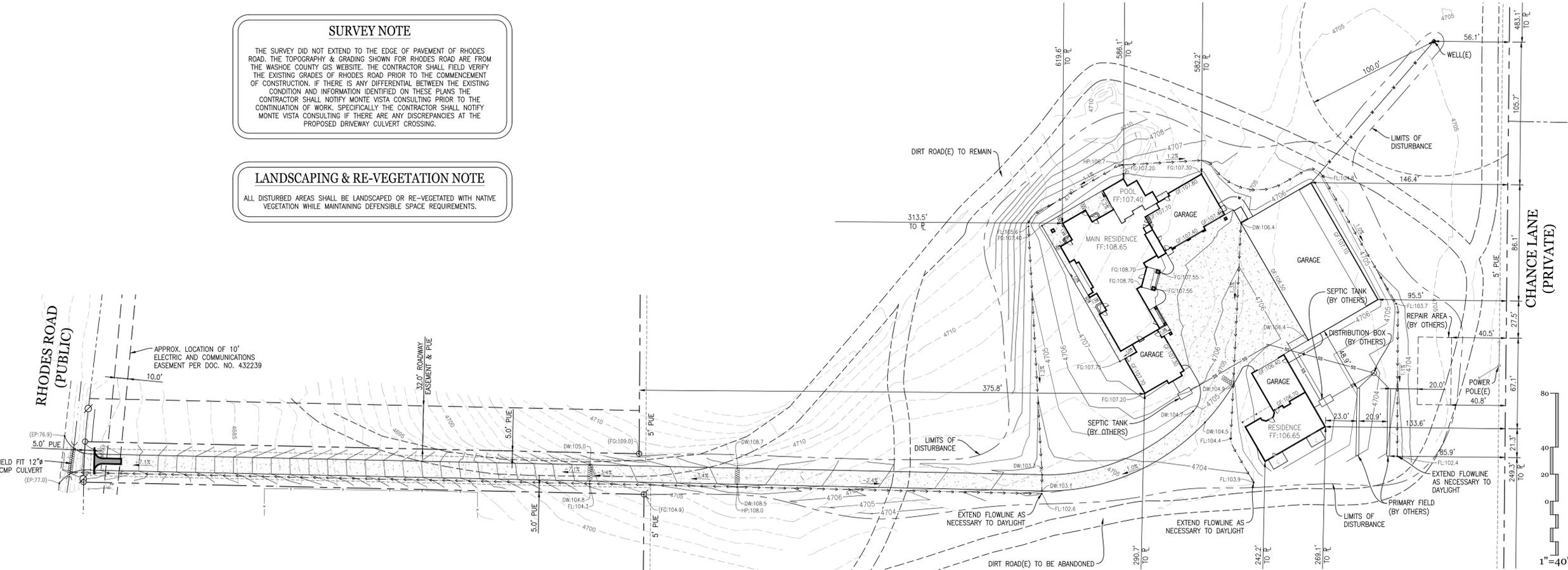


SURVEY NOTE

THE SURVEY DID NOT EXTEND TO THE EDGE OF PAVEMENT OF RHODES ROAD. THE TOPOGRAPHY & GRADING SHOWN FOR RHODES ROAD ARE FROM THE WASHOE COUNTY GIS WEBSITE. THE CONTRACTOR SHALL FIELD VERIFY THE EXISTING GRADES OF RHODES ROAD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. IF THERE IS ANY DIFFERENTIAL BETWEEN THE EXISTING CONDITION AND INFORMATION IDENTIFIED ON THESE PLANS THE CONTRACTOR SHALL NOTIFY MONTE VISTA CONSULTING PRIOR TO THE CONTINUATION OF WORK. SPECIFICALLY THE CONTRACTOR SHALL NOTIFY MONTE VISTA CONSULTING IF THERE ARE ANY DISCREPANCIES AT THE PROPOSED DRIVEWAY CULVERT CROSSING.

LANDSCAPING & RE-VEGETATION NOTE

ALL DISTURBED AREAS SHALL BE LANDSCAPED OR RE-VEGETATED WITH NATIVE VEGETATION WHILE MAINTAINING DEFENSIBLE SPACE REQUIREMENTS.




