Community Services Department Planning and Development DETATCHED ACCESSORY DWELLING ADMINISTRATIVE REVIEW APPLICATION



Community Services Department Planning and Development 1001 E. Ninth St., Bldg A Reno, NV 89520

Telephone: 775.328.3600

Project Name:					
Eisele detached accessory dwe	elling				
	dwelling with first floor	garage, 2nd floor living space to in	clude 2 bedrooms, full		
Project Address: 15540 Cherry	wood Dr. Reno, Nev	ada 89511			
Project Area (acres or square fe		Selection Accessors Francisco	a terror of the terror		
Project Location (with point of re		s streets AND area locator):			
		Development up Mt. Rose hiiway to	o the south		
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No(s):	Parcel Acreage:		
045-583-01	0.93		r droof Acreage.		
Section(s)/Township/Range:					
	pe County approva	s associated with this applica	tion		
Case No.(s).	approva	e accordated with this applica	doll.		
Applicant	Information (atta	ach additional sheets if necessar	y)		
Property Owner:		Professional Consultant:			
Name: Eisele Living Trust, All	en & Linda Eisele	Name:			
Address:5540 Cherrywood Dr.	Kalapan nah in	Address:	district to remain		
Reno, Nevada	Zip: 89511	artistical at the two structures	Zip:		
Phone: 775-849-1736	Fax:	Phone: Fax:			
Email: lindaeisele@yahoo.com	order to start tracking on the co	Email:			
Cell: no	Other:	Cell:	Other:		
Contact Person:Allen Eisele		Contact Person:			
Applicant/Developer:		Other Persons to be Contac	ted:		
Name: Carl Perkins		Name:			
Address: 2455 Killington Drive		Address:			
Reno, Nevada	Zip: 89511		Zip:		
Phone: 1-530-5638454	Fax:	Phone:	Fax:		
Email:carl@builtbygrizzly.com		Email:			
Cell:	Other:	Cell:	Other:		
Contact Person:		Contact Person:			
	For Office	Use Only			
Date Received:	Initial:	Planning Area:			
County Commission District:		Master Plan Designation(s):			
CAB(s):		Regulatory Zoning(s):			

Administrative Review Permit Application for a Detached Accessory Dwelling Supplemental Information

(All required information may be separately attached)

This application is for proposals to establish a Detached Accessory Dwelling unit in the Low Density Rural, Medium Density Rural, High Density Rural, and Low Density Suburban regulatory zones. Chapter 110 of the Washoe County Code is commonly known as the Development Code. Specific references to the administrative review permit process for Detached Accessory Dwellings may be found in Article 306, Accessory Uses and Structures, Section 25(i). A Detached Accessory Dwelling is also referred to as a "secondary dwelling" in this application. The "main dwelling" is the original or larger dwelling on the property.

1612 sq. feet
What is the size of the detached accessory dwelling unit or proposed detached accessory dwelling unit (exclude size of garage)?
806 sq. feet
How are you planning to integrate both the main dwelling and secondary dwelling to provi architectural compatibility and a sense of project integration of the two structures?
Dwelling will have same outside color same outside color trim. Roof will be of same color
How are you planning to provide water and wastewater disposal (sewer or septic) to the secondardwelling unit?
septic system municipal water

	Dwelling will have own entrance through a gate off of Shawna to back of lot. Driveway for now will be grave
A	parking space is required. How are you providing the additional parking?
	Parking will be on property in the two car garage
	/hen do you plan to complete construction of the secondary dwelling and obtain a certificate ccupancy? hopefully winter of 2018 or early 2019
	or visit states and the property and the foreign frequency of the feet of the contract of the
	hat will you do to minimize any potential negative impacts (e.g. increased lighting, obstruction ews, removal of existing vegetation, etc.) your project may have on adjacent properties?
3	There will be no increased lighting, no removal of existing vegetation. We may plant a pine tree on the sou
r	de between dwelling and Shawna to block vision of dwelling from road. Dwelling does not block any view of operty to the south. To perty to the north has thick tree forest between property and ours that blocks any view of building. To the ar of property is a row of pine trees that act as a buffer between our property and empty lot behind us.

Property Owner Affidavit

Applicant	Name: _	Allen and Linda Eisele	ALLEN	EISELE	_
	t, see		,		
requirements of	of the Washo	e County Development	Code, the Wash	the application complies with be County Master Plan or tion is deemed complete and	the
STATE OF NEV	VADA)				
COUNTY OF W	1				
Ι,	ALLEN	E/SELE (please prin			,
being duly swo application as information here and belief. I un Development.	orn, depose a listed below ewith submitte nderstand that	nd say that I am the ow and that the foregoing st ed are in all respects com t no assurance or guarant	ner* of the proper tatements and ans plete, true and corr tee can be given by	ty or properties involved in swers herein contained and ect to the best of my knowle members of Planning and named in the title report.)	the
Assessor Parce	el Number(s):	045-583-01	1000 100 V 100 V		
		Printed Name Signed	(1 00	EISELE Beach Reno Nevada 89511	
		Address	5 Too to officiny wood Br.	Neno, Nevada 09311	
Subscribed an 232 day of	August	before me this		(Notary Stamp) MIKE VISSER Notary Public - State of Nevada	
Notary Public in My commission		county and state		County of Washoe APPT. NO. 10-3332-2 Wy App. Expires Oct. 20, 2018	
Owner Corpora Power of Owner Property	ate Officer/Par of Attorney (P Agent (Provid y Agent (Prov	tner (Provide copy of recording to the copy of Power of A covide copy of Power of A covide copy of record document Agency with Stewards	orded document inc ttorney.) operty owner giving ent indicating autho	legal authority to agent.)	

Property Owner Affidavit

Applicant Name:	INDA	EISELE
	me of subr	mittal does not guarantee the application complies with all
requirements of the Washoe Count	v Develop	oment Code, the Washoe County Master Plan or the zoning, or that the application is deemed complete and
STATE OF NEVADA)		
STATE OF NEVADA) COUNTY OF WASHOE)		
LINDA C	E,SEZ	<u> </u>
	(plea	se print name)
application as listed below and that information herewith submitted are in and belief. I understand that no as Building.	the foregoral respect surance or	the owner* of the property or properties involved in this oing statements and answers herein contained and the is complete, true, and correct to the best of my knowledge r guarantee can be given by members of Planning and
(A separate Affidavit must be	provided b	by each property owner named in the title report.)
Assessor Parcel Number(s):	045.	-583-01
		Signed Si
Subscribed and sworn to before	e me this	S
Subscribed and sworn to before	e me this , <u>2010</u> .	(Notary Stamp)
	241	MIKE VISSER
Notary Public in and for said county a	and state	Notary Public - State of Nevada is County of Washoe
, /		APPT. NO. 10-3332-2 My App. Expires Oct. 20, 2018
My commission expires: <u>W/W/W</u>	10	My App. Expires Oct. 20, 2018
*Owner refers to the following: (Pleas	se mark ap	propriate box.)
Owner		
☐ Corporate Officer/Partner (Pr	ovide copy	of record document indicating authority to sign.)
□ Power of Attorney (Provide c	opy of Pow	ver of Attorney.)
Owner Agent (Provide notaria	zed letter fr	rom property owner giving legal authority to agent.)
□ Property Agent (Provide copy	of record	document indicating authority to sign.)
☐ Letter from Government Age	ncy with St	ewardship

