

Community Services Department
Planning and Building
DETACHED ACCESSORY DWELLING
ADMINISTRATIVE REVIEW
APPLICATION



Community Services Department
Planning and Building
1001 E. Ninth St., Bldg. A
Reno, NV 89512-2845

Telephone: 775.328.6100

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: Solaro Residence			
Project Description: Construction of a residence for the Solaro Family. Residence will be constructed on part of a 2-acre lot which is part of an overall 6-acre property.			
Project Address: 555 Chance Lane Reno, Nevada 89521			
Project Area (acres or square feet): 2			
Project Location (with point of reference to major cross streets AND area locator): Steamboat-East of Chance Lane and Rhodes Road			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
017-400-61	2		
017-400-48	3.86		
Indicate any previous Washoe County approvals associated with this application: Case No.(s). N/A			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: James P Solaro		Name: JP Engineering, LLC	
Address: 555 Chance Lane		Address: 10597 Double R Blvd	
Reno, Nevada	Zip: 89521	Reno, Nevada	Zip: 89521
Phone: 775-846-9675	Fax: 775-852-2337	Phone: 775-852-2337	Fax: 775-852-2337
Email: james@jpengnv.com		Email: james@jpengnv.com	
Cell: 775-846-9675	Other:	Cell: 775-846-9675	Other:
Contact Person: James Solaro		Contact Person: James Solaro	
Applicant/Developer:		Other Persons to be Contacted:	
Name: James Solaro		Name:	
Address: PO Box 17838		Address:	
Reno, Nevada	Zip: 89511		Zip:
Phone: 775-846-9675	Fax: 775-852-2337	Phone:	Fax:
Email: james@jpengnv.com		Email:	
Cell: 775-846-9675	Other:	Cell:	Other:
Contact Person: James Solaro		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Property Owner Affidavit

Applicant Name: James P Solaro

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
)
COUNTY OF WASHOE)

I, _____
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 017-400-61

Printed Name James Solaro

Signed [Signature]

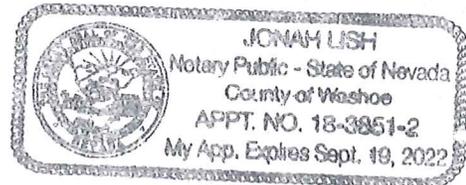
Address 555 Charne Lane
Reno, NV 89521

Subscribed and sworn to before me this
15th day of June, 2018.

[Signature]
Notary Public in and for said county and state

My commission expires: Sept. 19th 2022

(Notary Stamp)



*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

**Administrative Review Permit Application
for a Detached Accessory Dwelling
Supplemental Information**

(All required information may be separately attached)

1. What is the size (square footage) of the main dwelling or proposed main dwelling (exclude size of garage)?

4292-SF

2. What is the size of the proposed detached accessory dwelling (exclude size of garage)? If a manufactured or modular home is the secondary dwelling, list the age and size of the unit.

Existing shop is 3887-SF with a 569-SF in laws quarters for a total building size of 4456-SF

3. How are you planning to integrate the main dwelling and secondary dwelling to provide architectural compatibility of the two structures?

The two structures are architecturally the same type of country design and with the same color scheme and building materials.

5. How many off-street parking spaces are available? Parking spaces must be shown on site plan. Are any new roadway, driveway, or access improvements be required?

All parking spaces are off street and no new roadways or driveways will be included in this project.

6. What will you do to minimize any potential negative impacts (e.g. increased lighting, removal of existing vegetation, etc.) your project may have on adjacent properties?

Existing property is pasture. All lighting for both buildings are dark sky compliant. No existing trees will be removed, only new added.

7. Is the subject property part of an active Home Owners Association (HOA) or Architectural Control Committee?

Yes No If yes, please list the HOA name.

8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit a detached accessory dwelling on your property?

Yes No If yes, please attach a copy.

9. Only one accessory dwelling unit, whether attached or detached, is allowed per parcel. Is there a guest apartment, mother-in-law unit, next-gen addition with kitchen or any other type of secondary dwelling on the subject property?

Yes No If yes, please provide information on the secondary unit.

10. List who the service providers are for the main dwelling and accessory dwelling:

	Main Dwelling	Accessory Dwelling
Sewer Service	Septic - 1500 gallon tank	Septic - 1000 gallon tank
Electrical Service	NV Energy	NV Energy
Solid Waste Disposal Service	Waste Management	Waste Management
Water Service	Well	Well

ACCEPTANCE OF CONDITIONS AND APPROVAL FOR DOMESTIC WATER WELL USE FOR AN ACCESSORY DWELLING

Physical Address of Domestic Well Parcel:

555 Chance Lane

Located in the County of: Washoe

County Assessor Parcel Number: 017-400-61

I, James P. Solaro, the owner of the above-referenced parcel
Please Print

of land, fully understand and accept the conditions listed below and upon which this approval is made.

1. The combined water use from the well for the main residence and any accessory dwelling shall not exceed two (2) acre-feet per year as provided in Chapter 534.180 of the Nevada Revised Statutes (NRS).
2. A totalizing meter shall be installed near the discharge of the well that provides water to the main residence and the accessory dwelling. This meter shall be easily accessible for meter reading by the DWR and maintained in good working order and shall be installed to measure all water pumped from the well for the purposes of this approval. No water shall be used by the accessory dwelling until the meter has been installed.
3. The main residence and any accessory dwelling shall remain on the same parcel as determined by the County Assessor records, or this authorization shall be rescinded.
4. Water usage measurements from the totalizing meter must be submitted by the parcel owner to DWR no later than January 31st of each calendar year.

State of Nevada

County of Washoe

Subscribed and sworn to before me on 6/13/19

by James Philip Solaro

Signed 

Owner

Address PO Box 17838

Street Address or PO Box

Reno, Nevada 89521

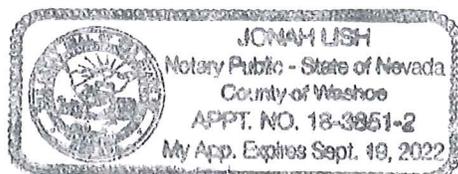
City, State, ZIP Code

Phone 775-846-9675

E-mail james@jpengnv.com



Signature of Notary Public Required



Approval of Local Governing Body or Planning Commission

This request to allow an accessory building to be served by a domestic well is hereby approved subject to the attached notarized agreement.

County Assessor Parcel Number: 017-400-61

Owner James P. Solaro

Signature

Print Name

Title

Agency

Date

Phone Number

After approval, please send original to:

State Engineer
Nevada Division of Water Resources
901 South Stewart Street
Suite 2002
Carson City, NV 89701

Washoe County Treasurer
 Tammi Davis

Bill Detail

[Back to Account Detail](#)

[Change of Address](#)

[Print this Page](#)

Washoe County Parcel Information

Parcel ID	Status	Last Update
01740061	Active	6/15/2019 2:07:59 AM
Current Owner: SOLARO, JAMES P PO BOX 17838 RENO, NV 89511	SITUS: 555 CHANCE LN WASHOE COUNTY NV	
Taxing District 4000	Geo CD:	
Legal Description		
Township 17 Section Lot 1 Block Range 20 SubdivisionName _REVERSION		

Installments

Period	Due Date	Tax Year	Tax	Penalty/Fee	Interest	Total Due
INST 1	8/20/2018	2018	\$0.00	\$0.00	\$0.00	\$0.00
INST 2	10/1/2018	2018	\$0.00	\$0.00	\$0.00	\$0.00
INST 3	1/7/2019	2018	\$0.00	\$0.00	\$0.00	\$0.00
INST 4	3/4/2019	2018	\$0.00	\$0.00	\$0.00	\$0.00
Total Due:			\$0.00	\$0.00	\$0.00	\$0.00

