

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: <i>Manufactured House Add - 42 Bellevue Rd - Jepsen</i>			
Project Description: <i>(Approved for previous owner 2017)</i>			
Project Address: <i>42 Bellevue Rd. Washoe Valley NV 89704</i>			
Project Area (acres or square feet): <i>5 acres</i>			
Project Location (with point of reference to major cross streets AND area locator):			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
<i>055-168-10</i>	<i>5</i>		
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: <i>Greg and Livia Jepsen et al</i>		Name: <i>K2 Engineering</i>	
Address: <i>42 Bellevue Rd Washoe Valley NV Zip: 89704</i>		Address: <i>8601 Macstro Dr #A Reno NV Zip: 89511</i>	
Phone: <i>775-745-4896</i> Fax:		Phone: <i>775-355-0505</i> Fax: <i>775-355-0560</i>	
Email: <i>flyhigh203@msn.com</i>		Email: <i>info@k2eng.net</i>	
Cell: <i>775-745-4896</i> Other:		Cell: Other:	
Contact Person: <i>Greg Jepsen</i>		Contact Person: <i>Brandt Kennedy</i>	
Applicant/Developer:		Other Persons to be Contacted:	
Name: <i>same as owner</i>		Name: <i>none</i>	
Address:		Address:	
Zip:		Zip:	
Phone:		Phone:	
Fax:		Fax:	
Email:		Email:	
Cell:		Cell:	
Other:		Other:	
Contact Person:		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

**Administrative Review Permit Application
for a Detached Accessory Dwelling
Supplemental Information**

(All required information may be separately attached)

1. What is the size (square footage) of the main dwelling or proposed main dwelling (exclude size of garage)?

3370

2. What is the size of the proposed detached accessory dwelling (exclude size of garage)? If a manufactured or modular home is the secondary dwelling, list the age and size of the unit.

1200

3. How are you planning to integrate the main dwelling and secondary dwelling to provide architectural compatibility of the two structures?

paint same color

5. How many off-street parking spaces are available? Parking spaces must be shown on site plan. Are any new roadway, driveway, or access improvements be required?

No

6. What will you do to minimize any potential negative impacts (e.g. increased lighting, removal of existing vegetation, etc.) your project may have on adjacent properties?

No impact

7. Is the subject property part of an active Home Owners Association (HOA) or Architectural Control Committee?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please list the HOA name.
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8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit a detached accessory dwelling on your property?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please attach a copy.
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9. Only one accessory dwelling unit, whether attached or detached, is allowed per parcel. Is there a guest apartment, mother-in-law unit, next-gen addition with kitchen or any other type of secondary dwelling on the subject property?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please provide information on the secondary unit.
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10. List who the service providers are for the main dwelling and accessory dwelling:

	Main Dwelling	Accessory Dwelling
Sewer Service	septic	septic
Electrical Service	NV Energy	NV Energy
Solid Waste Disposal Service	Waste Management	Waste Management
Water Service	well (private)	well (private)

Property Owner Affidavit

Applicant Name: LIVIA JEPSEN

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
COUNTY OF WASHOE)
Carson City

I, LIVIA JEPSEN
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 05516810

Printed Name LIVIA JEPSEN

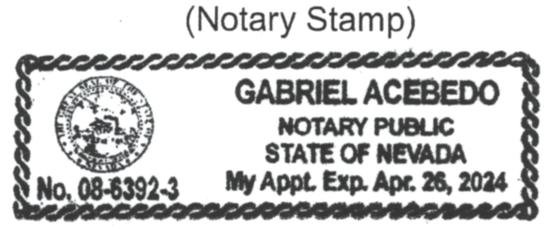
Signed [Signature]

Address 42 Bellevue Rd
WASHOE VALLEY NV 89704

Subscribed and sworn to before me this 5 day of November, 2020

[Signature]
Notary Public in and for said county and state

My commission expires: April 26, 2024



- *Owner refers to the following: (Please mark appropriate box.)
- Owner
 - Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
 - Power of Attorney (Provide copy of Power of Attorney.)
 - Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
 - Property Agent (Provide copy of record document indicating authority to sign.)
 - Letter from Government Agency with Stewardship

Property Owner Affidavit

Applicant Name: Greg Jepsen

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
COUNTY OF WASHOE)

I, Greg Jepsen
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 05516810

Printed Name Greg Jepsen

Signed [Signature]

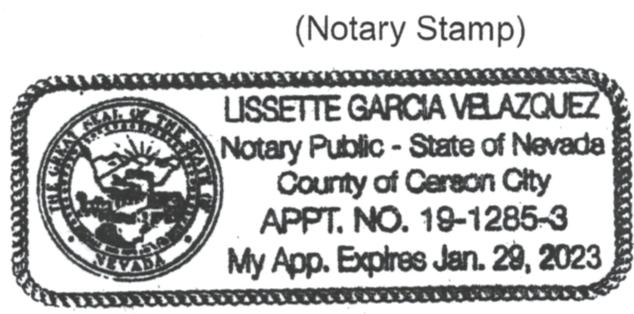
Address 42 Bellevue Rd

WASHOE VALLEY NV 89704

State of Nevada
Carson City
Subscribed and sworn to before me this
3rd day of November, 2020.

[Signature]
Notary Public in and for said county and state

My commission expires: January 29, 2023



*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

Property Owner Affidavit

Applicant Name: JOAN VIRDEN

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
COUNTY OF WASHOE)

I, JOAN VIRDEN
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 05516810

Printed Name Joan Virden

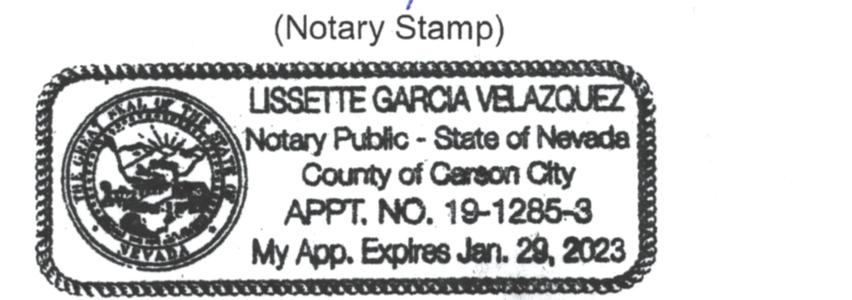
Signed [Signature]

Address 42 Bellevue Rd
Washoe Valley, NV 89704

State of Nevada
Carson City
Subscribed and sworn to before me this
3rd day of November, 2020.