Date: 08/22/2018

Property Tax Reminder Notice

Page: 1

WASHOE COUNTY PO BOX 30039 RENO, NV 89520-3039 775-328-2510 PIN: 04558301

AIN:

Balance Good Through: 08/22/2018

Current Year Balance: \$0.00

Prior Year(s) Balance: \$0.00

(see below for details)

Total Due: \$0.00

AUTO :895116:

ALLEN & LINDA EISELE LIVING TRUST 15540 CHERRYWOOD DR RENO NV 89511

Description:

Situs: 15540 CHERRYWOOD DR

This is a courtesy notice. If you have an impound account through your lender or are not sure if you have an impound account and need more information, please contact your lender directly. Please submit payment for the remaining amount(s) according to the due dates shown. Always include your PIN number with your payment. Please visit our website: www.washoecounty.us/treas

	Current Charges								
PIN	Year	Bill Number	Inst	Due Date	Charges	Interest	Pen/Fees	Paid	Balance
04558301	2018	2018062945	1	08/20/2018	500.28	0.00	0.00	500.28	0.00
04558301	2018		2	10/01/2018	491.16	0.00	0.00	491.16	0.00
04558301	2018		3	01/07/2019	491.16	0.00	0.00	491.16	0.00
04558301	2018		4	03/04/2019	491.16	0.00	0.00	491.16	0.00
Current Year Totals					1,973.76	0.00	0.00	1,973.76	0.00

	Prior Years						
PIN	Year	Bill Number	Charges	Interest	Pen/Fees	Paid	Balance
	27-3						
Prior Years Total							

Tisele Detached Structure Washoe County, NV





GENERAL NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL JOB SITE REQUIREMENTS AND FOR COORDINATION OF ARCHITECTURAL DRAWINGS
- THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE RESIDENTIAL DESIGNER OF ANY DISCREPANCIES, ERRORS, OMISSIONS OR OTHER QUESTIONS RELATING TO THE CONSTRUCTION DOCUMENTS. DO NOT PROCEED WITH THE WORK UNTIL THE INTENT OF THE DOCUMENTS IS
- THE CONTRACT DOCUMENTS ARE COMPLEMENTARY. WORK REQUIRED TO BE DONE BY ONE DOCUMENT AND NOT BY OTHERS SHALL BE DONE AS IF REQUIRED BY ALL.
- CONTRACTORS AND SUBCONTRACTORS SHALL ENSURE THAT ALL WORK IS PERFORMED IN A PROFESSIONAL AND WORKMANLIKE MANNER BY SKILLED MECHANICS OF THE TRADE. SUBCONTRACTORS AND SUPPLIERS ARE HEREBY NOTIFIED THAT THEY ARE TO CONFER AND COOPERATE FULLY WITH EACH OTHER DURING THE COURSE OF CONSTRUCTION TO DETERMINE THE EXACT EXTENT AND OVERLAP OF EACH OTHER'S WORK AND TO SUCCESSFULLY COMPLETE THE EXECUTION OF THE WORK IN A TIMELY MANNER.
- CONTRACTOR AND SUBCONTRACTORS SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES SEQUENCES AND PROCEDURES, AND FOR THE SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE RESIDENTIAL DESIGNER SHALL NOT BE RESPONSIBLE FOR JOB SITE CONDITIONS OR COMPLIANCE WITH SAFETY REGULATIONS GOVERNING WORK PERFORMED ON THIS PROJECT. ALL CONTRACTORS AND SUBCONTRACTORS PERFORMING WORK ON, OR RELATED TO THESE PLANS, SHALL CONDUCT THEIR OPERATIONS SO THAT ALL EMPLOYEES ARE PROVIDED A SAFE PLACE TO WORK AND THE PUBLIC IS PROTECTED - AND SHALL COMPLY WITH THE "OCCUPATIONAL SAFETY AND HEALTH REGULATIONS" OF THE U.S. DEPARTMENT OF LABOR, AND WITH ANY AND ALL OTHER APPLICABLE STATE AND LOCAL SAFETY REGULATIONS. THE CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE SAFETY CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT AND THAT THIS REQUIREMENT SHALL DEFEND, INDEMNIFY, AND HOLD HARMLESS THE OWNER AND THE RESIDENTIAL DESIGNER FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH PERFORMANCE OF WORK ON THIS PROJECT.
- CONTRACTOR AND SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION, ADEQUACY AND SAFETY OF ERECTION, BRACING, SHORING, TEMPORARY SUPPORTS, ETC. OF THE WORK AND SHALL BE RESPONSIBLE FOR ANY DAMAGES TO THE WORK PRIOR TO THE APPLICATION AND INSTALLATION OF ALL SHEAR WALLS, ROOF AND FLOOR DIAPHRAGMS, AND FINISH MATERIALS. THE STRUCTURE IS NOT DESIGNED AS A STABLE UNIT UNTIL AFTER ALL COMPONENTS ARE IN PLACE, AND THEREFORE THE CONTRACTOR SHALL PROVIDE ALL SHORING AND BRACING NECESSARY TO ENSURE THE STABILITY OF ANY AND ALL PARTS OF THE PROJECT DURING CONSTRUCTION.
- CONTRACTOR AND SUBCONTRACTOR SHALL MAINTAIN THE PREMISES, CLEAN AND FREE OF ALL TRASH AND DEBRIS, AND SHALL PROTECT ALL ADJACENT WORK FROM DAMAGE, SOILING, AND PAINT OVERSPRAY.
- BUILDER'S SET: THIS SET OF DRAWINGS HAS BEEN PREPARED SUFFICIENT TO OBTAIN A BUILDING PERMIT. ALL MATERIALS AND METHODS OF CONSTRUCTION NECESSARY TO COMPLETE THE PROJECT ARE NOT NECESSARILY DESCRIBED IN THIS "BUILDER'S SET". THE IMPLEMENTATION OF THE DRAWINGS REQUIRES THE CONTRACTOR TO BE THOROUGHLY KNOWLEDGEABLE WITH THE APPLICATION CODES AND METHODS OF CONSTRUCTION SPECIFIC TO THIS PROJECT AND TYPE OF CONSTRUCTION.