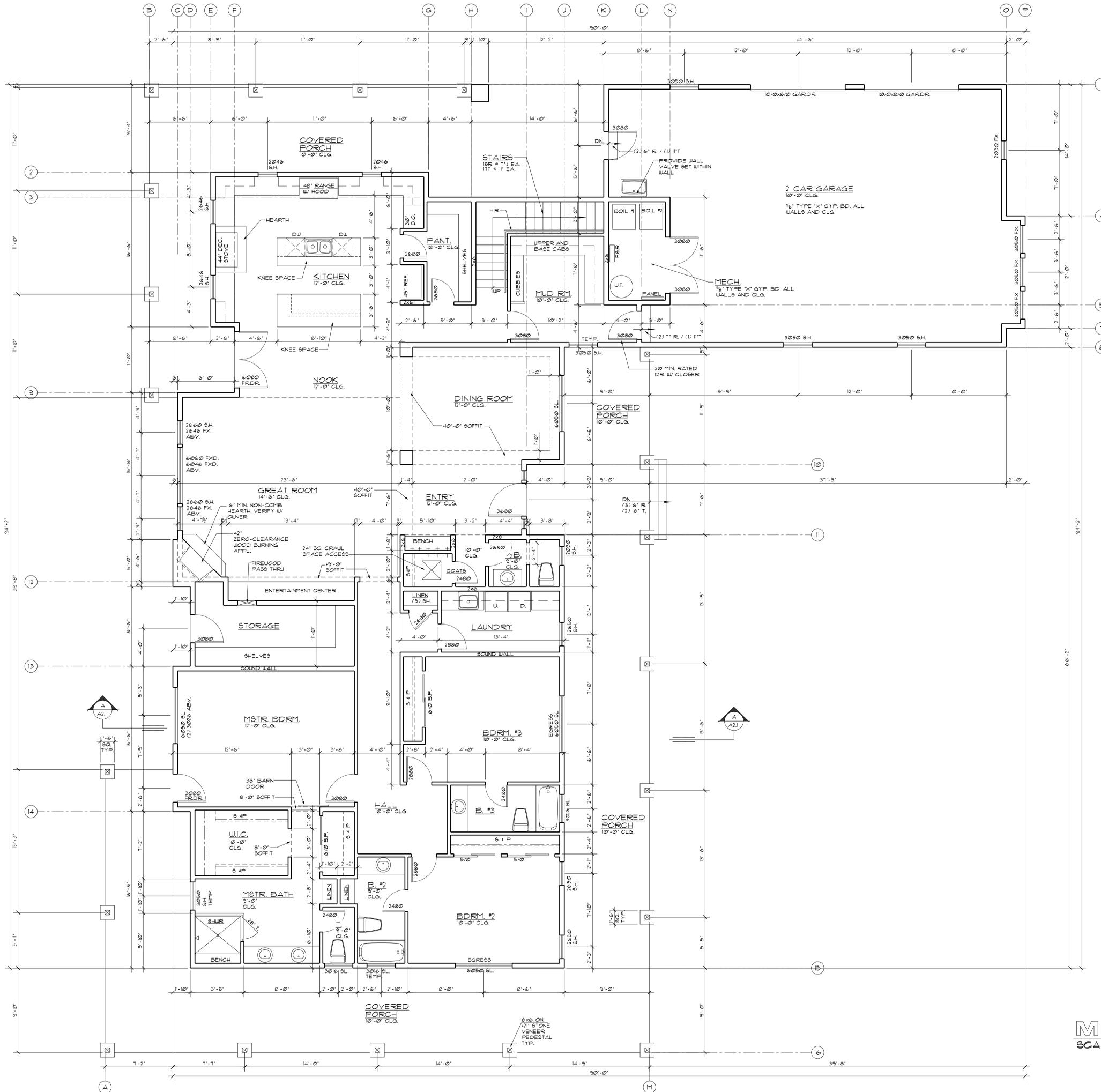
Tax Detail

	Gross Tax	Credit	Net Tax
State of Nevada	\$265.87	\$0.00	\$265.87
Truckee Meadows Fire Dist	\$844.54	\$0.00	\$844.54
Washoe County	\$2,176.57	\$0.00	\$2,176.57
Washoe County Sc	\$1,780.57	\$0.00	\$1,780.57
PLEASANT VALLEY WATER BASIN	\$0.86	\$0.00	\$0.86
Total Tax	\$5,068.41	\$0.00	\$5,068.41

Payment History				
Tax Year	Bill Number	Receipt Number	Amount Paid	Last Paid
2018	2018130691	B18.234066	\$1,266.88	3/5/2019
2018	2018130691	B18.185384	\$1,266.89	1/9/2019
2018	2018130691	B18.115753	\$1,266.89	9/28/2018
2018	2018130691	B18.57207	\$1,267.75	8/21/2018

The Washoe County Treasurer's Office makes every effort to produce and publish the most current and accurate information possible. No warranty is provided for the data herein, its use, or its interpretation. If you have any questions, please contact us at (775) 328-2510 or tax@washoecount

This site is best viewed using Google Chrome, Internet Explorer 11, Mozilla Firefox or Safari.



FLOOR PLAN NOTES

- TYPICAL EXTERIOR SHEATHING - 3/8" THK. T&G. CDX SIDING W/ 8@ 6" O.C. EDGES AND 12" O.C. FIELD UNO. OVER BUILDING PAPER.
- NEW EXTERIOR WALLS THIS LEVEL: 2x6 STUDS @ 16" O.C. W/ R-21 INSUL.
- INTERIOR WALLS: 2x4 STUDS @ 16" O.C. UNO.
- ALL 6x AND LARGER LUMBER TO BE DRY. ALL SMALLER LUMBER TO BE DFM2 OR BETTER UNLESS NOTED OTHERWISE.
- PROVIDE SAFETY GLAZING IN HAZARDOUS LOCATIONS PER I.R.C. R308.4
- PROVIDE ATTIC ACCESS PER I.R.C. SECTION R802.1
- PROVIDE WATER-RESISTANT GYPSUM BOARD AT LOCATIONS REQUIRED PER I.R.C. SECTION R702.3
- PROVIDE R-3 INSULATION AT ALL HOT WATER PIPING CONT. 24" FROM HULL TO FIXTURE
- PROVIDE TILE OR SOLID SURFACE NONABSORBENT FINISH TO 12" MIN. AFF. IN SHOWER COMPARTMENTS AND WALLS ABV. BATH TUBS WITH SHOWER HEADS.
- FIRE BLOCKING SHALL BE INSTALLED IN ACCORDANCE WITH I.R.C. R302.11 & R602.8
- IN ATTICS, WHEN AN ATTIC ACCESS IS REQUIRED AND THE SPACE IS ENTERED ONLY FOR PURPOSES OF REPAIRS OR MAINTENANCE, FOAM PLASTIC INSULATION MAY BE PROTECTED AGAINST IGNITION USING ONE OF THE FOLLOWING IGNITION BARRIER MATERIALS:
 - 1/2" THICK MINERAL FIBER INSULATION
 - 1/2" THICK WOOD STRUCTURAL PANELS 3/4" PARTICLE BOARD
 - 1/2" HARDBOARD 3/4" GYPSUM BOARD OR CORROSION-RESISTANT STEEL HAVING A BASE METAL THICKNESS OF 0.016 INCH OR WHERE THE FOAM PLASTIC INSULATION HAS BEEN TESTED IN ACCORDANCE WITH SECTION R316.6. (R316.9.3)
- FOR TILE INSTALLATION IN SHOWER AND TUB AREAS PROVIDE FIBER CEMENT OR FIBER-REINFORCED GYPSUM BACKER BOARD, INSTALLED PER I.R.C. 102.4 AND TO COMPLY WITH MANUFACTURER'S RECOMMENDATIONS.

BUILDING ENVELOPE INSULATION AND VENTILATION
 PER 2015 IECC - NOTE: THERMAL ENVELOPE TO BE TESTED NOT TO EXCEED AN AIR LEAKAGE RATE OF 5 AIR CHANGES PER HOUR. RESTRICTION TO BE PERFORMED BY A NEVADA LICENSED INDIVIDUAL.

CRITICAL DETAILS

- PROVIDE FIN & FIL VAPOR BARRIER W/ 6" MIN. LAPS. STRIP LAPS OR SEALED. BARRIER TO EXTEND 8" UP ON STENWALL AND BE SEALED TO STENWALL.
- ACCESS TO BE INSULATED TO MATCH ADJACENT VALUE.
- PROVIDE WEATHERSTRIPPING AT ACCESS PANEL.

INSULATION

- NOT WATER PIPING - R-3 FIN.
- DUCTING - R-8 AND SEALED AT SEAMS AND JOINTS

ATTIC

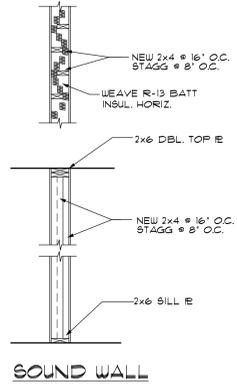
- ACCESS TO BE INSULATED TO MATCH ADJACENT VALUE.
- ACCESS PANEL TO HAVE WEATHERSTRIPPING.
- BAFFLE LOOSE INSULATION AT ACCESS AS REQD.

MISCELLANEOUS

- PROVIDE MANUAL OVERRIDE SWITCH AT CIRCULATION PUMP.
- ALL THERMOSTATS TO BE PROGRAMMABLE.
- ALL MECHANICAL EXHAUST FANS TO HAVE A MINIMUM EFFICIENCY OF 120%.
- AN AIR BARRIER SHALL BE INSTALLED AT ENTIRE BUILDING ENVELOPE (SEALED AT ALL BREAKS AND PENETRATIONS).
- GAP BETWEEN FRAMING AND FINISH MATERIALS TO BE SEALED.
- FIREPLACES SHALL HAVE GASKETED DOORS.
- FLOOR REGISTERS TO BE SEALED TO SUB-FLOOR.
- ALL ENVELOPE PENETRATIONS (LIGHTS, PIPING, ETC.) TO BE SEALED.
- ALL ELECTRICAL AND PIPING AT EXTERIOR WALL TO BE INSULATED TO SEPARATE FROM AIR BARRIER.
- DOORS AND WINDOWS
- DOORS TO HAVE WEATHERSTRIPPING.
- DOORS TO HAVE WEATHERSTRIPPING.
- DOORS TO HAVE WEATHERSTRIPPING.
- SOLID DOORS TO HAVE A U-FACTOR OF 28 OR GREATER WITH LOW-E GLAZING.
- SOLID DOORS TO HAVE A U-FACTOR OF 28 OR GREATER.