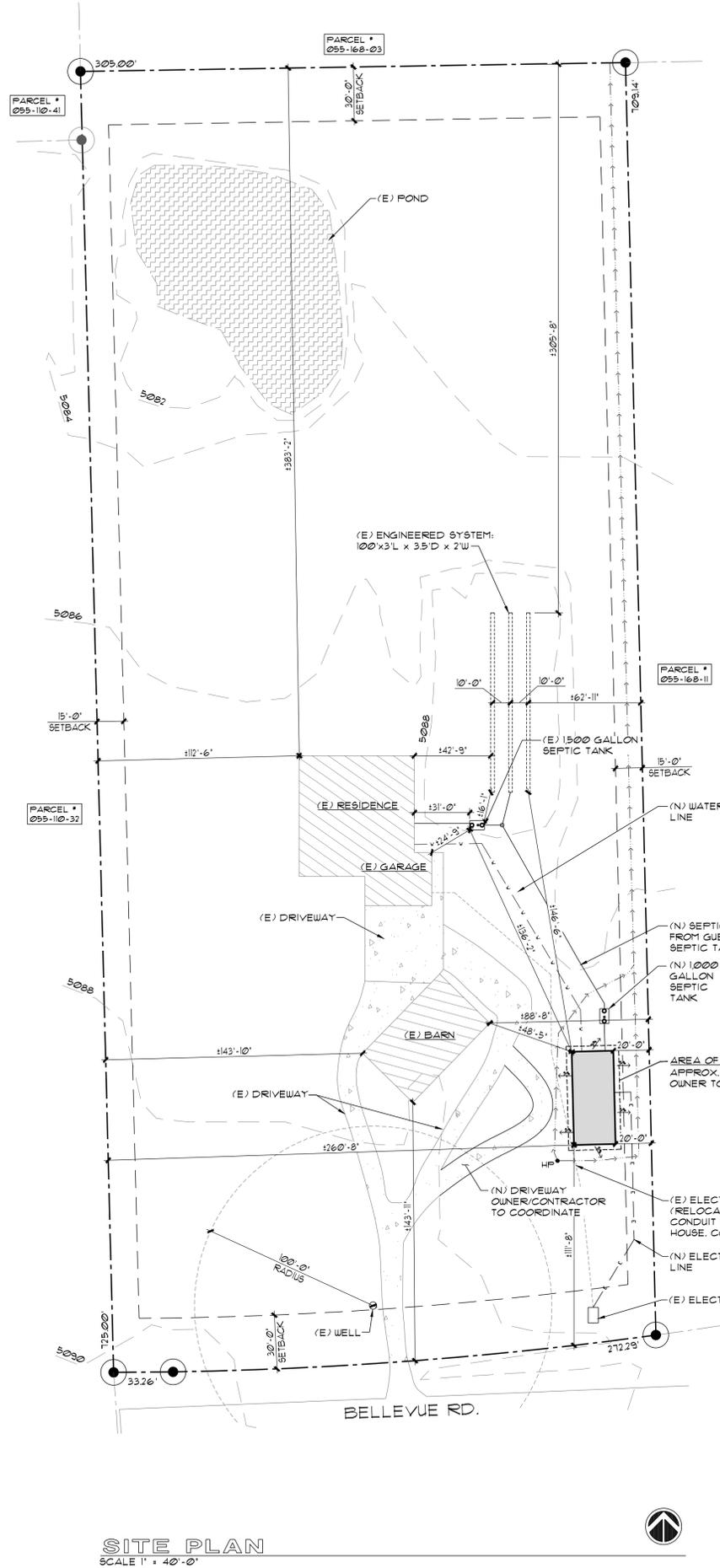
[Signature]
Notary Public in and for said county and state

My commission expires: January 29, 2023

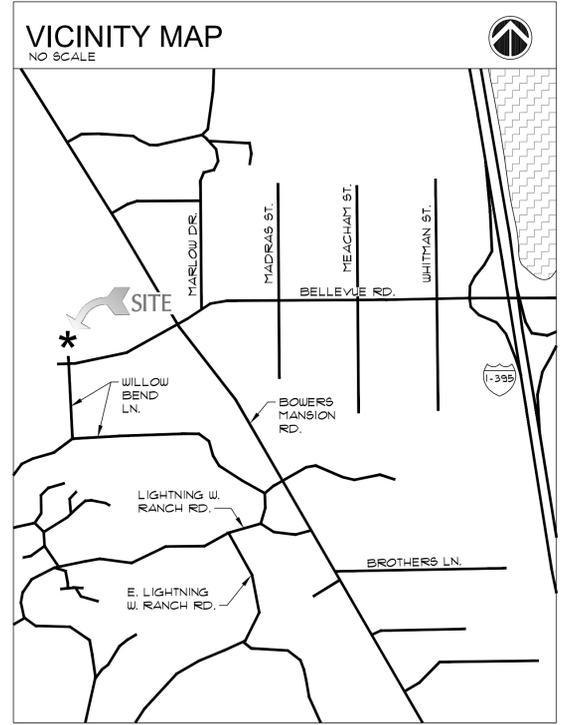


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SITE PLAN
SCALE 1" = 40'-0"



VICINITY MAP
NO SCALE

GENERAL SITE NOTES

- ALL WORK MUST CONFORM W/ LOCAL BUILDING CODES, CITY, COUNTY AND STATE ORDINANCES, SUBDIVISION REGULATIONS AND THE INTERNATIONAL BUILDING CODE, INTERNATIONAL RESIDENTIAL CODE, UNIFORM MECHANICAL CODE, UNIFORM PLUMBING CODE, INTERNATIONAL ENERGY CONSERVATION CODE (2018 EDITIONS) AND THE 2017 NATIONAL ELECTRICAL CODE.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING AND PROPOSED GRADES, UTILITIES, AND DIMENSIONS PRIOR TO THE START OF CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING AND COORDINATING ALL SERVICE REQUIREMENTS WITH THE APPROPRIATE PUBLIC AGENCY OR UTILITY PROVIDER. CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REQUIREMENTS.
- PLACEMENT OF STRUCTURE WITHIN SETBACKS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. NOTIFY OWNER OF ANY DISCREPANCIES.
- CONC. FLATWORK TO BE FINISHED PER OWNERS REQUIREMENTS.
- SLOPE LAWN AREAS FOR DRAINAGE MIN. 1/4" PER 1'-0".
- MAINTAIN EXISTING DRAINAGE WITH 5% (2% MIN.) SLOPE AWAY FROM PROPOSED STRUCTURE FOR A MINIMUM OF 10' AND DRAINAGE SWALE 2'-6" MIN. IN FROM PROPERTY LINES AS REQUIRED TO PREVENT DRAINAGE ONTO ADJACENT PRIVATE PROPERTY. MINIMUM SLOPE OF DRAINAGE SWALE SHALL BE 1%.
- THIS SITE IS LOCATED IN FEMA FLOOD ZONE X WHICH IS DETERMINED TO BE OUTSIDE OF THE 100-YEAR FLOOD PLAIN BOUNDARY OF THE 100-YEAR FLOOD PLAN IS NOT WITHIN 100 FEET OF PROPERTY.
- THIS SITE IS SERVICED BY SEPTIC AND ON-SITE WELL.
- THE DESIGN FOR THIS SITE HAS BEEN BASED ON THE BEST AVAILABLE INFORMATION. ALL ASSUMED EXISTING AND PROPOSED INFORMATION SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ALL PARTIES SHOULD ANTICIPATE THE POTENTIAL NEED FOR MODIFICATIONS TO THE INITIAL DESIGN IN ORDER TO ACCOMMODATE ACTUAL FIELD CONDITIONS. ALL DISCREPANCIES DISCOVERED IN THE FIELD SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.
- NEITHER A TOPOGRAPHICAL OR BOUNDARY SURVEY WAS PERFORMED FOR THIS SITE. THE TOPOGRAPHY SHOWN IS FROM THE WASHOE COUNTY GIS WEBSITE AND THE BOUNDARY SHOWN IS BASED ON RECORD INFORMATION. IT IS RECOMMENDED THAT PRIOR TO CONSTRUCTION A FULL SURVEY IS PERFORMED IN ORDER TO ACCURATELY PLACE THE IMPROVEMENTS.
- SHOULD ANY PREHISTORIC OR HISTORIC REMAINS/ARTIFACTS BE DISCOVERED DURING SITE DEVELOPMENT WORK SHALL TEMPORARILY BE HALTED AT THE SPECIFIC SITE AND THE STATE HISTORIC PRESERVATION OFFICE OF THE DEPARTMENT OF MUSEUMS, LIBRARY AND ARTS, SHALL BE NOTIFIED TO RECORD AND PHOTOGRAPH THE SITE. THE PERIOD OF TEMPORARY DELAY SHALL BE LIMITED TO A MAXIMUM OF TWO (2) WORKING DAYS FROM THE DATE OF NOTIFICATION.
- THERE ARE NO WATERCOURSES WITHIN 100' OF PROPERTY.