THE CONTRACTOR AND SUBCONTRACTORS SHALL MAKE NO STRUCTURAL SUBSTITUTIONS, CHANGES OR MODIFICATIONS WITHOUT WRITTEN APPROVAL OF STRUCTURAL ENGINEER.

UNLESS SPECIFICALLY SHOWN OR NOTED ON THE DRAWINGS, NO STRUCTURAL MEMBER SHALL BE CUT. NOTCHED, BORED, OR OTHERWISE WEAKENED WITHOUT THE PERMISSION OF THE STRUCTURAL ENGINEER.

9. CODE COMPLIANCE A. ALL WORK FOR THIS PROJECT SHALL COMPLY WITH THE 2012 INTERNATIONAL RESIDENTIAL CODE, INTERNATIONAL FIRE CODE, UNIFORM PLUMBING CODE, UNIFORM MECHANICAL CODE, NATIONAL ELECTRIC CODE AND OTHER CODES AND ORDINANCES AS CURRENTLY ADOPTED AND AMENDED BY

AGENCIES HAVING JURISDICTION OVER THE PROJECT.

BASIS OF DESIGN

BUILDING CODE:

2012 INTERNATIONAL RESIDENTIAL CODE - "IRC" (CHAPTERS 2 THROUGH 44 AND APPENDICES A, B, C, G, H, J, K, & L)

2012 INTERNATIONAL ENERGY CONSERVATION CODE - "IECC"

2012 INTERNATIONAL WILDLAND URBAN INTERFACE CODE - "IWUIC" (CHAPTER

2012 UNIFORM PLUMBING CODE - "UPC" (CHAPTERS 2 THROUGH 17 AND APPENDICES A, B, D, E, F, I AND L)

2012 UNIFORM MECHANICAL CODE - "UMC" (CHAPTERS 2 THROUGH 17 AND

APPENDICES A, B AND C) 2011 NORTHERN NEVADA ENERGY CODE AMENDMENTS BY THE NNICC

2012 NORTHERN NEVADA CODE AMENDMENTS BY THE NNICC

ALL OTHER CODES AND ORDANANCES AS CURRENTLY ADOPTED AND AMENDED BY AGENCIES HAVING JURISDICTION OVER THE PROJECT

PROJECT INFORMATION

ADDRESS:

15540 CHERRYWOOD DR. WASHOE COUNTY, NV 89511

ZONING:

Ø45-583-ØI LDS

0.929 ACRES

TOTAL LIVING: ±950 S.F.

FLOOD ZONE:

NUMBER OF STORIES:

TWO (EXISTING RESIDENCE ONE)

PARCEL AREA:

SCOPE OF WORK:

A NEW ±1,568 S.F. DETACHED

STRUCTURE TO INCLUDE 2x6 EXTERIOR WOOD STUD WALLS, PRE-MANUF. WOOD TRUSSES, 2× FLOOR JOISTS, CONCRETE STEMWALL AND FOOTING. CONCRETE TILE ROOFING TO MATCH (E) AND SIDING TO MATCH (E).

AREA TABULATIONS AT (E) RESIDENCE

(E) RESIDENCE (w/ 3 BEDROOMS) 1,614 S.F.

(E)GARAGE 528 S.F.

AREA TABULATIONS AT (N) DETACHED STRUCTURE (N) DETACHED STRUCTURE - FIRST FLOOR ±214 S.F. (N) DETACHED STRUCTURE - SECOND FLOOR ±136 S.F.

(N) GARAGE

±570 S.F.

(N) SECOND STORY COVERED DECK

VICINITY MAP

CEDARWOOD DR.

GOLDENROD ST.

SITE

SHAWNA LN.

KEY NOTE NUMBER

REVISION SYMBOL

DRAWING INDEX

ARCHITECTURAL

COVER SHEET, PROJECT DATA, BASIS OF DESIGN, VICINITY MAP, SYMBOL LEGEND

SITE PLAN

ELECTRICAL PLANS

ELEVATIONS

SECTION "A-A

STRUCTURAL

FOUNDATION AND FIRST FLOOR SHEARWALL PLAN

SECOND FLOOR FRAMING AND SHEARWALL PLAN

SECOND FLOOR ROOF FRAMING PLAN STRUCTURAL NOTES AND SCHEDULES

STRUCTURAL DETAILS

SD-3 STRUCTURAL DETAILS

SYMBOL LEGEND

SHEET NUMBER

SECTION NUMBER

OWNER/DEVELOPER ALLEN AND LINDA EISELE

DIRECTORY

15540 CHERRYWOOD DRIVE RENO, NEVADA 89511 TEL. (115)-849-1136

ENGINEER

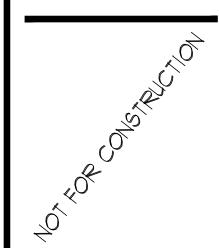
BRANDT KENNEDY PE K2 ENGINEERING 860 MAESTRO DR., STE. A RENO, NV 89511 P: (115) 355-0505 F: (775) 355-0566

