

Community Services Department  
Planning and Building  
**ADMINISTRATIVE PERMIT APPLICATION**  
**(Care for the Infirm see page 9)**



Community Services Department  
Planning and Building  
1001 E. Ninth St., Bldg. A  
Reno, NV 89520

Telephone: 775.328.6100

## Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

<b>Project Information</b>		Staff Assigned Case No.: _____	
Project Name: <b>Outdoor Store - The Lodge at Galena</b>			
Project Description: Tenant improvements inside the existing building shell of a neighborhood commercial development that has been previously permitted and is currently under construction. The proposed tenant spaces are a 1700sf outdoor recreational retail/rental store and an 800sf wine and coffee bar.			
Project Address: 17025 Mt. Rose Highway, Reno, Nevada			
Project Area (acres or square feet): 43,112 sf			
Project Location (with point of reference to major cross streets <b>AND</b> area locator):			
<b>Assessors's Parcel:</b>			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
047-161-13	.989 acres		
Section(s)/Township/Range:			
Indicate any previous Washoe County approvals associated with this application:			
Case No.(s). VA16-007; Building Permit - WBLD17 101990			
<b>Applicant Information (attach additional sheets if necessary)</b>			
<b>Property Owner:</b>		<b>Professional Consultant:</b>	
Name: Burkhart Management Group LLC		Name: Architects + LLC	
Address: 6593 Champetre Ct., Reno, Nevada		Address: 35 MartinSt.	
Zip: 89511		Reno	Zip: 89509
Phone: 775-870-7202	Fax:	Phone: 775-329-8001	Fax:
Email: tburkhart1938@gmail.com		Email: ernygregory@gmail.com	
Cell:	Other:	Cell: 775-722-6039	Other:
Contact Person: Tom Burkhart		Contact Person: Gregory L. Erny FAIA NCARB	
<b>Applicant/Developer:</b>		<b>Other Persons to be Contacted:</b>	
Name: Burkhart Management Group LLC		Name:	
Address: 6593 Champetre Ct., Reno, Nevada		Address:	
Zip: 89511		Zip:	
Phone:	Fax:	Phone:	Fax:
Email: tburkhart1938@gmail.com		Email:	
Cell:	Other:	Cell:	Other:
Contact Person: Tom Burkhart		Contact Person:	
<b>For Office Use Only</b>			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

## Administrative Permit Application Supplemental Information

(All required information may be separately attached)

Chapter 110 of the Washoe County Code is commonly known as the Development Code. Specific references to administrative permits may be found in Article 808, Administrative Permits.

1. What is the type of project or use being requested?

1700 sf interior tenant improvement for a new outdoor recreational retail/rental space, Snowind Sports, inside the existing neighborhood commercial building that is currently being remodeled from its former restaurant use. Additionally, an 800 sf wine/coffee bar will be included in the building which is allowed in the neighborhood commercial zoning, per Table 110.302.05.3 of the Washoe County Development Code.

2. What currently developed portions of the property or existing structures are going to be used with this permit?

1700 sf of the 4469 sf space inside the existing neighborhood commercial building is being proposed for an outdoor recreational retail/rental space. 800 sf of the 4469 sf space inside the existing neighborhood commercial building is being renovated to accommodate wine/coffee bar.

3. What improvements (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.) will have to be constructed or installed and what is the projected time frame for the completion of each?

No new exterior improvements are being constructed as part of the work associated with the outdoor recreational retail/rental space. A potential exterior patio area is being proposed as part of the work associated with the wine/coffee bar. The remodel of the existing building that has been previously permitted is currently under construction and includes new exterior new parking and landscaping for the existing property.

4. What is the intended phasing schedule for the construction and completion of the project?

The renovation of the existing building shell is under construction and is planned to be completed by summer of 2018. Tenant improvements are to be completed as soon as possible.

5. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

This is a low intensity use being included in a neighborhood commercial project. The proposed outdoor recreational retail use is intended to provide a convenient and local resource for outdoor enthusiasts, including skiers, hikers, mountain bikers, paddle boarders, etc. particularly those that frequent the Mount Rose and Lake Tahoe areas. The wine and coffee bar will also provide a convenient and local service to neighbors in the Galena area.

6. What are the anticipated beneficial aspects or effect your project will have on adjacent properties and the community?

The proposed outdoor recreational retail use will provide convenient access to retail sails and equipment rentals for year round customers needing outdoor resources, particularly those that frequent the Mt. Rose and Lake Tahoe areas. The wine and coffee bar will also provide a convenient and local service to neighbors in the Galena area.

7. What will you do to minimize the anticipated negative impacts or effect your project will have on adjacent properties?

There are no negative impacts anticipated on any adjacent properties. The site was originally developed for a restaurant use. The approved renovation of the property includes new and improved parking and landscaping.

Per the Institute of Transportation Engineers (ITE) trip generation rates table, attached herewith, only 9 peak hour trips will be generated by the proposed outdoor recreational retail use. As such, a traffic report has not been performed or included in this application. This information was confirmed with Mr. Paul Solaegui, traffic engineering consultant who provided the copy of the trip generation table attached herewith.

8. Please describe operational parameters and/or voluntary conditions of approval to be imposed on the administrative permit to address community impacts.

There are no anticipated negative community impacts. Both the outdoor recreational retail/rental tenant and the wine/coffee bar are services and uses that neighbors have expressed a desire for seeing on the property.

9. How many improved parking spaces, both on-site and off-site, are available or will be provided? (Please indicate on site plan.)

There are 29 total parking spaces being provided as part of the previously permitted site improvements for the neighborhood commercial center. See attached site and utility plan.  
Parking allocation for the uses included in the center are as follows:  
Medical 1300 sf @ 5/1000 (7) + 1/employee (4) = 11  
Wine / Coffee Bar 800 sf @ 10/1000 (8) + 1/employee (2) = 10  
Outdoor Recreational Retail 1700 sf @ 1/1000 (5) + 1/employee (2) = 7

10. What types of landscaping (e.g. shrubs, trees, fencing, painting scheme, etc.) are proposed? (Please indicate location on site plan.)

The landscaping for the property have been previously approved under the building permit for remodel of the existing building shell and site improvements. See attached landscaping plan.

11. What type of signs and lighting will be provided? On a separate sheet, show a depiction (height, width, construction materials, colors, illumination methods, lighting intensity, base landscaping, etc.) of each sign and the typical lighting standards. (Please indicate location of signs and lights on site plan.)

No signs are included as part of this application. Site lighting and exterior building lighting have been approved under the permit for remodel of the existing building shell and site improvements. See attached electrical site plan.

12. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the administrative permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
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13. Utilities:

a. Sewer Service	Community Sewer (See attached site and utility plan)
b. Water Service	Existing well

For most uses, the Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required:

c. Permit #		acre-feet per year	
d. Certificate #		acre-feet per year	
e. Surface Claim #		acre-feet per year	
f. Other, #		acre-feet per year	

i. Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources):

<p>No additional water demand is required for this use. Restrooms, drinking fountains, etc. are included in the previously approved building permit for the remodel of the building shell and site improvements.</p>
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# Property Owner Affidavit

**Applicant Name:** BURKHART MANAGEMENT GROUP, LLC

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA     )  
                                  )  
COUNTY OF WASHOE    )

I, THOMAS N. BURKHART  
(please print name)

being duly sworn, depose and say that I am the owner\* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

**(A separate Affidavit must be provided by each property owner named in the title report.)**

Assessor Parcel Number(s): 047-161-13

Printed Name THOMAS N. BURKHART

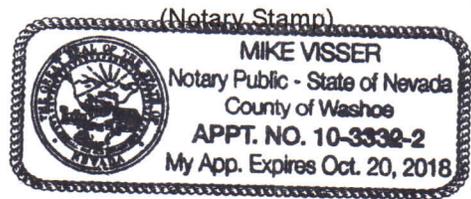
Signed [Signature]

Address 6593 Champetre Ct., Reno, Nevada

Subscribed and sworn to before me this  
11<sup>th</sup> day of May, 2018.

[Signature]  
Notary Public in and for said county and state

My commission expires: 10/20/2018



\*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

Account Detail

[← Back to Account Detail](#)

[Change of Address](#)

[Print this Page](#)

**Washoe County Parcel Information**

Parcel ID	Status	Last Update
04716113	Active	5/10/2018 2:07:24 AM
<b>Current Owner:</b> BURKHART MANAGMENT GROUP LLC		<b>SITUS:</b> 17025 MOUNT ROSE HWY
6593 CHAMPETRE CT RENO, NV 89511		
<b>Taxing District</b> 4000	<b>Geo CD:</b>	
Legal Description		
Township 17 SubdivisionName _UNSPECIFIED Range 19 Section 3		

**Tax Bill (Click on desired tax year for due dates and further details)**

Tax Year	Net Tax	Total Paid	Penalty/Fees	Interest	Balance Due
2017	\$5,628.93	\$5,628.93	\$0.00	\$0.00	\$0.00
2016	\$5,910.62	\$5,910.64	\$0.00	\$0.00	\$0.00
2015	\$5,909.81	\$5,909.81	\$0.00	\$0.00	\$0.00
2014	\$5,726.56	\$5,726.56	\$0.00	\$0.00	\$0.00
2013	\$5,654.04	\$5,654.04	\$0.00	\$0.00	\$0.00
Total					\$0.00

**Important Payment Information**

- **ALERTS:** If your real property taxes are delinquent, the search results displayed may not reflect the correct amount owing. Please contact our office for the current amount due.
- For your convenience, online payment is available on this site. E-check payments are accepted without a fee. However, a service fee does apply for online credit card payments. See Payment Information for details.