PROJECT INFORMATION

ADDRESS APN
42 BELLEVUE ROAD 055-168-10
WASHOE VALLEY, NV 89704

DRAWING INDEX

- ARCHITECTURAL**
A-1 SITE PLAN
- STRUCTURAL**
S-1 FOUNDATION PLAN
SD-1 STRUCTURAL NOTES, SCHEDULES AND DETAILS

SCOPE OF WORK

A NEW FOUNDATION PLAN FOR A PRE-MANUFACTURED #1213 SF HOME PROJECT TO INCLUDE CONCRETE STEINWALL AND FOOTING.

DIRECTORY

ENGINEER	OWNER
BRANDT KENNEDY PE K2 ENGINEERING 860 MAESTRO DR., STE. A RENO, NV 89511 P: (775) 355-0505 F: (775) 355-0566 WWW.K2ENG.NET	GREG JEPSEN 42 BELLEVUE ROAD WASHOE VALLEY, NV 89704 TEL: (775) 425-4343

EARTHWORK ANALYSIS

SITE AREA	5.04 ACRES
SITE DISTURBANCE	0.025 ACRES
PROPOSED CUT	0.18 YD ³
PROPOSED FILL	5.70 YD ³
NET EARTHWORK	5.51 YD ³ CUT

- THESE QUANTITIES ARE FOR PERMITTING PURPOSES ONLY AND DO NOT ACCOUNT FOR ANY OVER EXCAVATION, SHRINKAGE OR EXPANSION OF MATERIALS. THE CONTRACTOR SHALL REVIEW THE GEOTECHNICAL INVESTIGATION IF AVAILABLE AND PERFORM AN INDEPENDENT EARTHWORK ANALYSIS FOR CONSTRUCTION PURPOSES.
- NET EARTHWORK TO BE DISPERSED EVENLY WITHIN THIS PROPERTY.
- RESEED DISTURBED AREAS WITH NATIVE SEED MIX AND/OR VEGETATION.



860 Maestro Dr., Ste. A
Reno, NV 89511
P: (775) 355-0505
F: (775) 355-0566
www.k2eng.net

Jepsen Foundation Plan
 Washoe County, NV 89704
 42 Bellevue Road
 A.P.N.: 055-168-10

Brandt T. Kennedy, P.E.
Jared A. Krupa, P.E.



Revisions

Date 12/16/2020
Drawn JK/TD
Checked BTK
Project No. 20-383

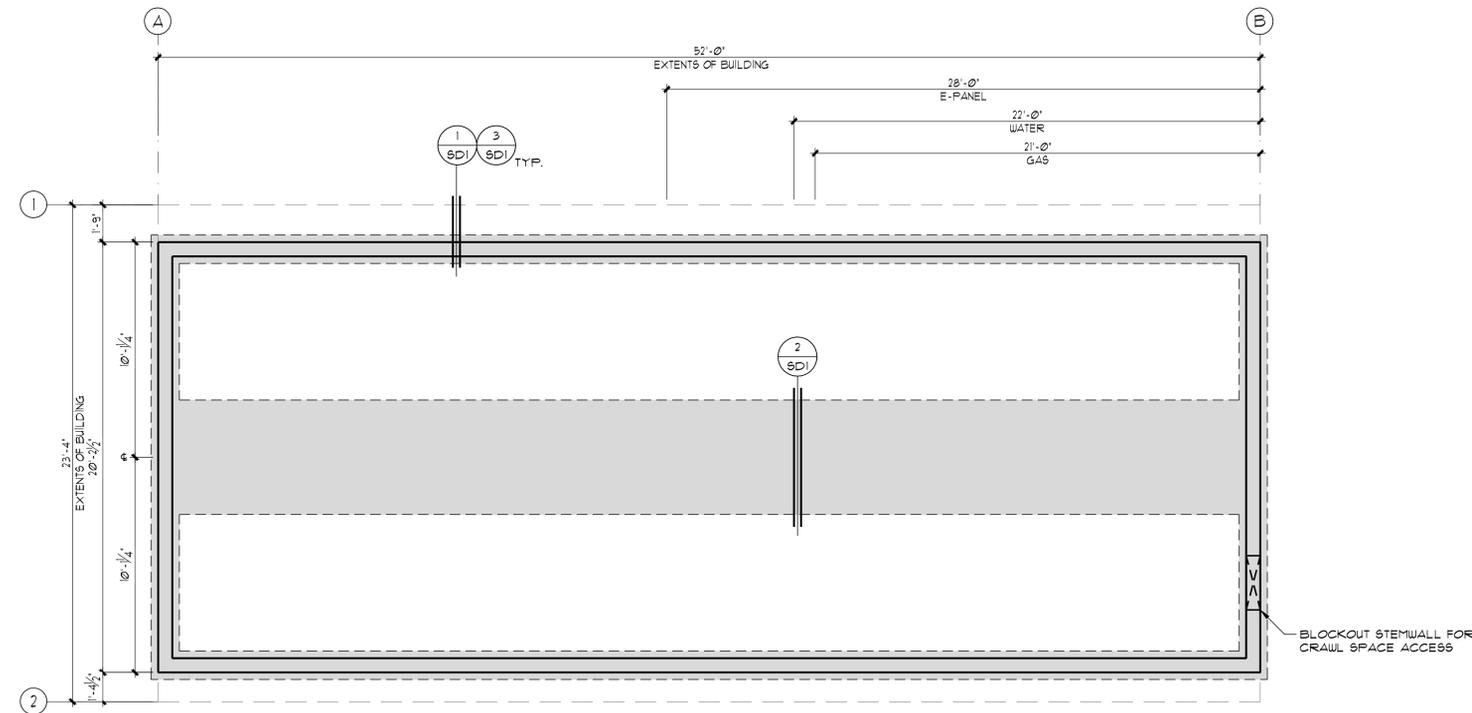
Site Plan

A-1

BUILDING DIMENSIONS SHOWN ARE FOR GENERAL REFERENCE ONLY. SEE THE BUILDING MANUFACTURER'S DRAWINGS FOR ACTUAL BUILDING DIMENSIONS. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ENGINEER SO CLARIFICATION CAN BE MADE. ALL DIMENSIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