W.U.I. INFORMATION

- FIRE HAZARD RATINGS - LOW
- I.R. CONSTRUCTION TYPE - 4 (NO REQUIREMENTS)
- ROOF - CLASS 'C'
- EAVES - NO RESTRICTIONS
- VENTS - NO RESTRICTIONS
- EXTERIOR WALLS - NO RESTRICTIONS
- DOORS, DECKS, AWNING - NO RESTRICTIONS



3,362 SF. - MAIN LEVEL LIVING SPACE
 930 SF. - UPPER LEVEL LIVING SPACE
 4,292 SF. - TOTAL LIVING SPACE

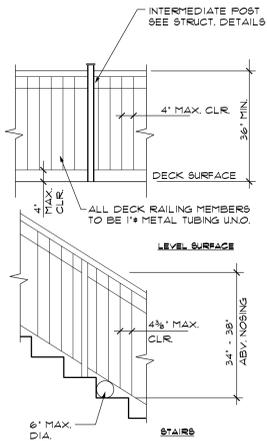
1,191 SF. - GARAGE
 1,984 SF. - COVERED PORCHES

MAIN FLOOR PLAN
 SCALE 1/4" = 1'-0"

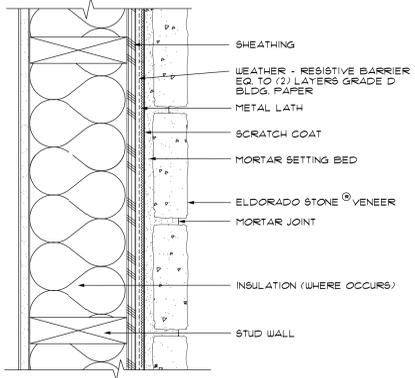
JASON WARFIELD
 RESIDENTIAL DESIGN LLC
 LICENSE # 269-RD
 542 LANIER STREET
 RENO, NV 89509
 775-324-3327 C. 775-749-8933 F.

SOLARO RESIDENCE
 555 CHANCE LANE
 RENO, NV 89521

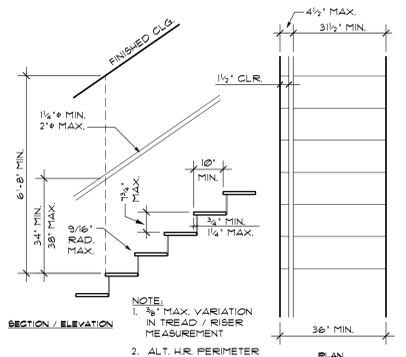
A2.0
 2-18-19



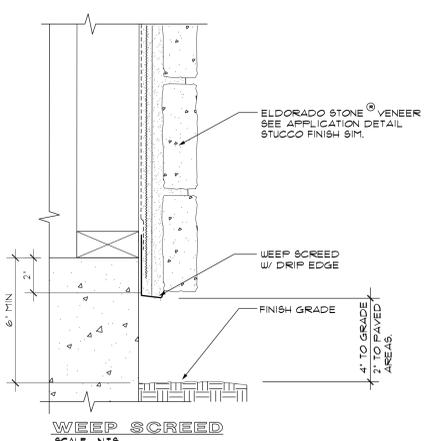
RAILING DETAIL
SCALE N.T.S. I.R.C. SECTION R301.1 SEE STRUCT. DETAILS FOR ATTACHMENT



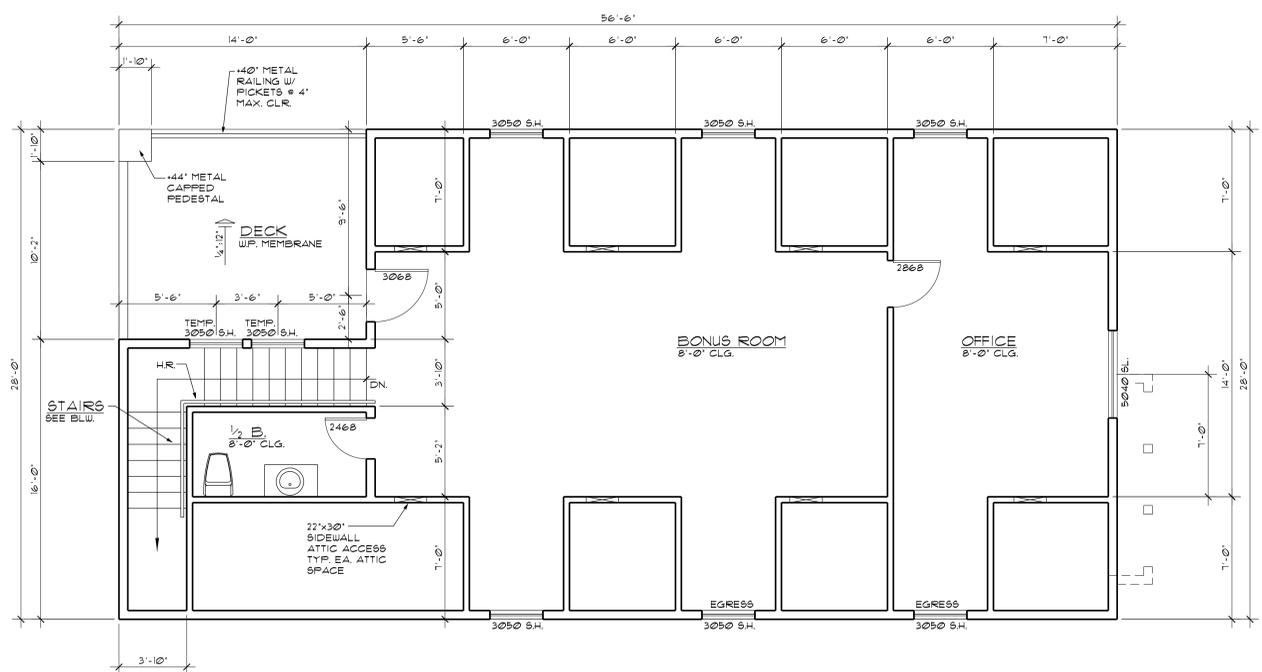
TYP. APPLIED VENEER
SCALE N.T.S.



STAIR CONST.
SCALE N.T.S. I.R.C. SECTION R301.1 SEE STRUCT. DETAILS FOR ATTACHMENT



WEEP SCREED
SCALE N.T.S.



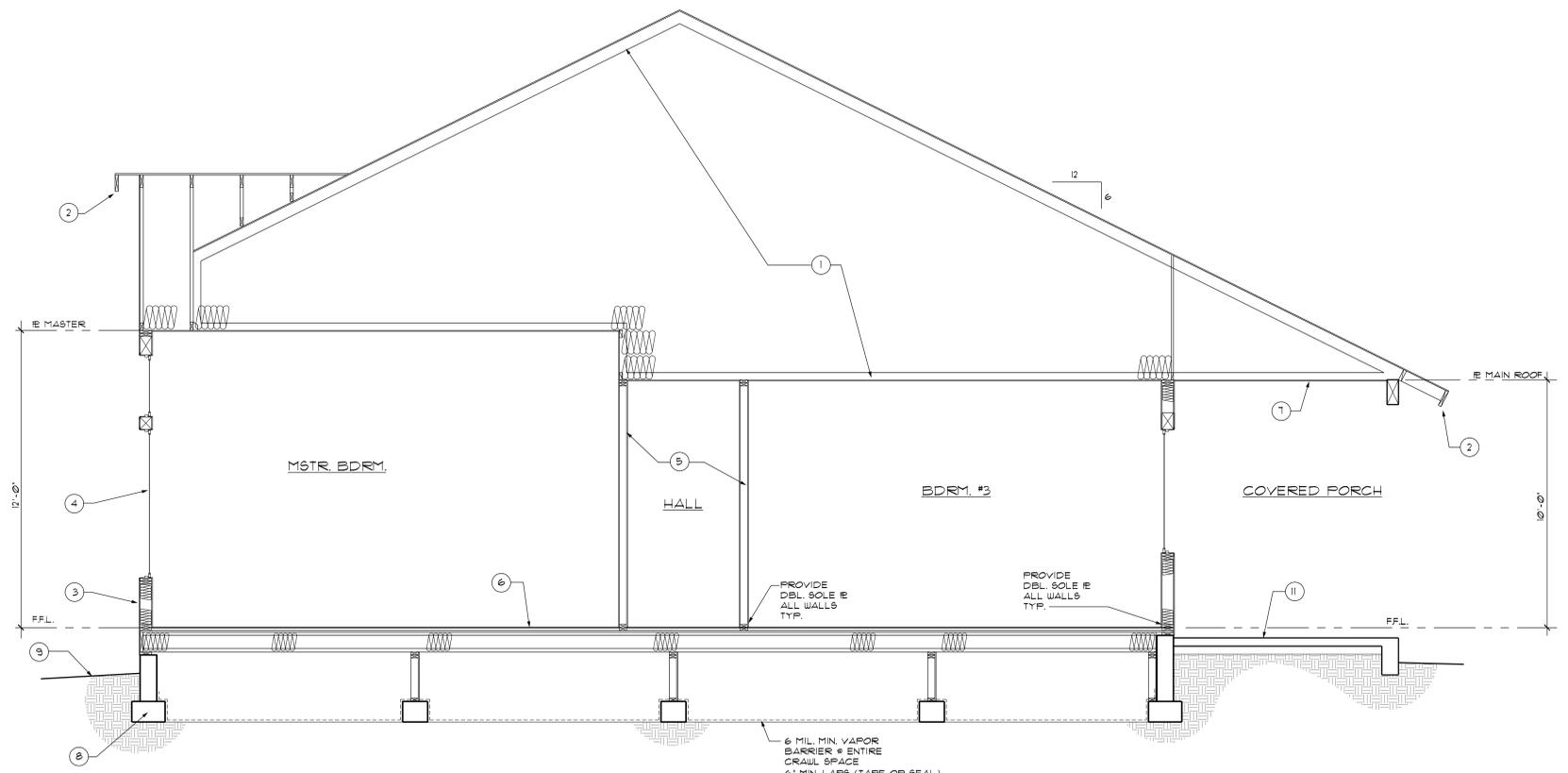
UPPER LEVEL PLAN
SCALE 1/4" = 1'-0" 930 S.F.