Kurtz Residence

Site Plan

2150 Rhodes Rd
 APN: 017-390-22
 Washoe County, Nevada

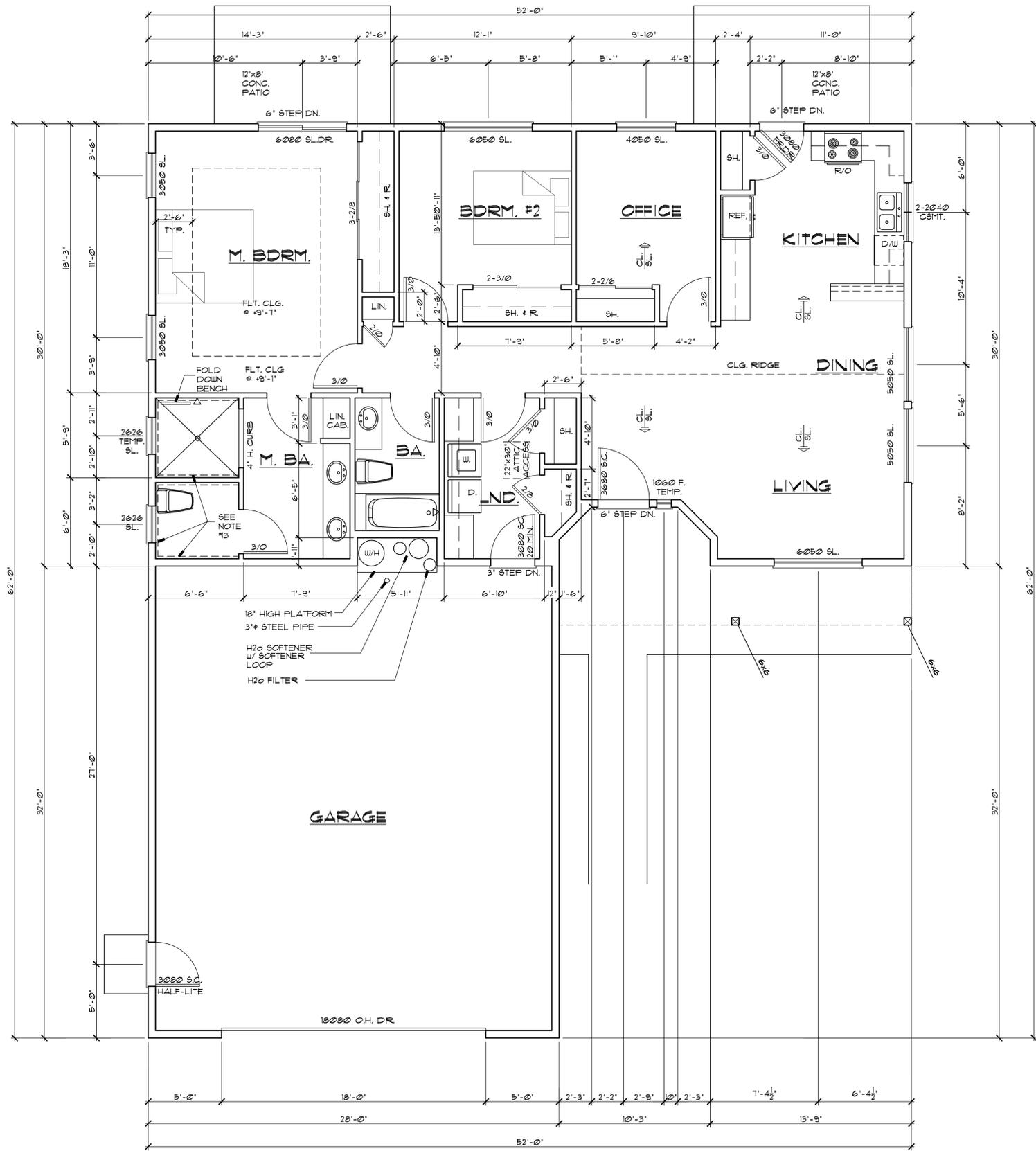
Project # 20.032
 Drawn HBA
 Checked MWV
 Date 6.8.2021
 Revisions

FOR PRELIMINARY ENTITLEMENTS ONLY
 NOT FOR CONSTRUCTION

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 Know what's below.
 Call before you dig.

C1.0

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FLOOR PLAN NOTES:

1. EXTERIOR WALLS SHALL BE 2X6 STUDS @ 16" O.C. w/ 1/2" CDX PLYWOOD (OR EQUAL) SHEATHING (1/4" GAP @ ALL EDGES). VAPOR BARRIER 4 R-21 INSULATION TYP. INT. NON-BEARING WALLS SHALL BE 2X4 @ 16" O.C. UNO. PROVIDE FOAM SILL SEAL @ ALL EXTERIOR WALLS.
2. 5/8" G.W.B. @ WALLS 4 5/8" G.W.B. CEILING'S TYP. USE 5/8" FIRE-X IN GARAGE 4 TILE BACKER BD. IN WATER AREAS. ALL DRYWALL CORNERS SHALL BE BULLNOSED.
3. SEE FOUNDATION PLAN FOR ADDITIONAL DIMENSIONS.
4. TYPICAL PLATE HEIGHT IS 9'-1" AFF. (UNO); WINDOW HEADER HEIGHT IS 9'-0" AFF. (UNO); INTERIOR DOOR HEIGHT IS 8'-0" AFF. (UNO).
5. ALL CEILING FRAMING SHALL BE @ 24" O.C. AS FOLLOWS:
 2X4'S MAX. SPAN 9'-0"
 2X6'S MAX. SPAN 14'-0"
 2X8'S MAX. SPAN 18'-6"
6. WHERE POSSIBLE VENT PLUMBING 4 FLUES TO REAR OF HOUSE.
7. SEE EXTERIOR ELEVATIONS FOR SPECIALTY WINDOWS ALL FIXED.
8. PROVIDE SILL PANS @ ALL EXTERIOR DOORS 4 WINDOWS.
9. PROVIDE CIRCULATION PUMP FOR HOT WATER SYSTEM 4 INSULATE ALL PIPES (MIN. R-3). SEE SCHEMATIC ON ME-1.
10. INSULATE INTERIOR WALLS @ BATHROOM 4 LAUNDRY, USE R-11.
11. PROVIDE FIRE BLOCKING @ MAX. 10'-0" O.C. HORIZ. AT ANY WALL(S) THAT EXCEED 10'-0" IN HEIGHT.
12. PROVIDE CONT. CEILING INSULATION (R-49) @ ATTIC ACCESS DOORS. PROVIDE WEATHER STRIPPING @ ALL ACCESS DOORS.
13. PROVIDE 3/4" CDX PLYWOOD, FLOOR TO CEILING @ MASTER BATHROOM SHOWER 4 TOILET COMPARTMENTS.

FLOOR PLAN
 SCALE 1/4" = 1'-0"
 LIVING AREA APPROX. 1,491 SQ.FT.
 GARAGE AREA APPROX. 922 SQ.FT.

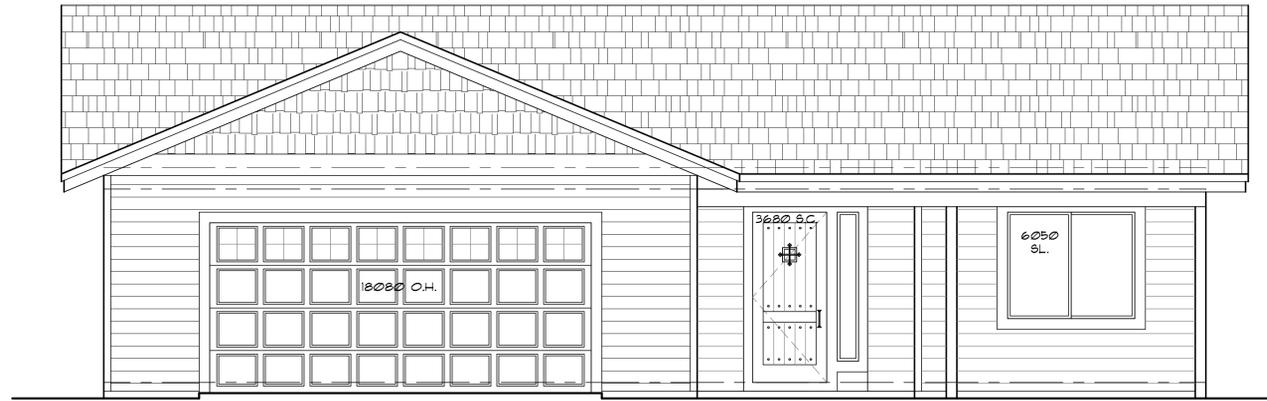
DATE:	5-21-2020
REVISIONS	

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 RENO, NEVADA 89502
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 (775)322-6288
 www.GKArchitects.com
 GKArch@gmail.com

GUEST HOUSE
 FOR: CHRIS 4 FREDA KURTZ
 2150 RHODES ROAD
 WASHOE COUNTY, NEVADA

FILE NO.	2021
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NORTHWEST ELEVATION
SCALE 1/4" = 1'-0"

- ELEVATION NOTES & EXTERIOR COLORS**
- ① COMPOSITION SHINGLES w/ CONT. RIDGE VENT:
COLOR:
 - ② SIDING & TRIM:
'HARDIE BD.' LAP
COLOR:
 - ③ GABLE END SHAKE:
'HARDIE BD.' CEDAR SHAKE
COLOR:
 - ④ 'HARDIE BD.' FASCIA, POSTS & BEAMS:
'ICI DELUX' FLAT ACRYLIC PAINT
COLOR:
 - ⑤ ENTRY DOOR:
STEEL RAISED PANEL
COLOR: NATURAL WOOD TONE
 - ⑥ WINDOWS:
'ANDERSEN' 100 SERIES
MIN. U-FACTOR 0.29
COLOR:
 - ⑦ O.H. GARAGE DOORS:
INSUL. STEEL RAISED PANEL
COLOR: PAINT TO MATCH SIDING
 - ⑧ GARAGE MAN DOOR:
2 PANEL-HALF LITE INSULATED STEEL
COLOR: PAINT TO MATCH SIDING
 - ⑨ VENTS, FLASHING & FLUES:
COLOR: PAINT TO MATCH ROOF