WWW.K2ENG.NET



860 Maestro Dr., Ste. A Reno, NV 89511 P: (775) 355-0505 F: (775) 355-0566 www.K2eng.net

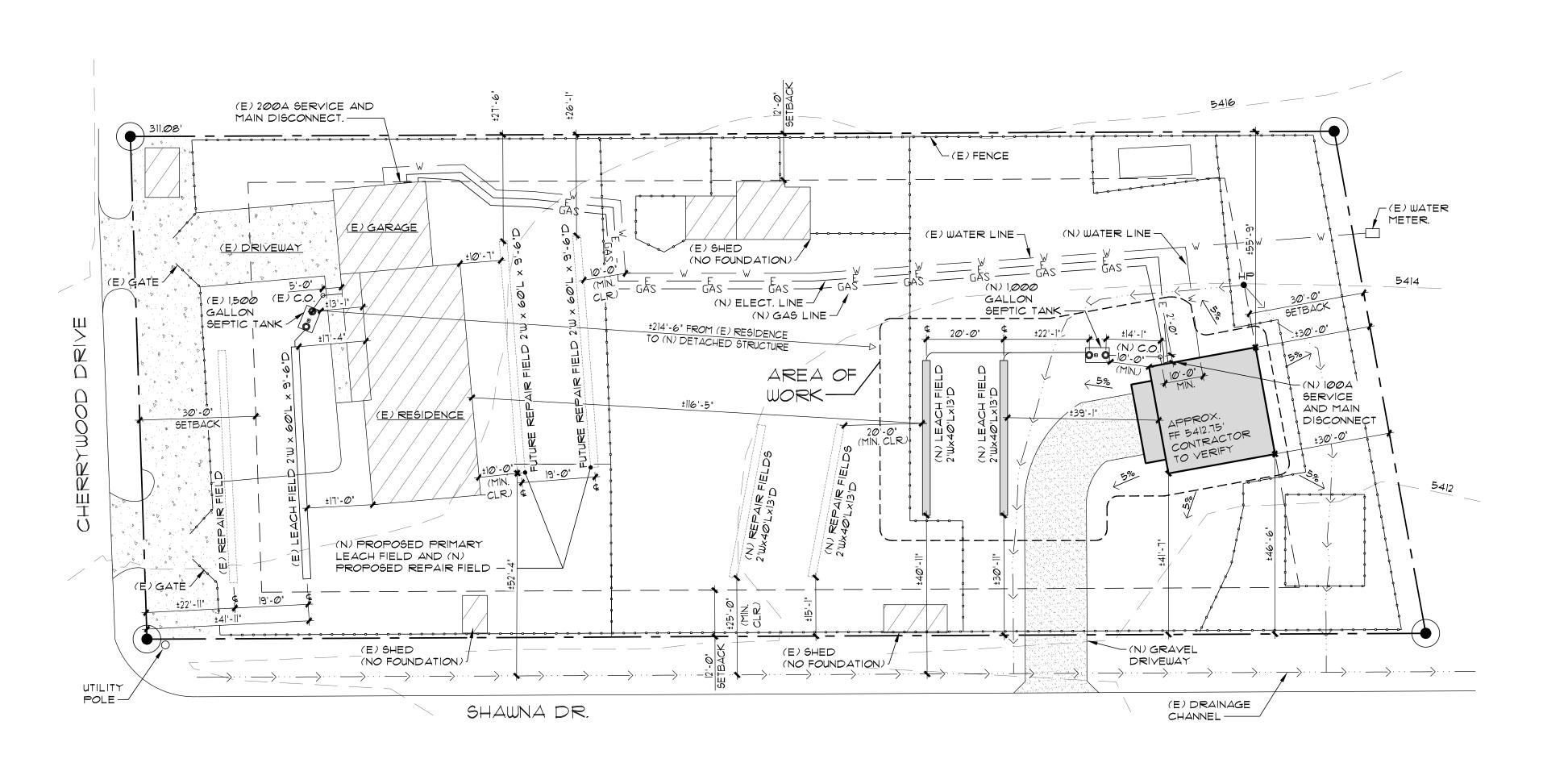
Brandt T. Kennedy, P.E. Jared A. Krupa, P.E.



Revisions <u> PCC/REV. 11/13/18</u>

7-10-18 <u>Drawn</u> BTK Checked 18-129 <u>Project No.</u>

Cover Sheet



GENERAL SITE NOTES

- 1. ALL WORK MUST CONFORM W/ LOCAL BUILDING CODES, CITY, COUNTY AND STATE ORDINANCES, SUBDIVISION REGULATIONS AND THE INTERNATIONAL BUILDING CODE, INTERNATIONAL RESIDENTIAL CODE, UNIFORM MECHANICAL CODE, UNIFORM PLUMBING CODE, INTERNATIONAL ENERGY CONSERVATION CODE (2012 EDITIONS) AND THE 2011 NATIONAL ELECTRICAL CODE.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING GRADES, UTILITIES, AND DIMENSIONS PRIOR TO THE START OF CONSTRUCTION.
- 3. THE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING AND COORDINATING ALL SERVICE REQUIREMENTS WITH THE APPROPRIATE PUBLIC AGENCY OR UTILITY PROVIDER. CONNECTIONS SHALL BE MADE IN ACCORDANCE WITH ALL APPLICABLE CODES AND REQUIREMENTS.
- 4. PLACEMENT OF STRUCTURE WITHIN SETBACKS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. NOTIFY OWNER OF ANY DISCREPANCIES.
- 5. CONC. FLATWORK TO BE FINISHED PER OWNERS REQUIREMENTS.
- 6. SLOPE LAWN AREAS FOR DRAINAGE MIN. 1/4" PER 1'-0".
- T. MAINTAIN EXISTING DRAINAGE WITH 5% (2% MIN.) SLOPE AWAY FROM PROPOSED STRUCTURE FOR A MINIMUM OF 10' AND DRAINAGE SWALE 2'-6" MIN. IN FROM PROPERTY LINES AS REQUIRED TO PREVENT DRAINAGE ONTO ADJACENT PRIVATE PROPERTY. MINIMUM SLOPE OF DRAINAGE SWALE SHALL BE 1%.
- 8. THIS SITE IS LOCATED IN FEMA FLOOD ZONE X WHICH IS DETERMINED TO BE OUTSIDE OF THE 100 YEAR FLOOD PLAN IS NOT WITHIN 100 FEET OF PROPERTY.
- 9. THIS SITE IS SERVICED BY MUNICIPAL WATER AND SEPTIC SYSTEM.
- 10. THE DESIGN FOR THIS SITE HAS BEEN BASED ON THE BEST AVAILABLE INFORMATION. ALL ASSUMED EXISTING INFORMATION SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ALL PARTIES SHOULD ANTICIPATE THE POTENTIAL NEED FOR MODIFICATIONS TO THE INITIAL DESIGN IN ORDER TO ACCOMMODATE ACTUAL FIELD CONDITIONS. ALL DISCREPANCIES DISCOVERED IN THE FIELD SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.
- 11. NEITHER A TOPOGRAPHICAL OR BOUNDARY SURVEY WAS PERFORMED FOR THIS SITE. THE TOPOGRAPHY SHOWN IS FROM THE WASHOE COUNTY GIS WEBSITE AND THE BOUNDARY SHOWN IS BASED ON RECORD INFORMATION. IT IS RECOMMENDED THAT PRIOR TO CONSTRUCTION A FULL SURVEY IS PERFORMED IN ORDER TO ACCURATELY PLACE THE IMPROVEMENTS.
- 12. SHOULD ANY PREHISTORIC OR HISTORIC
 REMAINS/ARTIFACTS BE DISCOVERED DURING SITE
 DEVELOPMENT, WORK SHALL TEMPORARILY BE HALTED AT
 THE SPECIFIC SITE AND THE STATE HISTORIC
 PRESERVATION OFFICE OF THE DEPARTMENT OF MUSEUMS,
 LIBRARY AND ARTS, SHALL BE NOTIFIED TO RECORD AND
 PHOTOGRAPH THE SITE. THE PERIOD OF TEMPORARY
 DELAY SHALL BE LIMITED TO A MAXIMUM OF TWO (2)
 WORKING DAYS FROM THE DATE OF NOTIFICATION.
- 13. THERE ARE NO WATERCOURSES WITHIN 100' OF PROPERTY.



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> County, NV 89511

CE Washoe Cour

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le Resid

15540 Cherrywood Dr. A.P.N.: 045-583-01

Brandt T. Kennedy, P.E. Jared A. Krupa, P.E.