**Pay Online**

No payment due for this account.

**\$0.00**

**Pay By Check**

Please make checks payable to:  
**WASHOE COUNTY TREASURER**

**Mailing Address:**  
 P.O. Box 30039  
 Reno, NV 89520-3039

**Overnight Address:**  
 1001 E. Ninth St., Ste D140  
 Reno, NV 89512-2845

**Payment Information**

**Special Assessment District**

**Installment Date Information**

**Assessment Information**

Average Rate Trip Calculations  
For 1.8 Th.Sq.Ft. GLA of Shopping Center(820) - [R]

Project:  
Phase:

Open Date:  
Analysis Date:

Description:

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	Average Rate	Standard Deviation	Adjustment Factor	Driveway Volume
Avg. Weekday 2-Way Volume	42.70	21.25	1.00	77
7-9 AM Peak Hour Enter	0.60	0.00	1.00	1
7-9 AM Peak Hour Exit	0.36	0.00	1.00	1
7-9 AM Peak Hour Total	0.96	1.31	1.00	2
4-6 PM Peak Hour Enter	1.78	0.00	1.00	3
4-6 PM Peak Hour Exit	1.93	0.00	1.00	4
4-6 PM Peak Hour Total	3.71	2.74	1.00	7
Saturday 2-Way Volume	49.97	22.62	1.00	90
Saturday Peak Hour Enter	2.51	0.00	1.00	5
Saturday Peak Hour Exit	2.31	0.00	1.00	4
Saturday Peak Hour Total	4.82	3.10	1.00	9

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Note: A zero indicates no data available.  
Source: Institute of Transportation Engineers  
Trip Generation Manual, 9th Edition, 2012

TRIP GENERATION 2013, TRAFFICWARE, LLC

SOLAEGUI  
ENGINEERS

June 13, 2018

Ms. Clara Lawson, P.E.  
Washoe County Engineering  
1001 East Ninth Street  
Reno, Nevada 89520

**Re: The Lodge At Galena Forest Remodel, Trip Generation Letter**

Dear Clara:

This letter contains the findings of our trip generation review of the proposed office, retail, coffee shop / wine bar conversion on property located on the Mt. Rose Highway in the Galena Forest area of Washoe County. In 2016 the existing 4,000 square feet building was designated for office use. The current proposed remodel will allocate 1,290 square feet to a dentist office, 1,784 square feet to a retail ski shop and 861 square feet to a coffee shop / wine bar. The 740 square feet outdoor patio will be added to the coffee shop / wine bar area for these trip generation calculations. The project site plan is attached.

Trip generation calculations are based on the Ninth Edition of *ITE Trip Generation* (2012). The calculation sheets are attached for ITE land uses #720: Medical Dental Office Building, #820: Shopping Center, #925: Drinking Place and #936 Coffee Shop. Table 1 shows the trip generation summary for the proposed uses. The coffee shop is an AM peak hour use only and is subject to an 83% pass-by factor based on ITE data. The wine bar is a PM peak hour only use.

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TABLE 1  
TRIP GENERATION

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<u>LAND USE</u>	<u>ADT</u>	<u>AM PEAK HOUR TOTAL</u>	<u>PM PEAK HOUR TOTAL</u>
Medical – Dental Office 1,290 Square Feet	47	3	5
Shopping Center 1,784 Square Feet	76	2	7
Coffee Shop with Patio, AM only, (Base value / with ITE Pass-by Reduction) 1,601 Square Feet	n/a	(174 / 30)	0
Drinking Place, PM only 1,601 Square Feet	n/a	0	18
Total, After Pass-by Reduction	n/a	35	30

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As indicated in Table 1, ITE has average daily trip totals for only some of the land uses so a full daily total is not provided. There are 179 AM peak hour trips and 30 PM peak hour trips. As stated above the coffee shop land use has a very high pass-by component. The ITE manual indicates an 83% pass-by rate. Accounting for this pass-by component the adjusted "new trip" totals are 35 AM peak hour trips and 30 PM peak hour trips. These adjusted totals are below the 80 peak hour threshold where a full traffic study would be triggered.

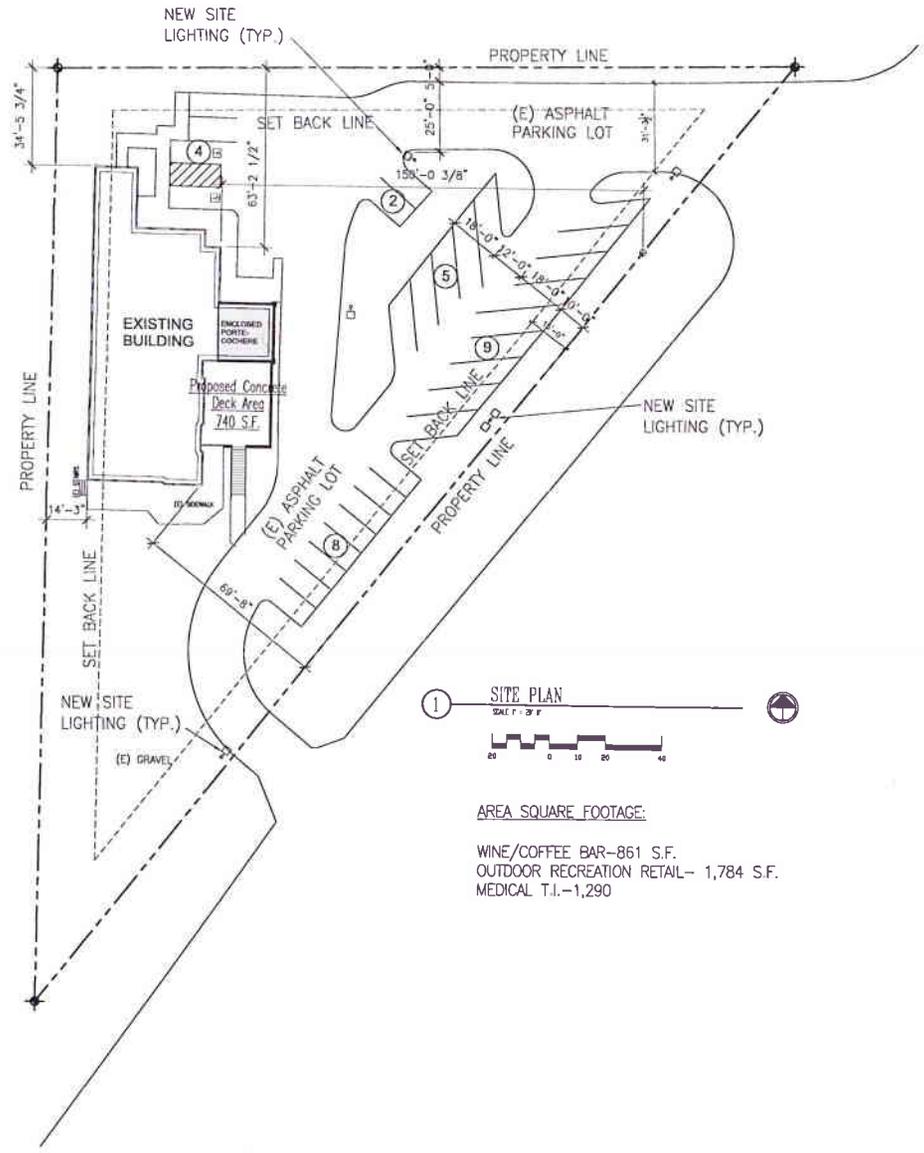
We trust that this information will be adequate for your initial project review. Please contact us if you have any questions or comments.

Very truly yours,  
SOLAEGUI ENGINEERS, LTD  
PAUL W. SOLAEGUI  
CIVIL P.E.  
Paul W. Solaegui, P.E.



6-13-18  
EXP 6-30-20

Enclosures  
Letters/Lodge at Galena Remodel Trip Letter



① SITE PLAN  
 SCALE: 1" = 20' F

AREA SQUARE FOOTAGE:  
 WINE/COFFEE BAR-861 S.F.  
 OUTDOOR RECREATION RETAIL- 1,784 S.F.  
 MEDICAL T.I.-1,290

revisions

**architects + llc**  
 architects  
 72 North 1st  
 Reno, NV 89501  
 775-334-8800  
 FAX: 775-334-8806



Project  
**The Lodge at Galena**  
 Tenant Improvement  
 17025 Mt. Rose Hwy  
 Reno, Nevada 89511

Sheet Title  
**SITE PLAN**

Drawn by  
 EC  
 Checked by  
 SE  
 Date  
 01/02/18  
 Job No.  
 17025 Mt. Rose Hwy  
 City and State  
 Reno, NV

**A-1.0**

Average Rate Trip Calculations  
 For 1.29 Th.Sq.Ft. GFA of Medical-Dental Office Building(720) - [R]

Project:  
 Phase:

Open Date:  
 Analysis Date:

Description:

	Average Rate	Standard Deviation	Adjustment Factor	Driveway Volume
Avg. Weekday 2-Way Volume	36.13	10.18	1.00	47
7-9 AM Peak Hour Enter	1.89	0.00	1.00	2
7-9 AM Peak Hour Exit	0.50	0.00	1.00	1
7-9 AM Peak Hour Total	2.39	1.89	1.00	3
4-6 PM Peak Hour Enter	1.00	0.00	1.00	1
4-6 PM Peak Hour Exit	2.57	0.00	1.00	4
4-6 PM Peak Hour Total	3.57	2.47	1.00	5
Saturday 2-Way Volume	8.96	9.17	1.00	12
Saturday Peak Hour Enter	2.07	0.00	1.00	3
Saturday Peak Hour Exit	1.56	0.00	1.00	2
Saturday Peak Hour Total	3.63	1.93	1.00	5