FLOOR PLAN NOTES

- TYPICAL EXTERIOR SHEATHING - 3/8" MIN. THK. CDX SIDING W/ 8@ 6" O.C. EDGES AND 12" O.C. FIELD UNO. OVER BUILDING PAPER.
- NEW EXTERIOR WALLS THIS LEVEL: 2x6 STUDS @ 16" O.C. W/ R-21 INSUL.
- INTERIOR WALLS: 2x4 STUDS @ 16" O.C. UNO.
- ALL 6x AND LARGER LUMBER TO BE DFM. ALL SMALLER LUMBER TO BE DPT OR BETTER UNLESS NOTED OTHERWISE.
- PROVIDE SAFETY GLAZING IN HAZARDOUS LOCATIONS PER I.R.C. R308.4
- PROVIDE ATTIC ACCESS PER I.R.C. SECTION R801.1
- PROVIDE WATER-RESISTANT GYPSUM BOARD AT LOCATIONS REQUIRED PER I.R.C. SECTION R702.3
- PROVIDE R-3 INSULATION AT ALL HOT WATER PIPING CONT. 24" FROM H.W.T. TO FIXTURE.
- PROVIDE TILE OR SOLID SURFACE NONABSORBENT FINISH TO 12" MIN. AFF. IN SHOWER COMPARTMENTS AND WALLS ABY. BATH TUBS WITH SHOWER HEADS.
- FIRE BLOCKING SHALL BE INSTALLED IN ACCORDANCE WITH I.R.C. R302.1.4 R602.8
- IN ATTICS, WHEN AN ATTIC ACCESS IS REQUIRED AND THE SPACE IS ENTERED ONLY FOR PURPOSES OF REPAIRS OR MAINTENANCE, FOAM PLASTIC INSULATION MAY BE PROTECTED AGAINST IGNITION USING ONE OF THE FOLLOWING IGNITION BARRIER MATERIALS:
 - 1/2" THICK MINERAL FIBER INSULATION
 - 1/2" THICK WOOD STRUCTURAL PANELS 3/8" PARTICLE BOARD
 - 1/2" HARDBOARD, 1/2" GYPSUM BOARD, OR CORROSION-RESISTANT STEEL HAVING A BASE METAL THICKNESS OF 20@ INCH OR WHERE THE FOAM PLASTIC INSULATION HAS BEEN TESTED IN ACCORDANCE WITH SECTION R316.6. (R316.5.3)
- FOR TILE INSTALLATION IN SHOWER AND TUB AREAS PROVIDE FIBER CEMENT OR FIBER-REINFORCED GYPSUM BACKER BOARD INSTALLED PER IRC 102.4 AND TO COMPLY WITH MANUFACTURER'S RECOMMENDATIONS.

SECTION NOTES:

- TYPICAL ROOF/CEILING**
 - ROOFING MATERIAL - SEE EXT. ELEV.
 - 2 LAYERS 30" FELT
 - SHEATHING - SEE STRUCT.
 - TRUSSES - SEE ROOF FRAMING PLAN
 - R-38 INSUL.
 - 1/2" GYF. BD.
- TYPICAL FASCIA / BARGE**
 - 2x8 FASCIA W/ METAL DRIP EDGE / TRIM
- TYPICAL EXTERIOR WALL**
 - 1/2" LAP SIDING O/ TIVEK OR EQUAL BUILDING WRAP
 - EXT. SHEAR - SEE STRUCT.
 - 2x6 @ 16" O.C. STUDS (DBL. WHERE GREATER THAN 14'-0")
 - R-21 BATT INSUL.
 - 1/2" GYF. BD.
- WINDOW W/ INSULATED GLAZING**
- TYPICAL INTERIOR WALL**
 - 1/2" GYF. BD.
 - 2x STUDS @ 16" O.C. (W/ BATT INSUL AT PLUMBING WALLS & 2x FIRE BLKS. @ 10'-0" MAX.)
 - 1/2" GYF. BD.
- TYPICAL FLOOR**
 - FLOOR FINISH
 - 1/2" GYF. CRETE FOR HYDRONIC RADIANT HEATING
 - SHEATHING - SEE STRUCT.
 - FLOOR JOISTS - SEE STRUCT.
 - R-30 BATT INSUL. O/ UNHEATED SPACE
- TYPICAL SOFFIT**
 - LP SOFFIT PANEL
 - FRAMING PER STRUCT.
- TYPICAL FOUNDATION**
 - CONC. WALL CONT. TO CONC. FOOTING TYP. UNO. BOTTOM OF FOOTING MIN. 2'-0" BELOW FIN. GRADE.
- FINISH GRADE**
 - SLOPE A MINIMUM OF 5% AWAY FROM BUILDING AT ALL AREAS, TYP.
- DOOR W/ INSULATED GLAZING @ EXT. - NOT SHOWN**
- EXTERIOR SLAB**
 - 4" CONC. SLAB W/ 6"x6"-10"/10 WWM OR FIBERMESH OVER 6" COMP. BASE OVER COMP. GRADE.
- GARAGE SLAB - NOT SHOWN**
 - 4" CONC. SLAB W/ 6"x6"-10"/10 WWM OR FIBERMESH OVER 4" COMP. BASE OVER COMP. GRADE.
 - PROVIDE 4 MIL. MOISTURE BARRIER W/ 1'-0" MIN. OVERLAP BTWN CONC. AND EARTH ONLY AS REQD.
- EXTERIOR TERRACE - NOT SHOWN**
 - W/P MEMBRANE PER MGR.
 - SHEATHING - SEE STRUCT.
 - FLOOR JOISTS - SEE STRUCT.
 - TYPICAL SOFFIT

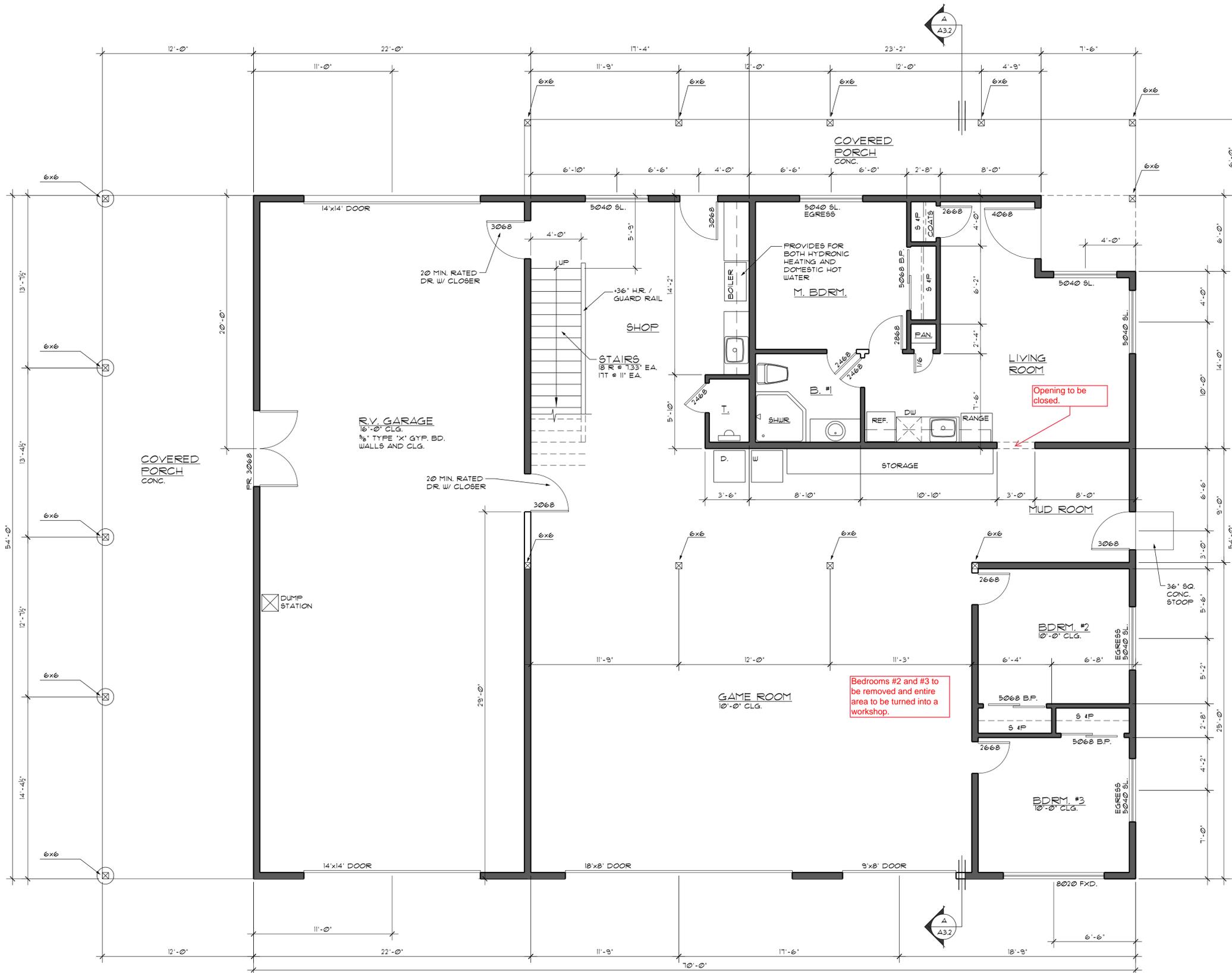


SECTION 'A-A'
SCALE 3/8" = 1'-0"

JASON WARFIELD
RESIDENTIAL DESIGN L.L.C.
LICENSE # 259-RD
542 LANDER STREET
RENO, NV 89509
775-324-3327 C. 775-749-8933 F.