SOUTHWEST ELEVATION
SCALE 1/4" = 1'-0"

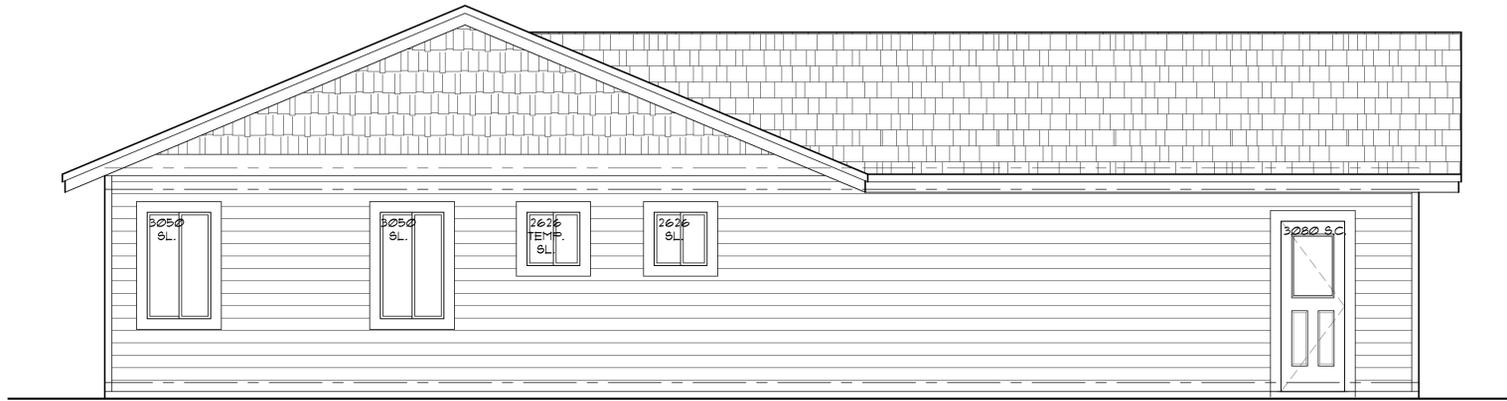
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George K. Tombridge
 ARCHITECT

GUEST HOUSE
 FOR: CHRIS & FREDA KURTZ
 2150 RHODES ROAD
 WASHOE COUNTY, NEVADA

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NORTHEAST ELEVATION

SCALE 1/4" = 1'-0"



SOUTHEAST ELEVATION

SCALE 1/4" = 1'-0"

ELEVATION NOTES & EXTERIOR COLORS

- 1 COMPOSITION SHINGLES w/ CONT. RIDGE VENT:
COLOR:
- 2 SIDING & TRIM:
'HARDIE BD.' LAP
COLOR:
- 3 GABLE END SHAKE:
'HARDIE BD.' CEDAR SHAKE
COLOR:
- 4 'HARDIE BD.' FASCIA, POSTS & BEAMS:
'ICI DELUX' FLAT ACRYLIC PAINT
COLOR:
- 5 ENTRY DOOR:
STEEL RAISED PANEL
COLOR: NATURAL WOOD TONE
- 6 WINDOWS:
'ANDERSEN' 100 SERIES
MIN. U-FACTOR 0.29
COLOR:
- 7 OH. GARAGE DOORS:
INSUL. STEEL RAISED PANEL
COLOR: PAINT TO MATCH SIDING
- 8 GARAGE MAN DOOR:
2 PANEL-HALF LITE INSULATED STEEL
COLOR: PAINT TO MATCH SIDING
- 9 VENTS, FLASHING & FLUES:
COLOR: PAINT TO MATCH ROOF