CONTRACTOR RESPONSIBLE TO COORDINATE PRE-MANUFACTURED BUILDING FOUNDATION SHEET w/ K2 ENGINEERING PLANS

SEE SHEET SD-1 FOR ADDITIONAL NOTES AND SCHEDULES



FOUNDATION PLAN
SCALE 1" = 4'-0"



Jepsen Foundation Plan
42 Bellevue Road
A.P.N.: 055-168-10
Washoe County, NV
89704

Brandt T. Kennedy, P.E.
Jared A. Krupa, P.E.



Revisions

Date 12/16/2020
Drawn JK/TD
Checked BTK
Project No. 20-383

Foundation Plan

S-1

Project Structural Notes

K2 ENGINEERING ASSUMES THAT THE GENERAL CONTRACTOR AND ALL INVOLVED PARTIES HAVE READ AND UNDERSTAND NOTES LISTED IN PLANS.

GENERAL

- ALL WORK, DETAILS OF DESIGN, WORKMANSHIP, AND MATERIALS SHALL CONFORM TO REQUIREMENTS OF THE 2018 EDITION OF THE INTERNATIONAL BUILDING CODE (IBC) OF THE INTERNATIONAL CODE COUNCIL AND THE APPLICABLE COUNTY/CITY BUILDING CODES.
- K2 ENGINEERING EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO A THIRD PARTY WITHOUT THE EXPRESS WRITTEN CONSENT OF K2 ENGINEERING. IN THE EVENT OF UNAUTHORIZED REUSE OF THESE PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL HOLD K2 ENGINEERING HARMLESS.
- K2 ENGINEERING RESERVES THE RIGHT TO PERFORM OBSERVATION VISITS TO THE SITE AT ANY TIME. OBSERVATIONS ARE PERFORMED SOLELY FOR THE PURPOSE OF DETERMINING IF THE CONTRACTOR UNDERSTANDS DESIGN INTENT CONVEYED IN THE PLANS. OBSERVATIONS DO NOT GUARANTEE CONTRACTOR'S PERFORMANCE AND ARE NOT TO BE CONSTRUED AS SUPERVISION OF THE PROJECT.
- IN THE EVENT THAT CERTAIN EXISTING DIMENSIONS AND/OR CONDITIONS ARE FOUND TO BE DIFFERENT FROM THOSE SHOWN ON THE PLANS AND DETAILS, THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED SO THAT THE PROPER REVISIONS CAN BE MADE IF NECESSARY. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WHICH THE CONTRACTOR FAILED TO NOTIFY K2 ENGINEERING BEFORE CONSTRUCTION AND/OR FABRICATION OF THE WORK.
- K2 ENGINEERING IS RESPONSIBLE FOR THE STRUCTURAL ITEMS IN THE PLANS ONLY. SHOULD ANY CHANGES BE MADE, OR SHOULD THE RESULTS OF THESE CALCULATIONS NOT BE FULLY OR PROPERLY TRANSFERRED TO THE PLANS, K2 ENGINEERING ASSUMES NO RESPONSIBILITY FOR THE STRUCTURE.
- THE DETAILS SHOWN ON THE DRAWINGS ARE TYPICAL. SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS. NO DEVIATIONS FROM STRUCTURAL DETAILS SHALL BE MADE WITHOUT THE PRIOR WRITTEN APPROVAL OF K2 ENGINEERING.
- THE CALCULATIONS ARE BASED UPON A COMPLETE STRUCTURE. TEMPORARY SUPPORTS, ETC. ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND HAVE NOT BEEN CONSIDERED BY K2 ENGINEERING. SHOULD AN UNFINISHED STRUCTURE BE SUBJECT TO LOADS, K2 ENGINEERING SHOULD BE CONSULTED FOR AN INTERIM DESIGN OR IF NOT, WILL ASSUME NO LIABILITY.
- ALL NOTES ARE TYPICAL UNLESS NOTED OTHERWISE ON THE PLANS. ALL HARDWARE AND FRAMING MEMBERS SPECIFIED IN THE CALCULATIONS AND/OR PLANS ARE MINIMUMS AND LARGER MEMBERS OF EQUAL OR BETTER GRADE MAY BE SUBSTITUTED.

SITE WORK

- K2 ENGINEERING HAS NOT MADE A GEOTECHNICAL REVIEW OF THE BUILDING SITE AND IS NOT RESPONSIBLE FOR GENERAL SITE STABILITY OR SOIL SUITABILITY FOR THE PROPOSED PROJECT. K2 ENGINEERING RECOMMENDS A REVIEW OF THE SITE BY A GEOLOGICAL ENGINEER OR A QUALIFIED CIVIL ENGINEER TO DETERMINE GENERAL SITE STABILITY AND SOIL SUITABILITY FOR THE PROJECT.
- BUILDING SITES ARE ASSUMED TO BE DRAINED AND FREE OF CLAY OR EXPANSIVE SOIL. ALL FOOTINGS SHALL BE LEVEL OR STEPPED AND BEAR ON FIRM, STABLE, NATURAL, UNDISTURBED SOIL OR AN APPROVED COMPACTED FILL.
- PERIMETER OR EXTERIOR FOOTING DEPTHS MUST EXTEND BELOW FROSTLINE (18" OR 24" AS PER LOCAL CODE REQUIREMENTS). ALL OTHER FOOTINGS (INTERIOR) SHALL BOTTOM 12" MINIMUM BELOW NATURAL UNDISTURBED GRADE.
- BUILDING PADS SHALL BE GRADED 2% TOWARD APPROVED DRAINAGE FACILITIES AND PROVISIONS SHALL BE MADE TO CONTROL AND DRAIN SURFACE WATER AROUND BUILDING.
- ASSUME CLASS D SOILS WITH ALLOWABLE SOIL BEARING PRESSURE OF 1500 PSF WITH A CONSTANT EXPANSION INDEX LESS THAN 20. SOIL BEARING PRESSURE HAS BEEN DETERMINED IN ACCORDANCE WITH IBC TABLE 1806.2.