Note: A zero indicates no data available.  
 Source: Institute of Transportation Engineers  
 Trip Generation Manual, 9th Edition, 2012

TRIP GENERATION 2013, TRAFFICWARE, LLC

Average Rate Trip Calculations  
 For 1.784 Th.Sq.Ft. GLA of Shopping Center(820) - [R]

Project:  
 Phase:

Open Date:  
 Analysis Date:

Description:

	Average Rate	Standard Deviation	Adjustment Factor	Driveway Volume
Avg. Weekday 2-Way Volume	42.70	21.25	1.00	76
7-9 AM Peak Hour Enter	0.60	0.00	1.00	1
7-9 AM Peak Hour Exit	0.36	0.00	1.00	1
7-9 AM Peak Hour Total	0.96	1.31	1.00	2
4-6 PM Peak Hour Enter	1.78	0.00	1.00	3
4-6 PM Peak Hour Exit	1.93	0.00	1.00	4
4-6 PM Peak Hour Total	3.71	2.74	1.00	7
Saturday 2-Way Volume	49.97	22.62	1.00	89
Saturday Peak Hour Enter	2.51	0.00	1.00	4
Saturday Peak Hour Exit	2.31	0.00	1.00	5
Saturday Peak Hour Total	4.82	3.10	1.00	9

Note: A zero indicates no data available.  
 Source: Institute of Transportation Engineers  
 Trip Generation Manual, 9th Edition, 2012

TRIP GENERATION 2013, TRAFFICWARE, LLC

Average Rate Trip Calculations  
 For 1.601 Th.Sq.Ft. GFA of Coffee/Donut Shop without Drive-Thru(936) - [R]

Project:  
 Phase:

Open Date:  
 Analysis Date:

Description:

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	Average Rate	Standard Deviation	Adjustment Factor	Driveway Volume
<hr/>				
Avg. Weekday 2-Way Volume	0.00	0.00	1.00	0
7-9 AM Peak Hour Enter	55.27	0.00	1.00	88
7-9 AM Peak Hour Exit	53.11	0.00	1.00	86
7-9 AM Peak Hour Total	108.38	47.90	1.00	174
4-6 PM Peak Hour Enter	20.38	0.00	1.00	33
4-6 PM Peak Hour Exit	20.38	0.00	1.00	32
4-6 PM Peak Hour Total	40.75	14.42	1.00	65
Saturday 2-Way Volume	0.00	0.00	1.00	0
Saturday Peak Hour Enter	31.66	0.00	1.00	51
Saturday Peak Hour Exit	34.30	0.00	1.00	55
Saturday Peak Hour Total	65.96	31.10	1.00	106

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Note: A zero indicates no data available.  
 Source: Institute of Transportation Engineers  
 Trip Generation Manual, 9th Edition, 2012

TRIP GENERATION 2013, TRAFFICWARE, LLC

Average Rate Trip Calculations  
 For 1.601 Th.Sq.Ft. GFA of Drinking Place(925) - [R]

Project:  
 Phase:

Open Date:  
 Analysis Date:

Description:

	Average Rate	Standard Deviation	Adjustment Factor	Driveway Volume
Avg. Weekday 2-Way Volume	0.00	0.00	1.00	0
7-9 AM Peak Hour Enter	0.00	0.00	1.00	0
7-9 AM Peak Hour Exit	0.00	0.00	1.00	0
7-9 AM Peak Hour Total	0.00	0.00	1.00	0
4-6 PM Peak Hour Enter	7.48	0.00	1.00	12
4-6 PM Peak Hour Exit	3.86	0.00	1.00	6
4-6 PM Peak Hour Total	11.34	8.04	1.00	18
Saturday 2-Way Volume	0.00	0.00	1.00	0
Saturday Peak Hour Enter	0.00	0.00	1.00	0
Saturday Peak Hour Exit	0.00	0.00	1.00	0
Saturday Peak Hour Total	0.00	0.00	1.00	0

Note: A zero indicates no data available.  
 Source: Institute of Transportation Engineers  
 Trip Generation Manual, 9th Edition, 2012

TRIP GENERATION 2013, TRAFFICWARE, LLC

**From:** gregory erny  
**To:** [Mullin, Kelly](#)  
**Cc:** [tburkhart1938@gmail.com](mailto:tburkhart1938@gmail.com); [Jim Smrt](#); [Paul Solaegui](#)  
**Subject:** Re: Lodge @ Galena application - incomplete at this time  
**Date:** Friday, May 18, 2018 4:04:00 PM  
**Attachments:** [REVISED Galena Lodge Site Plan-A-1.0 a 05 18 18 Rev1.pdf](#)

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Good Afternoon Kelly,

Attached is the updated site plan indicating the location of the proposed outdoor concrete patio and also the dimensions between the building and the property lines.

The proposed 30 ft x 25 ft (750 sf) outdoor concrete patio is primarily affiliated with the wine/coffee bar. The floor level of the concrete patio will match that of the finish floor of the wine bar. The proposed patio abuts the existing building on two sides. There is no cover over the patio and is anticipated to have table seating with umbrellas. Based on existing grade differentials between The patio will be approximately 5 ft above grade at the south end and have a 42-inch high vertical picket guard around the perimeter. The existing building separates the proposed patio from the rear property line. The distance between the patio and the property line along the Mt. Rose highway exceeds 50 feet.

Per Mr. Burkhart, the proposed hours of operation of the Outdoor Retail/Rental business and the coffee/wine bar are 7am to 7pm during weekdays, and 7am to 8pm on weekends. It should be noted that the coffee bar will operate primarily in the morning with the wine bar operating in the afternoons and evenings. It should be noted that the coffee bar is primarily a local neighborhood amenity and also an amenity to those already patronizing the Outdoor Retail/Rental and medical services tenants in the morning.

Per our discussions earlier today, Mr. Paul Solaegui is attempting to discuss the unique aspects of the traffic situation with Ms. Clara Lawson of Washoe County. The proposed coffee/wine bar use does not fit into the standard traffic analysis categories. As previously stated, the coffee/wine bar area will primarily serve coffee in the morning. Wine and beer will be served primarily in the afternoon and evenings. There is no drive thru facility. The location and nature of the operation at this site does not match the standard 87 peak hour morning trips that might be assigned to an operation such as Starbucks. In the context of this situation, it is anticipated that the only about 50% of the usual morning traffic affiliated with a coffee bar will occur, and the morning peak hour traffic affiliated with the coffee bar will not exceed 40-45 vehicle trips. Combining those 40-45 trips with 9 evening peak hour trips for the wine bar, 13 morning and evening peak hour trips associated with the medical tenant, and 9 peak hour trips with the outdoor recreation retail/rental shop, the total morning/evening peak hour trips for the proposed tenants is 72 to 76 and does not reach the 80 trips that trigger a traffic analysis and report.

At this time, we are waiting to hear the outcomes of the discussions between Mr. Solaegui and Ms. Lawson before moving forward with any further traffic related response.

If there are any questions or concerns regarding the enclosed information, please do not hesitate to contact me.

Greg

On Thu, May 17, 2018 at 5:55 PM, Mullin, Kelly <[KMullin@washoecounty.us](mailto:KMullin@washoecounty.us)> wrote:

Hello,

I've begun reviewing your submitted application for completeness and have identified a number of items missing from the application:

1. Traffic rates for the wine/coffee bar; traffic rates for the medical office; and combined rates for the entire site (all 3 uses). If the individual and/or combined uses are stated to be under the threshold requiring a traffic impact report (80 peak hour trips), please provide a letter by a traffic engineer attesting to that.
2. Hours of operation for the sports retail and wine/coffee bar uses
3. Updated site plan showing distances from structure to property lines
4. Updated site plan identifying proposed outdoor patio area described in application, including all dimensions, height, setbacks, and square footage compared to existing structure. Also identify if patio is attached or detached from existing structure.
5. Official document showing that Tom Burkhart is authorized to sign on behalf of the property owner Burkhart Management Group LLC

Additional information may be requested later; however, these are initial items critical to the case description and overall understanding of the project. This application is currently considered incomplete until items #1-4 have been provided (if necessary, #5 can be provided once Mr. Burkhart is back in the country, as long as it is prior to the hearing).

**If you are able to provide items #1-4 by 5 p.m. Friday, 5/18, we can continue to process the application as part of this cycle. Otherwise, it's likely we'll need to hold the application until the next cycle to ensure stakeholder agencies have sufficient time to review the application once it's complete.**

If you have questions, please let me know.