DATE:
5-21-2020
REVISIONS

George K. Tombridge
 ARCHITECT

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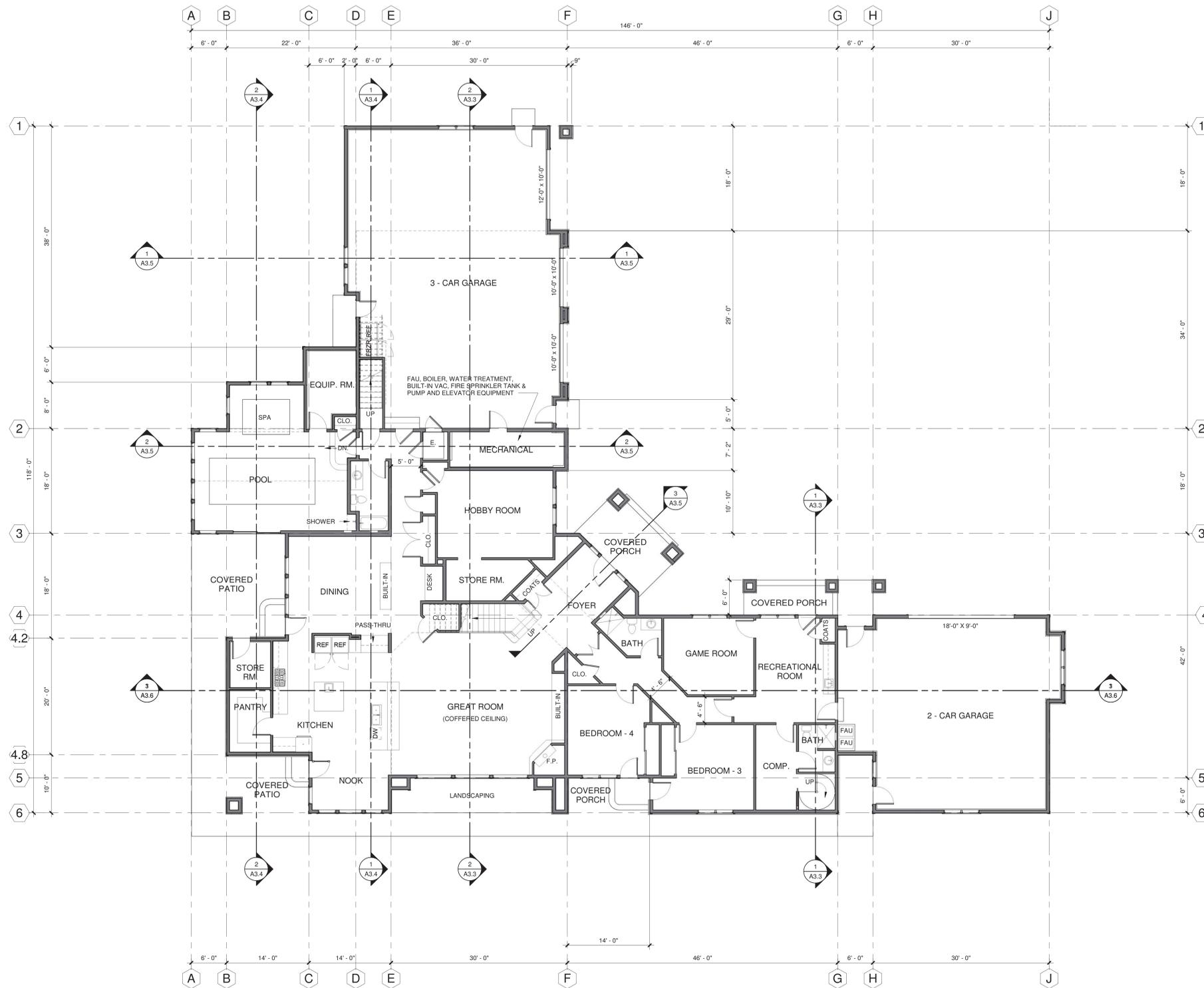
GUEST HOUSE
 FOR: CHRIS & FREDA KURTZ
 2150 RHODES ROAD
 WASHOE COUNTY, NEVADA

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2021
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MAIN LEVEL FLOOR PLAN

SCALE: 1/8" = 1'-0"