FILL AND BACKFILL

- FILL MATERIAL SHALL BE FREE FROM DEBRIS, VEGETATION, AND OTHER FOREIGN SUBSTANCES.
- BACKFILL TRENCHES SHALL BE COMPACTED TO 90% DENSITY PER ASTM 1557 TO WITHIN 12" OF FINISHED GRADE. THE TOP 12" SHALL BE LANDSCAPE FILL.
- BACKFILL AT PIPE TRENCHES SHALL BE COMPACTED ON BOTH SIDES OF PIPE IN 6" LIFTS.
- WATERPROOF EXTERIOR FACES OF ALL FOUNDATION WALLS ADJACENT TO USABLE SPACES. WATERPROOFING OF ALL FOUNDATION AND RETAINING WALLS TO BE THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR.
- ALL BACKFILL AGAINST FOUNDATION WALLS MUST BE COMPACTED TO 90% RELATIVE DENSITY.
- PROVIDE 4" DIAMETER PVC PERFORATED DRAINPIPE AT GRADE SIDE OF ALL RETAINING WALLS. SLOPE PIPE TO DRAIN TO DAYLIGHT AND DRYWELL.

CONCRETE

- REINFORCED CONCRETE WORK SHALL CONFORM TO APPLICABLE REQUIREMENTS OF THE IBC AND ACI STANDARD 318-11.
- AGGREGATE SHALL CONFORM TO ASTM C33 FOR STONE CONCRETE.
- CONCRETE STOOPS TO BE MACHINED MIXED AND PLACED IN ACCORDANCE WITH THE IBC.
- COMPRESSION STRENGTH OF ALL REINFORCED CONCRETE SHALL NOT BE LESS THAN 3000 PSI AT 28 DAYS.
- STRUCTURAL DESIGN BASED ON $F_c = 2500$ PSI (SPECIAL INSPECTION NOT REQUIRED).
- USE NORMAL WEIGHT CONCRETE (145 PCF) FOR ALL CONCRETE. USE TYPE II CEMENT TYPICAL. IF SOIL CONTAINS SULFATE CONCENTRATIONS OF 2% OR MORE, USE TYPE V CEMENT.
- THE MAXIMUM SLUMP SHALL NOT EXCEED 3". PLASTICIZERS MAY BE USED TO INCREASE SLUMP TO 8" MAXIMUM PROVIDED THEY DO NOT INCREASE SHRINKAGE.
- MAXIMUM WATER/CEMENT RATIO SHALL BE .55 FOR 3000 PSI CONCRETE.
- EXTERIOR SLABS ON GRADE SHALL CONTAIN NOT LESS THAN 5% NOR MORE THAN 6% ENTRAINED AIR.
- FOLLOW RECOMMENDED PRACTICES FOR HOT AND COLD WEATHER CONCRETING BY OBSERVING ACI 309 AND ACI 306 GUIDELINES.
- PROVIDE STANDARD CRACK CONTROL JOINTS IN ALL SLABS ON GRADE USING MAXIMUM DIMENSION OF 10 FEET FOR 4" SLABS AND 12 FEET FOR 6" SLABS. JOINT DEPTH SHALL NOT EXCEED ONE-FOURTH OF SLAB DEPTH.
- TOP OF CONCRETE SLABS SHALL BE MINIMUM 6" ABOVE FINISHED GRADE.
- PIPES MAY PASS THROUGH STRUCTURAL CONCRETE IN SLEEVES, BUT SHALL NOT BE EMBEDDED THEREIN. PIPES OR DUCTS EXCEEDING ONE-THIRD THE SLAB OR WALL THICKNESS SHALL NOT BE PLACED IN STRUCTURAL CONCRETE.
- DO NOT PLACE CONCRETE UNTIL ALL REINFORCEMENT, CONDUIT, OUTLET BOXES, ANCHORS, HANGERS, SLEEVES, BOLTS, HOLD-DOWNS, ANCHOR BOLTS OR OTHER EMBEDDED MATERIALS AND ITEMS ARE SECURELY AND PROPERLY FASTENED IN THEIR PROPER PLACES AND POSITIONS.

REINFORCING STEEL

- REINFORCING BARS SHALL BE DEFORMED BARS CONFORMING TO THE REQUIREMENTS OF ASTM A615 GRADE 60 FOR ALL #5 AND LARGER BARS AND GRADE 40 FOR ALL #4 AND SMALLER BARS.
- ALL DETAILS OF FABRICATION AND INSTALLATION OF REINFORCING STEEL SHALL BE IN ACCORDANCE WITH THE ACI MANUAL OF STANDARD PRACTICE.
- WELDED FABRIC (MESH) SHALL CONFORM TO LATEST REVISED ASTM A105 AND BE FURNISHED IN FLAT SHEETS, SMOOTH WIRE FABRIC SHALL CONFORM TO ASTM A-85 HAVING A YIELD STRENGTH OF 60 KSI.
- WELDING OF REINFORCING STEEL SHALL CONFORM TO A105 D12-1 USING LOW HYDROGEN ELECTRODES.
- ALL BARS SHALL BE LAPPED WITH A MINIMUM OF 40 BAR DIAMETERS (2" MINIMUM) AT ALL SPLICES.
- SPLICES OF HORIZONTAL REBAR IN WALLS AND FOOTINGS SHALL BE STAGGERED 4" MINIMUM. DOUBLES FOR WALLS AND COLUMNS SHALL BE THE SAME SIZE AND SPACING AS THE WALL/COLUMN REINFORCING.
- ALL REINFORCING STEEL SHALL BE ACCURATELY LOCATED AND ADEQUATELY SECURED IN POSITION BEFORE AND DURING PLACEMENT OF CONCRETE.
- MASONRY REINFORCEMENT, BOLTS, ETC. SHALL HAVE MINIMUM GROUT COVERAGE OF THREE-FOURTHS OF AN INCH.
- REINFORCEMENT COVER IN CAST-IN-PLACE CONCRETE SHALL BE AS FOLLOWS:
 - 3" - CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH
 - 2" - FORMED SURFACES EXPOSED TO GROUND OR WEATHER