Regards,

**Kelly Mullin, AICP**

Senior Planner | Washoe County Community Services Department | Planning & Building Division

[kmullin@washoecounty.us](mailto:kmullin@washoecounty.us) | 775.328.3608 (o) | 775.328.6133 (f) | [1001 E. Ninth St., Bldg. A, Reno, NV 89512](https://www.washoecounty.us/1001-E-Ninth-St.-Bldg.-A-Reno-NV-89512)



Connect with us: [cMail](mailto:kmullin@washoecounty.us) | [Twitter](#) | [Facebook](#) | [www.washoecounty.us](http://www.washoecounty.us)

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**Greg Erny FAIA, NCARB**  
**architects + LLC**

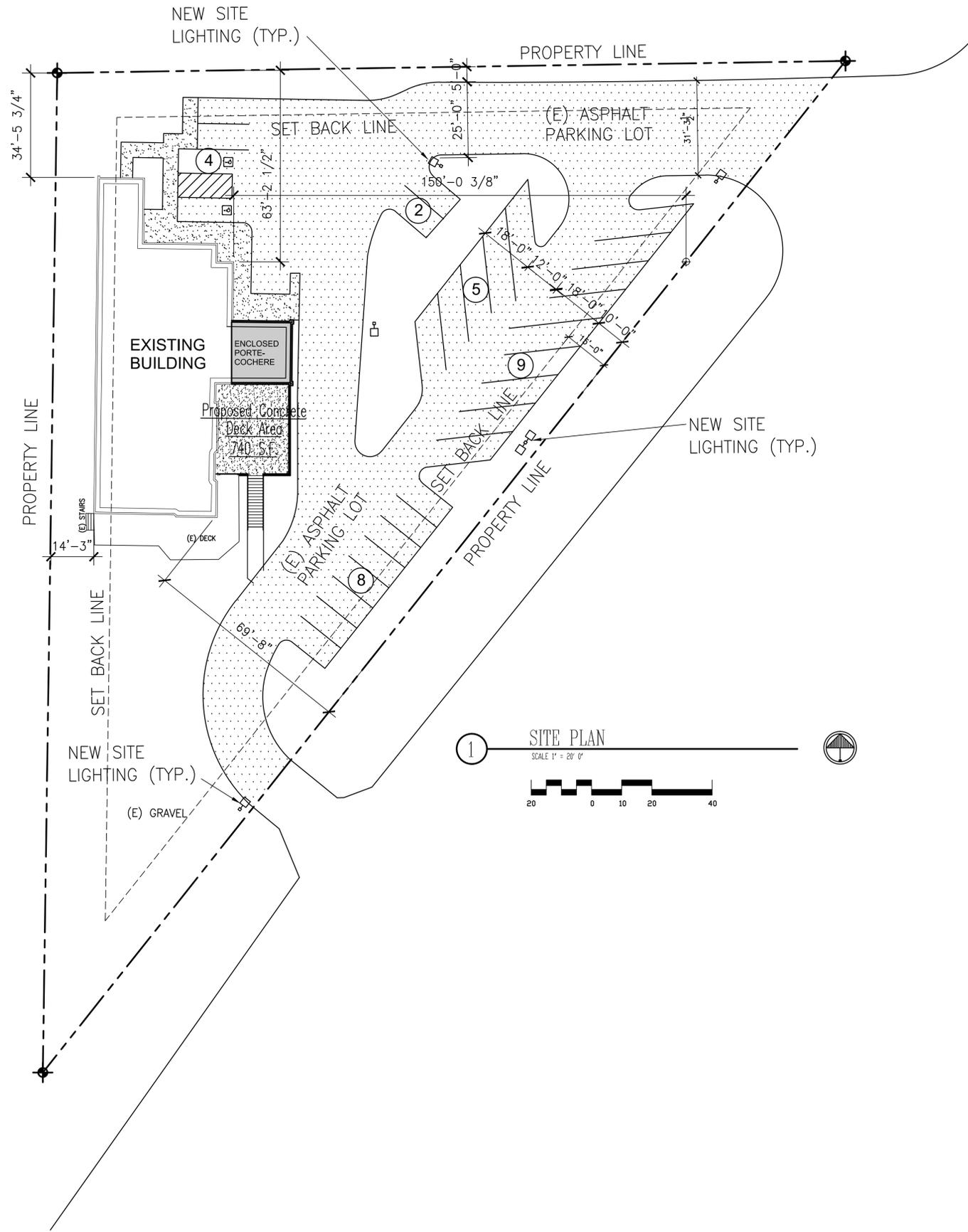
35 Martin St.

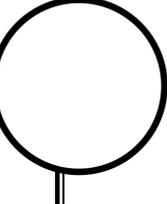
Reno, Nevada 89509

775-329-8001

775-722-8001 (cell)

[ernygregory@gmail.com](mailto:ernygregory@gmail.com)

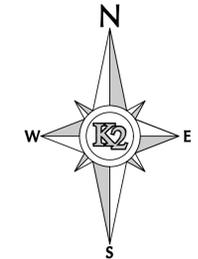
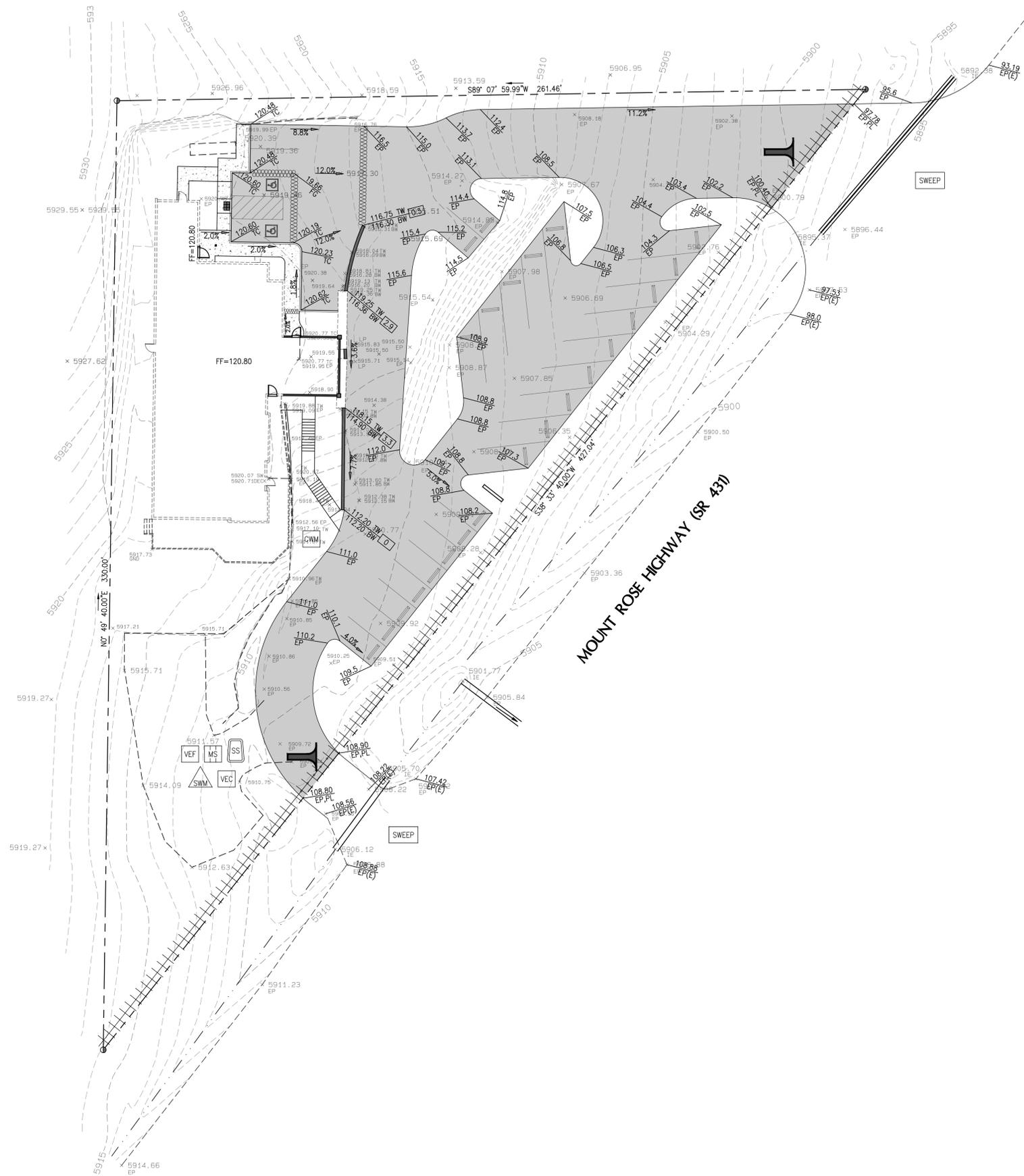


<p>revisions</p>	
 <p><b>architects + LLC</b> environmental designers</p>	
<p><b>Project</b> The Lodge at Galena Remodel 17025 Mt. Rose Hwy Reno, Nevada 89511</p>	
<p>sheet title SITE PLAN</p>	
<p>drawn by EE</p>	
<p>checked by EE</p>	
<p>date 05/01/17</p>	
<p>job no. Building Remodel The Lodge at Galena</p>	
<p>sheet <b>A-1.0</b></p>	



**GRADING/DRAINAGE LEGEND**

	A.C. PAVEMENT AREA
	CONCRETE AREA
	PROPOSED UTILITY LINE W. DESCRIPTION
	EXISTING UTILITY LINE W. DESCRIPTION
	MANHOLE W. DESCRIPTION (EXISTING/PROPOSED)
	CLEANOUT (EXISTING/PROPOSED)
	CATCH BASIN/DROP INLET
	YARD DRAIN
	GRADE BREAK
	PROPOSED CONTOUR LINE
	EXISTING CONTOUR LINE
	INLET PROTECTION
	FIBER ROLL (SC-1)
	SILT FENCE (SC-5)
	CONSTRUCTION ENTRANCE (SC-8)
	REVEGETATION (EC-8)
	RIPRAP (EC-7)
	SOLID WASTE MANAGEMENT (GM-3)
	STREET SURFACE CLEANING (GM-5)
	VEHICLE & EQUIPMENT CLEANING (GM-7)
	VEHICLE & EQUIPMENT FUELING (GM-8)
	CONCRETE WASHOUT (GM-9)
	MATERIAL DELIVERY & STORAGE (GM-10)
	SANITARY WASTE MANAGEMENT (GM-14)
	FLOW DIRECTION ARROW
	SPOT ELEVATION (EXISTING/PROPOSED)