SOLARO RESIDENCE
555 CHANGE LANE
RENO, NV 89521

A2.1



MECHANICAL
 ENTIRE RESIDENCE AND GARAGE
 HEATED WITH UNDER SLAB HYDRONIC
 RADIANT HEATING SYSTEM.

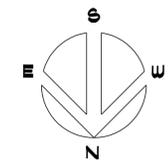
FLOOR PLAN NOTES

1. TYPICAL EXTERIOR SHEATHING -
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 2x6 STUDS @ 16" O.C. W/ R-21 INSUL.
3. INTERIOR WALLS: 2x4 STUDS @ 16" O.C. UNO.
4. ALL 6x AND LARGER LUMBER TO BE DFM,
 ALL SMALLER LUMBER TO BE DFM OR BETTER
 UNLESS NOTED OTHERWISE.
5. PROVIDE SAFETY GLAZING IN HAZARDOUS
 LOCATIONS PER I.R.C. R308.4
6. PROVIDE ATTIC ACCESS PER I.R.C. SECTION R807.1
7. PROVIDE WATER-RESISTANT GYPSUM BOARD AT
 LOCATIONS REQUIRED PER I.R.C. SECTION R102.3.
8. PROVIDE R-3 INSULATION AT ALL HOT WATER
 PIPING CONT. 24" FROM H.W.T. TO FIXTURE.
9. PROVIDE TILE OR SOLID SURFACE NONABSORBENT FINISH TO
 1/2" MIN. AFF. IN SHOWER COMPARTMENTS AND WALLS ABV.
 BATH TUBS WITH SHOWER HEADS.
10. FIRE BLOCKING SHALL BE INSTALLED IN ACCORDANCE WITH
 I.R.C. R302.11 & R602.8.
11. IN ATTICS, WHEN AN ATTIC ACCESS IS REQUIRED AND THE SPACE IS
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 FOAM PLASTIC INSULATION MAY BE PROTECTED AGAINST IGNITION
 USING ONE OF THE FOLLOWING IGNITION BARRIER MATERIALS:
 - 1/2" THICK MINERAL FIBER INSULATION
 - 1/2" THICK WOOD STRUCTURAL PANELS, 3/8" PARTICLE BOARD
 - 1/4" HARDBOARD, 3/8" GYPSUM BOARD OR
 CORROSION-RESISTANT STEEL HAVING A BASE METAL THICKNESS
 OF 0.016 INCH OR WHERE THE FOAM PLASTIC INSULATION HAS
 BEEN TESTED IN ACCORDANCE WITH SECTION R316.6. (R316.5.3)

Bedrooms #2 and #3 to
 be removed and entire
 area to be turned into a
 workshop.

2,574 SQ.FT. - MAIN LEVEL LIVING AREA
 128 SQ.FT. - UPPER LEVEL
 3,302 SQ.FT. - TOTAL LIVING AREA
 1,154 SQ.FT. = GARAGE AREA
 988 SQ.FT. - COVERED PORCHES

FLOOR PLAN
 SCALE 1/4" = 1'-0"

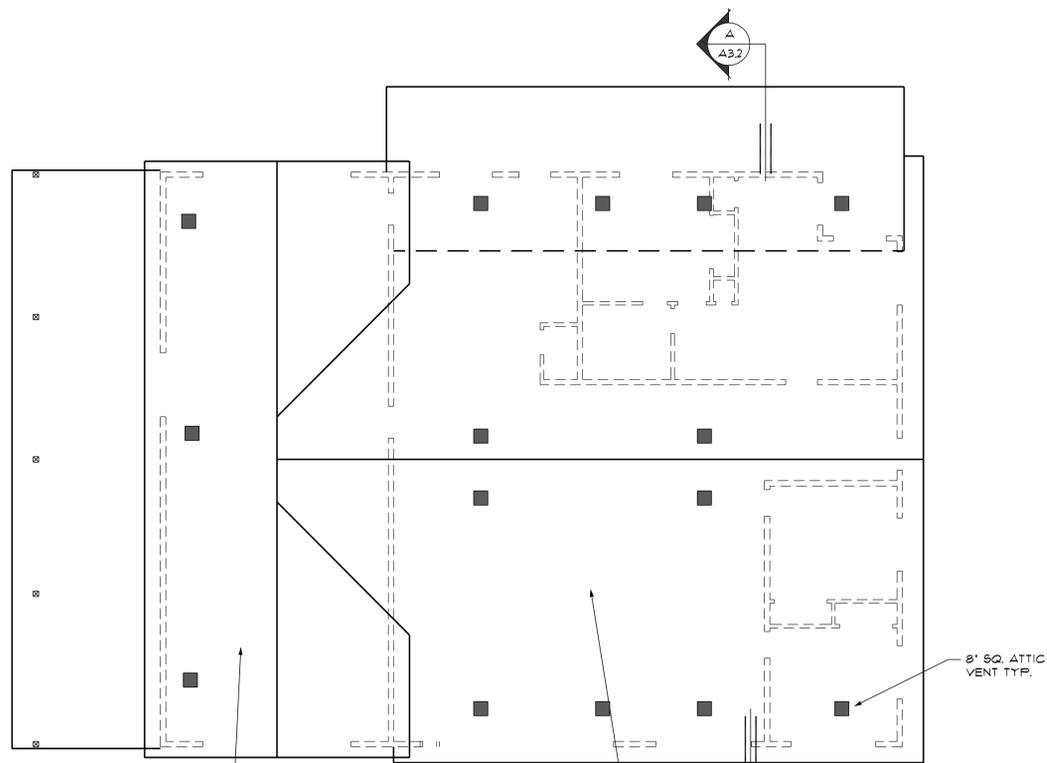


Proposed accessory dwelling

JASON WARFIELD
RESIDENTIAL DESIGN L.L.C.
 LICENSE # 253-P
 3100 MILL ST. - SUITE #216
 RENO, NV 89502
 775-324-8327 O. 775-749-8603 F.

SOLARO RESIDENCE
 NEW RESIDENCE
 555 CHANCE LANE
 WASHOE COUNTY, NEVADA

A2.0
 5-12-16



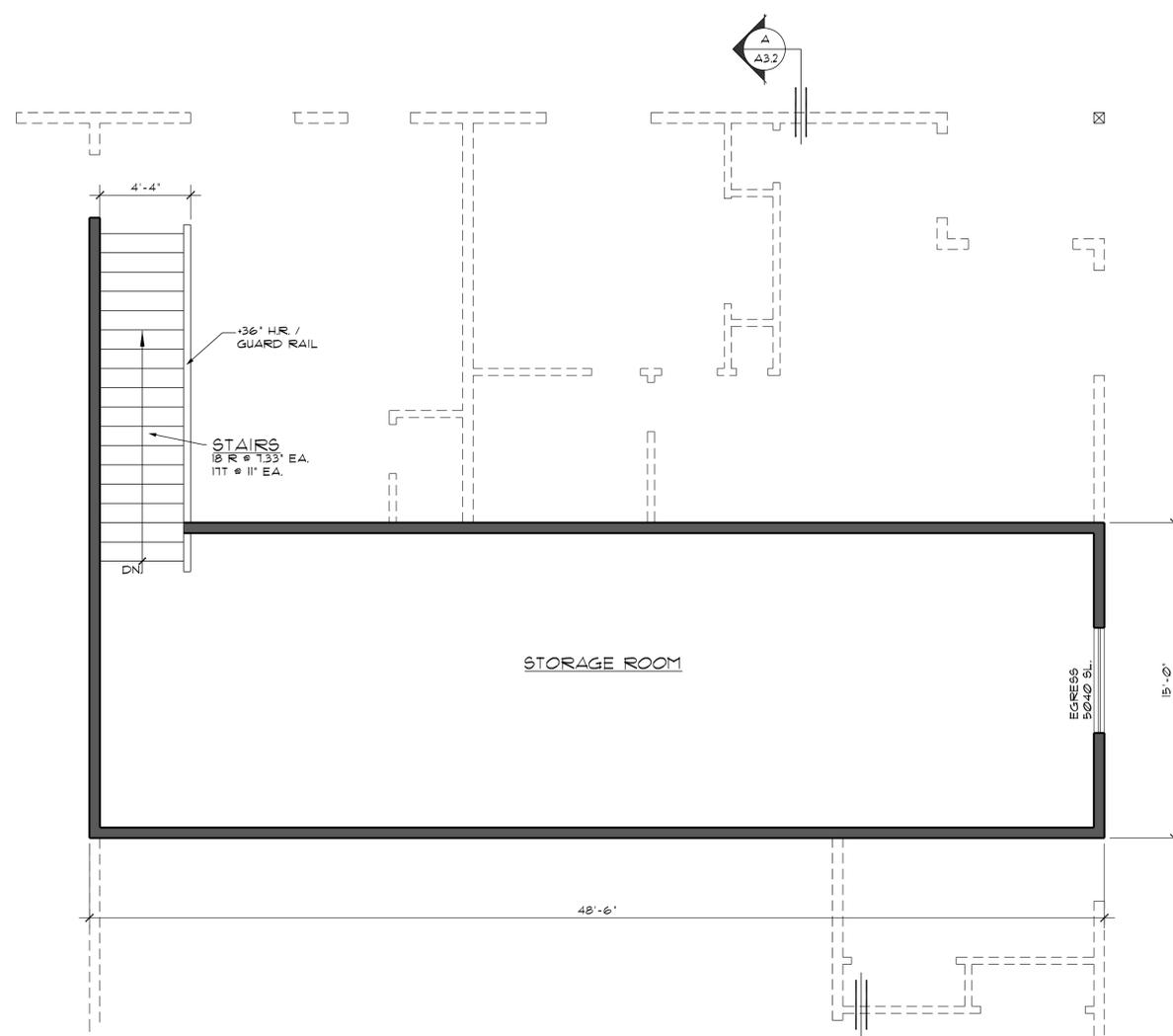
ATTIC VENTILATION

ATTIC SPACE
 EAWE VENTS 1"x12" VENT AT 13 BAYS = 128 SF.
 8" SQ. ATTIC VENTS - LOWER (3) 8" @ 0.44 SF EA. = 132 SF.
 GABLE END VENTS (2) 15"x18" @ 128 SF EA. = 376 SF.
 TOTAL VENT AREA PROVIDED 616 SF.
 REQUIRED = 1154 SF / 300 = 3.85 SF.
 50% MAX. IN UPPER 1/3 ROOF = 1.92 SF.