Revisions

A PCC/REV. 11/13/18

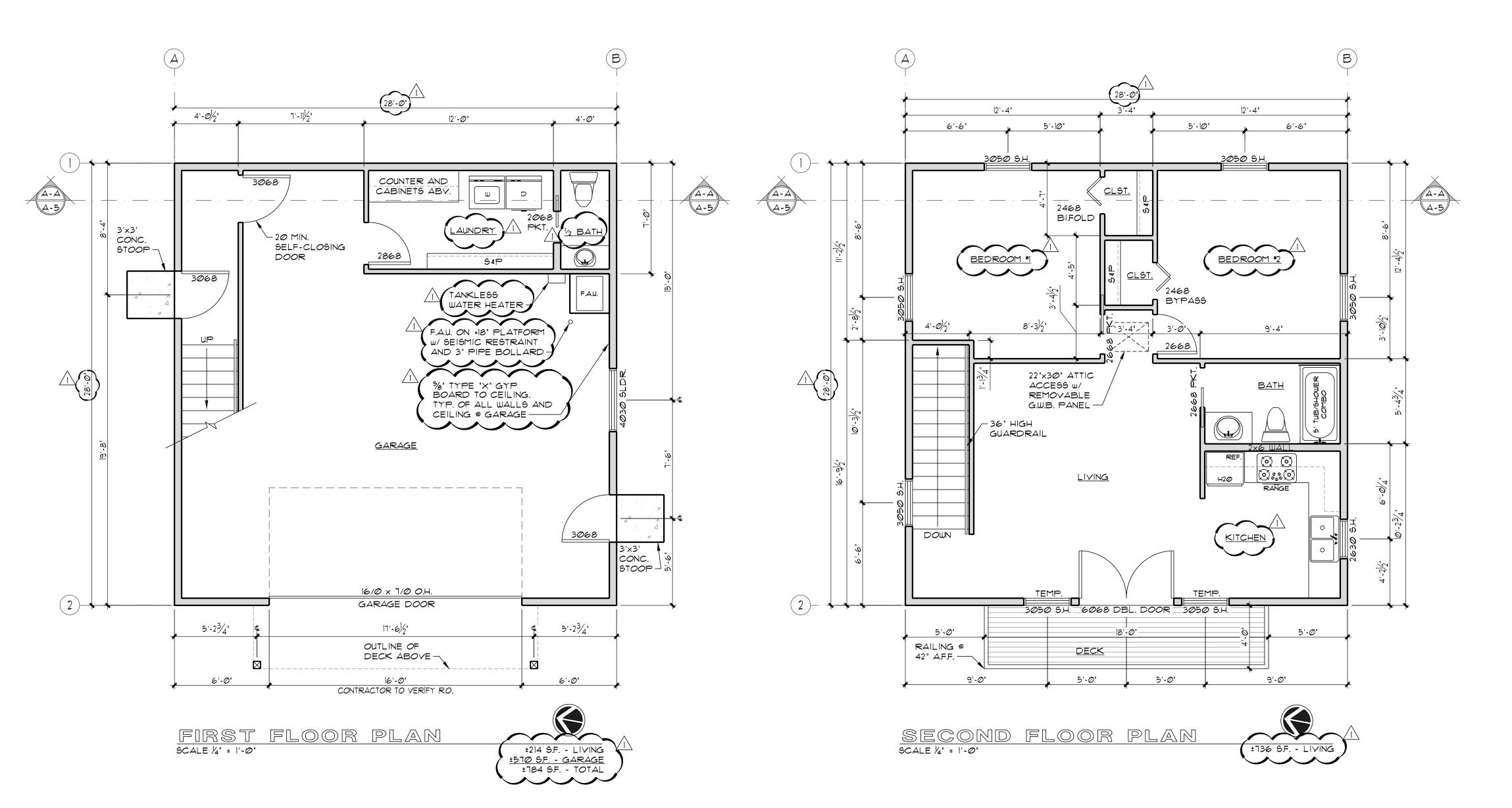
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Date7-10-18DrawnJKCheckedBTKProject No.18-129

Site Plan

A-1

SITE PLAN 5CALE 1" = 20'-0"



GENERAL FLOOR PLAN NOTES

- I. TYPICAL EXTERIOR WALL LAP SIDING O/ BLDG. PAPER AND SHEAR PLY. OVER 2x6's @ 16" O.C. WALL FRAMING W/ R-21 BATT INSUL. - SEE PLAN.
- 2. INTERIOR WALLS: 2x4 STUDS @ 16" O.C. U.N.O.
- 3. CONTRACTOR TO VERIFY OVERHEAD GARAGE DOOR CLEARANCE IN RAISED POSITION.
- 4. ALL 4x AND LARGER LUMBER TO BE DF#1 OR BETTER ALL SMALLER LUMBER TO BE DF#2 OR BETTER UNLESS NOTED OTHERWISE.
- 5. PROVIDE SAFETY GLAZING IN HAZARDOUS LOCATIONS PER I.R.C. R308.4
- 6. SOUND INSULATE ALL INTERIOR PLUMBING WALLS (BATH ROOMS) AND WALL AREAS W/ DRAIN LINES FROM ABOVE.
- 1. PROVIDE ATTIC ACCESS PER I.R.C. SECTION R801.1
- 8. PROVIDE WATER-RESISTANT GYPSUM BOARD AT LOCATIONS REQUIRED PER I.R.C. SECTION R102.3.8.
- 9. PROVIDE R-3 INSULATION AT ALL HOT WATER PIPING CONT. 24" FROM H.W.T. TO FIXTURE PER IECC R403.4.
- 10. 75% OF LAMPS IN PERMANENTLY INSTALLED LIGHTING TO BE HIGH-EFFICACY.
- II. EGRESS WINDOW: MIN. OPEN AREA = 5.7 SQ.FT., 5 SQ.FT. (GRADE FLOOR). MIN. CLEAR OPENING WIDTH = 20" MAX. 44" FROM FIN. FLR TO CLR. OPENING
- 12. LANDINGS AT DOORS PER R311.3. AND LANDINGS AT STAIRWAYS PER R311.7.6.
- 13. SIDING SHALL BE INSTALLED PER MFGR.'S INSTRUCTIONS AND RI03