**GRADING NOTES**

1. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS INCLUDING, DIMENSIONS, GRADES & POINTS OF CONNECTION. THE CONTRACTOR SHALL NOTIFY K2 ENGINEERING & STRUCTURAL DESIGN OF ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OR CONTINUATION OF WORK.
2. THE FIELD SURVEY PREPARED BY HARLAN KING & ASSOCIATES IS THE BASIS OF THIS DESIGN.
3. THE ACCESSIBILITY ROUTE SHALL NOT HAVE A RUNNING SLOPE EXCEEDING 5% OR A CROSS SLOPE EXCEEDING 2%. REFERENCE SITE PLAN FOR LOCATION.
4. THIS SITE LIES IN FEMA FLOOD ZONE X (32031C33266). ZONE X (UNSHADED) IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD, WHICH ARE THE AREAS OUTSIDE THE 0.2-PERCENT-ANNUAL-CHANCE FLOODPLAIN.
5. UNLESS SPECIFIED OTHERWISE, ALL DRAINAGE IMPROVEMENTS ARE PRIVATE AND SHALL BE MAINTAINED BY THE PROPERTY OWNER.
6. REFERENCE CIVIL DETAIL SHEETS (CD) FOR ADDITIONAL NOTES AND DETAILS RELATING TO THE CONSTRUCTION OF THESE IMPROVEMENTS.
7. ADD 5800' TO ALL ELEVATIONS.

**EARTHWORK NOTES**

1. PRIOR TO PERFORMING ANY WORK, THE CONTRACTOR SHALL OBTAIN & REVIEW A SITE SPECIFIC GEOTECHNICAL INVESTIGATION/REPORT AND ADDENDUMS.
2. IN THE EVENT OF DISCREPANCY BETWEEN THE REPORT AND THE NOTES HEREIN, THE REPORT SHALL PREVAIL.
3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VISIT THE SITE AND MAKE HIS OWN INTERPRETATIONS WITH REGARD TO MATERIALS, METHODS AND EQUIPMENT NECESSARY TO PERFORM THE WORK REQUIRED FOR THIS PROJECT.
4. THE DEVELOPER IS RESPONSIBLE FOR RETAINING THE SERVICES OF A TESTING COMPANY TO PROVIDE ALL REQUIRED TESTING AND INSPECTION OF GRADING AND CONSTRUCTION NOT INSPECTED DIRECTLY BY WASHOE COUNTY OR ANY UTILITY COMPANY. THE CONTRACTOR SHALL PROVIDE ANY INDEPENDENT ENTITY TWO (2) WORKING DAYS ADVANCE NOTICE OF ANY REQUIRED TESTING AND INSPECTION. THE CONTRACTOR WILL PREPARE AN INDEPENDENT ESTIMATE OF EARTHWORK QUANTITIES. ANY QUANTITIES PROVIDED IN THESE PLANS ARE FOR PERMITTING PURPOSES ONLY AND DO NOT ACCOUNT FOR MATERIAL EXPANSION OR SHRINKAGE.
5. UNSUITABLE SOIL OR MATERIALS, NOT TO BE INCLUDED IN THE WORK INCLUDE: ORGANIC MATERIALS SUCH AS PEAT, MULCH, ORGANIC SILT OR SOIL, SOILS CONTAINING EXPANSIVE CLAYS, MATERIAL CONTAINING EXCESSIVE MOISTURE, POORLY GRADED COARSE MATERIAL, PARTICLE SIZE IN EXCESS OF 6 INCHES, MATERIAL WHICH WILL NOT ACHIEVE DENSITY AND/OR BEARING REQUIREMENTS.
6. ALL EXCESS OR UNSUITABLE MATERIAL SHALL BE DISPOSED OF IN ACCORDANCE WITH THE LATEST GOVERNMENTAL REGULATIONS OR IN APPROVED AREAS AS SHOWN ON THE GRADING PLAN.

**DRAINAGE & EROSION CONTROL NOTES**

1. THIS SITE LIES IN FEMA FLOOD ZONE X (32031C33266). ZONE X (UNSHADED) IS DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD, WHICH ARE THE AREAS OUTSIDE THE 0.2-PERCENT-ANNUAL-CHANCE FLOODPLAIN.
2. THE CONTRACTOR SHALL REFER TO STATE OF NEVADA CONSTRUCTION SITE BEST MANAGEMENT PRACTICES HANDBOOK AND THE TRUCKEE MEADOWS CONSTRUCTION SITE BEST MANAGEMENT PRACTICES HANDBOOK FOR ALL BEST MANAGEMENT PRACTICES (BMP'S) TO BE UTILIZED DURING CONSTRUCTION.
3. ALL EROSION CONTROL MEASURES SHALL BE PLACED PRIOR TO COMMENCEMENT OF CONSTRUCTION.
4. THE EROSION CONTROL MEASURES SHOWN ARE A MINIMUM AND THE CONTRACTOR MAY MODIFY, RELOCATE AND IMPROVE AS REQUIRED THROUGHOUT THE CONSTRUCTION PROCESS.
5. PROVIDE INLET PROTECTION AT ALL EXISTING CATCH BASINS SURROUNDING THE SITE.
6. STABILIZE THE CONSTRUCTION ENTRANCE.
7. REFERENCE CIVIL DETAIL SHEETS (CD) FOR ADDITIONAL NOTES AND DETAILS RELATING TO THE CONSTRUCTION OF THESE IMPROVEMENTS.
8. ADD 5800' TO ALL ELEVATIONS.

**K2 ENGINEERING**  
AND STRUCTURAL DESIGN  
860 Maestro Dr., Ste. A  
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**Tenant Improvement**  
Washoe County, NV  
1702.5 Mount Rose Highway  
APN: 047-161-13

Brandt T. Kennedy, P.E.  
Jared A. Krupa, P.E.

**Revisions**

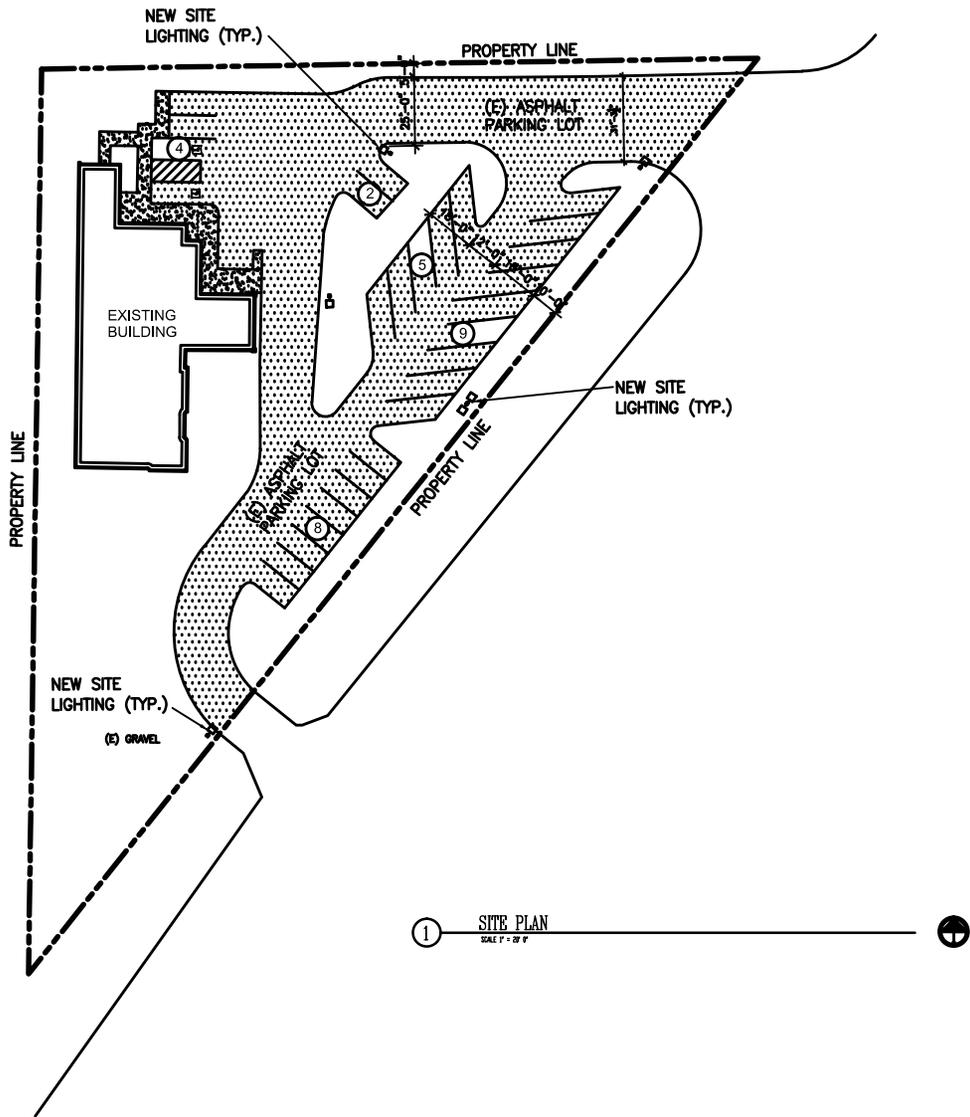

Date 7/7/17  
Drawn K2  
Checked BTK  
Project No. 16-376

Grading  
Drainage &  
E.C. Plan

**C-3**

**NDOT RIGHT-OF-WAY**  
ALL WORK WITHIN THE NDOT RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THE APPROVED NDOT ENCROACHMENT PERMIT AND NO WORK WITHIN THE NDOT RIGHT-OF-WAY SHALL COMMENCE UNTIL ALL REQUIRED PERMITTING IS OBTAINED.