REVISIONS

No.	Description	Date

ISSUE DATE

Description / Date

Project No. 11420

Drawn by IRT

Checked by MF/CW

TITLE
MAIN LEVEL FLOOR PLAN



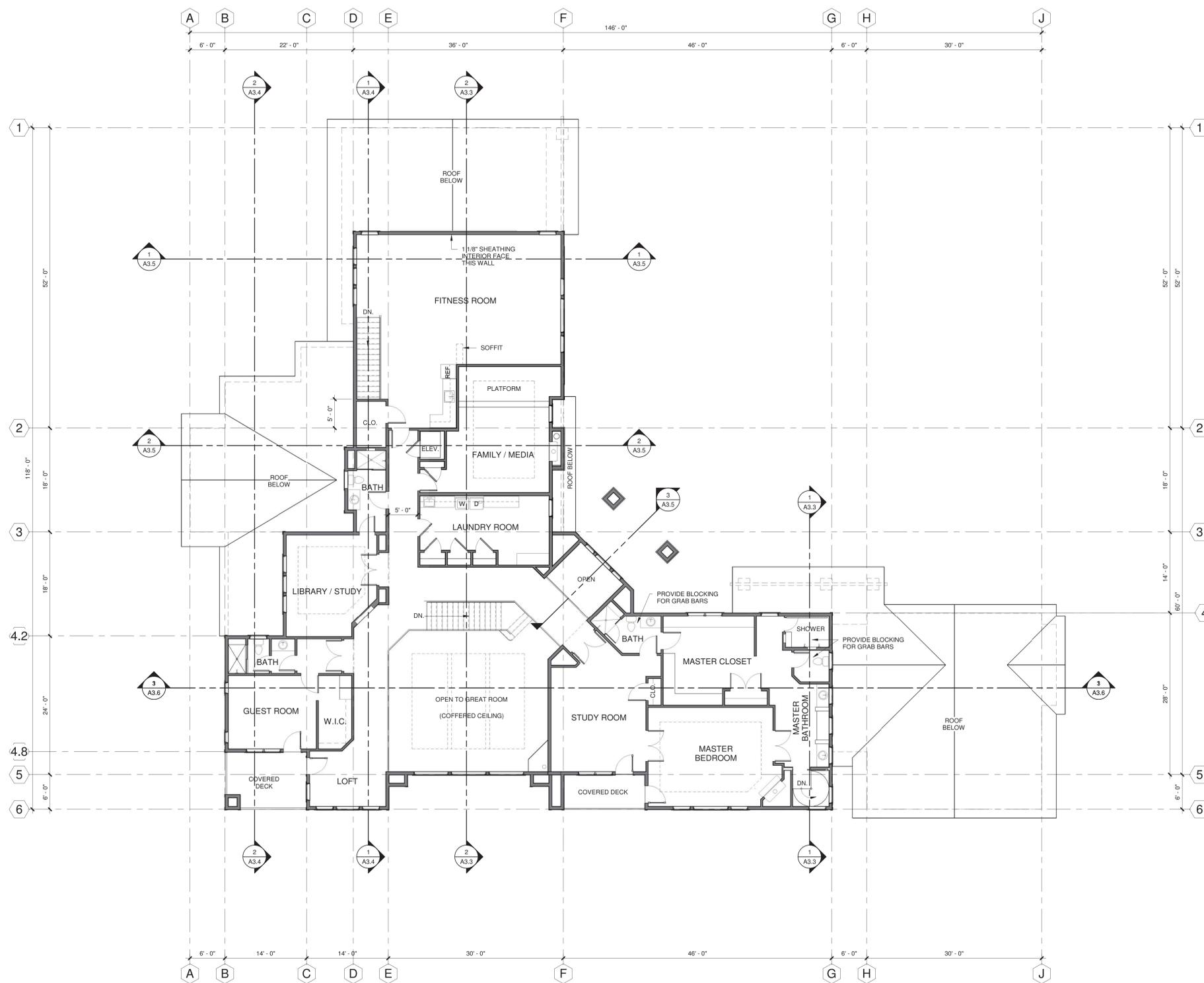
CWX ARCHITECTS INC.
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Reno, Nevada
(775) 829-7747
www.cwxarchitects.com

KURTZ RESIDENCE

WASHOE COUNTY, RENO, NEVADA

2150 RHODES ROAD

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UPPER LEVEL FLOOR PLAN

SCALE: 1/8" = 1'-0"