- 14. WOOD STRUCTURAL PANEL ROOF SHEATHING EXPOSED ON THE UNDERSIDE SHALL BE BONDED WITH EXTERIOR GLUE PER R803.2.1.1.
- 15. CENTRAL HEATING EQUIPMENT OTHER THAN FIXED ELECTRIC SPACE-HEATING EQUIPMENT SHALL BE SUPPLIED BY AN INDIVIDUAL BRANCH CIRCUIT PER IRC E3703.1.
- 16. WATER HEATER IGNITION SOURCE SHALL BE 18" ABV. GARAGE
- 17. ALL EXHAUST FANS REQUIRE RIGID, SMOOTH INTERIOR DUCT.
- 18. ALL DUCT WORK TO CONFORM WITH CHAPTER 16.
- 19. CHIMNEYS AND FIREPLACES SHALL COMPLY WITH MISØ5 AND
- MFGR'S SPECIFICATIONS.
- 21. SHOWERS AND TUB-SHOWER COMBINATIONS SHALL BE PROVIDED WITH INDIVIDUAL CONTROL VALVES OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE. THE WATER HEATER THERMOSTAT SHALL NOT BE CONSIDERED A SUITABLE CONTROL FOR MEETING THIS PROVISION PER P2708.3.
- 22. MAXIMUM STATIC WATER PRESSURE SHALL BE 80 P.S.I. WHEN MAIN PRESSURE EXCEEDS 65 P.S.I., AN APPROVED PRESSURE REDUCING VALVE CONFORMING TO ASSE 1003 SHALL BE INSTALLED.
- 23. PROVIDE HOUSE STREET NUMBER SO THAT IT IS VISIBLE AND LEGIBLE FROM STREET.
- 24. SHOWER COMPARTMENTS & WALLS ABOVE BATHTUBS ARE TO BE TILED TO THE CEILING OR MIN. 6'-@" ABOVE F.F.



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> unty, NV 89511

sidence

Eisele R

15540 Che A.P.N.: 04

Brandt T. Kennedy, P.E. Jared A. Krupa, P.E.



Drawn JK
Checked BTK
Project No. 18-129
First Floor and

Second Floor Plans

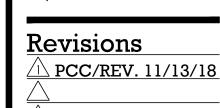
A-2

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15540 Che A.P.N.: 04

Brandt T. Kennedy, P.E. Jared A. Krupa, P.E.

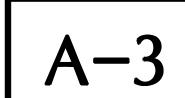


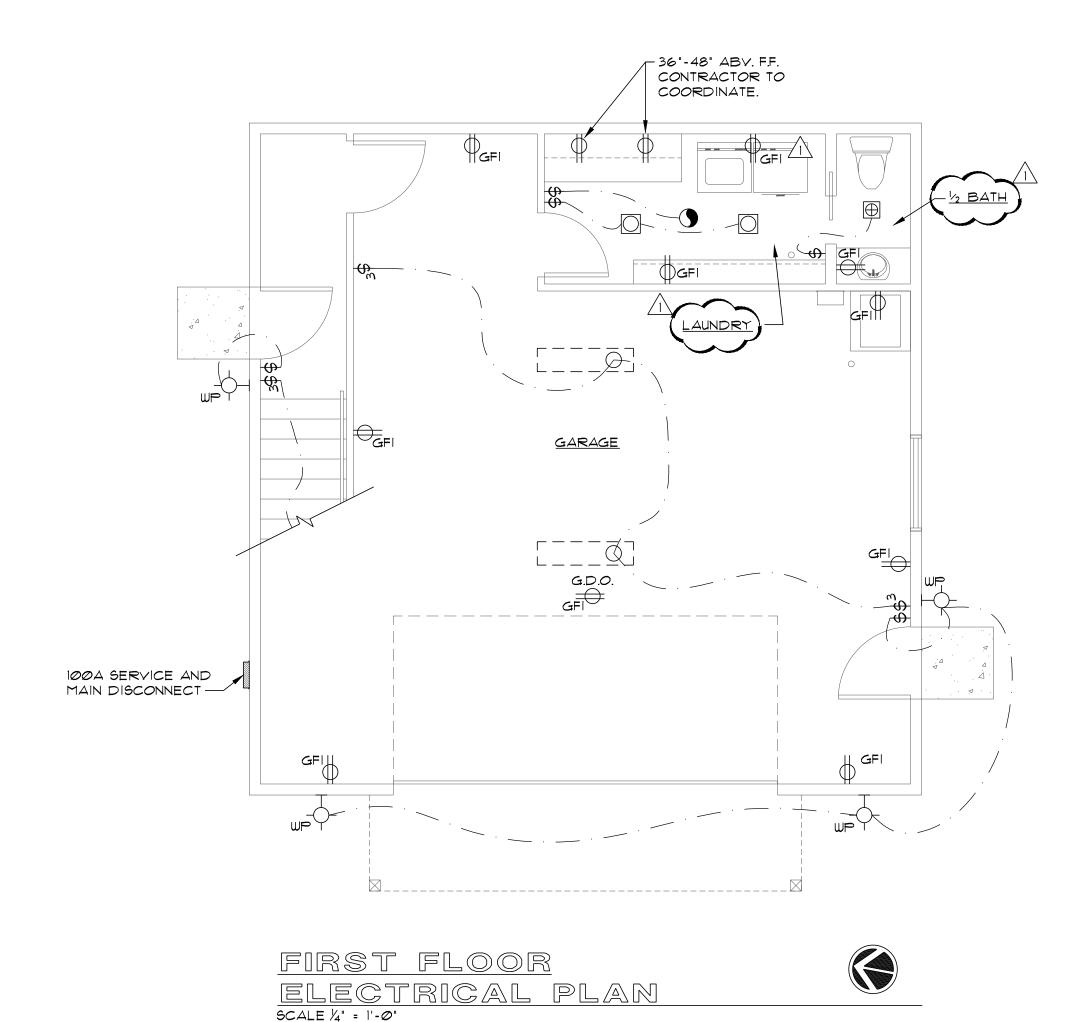


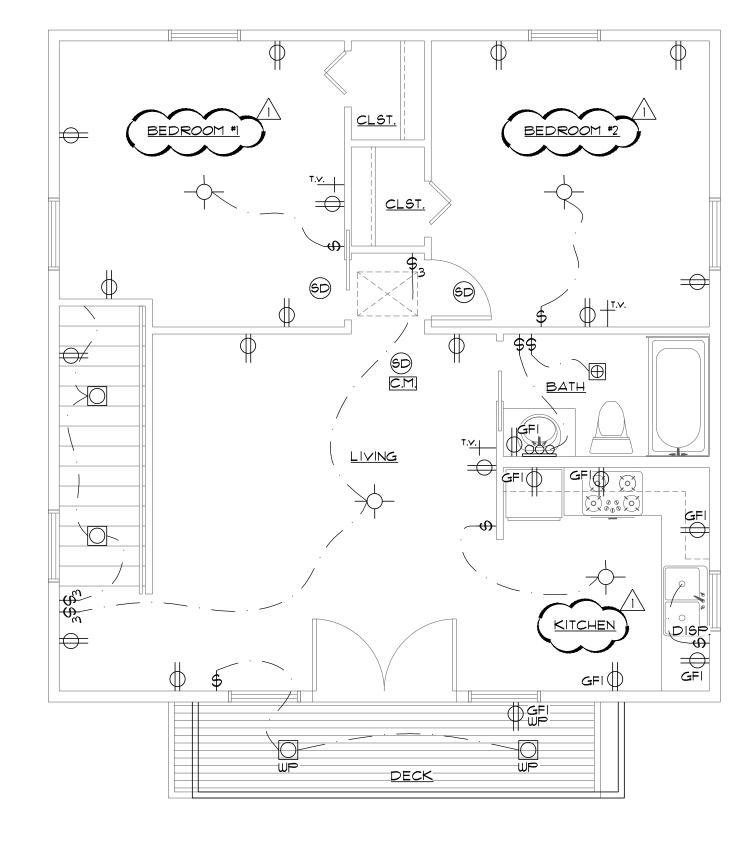
7-10-18

<u>Drawn</u> BTK Checked 18-129 Project No.