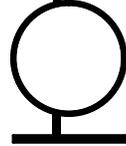




revision

architects + llc  
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engineers

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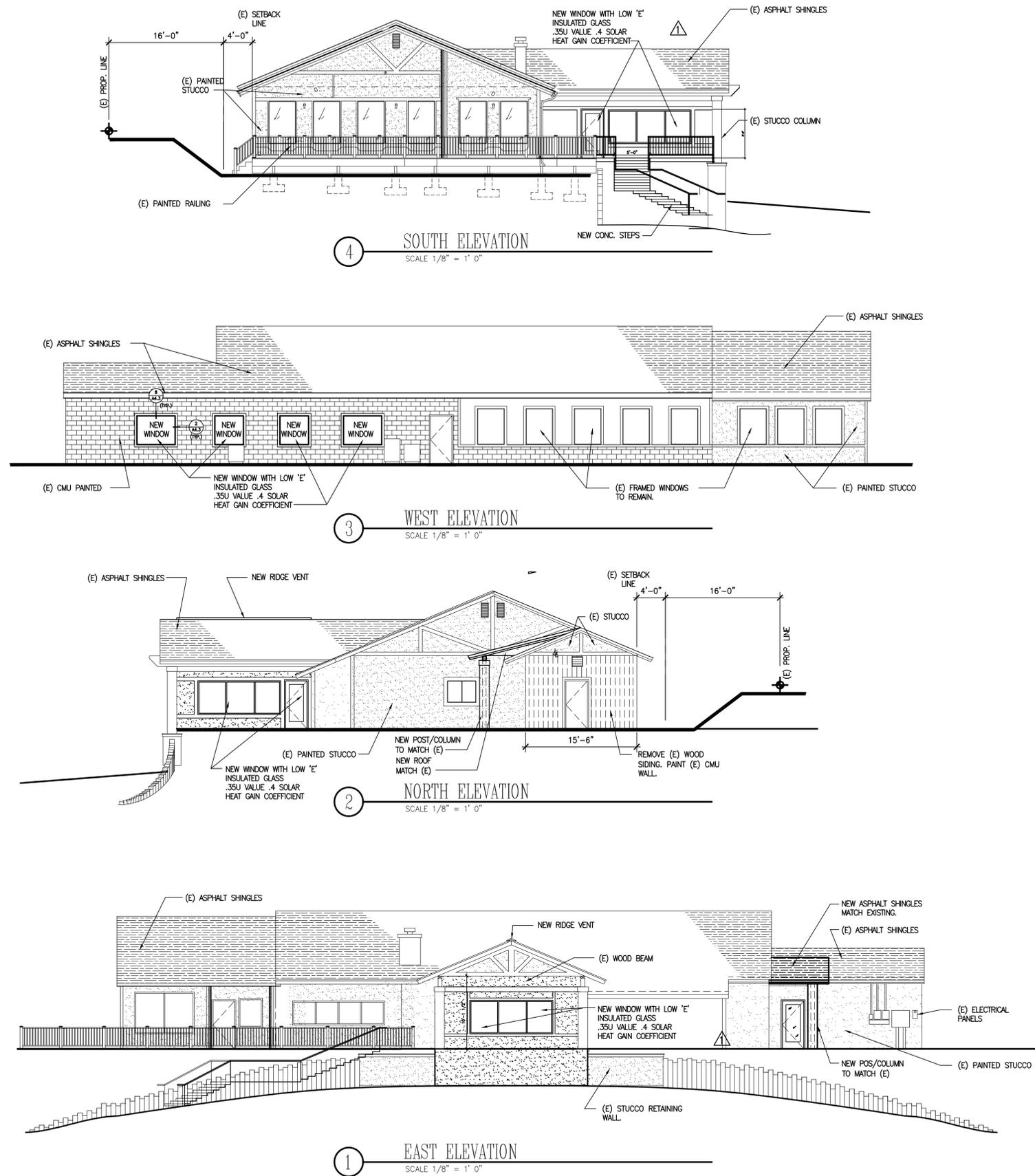


project  
**The Lodge at Galena Remodel**  
17025 Mt. Rose Hwy  
Beno, Nevada 89511

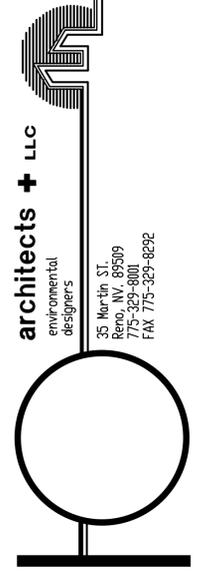
sheet no.  
SITE PLAN

drawn by  
checked by  
in  
date  
title  
sheet no.

A-1.0



revisions



**architects + LLC**  
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**project**  
The Lodge at Galena Remodel  
17025 Mt. Rose Hwy  
Reno, Nevada 89511

sheet title  
**EXTERIOR ELEVATIONS**

drawn by  
GE

checked by  
GE

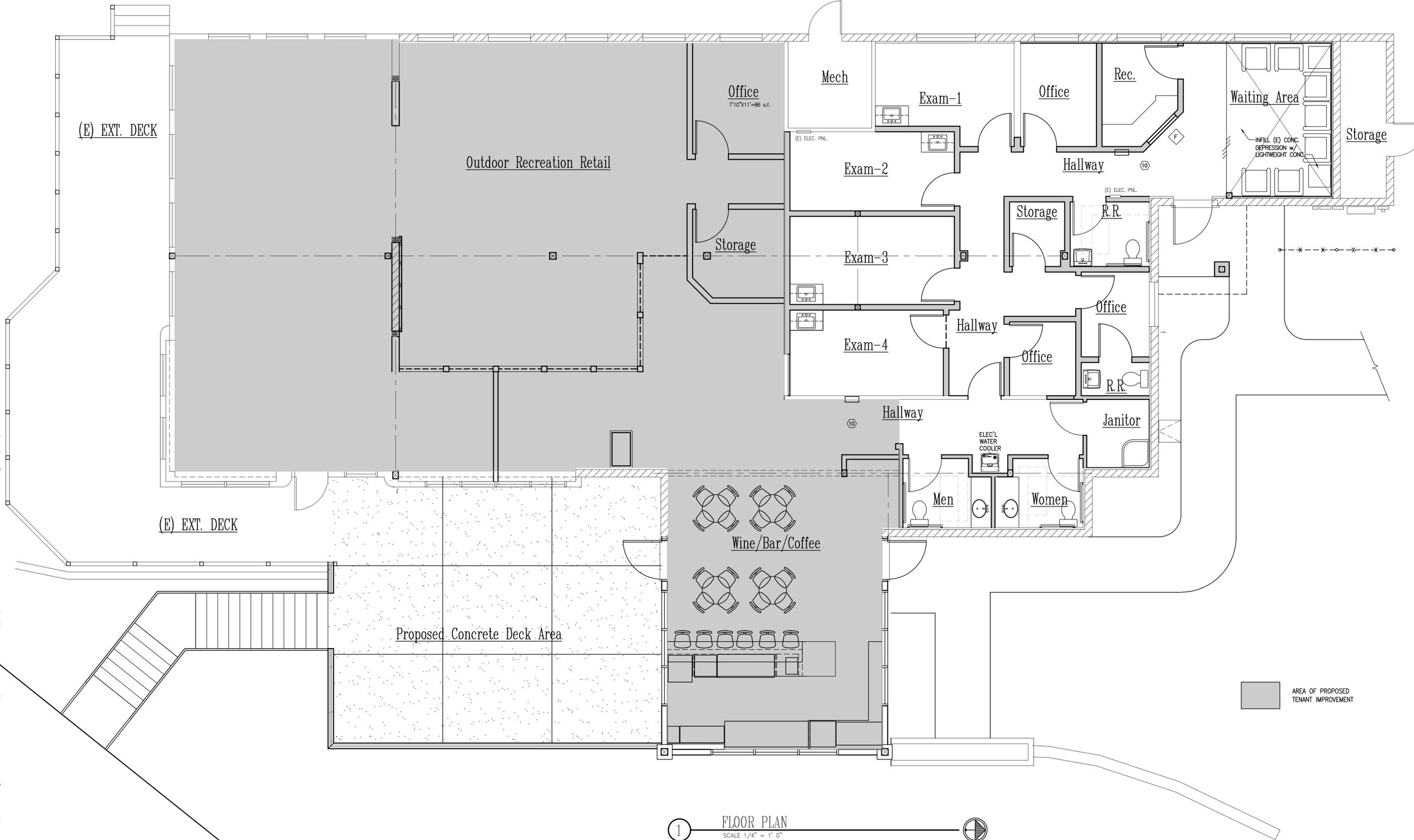
date  
07/07/2017

job no.  
Building Remodel  
The Lodge at Galena

sheet

**A-3.1**

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1 FLOOR PLAN  
SCALE 1/4" = 1' 0"