REVISIONS	

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Description / Date	

Project No. 11420
Drawn by IRT
Checked by MF/CW

TITLE
UPPER LEVEL FLOOR PLAN

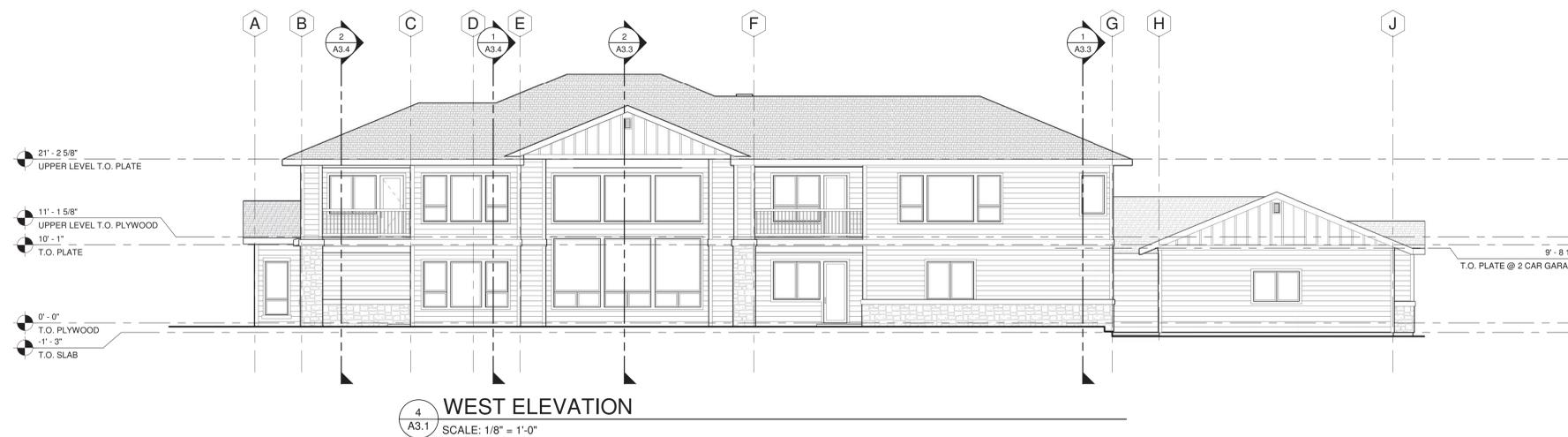
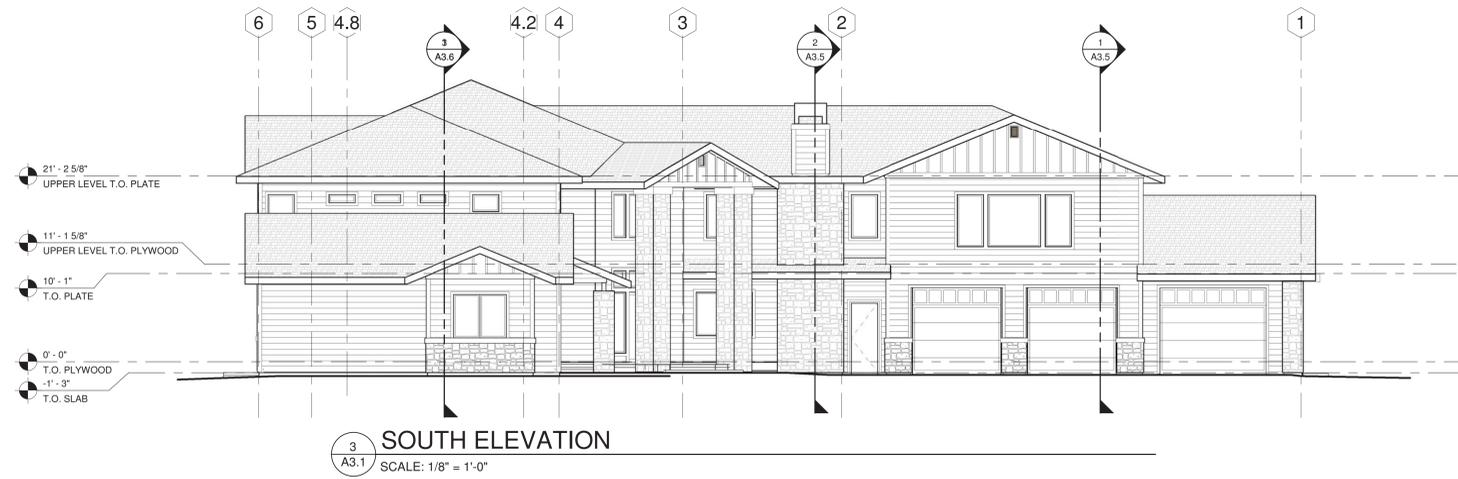
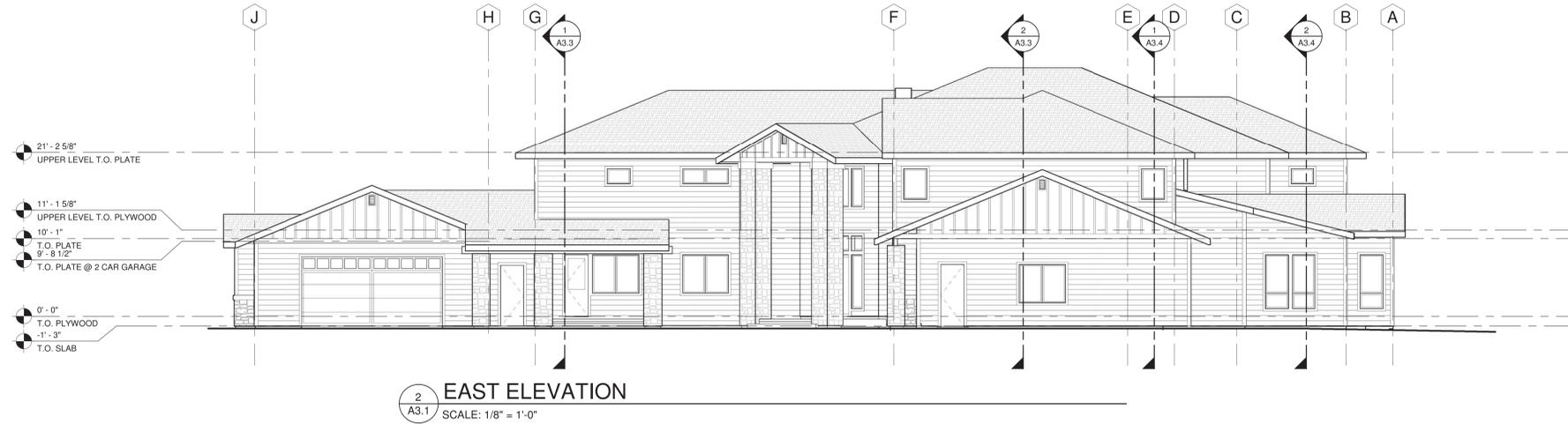
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2150 RHODES ROAD