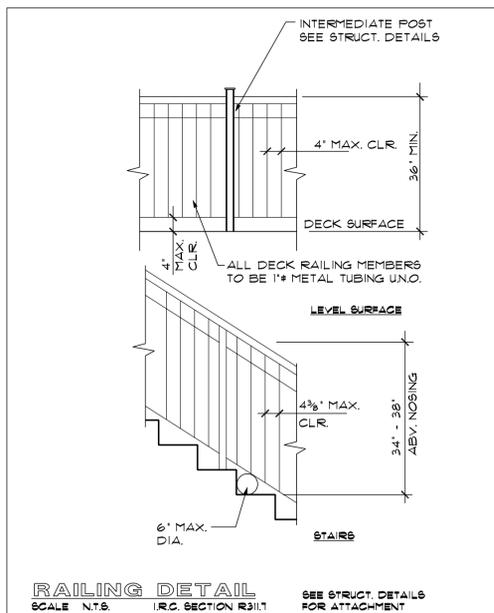
ROOF PLAN
 SCALE 1/8" = 1'-0"

ATTIC VENTILATION

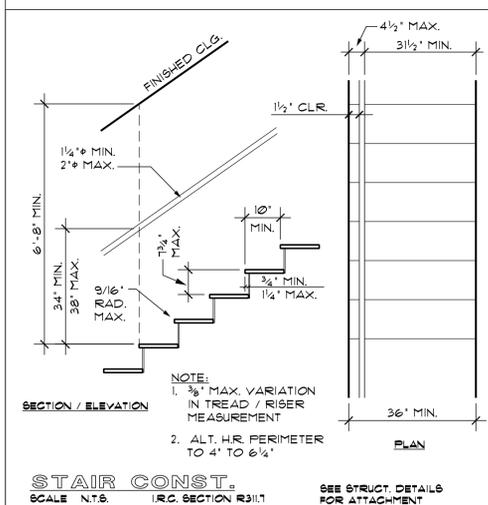
ATTIC SPACE
 EAWE VENTS 1"x12" VENT AT 20 BAYS = 160 SF.
 8" SQ. ATTIC VENTS - LOWER (8) 8" @ 0.44 SF EA. = 352 SF.
 GABLE END VENTS (1) 15"x18" @ 128 SF EA. = 128 SF.
 8" SQ. ATTIC VENTS - UPPER (4) 8" @ 0.44 SF EA. = 176 SF.
 TOTAL VENT AREA PROVIDED 816 SF.
 REQUIRED = 2514 SF / 300 = 8.38 SF.
 50% MAX. IN UPPER 1/3 ROOF = 4.19 SF.



STORAGE PLAN
 SCALE 1/4" = 1'-0" 728 SQ.FT.



RAILING DETAIL
 SCALE N.T.S. I.R.C. SECTION R311.1 SEE STRUCT. DETAILS FOR ATTACHMENT



STAIR CONST.
 SCALE N.T.S. I.R.C. SECTION R311.1 SEE STRUCT. DETAILS FOR ATTACHMENT

FLOOR PLAN NOTES

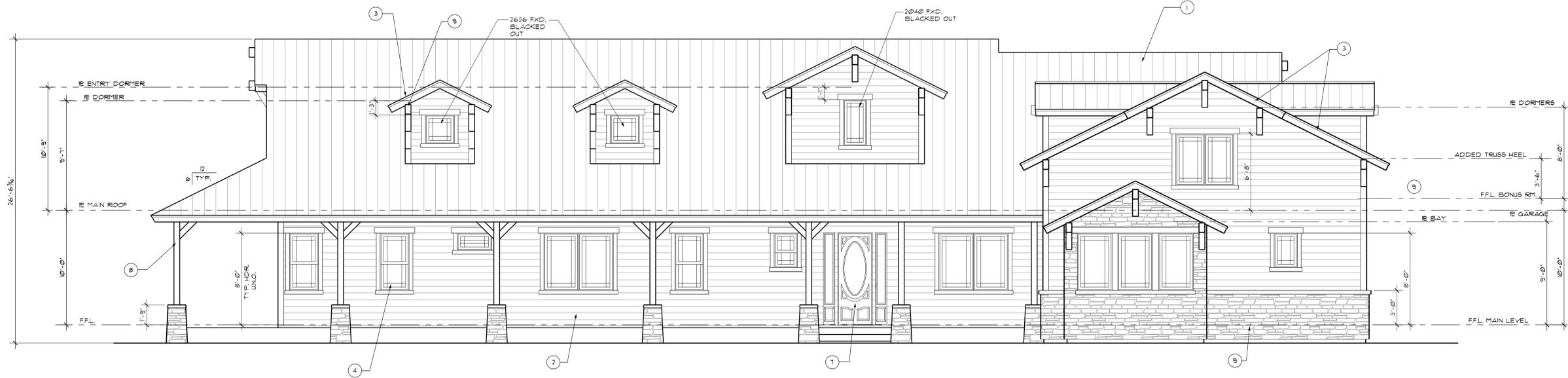
- TYPICAL EXTERIOR SHEATHING - 3/8" MIN. THK. CDX SIDING W/ 8d @ 6" O.C. EDGES AND 12" O.C. FIELD UNO. OVER BUILDING PAPER.
- NEW EXTERIOR WALLS THIS LEVEL: 2x6 STUDS @ 16" O.C. W/ R-21 INSUL.
- INTERIOR WALLS: 2x4 STUDS @ 16" O.C. UNO.
- ALL 6x AND LARGER LUMBER TO BE DPM. ALL SMALLER LUMBER TO BE DPM OR BETTER UNLESS NOTED OTHERWISE.
- PROVIDE SAFETY GLAZING IN HAZARDOUS LOCATIONS PER I.R.C. R308.4
- PROVIDE ATTIC ACCESS PER I.R.C. SECTION R801.1
- PROVIDE WATER-RESISTANT GYPSUM BOARD AT LOCATIONS REQUIRED PER I.R.C. SECTION R102.3.
- PROVIDE R-3 INSULATION AT ALL HOT WATER PIPING CONT. 24" FROM H.W.T. TO FIXTURE.
- PROVIDE TILE OR SOLID SURFACE NONABSORBENT FINISH TO 12" MIN. AFF. IN SHOWER COMPARTMENTS AND WALLS ABV. BATH TUBS WITH SHOWER HEADS.
- FIRE BLOCKING SHALL BE INSTALLED IN ACCORDANCE WITH I.R.C. R302.11 & R602.8.
- IN ATTICS, WHEN AN ATTIC ACCESS IS REQUIRED AND THE SPACE IS ENTERED ONLY FOR PURPOSES OF REPAIRS OR MAINTENANCE, FOAM PLASTIC INSULATION MAY BE PROTECTED AGAINST IGNITION USING ONE OF THE FOLLOWING IGNITION BARRIER MATERIALS:
 - 1/2" THICK MINERAL FIBER INSULATION
 - 1/2" THICK WOOD STRUCTURAL PANELS, 3/8" PARTICLE BOARD
 - 1/2" HARDBOARD, 3/8" GYPSUM BOARD OR CORROSION-RESISTANT STEEL HAVING A BASE METAL THICKNESS OF 0.016 INCH OR WHERE THE FOAM PLASTIC INSULATION HAS BEEN TESTED IN ACCORDANCE WITH SECTION R316.6. (R316.5.3)

Proposed accessory dwelling

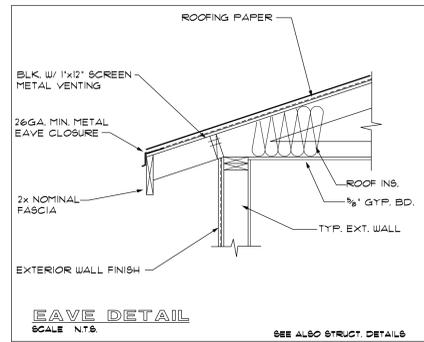
JASON WARFIELD
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SOLARO RESIDENCE
 NEW RESIDENCE
 555 CHANCE LANE
 WASHOE COUNTY, NEVADA