> **Electrical** Plan







SECOND FLOOR ELECTRICAL PLAN SCALE 1/4" = 1'-0"

ELECTRICAL PLAN NOTES

- 1. ALL ELECTRICAL INSTALLATION SHALL COMPLY W/ THE 2012 IRC & LOCAL CODES.
- 2. ALL PLUG SPACING PER 2012 I.R.C. TYP.
- 3. BACK TO BACK ELEC. PER 2012 I.R.C. TYP.
- 4. COORDINATE ALL HANGING FIXTURES W/ OWNER.
- 5. SHOULD ANY LIGHTING CONFLICT W/ FRAMING, RELOCATE PER OWNER SPEC'S
- 6. LOCATION(S) OF COLD AIR RETURN TO BE VERIFIED w/ OWNER.
- 1. ALL RECESSED LIGHTING FIXTURES TO BE IC RATED AND LABELED FOR MAX. AIR LEAKAGE AND SEALED TO CEILING W/ GASKET OR CAULKING.
- 8. ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE PHASE 15 AND 20 AMPERE OUTLETS INSTALLED IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS AND SIMILAR ROOMS OR AREAS ARE REQUIRED TO HAVE A COMBINATION ARC-FAULT CIRCUIT INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT PER 2012 IRC SECTION E3902.12.
- 9. PROVIDE 30" WIDE X 36" DEEP WORKSPACE IN FRONT OF ELECT. PANEL.
- 10. ELECTRIC OUTLET BOXES LOCATED IN FLOORS SHALL BE LISTED FOR INFLOOR INSTALLATION.
- II. THERMAL INSULATION SHALL NOT BE INSTALLED ABOVE OR WITHIN 3" OF RECESSED LUMINARIES' ENCLOSURE, WIRING, COMPARTMENT OR BALLAST EXCEPT WHERE SUCH LUMINARIES IS IDENTIFIED FOR CONTACT WITH INSULATION, TYPE IC. PER I.R.C. E3904.9.
- 12. ISLAND AND PENINGULAR RECEPTACLES TO BE

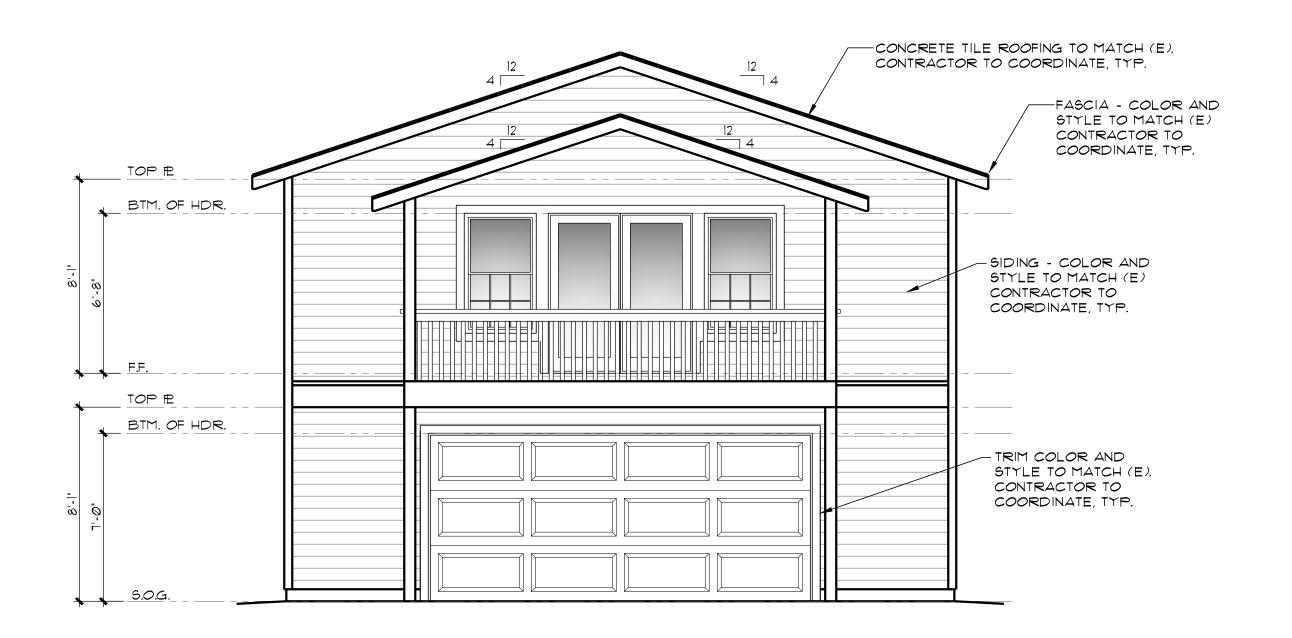
- MOUNTED NO MORE THAN 20" ABOVE OR 12" BELOW COUNTERTOP. RECEPTACLES NOT TO BE MOUNTED FACE UP IN COUNTERTOPS.
- 13. CEILING FAN/LIGHT OUTLET BOXES SHALL BE RATED FOR WEIGHT OF FAN / LIGHT.
- 14. INSTALL SMOKE ALARMS AS REQUIRED BY 2012 IRC SECTION R314 AND LOCAL BUILDING CODES.
- 15. PROVIDE CARBON MONOXIDE ALARMS AS REQUIRED BY 2012 IRC SECTION R315 AND LOCAL BUILDING CODES.
- 16. WITH THE EXCEPTION OF SMOKE DETECTORS, CARBON MONOXIDE DETECTORS, AND HOME SECURITY SYSTEMS INSTALLED ON INDIVIDUAL BRANCH CIRCUITS, ALL BRANCH CIRCUITS THAT SUPPLY 120-VOLT, SINGLE-PHASE, 15 AND 20-AMPHERE OUTLETS INSTALLED IN FAMILY ROOMS, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BED ROOMS, SUN ROOMS, RECEPTION ROOMS, CLOSETS, HALLWAYS, AND SIMILAR ROOMS OR AREAS SHALL BE PROTECTED BY A COMBINATION TYPE ARC FAULT CIRCUIT INTERRUPTER (AFCI) INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
- 17. ELECTRICAL PLAN IS FOR SCHEMATIC PURPOSES ONLY. OWNER TO COORDINATE WITH CONTRACTOR AND FIELD VERIFY LOCATION OF ELECTRICAL FIXTURES.
- 18. 15% OF LAMPS IN PERMANENTLY INSTALLED LIGHTING TO BE HIGH EFFICACY.