FOUNDATION/FLOOR FRAMING NOTES

- ANCHOR BOLTS:
 - FOR 2x SILL PLATE, USE $5/8" \times 10"$ AB.
 - FOR 3x OR DOUBLE SILL PLATE, USE $5/8" \times 12"$ AB.
 EXTEND SILL BOLTS 1" INTO FOUNDATION MINIMUM. MAXIMUM SPACING SHALL BE 4'-0" O.C. WITH MINIMUM (2) BOLTS IN EACH SILL BOARD. BOLTS SHALL BE LOCATED NOT MORE THAN (2) NOR LESS THAN (1) BOLT DIAMETERS FROM EACH END OF SILL PIECE. MINIMUM $3/8" \times 1/4"$ THICK PLATE WASHERS SHALL BE INSTALLED ON EACH SILL BOLT. SPACE WASHER 1/2" FROM SHEATHING OR RIM.
- SILL PLATES: USE FOUNDATION GRADE REDWOOD OR TIMBERSTRAND LSL. TREATED WITH ZINC BORATE OR PRESURE TREATED MUDSILL. SEE SHEARWALL SCHEDULE FOR IMPORTANT INFORMATION REGARDING SILL PLATES. FOR ALL SILL PLATES NOT NOTED, USE 2x WALL WIDTH WOOD SILL. ALL SHEAR WALLS, EXCEPT TYPE '6' AND '4', REQUIRE FOUNDATION SILL PLATES AND ALL FRAMING MEMBERS RECEIVING EDGE NAILING FROM ABUTTING PANELS TO BE NOT LESS THAN A SINGLE 3" NOMINAL MEMBER. PLYWOOD JOINT AND SILL PLATE NAILING SHALL BE STAGGERED IN ALL CASES.
- AN 8" WIDE CONCRETE FOUNDATION WALL SHALL BE CENTERED ON CONTINUOUS FOOTING BELOW $(1) \#4$ CONTINUOUS @ TOP OF WALL, $(4) \#4$ VERTICALS @ 32" O.C. MAX HOOKED AT FOOTING (ALTERNATE HOOKS).
- CONTINUOUS CONCRETE FOOTINGS TO BE 16" X 10" $(1) \#4$ CONT. STEP FOOTING AS REQUIRED TO BEAR ON NATIVE GRADE OR AS DIRECTED BY SOILS ENGINEER. EXTEND EXTERIOR FOOTING DEPTHS TO FROST LINE (2'-0").
- COLUMNS OR POSTS LOCATED ON CONCRETE OR MASONRY FLOORS AND THAT SUPPORT PERMANENT STRUCTURES SHALL BE SUPPORTED BY CONCRETE PIERS OR METAL PEDESTALS PROJECTING ABOVE EXPOSED EARTH A MINIMUM OF 6" AND AT LEAST 1" ABOVE SUCH FLOORS UNLESS TREATED WOOD IS USED. INDIVIDUAL CONCRETE OR MASONRY PIERS SHALL PROJECT AT LEAST 8" ABOVE EXPOSED GROUND UNLESS THE COLUMNS OR POSTS THAT THEY SUPPORT ARE OF WOOD RESISTANT TO DECAY.
- MINIMUM CLEARANCE FROM GROUND UNDER GIRDERS SHALL BE 12 INCHES. UNDER JOISTS SHALL BE 18 INCHES.

WOOD FRAMING NOTES

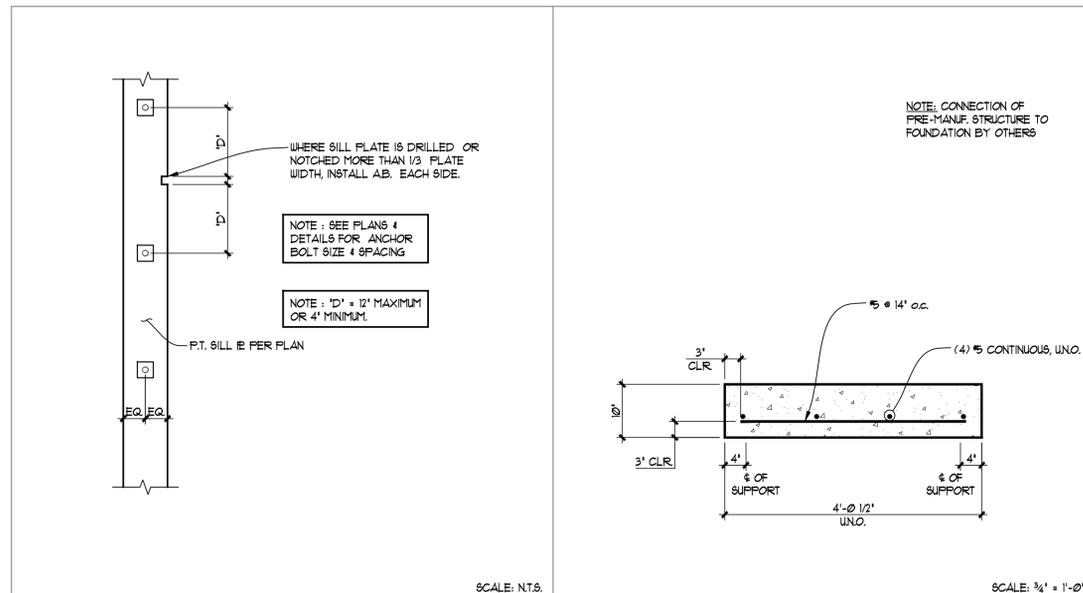
- ALL LUMBER FRAMING AND BEARING STUDS TO BE DOUGLAS FIR-LARCH WITH MOISTURE CONTENT LESS THAN 19%.
 - 4x AND SMALLER FRAMING TO BE DF #2.
 - 6x AND LARGER FRAMING TO BE DF #1.
 - INTERIOR NON-BEARING STUDS AND PLATES MAY BE CONSTRUCTION GRADE OR BETTER.
- ALL RESAUN AND ROUGH SAWN BEAMS ARE TO BE FREE OF HEART CENTER.
- ALL FRAMING CLIPS AND DEVICES SHALL BE 'IMPSON TIE' OR ICC APPROVED EQUAL.
- DO NOT NOTCH BEAMS, JOISTS, OR STUDS.

Design Parameters

CODE:	2018 IBC AND LOCAL DESIGN CRITERIA
PROJECT ELEVATION:	5090'
SITE CLASS:	D
WIND SPEED:	120 MPH (3 SECOND GUST)
WIND EXPOSURE:	C
DESIGN INCLUDES SNOW LOAD FOR DRIFT AND UNBALANCED LOADING.	

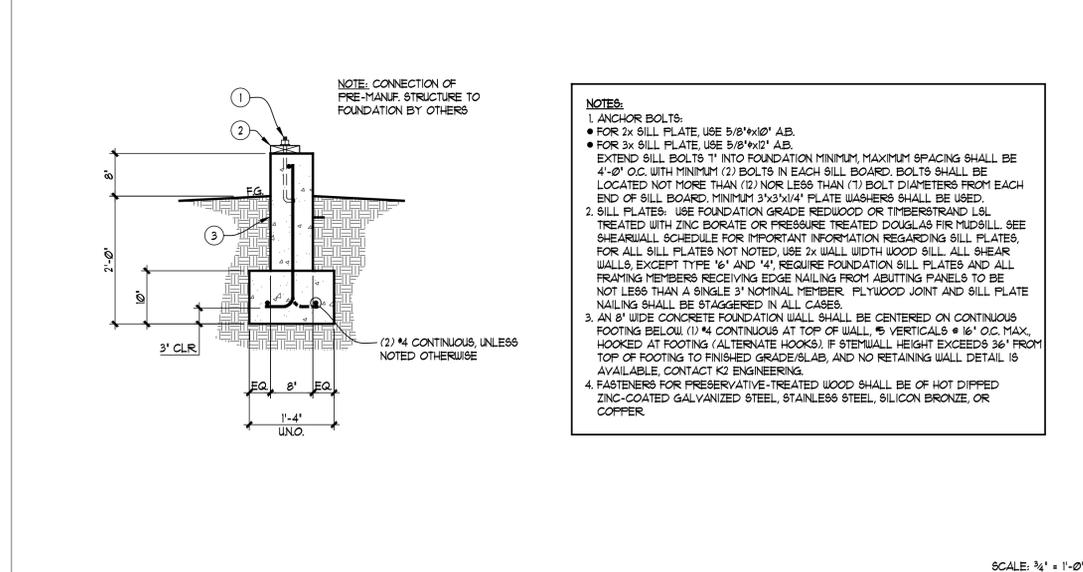
LOADING AND EARTHQUAKE DESIGN DATA:

- LOADING:
 - FLOOR LOADS: LIVE = 40 PSF ; DEAD = 15 PSF
 - ROOF LOADS: SNOW = 28 PSF ; DEAD = 20 PSF
- EARTHQUAKE DESIGN DATA:
 - $S_s = 150$, $S_1 = 0.60$, $S_D5 = 1.00$, $S_D1 = 0.72$
 - SEISMIC DESIGN CATEGORY: D
 - BASE SHEAR $V = C_w U + (I/R) W F_0 S_D5 / 4 R W$
 - $R = 6.5$ (LIGHT FRAMED WOOD WALLS SHEATHED WITH WOOD STRUCTURAL PANELS RATED FOR SHEAR RESISTANCE).



3 Sill Plate Bolting

2 Shared Wall Footing



1 Typ Exterior Wall Footing

K2 ENGINEERING
AND STRUCTURAL DESIGN
860 Maestro Dr., Ste. A
Reno, NV 89511
P: (775) 355-0505
F: (775) 355-0566
www.K2eng.net

Jepsen Foundation Plan
 Washoe County, NV 89704
 42 Bellevue Road
 A.P.N.: 055-168-10

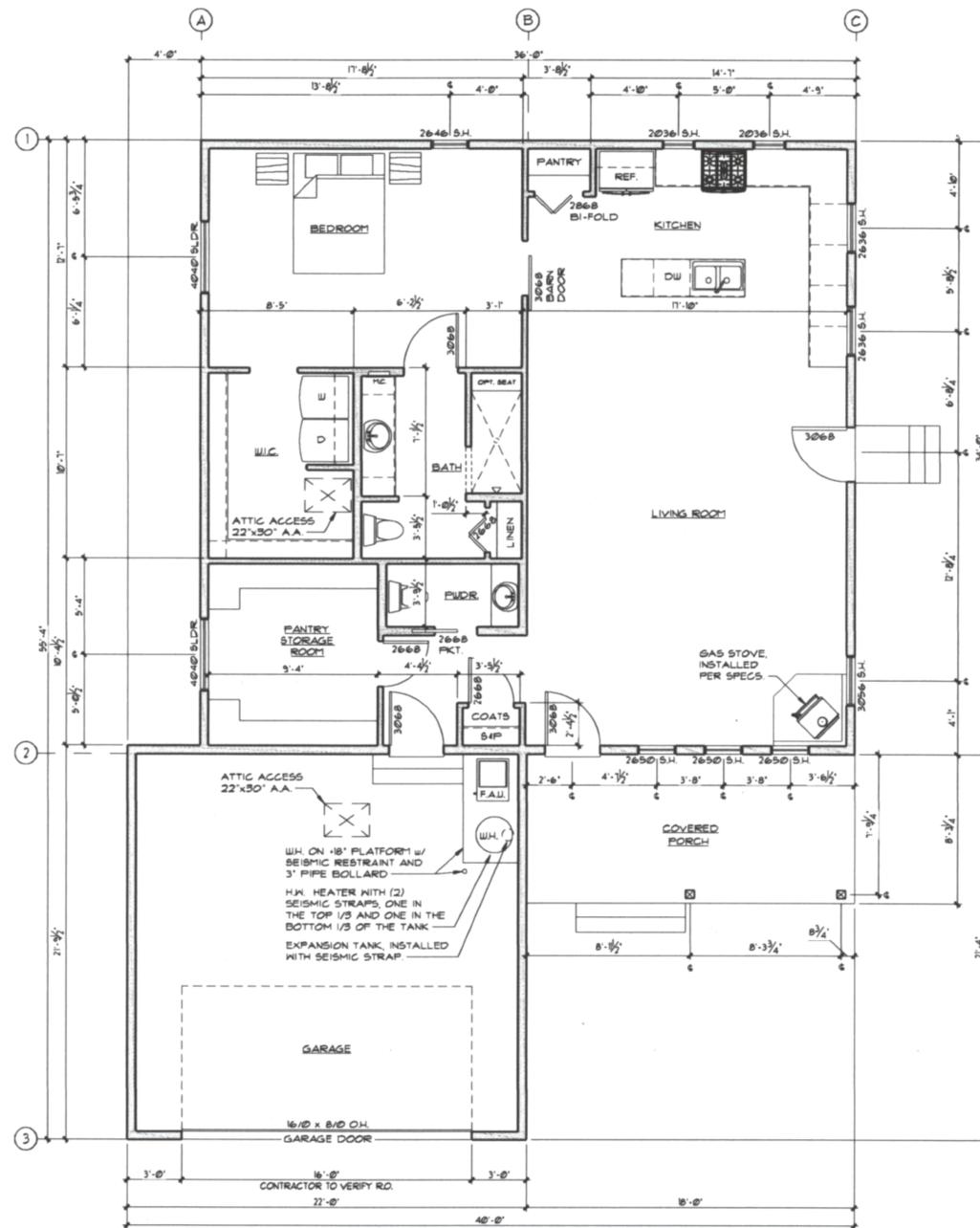
Brandt T. Kennedy, P.E.
Jared A. Krupa, P.E.



Revisions	
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△	
△	
△	
Date	12/18/2020
Drawn	JK/TD
Checked	BTK
Project No.	20-383

Structural Notes & Schedules

SD-1



FLOOR PLAN
SCALE 1/4" = 1'-0"