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REVISIONS

No.	Description	Date

ISSUE DATE

Description / Date

Project No. 11420

Drawn by IRT

Checked by CW

TITLE
EXTERIOR ELEVATIONS

SHEET

A3.1

Additional Information

Washoe Co
P.O. Box 30
ph: (775) 32
Email: tax@

Washoe County Treasurer
Tammi Davis

Bill Detail

Back to Account Detail

Change of Address

Print this Page

Washoe County Parcel Information

Parcel ID	Status	Last Update
01739022	Active	6/1/2021 1:37:19 AM
Current Owner: KURTZ TRUST, CHRIS & FRED PO BOX 19434 RENO, NV 89511		SITUS: 2150 RHODES RD WASHOE COUNTY NV
Taxing District 4000	Geo CD:	
Legal Description		
Lot 4 Block Range 20 SubdivisionName _UNSPECIFIED Township 17 Section 3		

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**WASHOE
TREASUR**

Mailing A
P.O. Box 3
Reno, NV :

Overnigh
1001 E. Ni
D140
Reno, NV :

Installments

Period	Due Date	Tax Year	Tax	Penalty/Fee	Interest	Total Due
INST 1	8/17/2020	2020	\$0.00	\$0.00	\$0.00	\$0.00
INST 2	10/5/2020	2020	\$0.00	\$0.00	\$0.00	\$0.00
INST 3	1/4/2021	2020	\$0.00	\$0.00	\$0.00	\$0.00
INST 4	3/1/2021	2020	\$0.00	\$0.00	\$0.00	\$0.00
Total Due:			\$0.00	\$0.00	\$0.00	\$0.00

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Address of
may also b
(775) 328

Address of
may also b
Washoe Co
1001 E 9th
Reno, NV

Tax Detail

	Gross Tax	Credit	Net Tax
State of Nevada	\$124.95	(\$15.28)	\$109.67
Truckee Meadows Fire Dist	\$396.90	(\$48.54)	\$348.36
Washoe County	\$1,022.91	(\$125.11)	\$897.80
Washoe County Sc	\$836.80	(\$102.34)	\$734.46
PLEASANT VALLEY WATER BASIN	\$0.86	\$0.00	\$0.86
Total Tax	\$2,382.42	(\$291.27)	\$2,091.15

Payment History

Tax Year	Bill Number	Receipt Number	Amount Paid	Last Paid
2020	2020540333	B20.5661	\$2,091.15	7/24/2020

Washoe Co
 P.O. Box 30
 ph: (775) 32
 Email: tax@

Washoe County Treasurer
 Tammi Davis

Bill Detail

Back to Account Detail

Change of Address

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Pay By Ch

Please ma
 payable to
**WASHOE
 TREASUR**

Mailing A
 P.O. Box 3
 Reno, NV :

Overnight
 1001 E. Ni
 D140
 Reno, NV :

Change o

All request
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 including a
 (unless us
 form).

To submit
 change on

Address of
 may also b
 (775) 328

Address of
 may also b
 Washoe Co
 1001 E 9th
 Reno, NV

Washoe County Parcel Information

Parcel ID	Status	Last Update
01739022	Active	6/2/2021 1:37:18 AM
Current Owner: KURTZ TRUST, CHRIS & FRED PO BOX 19434 RENO, NV 89511		SITUS: 2150 RHODES RD WASHOE COUNTY NV
Taxing District 4000	Geo CD:	
Legal Description		
Lot 4 Block Range 20 SubdivisionName _UNSPECIFIED Township 17 Section 3		

Installments

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INST 2	10/5/2020	2020	\$0.00	\$0.00	\$0.00	\$0.00
INST 3	1/4/2021	2020	\$0.00	\$0.00	\$0.00	\$0.00
INST 4	3/1/2021	2020	\$0.00	\$0.00	\$0.00	\$0.00
Total Due:			\$0.00	\$0.00	\$0.00	\$0.00

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Payment History

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2020	2020540333	B20.5661	\$2,091.15	7/24/2020



Photo 1: Looking east the driveway access to the site from Rhodes Road.



Photo 2: North of the site looking south.



Photo 3: East of the site looking west.



Photo 4: South of site looking north.



Photo 5: West of the site looking east.