A 2.1
 5-12-16



FRONT ELEVATION
 SCALE 1/4" = 1'-0"



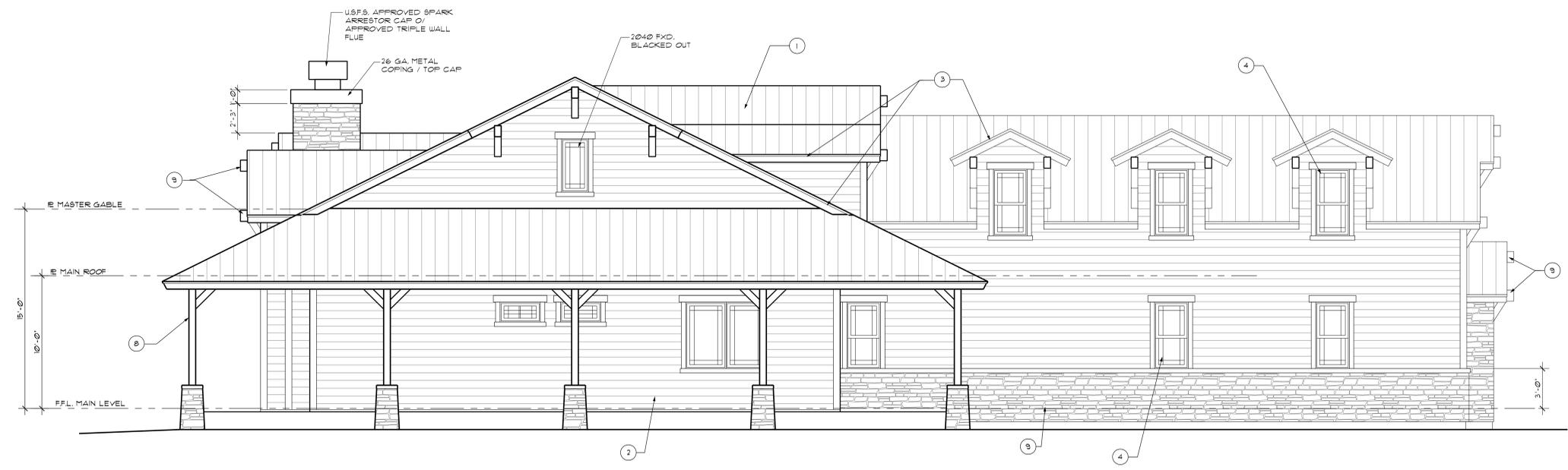
- W.U.I. INFORMATION**
- FIRE HAZARD RATING - LOW
 - I.R. CONSTRUCTION TYPE - 4 (NO REQUIREMENTS)
 - ROOF - GLASS 10'
 - EAVES - NO RESTRICTIONS
 - VENTS - NO RESTRICTIONS
 - EXTERIOR WALLS - NO RESTRICTIONS
 - DOORS, DECKS, AWNING - NO RESTRICTIONS

ELEVATION MATERIALS

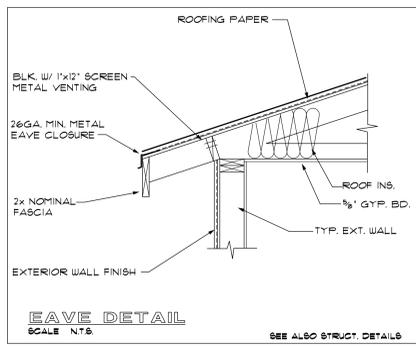
- 1 STANDING SEAM METAL ROOFING
VENT PER ROOF PLAN
- 2 HARDI LAP SIDING O/ TYVEC OR EQUAL BLDG. WRAP
- 3 2x8 FASCIA / BARGE W/ 1x2 TRIM AT RAKE
PROVIDE METAL EAVE CLOSURE AT FASCIA
- 4 VINYL FRAME WINDOW / SLIDING DOOR
W/ 5/4 SURROUND TRIM
- 5 METAL DECK RAILING W/ PICKETS @ 4" MAX. CLR.
- 6 SECTIONAL INSULATED FIBERGLASS GARAGE DOOR
- 7 INSULATED FIBERGLASS DOOR
- 8 6x PORCH POSTS W/ 6x6 KNEE BRACES
- 9 6x10 OUTRIGGER W/ 6x6 KNEE BRACE
- 9 2" STONE VENEER O/ WIRE MESH AND BLDG. PAPER
GROUT SOLID TO WALL



RIGHT ELEVATION
 SCALE 1/4" = 1'-0"



LEFT ELEVATION
 SCALE 1/4" = 1'-0"



W.U.I. INFORMATION

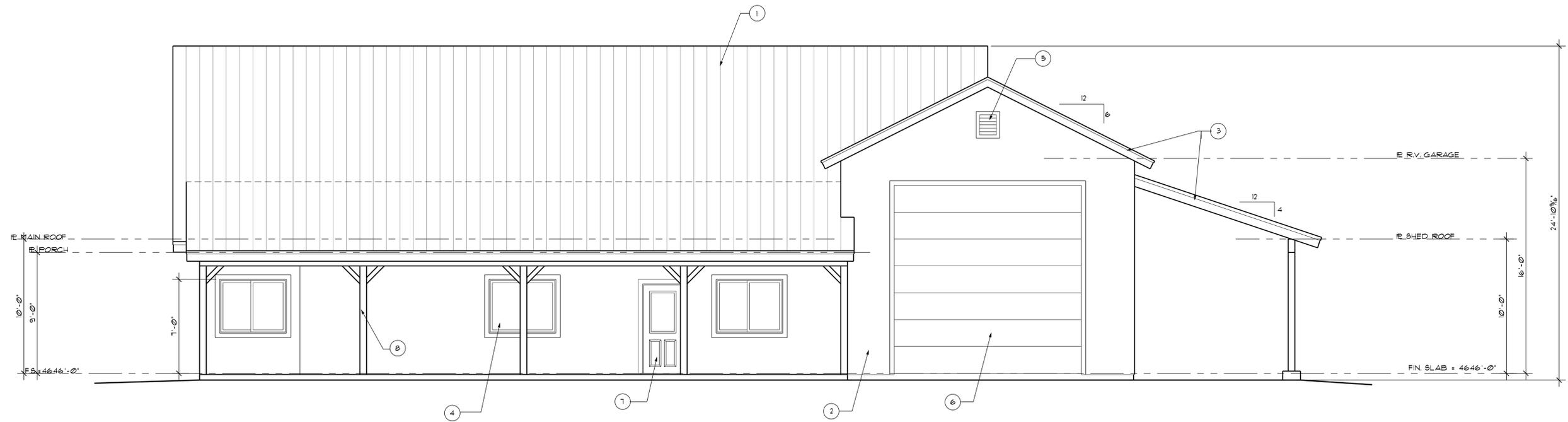
- FIRE HAZARD RATING - LOW
- IR. CONSTRUCTION TYPE - 4 (NO REQUIREMENTS)
- ROOF - CLASS 'C'
- EAVES - NO RESTRICTIONS
- VENTS - NO RESTRICTIONS
- EXTERIOR WALLS - NO RESTRICTIONS
- DOORS, DECKS, AWNING - NO RESTRICTIONS

ELEVATION MATERIALS

- 1 STANDING SEAM METAL ROOFING VENT PER ROOF PLAN
- 2 HARDI LAP SIDING O/ TYVEC OR EQUAL BLDG. WRAP
- 3 2x8 FASCIA / BARGE W/ 1/2 TRIM AT RAKE PROVIDE METAL EAVE CLOSURE AT FASCIA
- 4 VINYL FRAME WINDOW / SLIDING DOOR W/ 3/4 SURROUND TRIM
- 5 METAL DECK RAILING W/ PICKETS @ 4' MAX. CLR.
- 6 SECTIONAL INSULATED FIBERGLASS GARAGE DOOR
- 7 INSULATED FIBERGLASS DOOR
- 8 6x PORCH POSTS W/ 6x6 KNEE BRACES
- 9 6x10 OUTRIGGER W/ 6x6 KNEE BRACE
- 9 2' STONE VENEER O/ WIRE MESH AND BLDG. PAPER GROUT SOLID TO WALL



REAR ELEVATION
 SCALE 1/4" = 1'-0"