Overall Square Footage= 4,469

revisions

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project  
The Lodge at Galena Remodel  
17025 Mt. Rose Hwy  
Reno, Nevada 89511

sheet title  
EXISTING  
FLOOR PLAN

drawn by  
IE

checked by  
IE

date  
05/11/18

job no.  
Building Renovation  
The Lodge at Galena

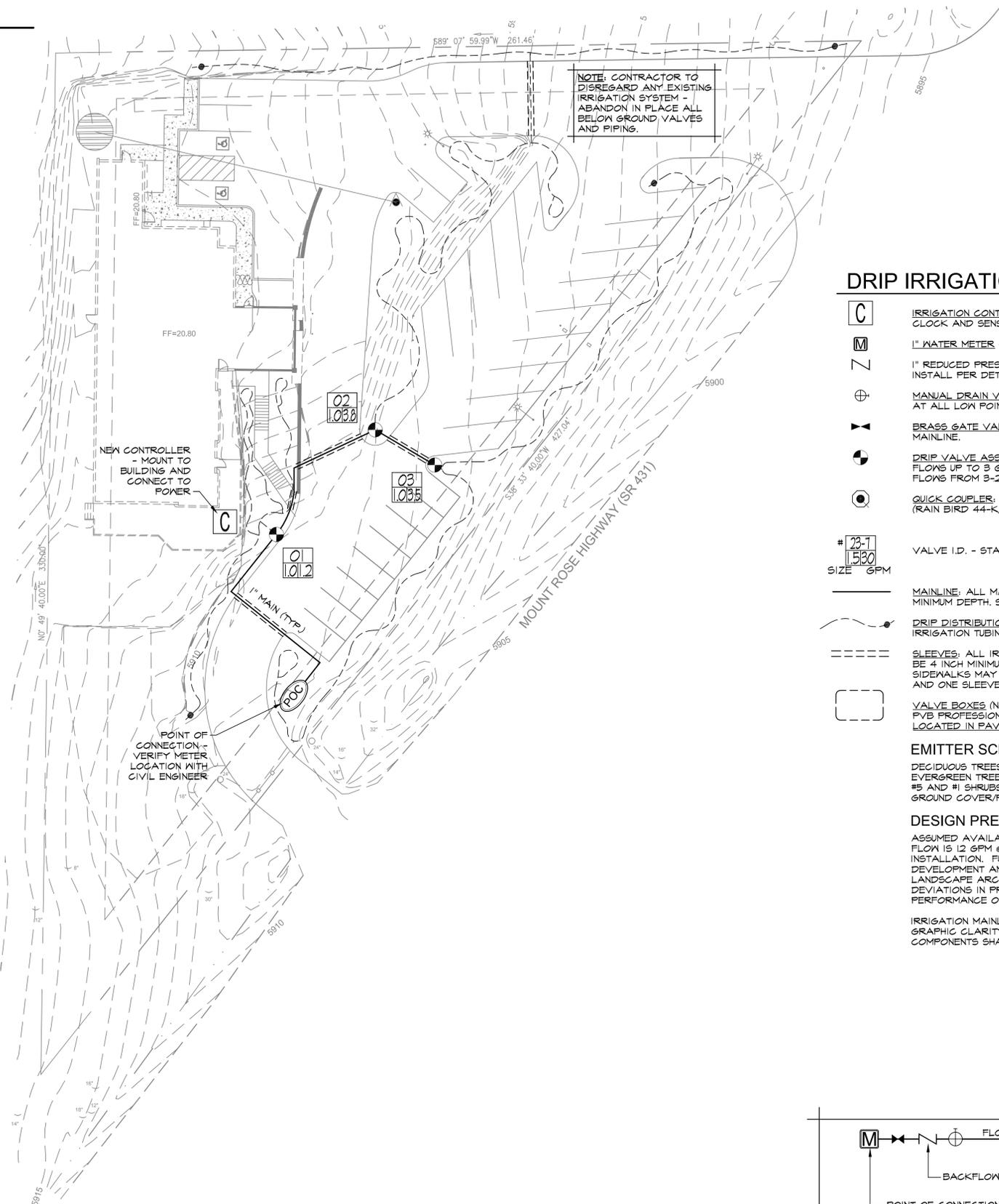
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# IRRIGATION SPECIFICATIONS

## GENERAL

1. PLAN IS DIAGRAMMATIC ONLY. FINAL LOCATION OF LINES AND HEADS SHALL BE DETERMINED IN THE FIELD AND APPROVED BY THE OWNER'S REPRESENTATIVE. LINES SHALL BE IN A COMMON TRENCH WHEREVER POSSIBLE. THE POINT-OF-CONNECTION SHALL BE AS INDICATED ON THE PLAN.
  2. THE CONTRACTOR SHALL VERIFY EXISTING SITE CONDITIONS AND ENSURE THAT ALL LOCAL CODES ARE MET.
  3. THE CONTRACTOR SHALL APPLY AND PAY FOR ALL PERMITS REQUIRED FOR INSTALLATION OF THE IRRIGATION SYSTEM AS DEPICTED ON THESE PLANS.
  4. CONTRACTOR SHALL VERIFY AVAILABLE FLOW AND PRESSURE DOWNSTREAM FROM THE POINT-OF-CONNECTION PRIOR TO SYSTEM INSTALLATION. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY IF AVAILABLE FLOW IS LESS THAN REQUIRED TO RUN THE LARGEST ZONE. CONTRACTOR SHALL NOT PROCEED ANY FURTHER WITH INSTALLATION OF THE SYSTEM UNTIL NECESSARY DESIGN REVISIONS HAVE BEEN DETERMINED BY OWNER'S REPRESENTATIVE.
  5. THE CONTRACTOR SHALL NOT WILLFULLY INSTALL THE IRRIGATION SYSTEM AS SHOWN ON THE DRAWINGS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS OR DIFFERENCES IN DIMENSIONS EXIST THAT MIGHT HAVE BEEN UNKNOWN DURING ENGINEERING. SUCH OBSTRUCTIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. IN THE EVENT THIS NOTIFICATION IS NOT PERFORMED, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY REVISIONS NECESSARY AT NO ADDITIONAL COST TO OWNER.
  6. ALL SPRINKLER EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND SPECIFICATIONS.
  7. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL IRRIGATION MATERIAL, INCLUDING PIPE, WITH THE LANDSCAPE DRAWINGS TO AVOID INTERFERING WITH THE PLANTING OF TREES, SHRUBS, OR OTHER PLANTINGS.
  8. ALL VALVES ARE TO BE LOCATED IN PLANTING AREAS WHEREVER POSSIBLE.
  9. ALL ELECTRICAL WIRE FROM CONTROLLER TO VALVES SHALL BE 12 GAUGE UL DIRECT BURIAL OR LARGER AS REQUIRED BY LENGTH PER MANUFACTURER'S SPECIFICATIONS.
  10. BACKFILL FOR TRENCHING SHALL BE COMPACTED TO A DRY DENSITY EQUAL TO THE UNDISTURBED ADJACENT SOIL AND SHALL CONFORM TO ADJACENT GRADES WITHOUT DIPS, HUMPS, OR OTHER IRREGULARITIES.
  11. A MINIMUM OF TWO WORKING DAYS PRIOR TO PERFORMING ANY DIGGING, CALL UNDERGROUND SERVICE ALERT AT 1-800-227-2600 FOR INFORMATION ON THE LOCATION OF NATURAL GAS LINES, ELECTRICAL CABLES, TELEPHONE CABLES, ETC.
  12. CONTRACTOR AGREES THAT, IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS.
  13. INSTALL ALL PIPE AND CONTROL WIRES IN LANDSCAPE BEDS AND IN COMMON TRENCHES WHEREVER POSSIBLE.
  14. INSTALL ALL PIPE AND CONTROL WIRE, WHICH RUNS UNDER PAVING, WITHIN SCH. 40 PVC SLEEVES 4" DIA. MINIMUM SIZE AS REQUIRED TO ALLOW INSTALLATION WITHOUT BINDING. PROVIDE (1) SLEEVE PER PIPE. PROVIDE SEPARATE SLEEVES FOR CONTROL WIRE.
  15. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE FOR COMPLETE DRAINAGE OF THE MAINLINES BY INSTALLING MANUAL DRAINS AS INDICATED ON PLAN AND AT ALL SYSTEM LOW POINTS.
- ### FLUSHING AND TESTING
16. PIPING SHALL BE COMPLETELY FLUSHED OF FOREIGN PARTICLES BEFORE ATTACHING IRRIGATION COMPONENTS AND DRAIN VALVES.
  17. AFTER FLUSHING, AND WHEN ALL VALVES AND QUICK COUPLERS ARE IN PLACE, ALL MAIN SUPPLY LINES SHALL BE TESTED AT 100 POUNDS PER SQUARE INCH (100 PSI) WITH VALVES CLOSED. MAINTAIN PRESSURE FOR A PERIOD OF NOT LESS THAN (4) CONSECUTIVE HOURS. ALL JOINTS SHOWING LEAKS SHALL BE CLEANED, REMADE, AND TESTED.
  18. OPERATIONAL TESTING: PERFORM OPERATIONAL TESTING AFTER HYDROSTATIC TESTING IS COMPLETED. DEMONSTRATE TO THE OWNER'S REPRESENTATIVE THAT THE SYSTEM MEETS COVERAGE REQUIREMENTS (100%) AND THAT AUTOMATIC CONTROLS FUNCTION PROPERLY.
- ### SUBMITTALS
19. MATERIALS LIST: WITHIN (5) DAYS AFTER AWARD OF CONTRACT, SUBMIT TO OWNER'S REPRESENTATIVE (5) COPIES OF A COMPLETE MATERIAL LIST (PARTIAL LIST NOT ACCEPTABLE) OF ALL MATERIALS TO BE USED ON THE PROJECT, SPECIFYING MANUFACTURER, GRADE, TRADE NAME, CATALOG NUMBER, SIZE, ETC. THIS SHALL IN NO WAY BE CONSTRUED AS ALLOWING A SUBSTITUTION FOR ANY ITEM SPECIFIED ON THE PLANS. EQUIPMENT OR MATERIALS INSTALLED OR FURNISHED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE MAY BE REJECTED AND THE CONTRACTOR REQUIRED TO REMOVE THE MATERIALS AT HIS OWN EXPENSE.
- INSTALLATION AND PERFORMANCE OF APPROVED SUBSTITUTIONS ARE THE CONTRACTOR'S RESPONSIBILITY. ANY CHANGES REQUIRED FOR INSTALLATION OF ANY APPROVED SUBSTITUTION MUST BE MADE TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE WITHOUT ADDITIONAL COST TO OWNER.
20. PRIOR TO SYSTEM INSTALLATION CONTRACTOR SHALL VERIFY AND SUBMIT TO OWNER'S REPRESENTATIVE IN WRITING, AVAILABLE FLOW AND PRESSURE AT POINT-OF-CONNECTION AS DESCRIBED IN SPECIFICATION #4 ABOVE.
  21. COMPLETE WARRANTY CARDS FOR AUTOMATIC CONTROLLER AND OTHER IRRIGATION MATERIAL (CONTROLLER KEYS, ETC.) SHALL BE DELIVERED TO OWNER.
  22. CONTRACTOR SHALL PREPARE AND ISSUE TO THE OWNER (AT COMPLETION OF THE INSTALLATION) AN ANNUAL CHART INDICATING LOCATION, OPERATING DATES, CYCLES, AND TIME FOR EACH ZONE.
  23. AS-BUILT IRRIGATION DRAWINGS: CONTRACTOR SHALL FURNISH AS-BUILTS OF THE COMPLETE IRRIGATION SYSTEM. PROCEDURE FROM OWNER'S REPRESENTATIVE DIGITAL COPIES OF CONTRACT DRAWINGS. CONSTRUCTION DRAWINGS SHALL BE ON THE CONSTRUCTION SITE AT ALL TIMES WHILE THE IRRIGATION SYSTEM IS BEING INSTALLED. CONTRACTOR SHALL MAKE A DAILY RECORD OF ALL WORK INSTALLED DURING EACH DAY. ACTUAL LOCATION OF VALVES AND ALL IRRIGATION AND DRAINAGE PIPING SHALL BE SHOWN ON THE PRINTS BY DIMENSIONS FROM EASILY IDENTIFIED PERMANENT FEATURES, SUCH AS BUILDINGS, CURBS, FENCES, WALKS OR PROPERTY LINES. DRAWINGS SHALL SHOW APPROVED MANUFACTURER'S NAME AND CATALOG NUMBER. THE DRAWINGS SHALL BE TO SCALE AND ALL INDICATIONS SHALL BE NEAT. ALL INFORMATION NOTED ON THE PRINT SHALL BE TRANSFERRED TO THE COPIES BY CONTRACTOR AND ALL INDICATIONS SHALL BE RECORDED IN A NEAT, ORDERLY MANNER. THE RECORD COPIES SHALL BE TURNED OVER TO THE OWNER'S REPRESENTATIVE AT OR BEFORE FINAL ACCEPTANCE/ APPROVAL OF THE PROJECT.
- ### GUARANTEE/FINAL ACCEPTANCE
24. CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE THE IRRIGATION SYSTEM FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE. MANUFACTURER WARRANTIES SHALL ONLY EXCEED THIS GUARANTEE AND CONTRACTOR SHALL BE LIABLE FOR REPAIRS/REPLACEMENT OF FAILED MATERIAL/WORKMANSHIP.
- ### MAINTENANCE
25. AFTER SYSTEM IS INSTALLED AND APPROVED, INSTRUCT OWNER'S DESIGNATED PERSONNEL IN COMPLETE OPERATION AND MAINTENANCE PROCEDURES. DRAIN ENTIRE SYSTEM AT END OF FIRST WATERING SEASON FOLLOWING INSTALLATION. TRAIN OWNER'S DESIGNATED PERSONNEL BY HAVING THEM ASSIST IN WINTERIZING PROCEDURE.