FLOOR PLAN NOTES

1. TYPICAL EXTERIOR WALL - EXT. 1/2" HARDIE LAP SIDING AND SHEAR PLY. OVER 2x6 @ 16" O.C. WALL FRAMING w/ R-21 BATT INSUL. - SEE SECTION AND RES CHECK.
2. INTERIOR WALLS: 2x4 STUDS @ 16" O.C. U.N.O.
3. CONTRACTOR TO VERIFY OVERHEAD GARAGE DOOR CLEARANCE IN RAISED POSITION.
4. ALL 4x AND LARGER LUMBER TO BE DFM OR BETTER ALL SMALLER LUMBER TO BE DFP OR BETTER UNLESS NOTED OTHERWISE.
5. PROVIDE SAFETY GLAZING IN HAZARDOUS LOCATIONS PER I.R.C. R308.4
6. SOUND INSULATE ALL INTERIOR PLUMBING WALLS (BATH ROOMS) AND WALL AREAS w/ DRAIN LINES FROM ABOVE.
7. PROVIDE ATTIC ACCESS PER I.R.C. SECTION R807.1
8. PROVIDE WATER-RESISTANT GYPSUM BOARD AT LOCATIONS REQUIRED PER I.R.C. SECTION R702.3.8.
9. PROVIDE R-3 INSULATION AT ALL HOT WATER PIPING CONT. 24" FROM W.U.T. TO FIXTURE PER IECC R403.4.
10. 90% OF LAMP'S IN PERMANENTLY INSTALLED LIGHTING TO BE HIGH-EFFICACY.
11. EGRESS WINDOW:
MIN. OPEN AREA = 5.7 SQFT. 5'0" (GRADE FLOOR)
MIN. CLEAR OPENING WIDTH = 20"
MAX. 44" FROM FIN. FLR TO CLR. OPENING
12. LANDINGS AT DOORS PER R311.3, AND LANDINGS AT STAIRWAYS PER R311.6.
13. SIDING SHALL BE INSTALLED PER MFGR'S INSTRUCTIONS AND R703.
14. WOOD STRUCTURAL PANEL ROOF SHEATHING EXPOSED ON THE UNDERSIDE SHALL BE BONDED WITH EXTERIOR GLUE PER R803.2.11
15. CENTRAL HEATING EQUIPMENT OTHER THAN FIXED ELECTRIC SPACE-HEATING EQUIPMENT SHALL BE SUPPLIED BY AN INDIVIDUAL BRANCH CIRCUIT PER IRC E3103.1
16. WATER HEATER IGNITION SOURCE SHALL BE 18" ABV. GARAGE FLOOR
17. ALL EXHAUST FANS REQUIRE RIGID, SMOOTH INTERIOR DUCT.
18. ALL DUCT WORK TO CONFORM WITH CHAPTER 16.
19. CHIMNEYS AND FIREPLACES SHALL COMPLY WITH M1605 AND MFGR'S SPECIFICATIONS.
20. GAS PIPE SIZING PER CHAPTER 24 AND CONFORMANCE WITH LOCAL FUEL GAS SUPPLIER.
21. SHOWERS AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE. THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A SUITABLE CONTROL FOR MEETING THIS PROVISION PER P2108.3.
22. MAXIMUM STATIC WATER PRESSURE SHALL BE 80 P.S.I. WHEN MAIN PRESSURE EXCEEDS 65 P.S.I. AN APPROVED PRESSURE REDUCING VALVE CONFORMING TO ASSE 1003 SHALL BE INSTALLED.
23. SHOWER COMPARTMENTS & WALLS ABOVE BATHTUBS ARE TO BE TILED TO THE CEILING OR MIN. 6'-0" ABOVE FF.



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Jepsen Detached Dwelling
Washoe County, NV 89704
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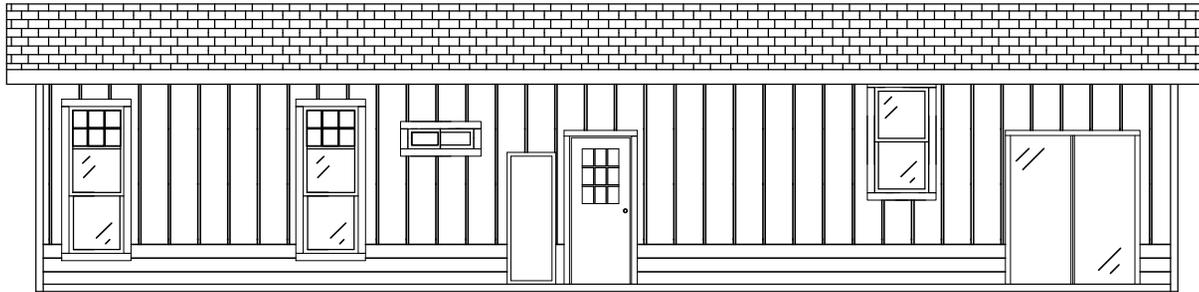
Brandt T. Kennedy, P.E.
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Revisions	
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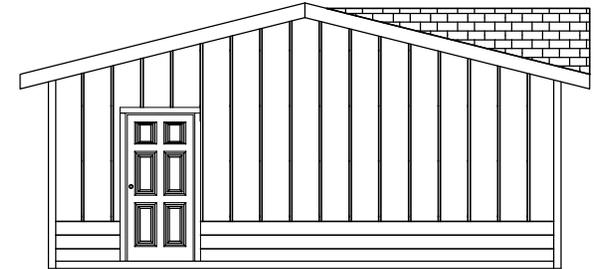
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Drawn: JK
Checked: BTK
Project No.: 20-108

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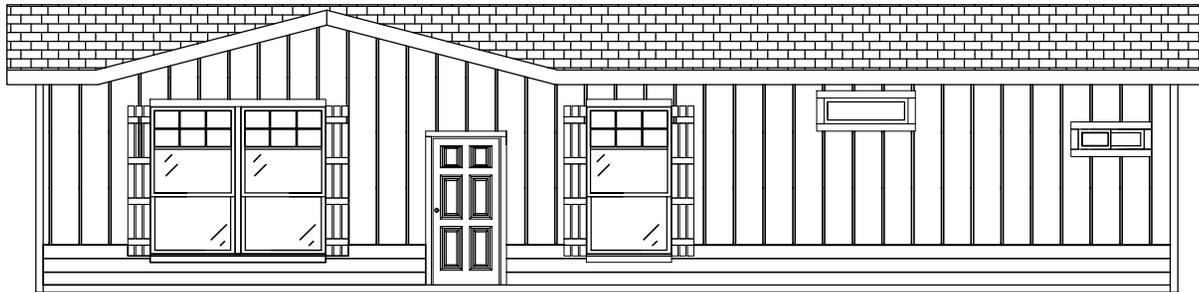
QT# 26976



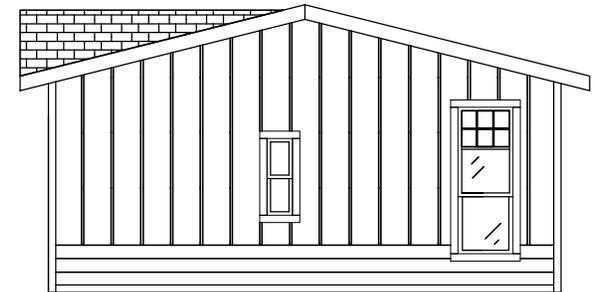
BACK ELEVATION



REAR ELEVATION



FRONT ELEVATION



HITCH END ELEVATION

CHAMPION

MANUFACTURED BEAUTIFULLY™

755 W. BIG BEAVER ROAD, SUITE 1000 TROY, MI 48064
PHONE: 248-614-8000

MODIFICATIONS

PROJECT: **CM-3523L**
24' x 52'

DRAWN BY: **M. SANCHEZ**
DATE: **7-9-2020**
SCALE: **NOT TO SCALE**

TITLE: **ELEVATION PLAN**

FILENAME: **QT# 26976 DRAFT# 1**

SHEET: **EL-101**

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