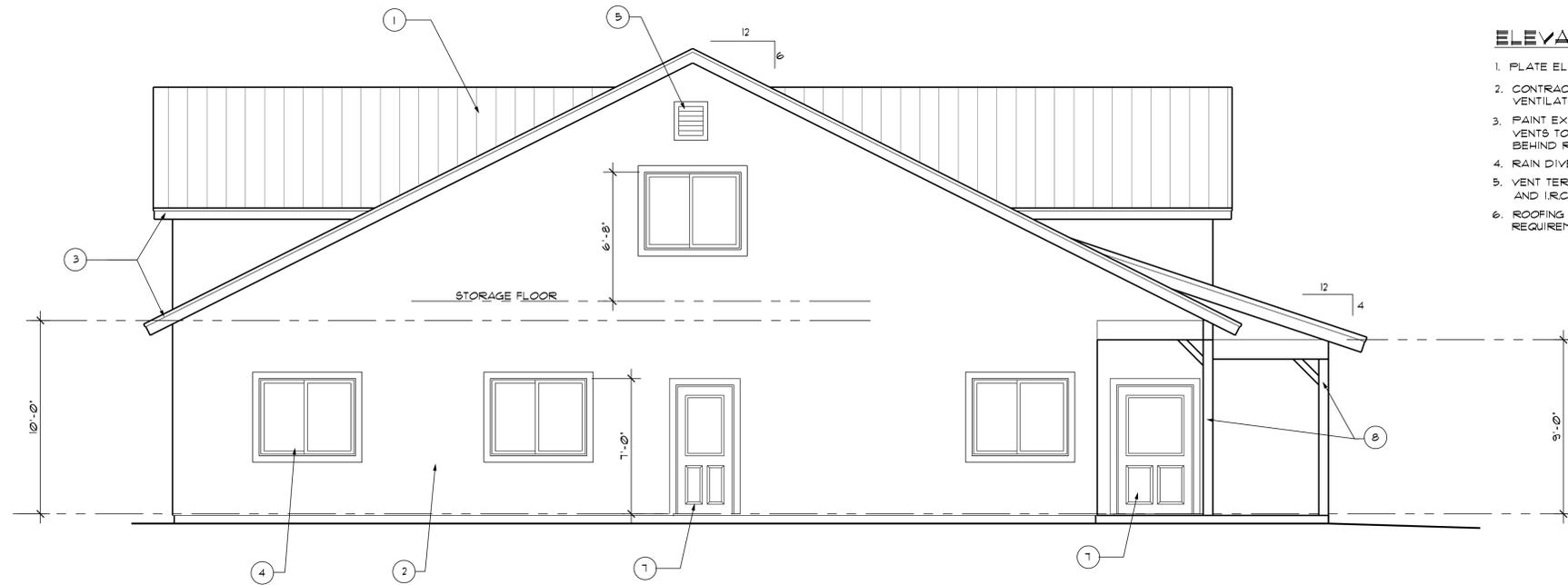


FRONT ELEVATION
SCALE 1/4" = 1'-0"

STUCCO REQUIREMENTS:
CEMENT PLASTER FINISH SHALL BE 2 COAT,
PAINTED W/ EXPANSION JOINTS AT 10' MAX
HORIZ. AND VERT. AND AT EVERY DOOR
AND WINDOW

ELEVATION MATERIALS

- ① STANDING SEAM METAL ROOFING
VENT PER ROOF PLAN
- ② STUCCO FINISH O/ WIRE MESH AND
BUILDING PAPER
- ③ 2x10 FASCIA / BARGE W/ 1x2 TRIM AT RAKE
PROVIDE METAL EAVE CLOSURE AT FASCIA
- ④ VINYL FRAME WINDOW / SLIDING DOOR
W/ 1'x4' SURROUND TRIM (STUCCO OVER)
- ⑤ METAL GABLE END VENT - PAINT TO MATCH FASCIA
- ⑥ SECTIONAL INSULATED FIBERGLASS GARAGE DOOR
- ⑦ INSULATED FIBERGLASS DOOR
- ⑧ 6x PORCH POSTS W/ 6x6 KNEE BRACES



GARAGE LEFT ELEVATION
SCALE 1/4" = 1'-0"

ELEVATION NOTES:

1. PLATE ELEVATIONS ABOVE FINISH FLOOR (AFF)
2. CONTRACTOR TO PROVIDE FOR ATTIC
VENTILATION PER I.R.C. R202.1.
3. PAINT EXPOSED SHEET METAL AND PLUMBING
VENTS TO MATCH ROOFING. DIRECT VENTS
BEHIND RIDGE WHERE POSSIBLE.
4. RAIN DIVERTERS TO BE INSTALLED AS NECESSARY
5. VENT TERMINATIONS TO MEET MANUFACTURER
AND I.R.C. REQUIREMENTS.
6. ROOFING TO BE INSTALLED AS PER MANUFACTURERS
REQUIREMENTS FOR 'HIGH WIND' APPLICATIONS.

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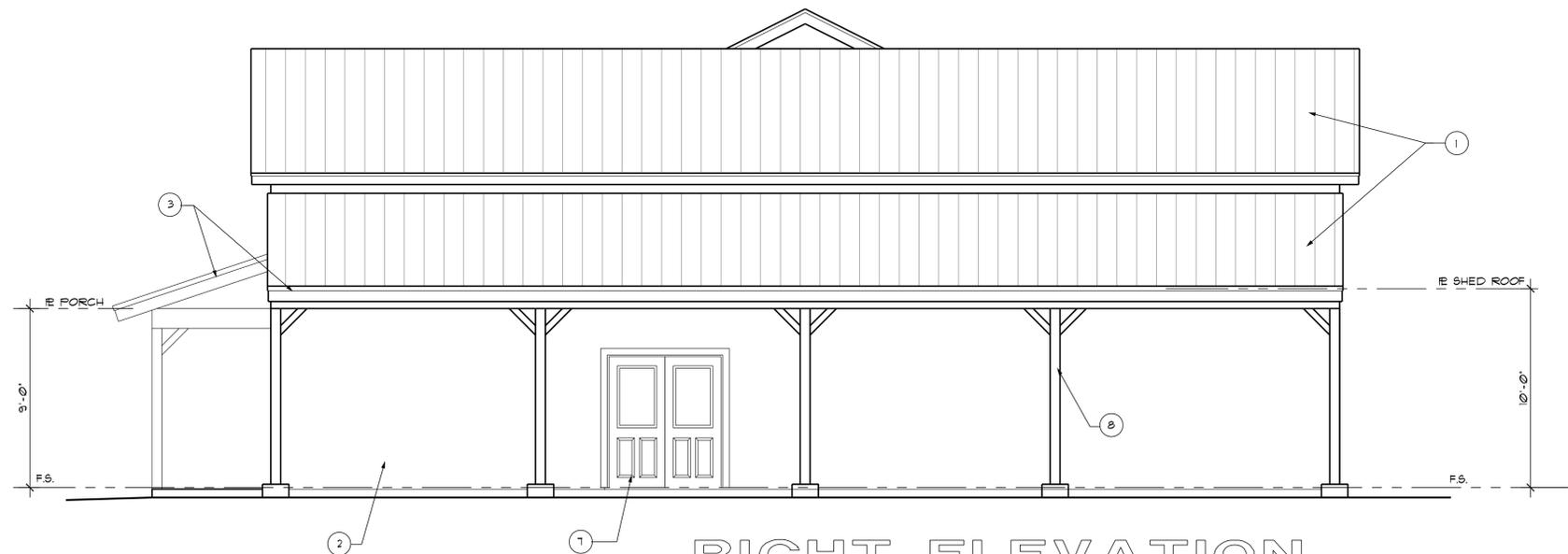
A3.0

5-12-16

Proposed accessory dwelling



REAR ELEVATION
SCALE 1/4" = 1'-0"



RIGHT ELEVATION
SCALE 1/4" = 1'-0"

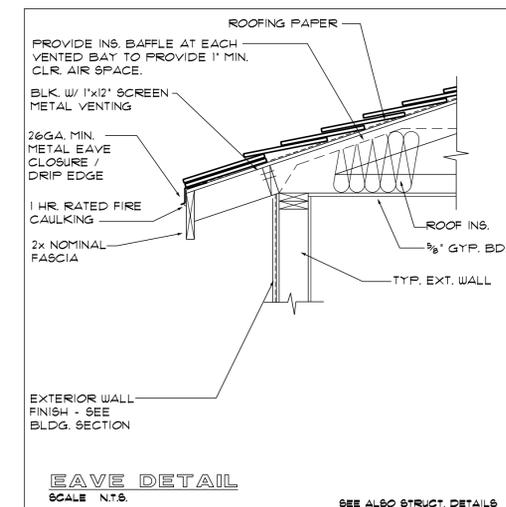
ELEVATION NOTES:

1. PLATE ELEVATIONS ABOVE FINISH FLOOR (AFF)
2. CONTRACTOR TO PROVIDE FOR ATTIC VENTILATION PER I.R.C. R806.1.
3. PAINT EXPOSED SHEET METAL AND PLUMBING VENTS TO MATCH ROOFING. DIRECT VENTS BEHIND RIDGE WHERE POSSIBLE.
4. RAIN DIVERTERS TO BE INSTALLED AS NECESSARY
5. VENT TERMINATIONS TO MEET MANUFACTURER AND I.R.C. REQUIREMENTS.
6. ROOFING TO BE INSTALLED AS PER MANUFACTURER REQUIREMENTS FOR "HIGH WIND" APPLICATIONS.

STUCCO REQUIREMENTS:
CEMENT PLASTER FINISH SHALL BE 2 COAT, PAINTED W/ EXPANSION JOINTS AT 10' MAX HORIZ. AND VERT. AND AT EVERY DOOR AND WINDOW

ELEVATION MATERIALS

- 1 STANDING SEAM METAL ROOFING VENT PER ROOF PLAN
- 2 STUCCO FINISH O/ WIRE MESH AND BUILDING PAPER
- 3 2x10 FASCIA / BARGE W/ 1x2 TRIM AT RAKE PROVIDE METAL EAVE CLOSURE AT FASCIA
- 4 VINYL FRAME WINDOW / SLIDING DOOR W/ 1"x4" SURROUND TRIM (STUCCO OVER)
- 5 METAL GABLE END VENT - PAINT TO MATCH FASCIA
- 6 SECTIONAL INSULATED FIBERGLASS GARAGE DOOR
- 7 INSULATED FIBERGLASS DOOR
- 8 6x PORCH POSTS W/ 6x6 KNEE BRACES



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SOLARO RESIDENCE
DETACHED GARAGE
555 CHANCE LANE
WASHOE COUNTY, NEVADA

A3.1

5-12-16

Proposed accessory dwelling