## DRIP IRRIGATION LEGEND

- C** IRRIGATION CONTROL CLOCK; RAIN BIRD ESP-LXME/F CONTROLLER. INSTALL CLOCK AND SENSOR PER MFG'S SPECIFICATIONS.
- M** 1" WATER METER - VERIFY SIZE AND LOCATION PER CIVIL DWGS.
- Z** 1" REDUCED PRESSURE TYPE BACKFLOW PREVENTER: WILKENS 915XL (OAE). INSTALL PER DETAIL(S).
- +** MANUAL DRAIN VALVE: 3/4" BRASS GATE VALVE. (GRINNELL OR OAE) INSTALL AT ALL LOW POINTS ALONG MAINLINE.
- ▶** BRASS GATE VALVE: GRINNELL (OAE) FOR MAINLINE ISOLATION. SAME SIZE AS MAINLINE.
- DRIP VALVE ASSEMBLY: FLOWS UP TO 3 GPM INSTALL RAIN BIRD XCZ-LF-100-PRF LOW FLOW DRIP KIT. FLOWS FROM 3-20 GPM INSTALL RAIN BIRD XCZ-FRB-100-COM DRIP KIT.
- ⊙** QUICK COUPLER: RAIN BIRD 44-LRC. PROVIDE OWNER WITH TWO VALVE KEYS (RAIN BIRD 44-K).
- # 23-7 1.530** VALVE I.D. - STATION #, VALVE SIZE, AND APPROX. G.P.M.
- MAINLINE: ALL MAINLINES SHALL BE SCH. 40 PVC AND INSTALLED AT 24 INCH MINIMUM DEPTH. SIZE PER PLAN.
- DRIP DISTRIBUTION TUBING: 3/4" RAIN BIRD XBS-BLACK STRIPE TUBING IRRIGATION TUBING WITH RAIN BIRD MDCFCAP REMOVABLE FLUSH CAP.
- SLEEVES: ALL IRRIGATION SLEEVES UNDER STREETS AND DRIVEWAYS SHALL BE 4 INCH MINIMUM SCH. 40 PVC. SLEEVES FOR DRIP TUBING UNDER SIDEWALKS MAY BE 2 INCH MINIMUM SCH. 40. PROVIDE ONE SLEEVE PER PIPE AND ONE SLEEVE FOR WIRING.
- VALVE BOXES (NOT SHOWN): ALL VALVES SHALL BE LOCATED IN RAIN BIRD PVB PROFESSIONAL SERIES VALVE BOXES PER DETAILS. NOTE: ANY BOXES LOCATED IN PAVED AREAS (IF NEEDED) SHALL BE TRAFFIC RATED CONCRETE.

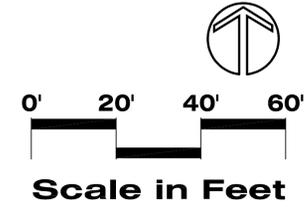
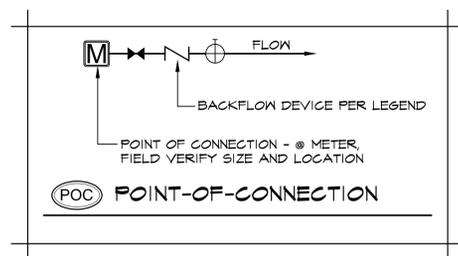
## EMITTER SCHEDULE

- DECIDUOUS TREES: (4) RAIN BIRD XERI-BUG 2 GPH PRESSURE COMPENSATING EMITTERS
- EVERGREEN TREES: (4) RAIN BIRD XERI-BUG 2 GPH PRESSURE COMPENSATING EMITTERS
- #5 AND #1 SHRUBS: (2) RAIN BIRD XERI-BUG 2 GPH PRESSURE COMPENSATING EMITTERS
- GROUND COVER/PERENNIALS: (2) RAIN BIRD XERI-BUG 1 GPH PRESSURE COMPENSATING EMITTER.

## DESIGN PRESSURE NOTE:

ASSUMED AVAILABLE WATER PRESSURE AT P.O.C. IS 65 PSI. ASSUMED FLOW IS 12 GPM @ 5 FPS. CONTRACTOR TO VERIFY PRIOR TO SYSTEM INSTALLATION. FUTURE PRESSURES MAY VARY DUE TO NEW DEVELOPMENT AND/OR OTHER UNFORESEEN CIRCUMSTANCES. LANDSCAPE ARCHITECT SHALL BEAR NO RESPONSIBILITY FOR FUTURE DEVIATIONS IN PRESSURE AND ANY RESULTING EFFECTS ON THE PERFORMANCE OF THE IRRIGATION SYSTEM.

IRRIGATION MAINLINES ARE SHOWN IN STREET/PAVED AREAS FOR GRAPHIC CLARITY ONLY. WHERE POSSIBLE, ALL IRRIGATION COMPONENTS SHALL BE LOCATED IN PLANTING BEDS.



No.	Revision Date

LA No. 243-210-10-16  
 Designed: DD  
 Drawn: KMK  
 Checked: RWH  
 Date: 6/18/17