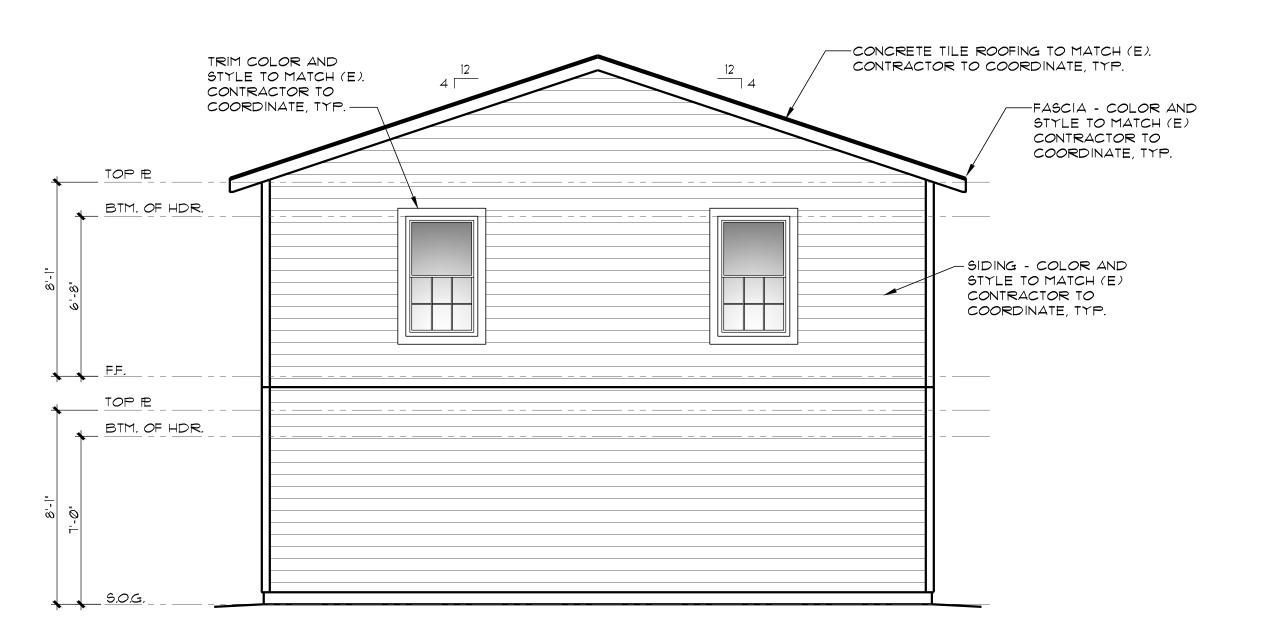
ELECTRICAL LEGEND

- 120 VOLT GFI WALL OUTLET
- WALL SWITCH +52" U.N.O.
- CEILING SURFACE MOUNTED
- LIGHT FIXTURE RECESSED LIGHT
- RECESSED LIGHT / FAN COMBO
- EXHAUST FAN
- SMOKE/CARBON MONOXIDE DETECTOR - INTERWIRE \$ PROVIDE BATTERY BACKUP
- CARBON MONOXIDE DETECTOR
- WALL MOUNTED LIGHT FIXTURE
- HEAT REGISTER HR
- INCANDESCENT 3-LIGHT BATH BAR LIGHT
- TELEPHONE OUTLET
- T.V. CABLE OUTLET

C - - - - 2 LAMP FLUORESCENT

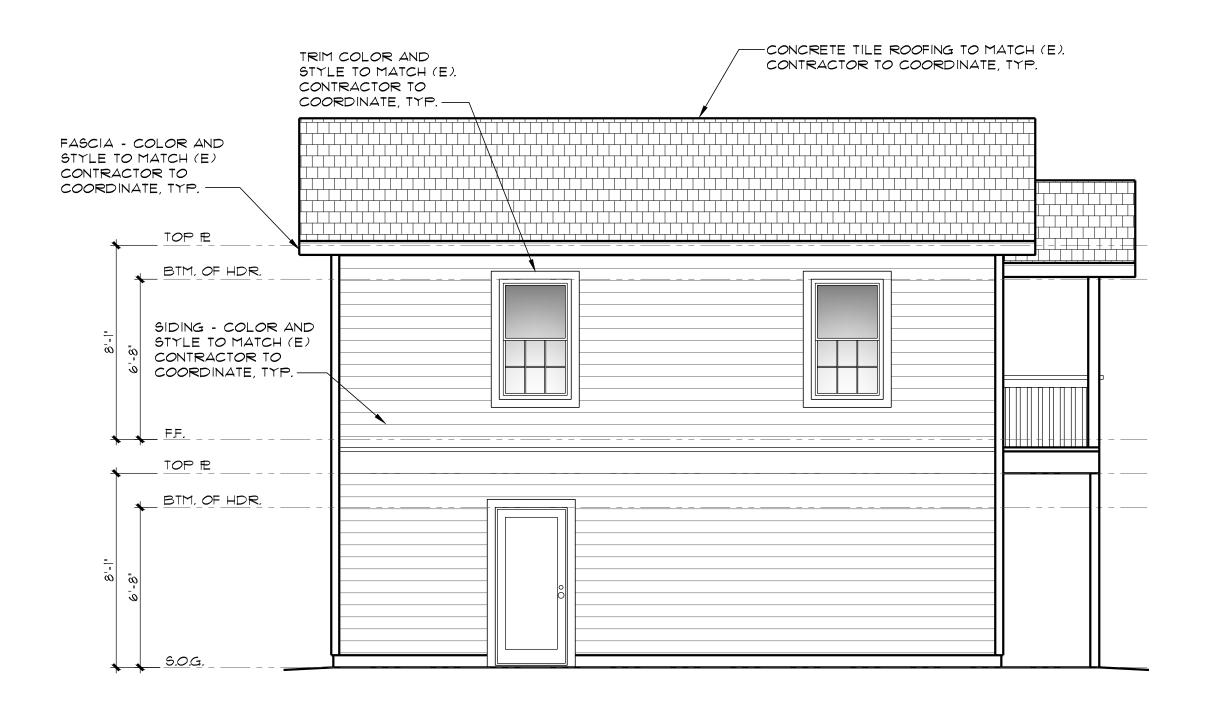
ELECTRICAL CIRCUIT





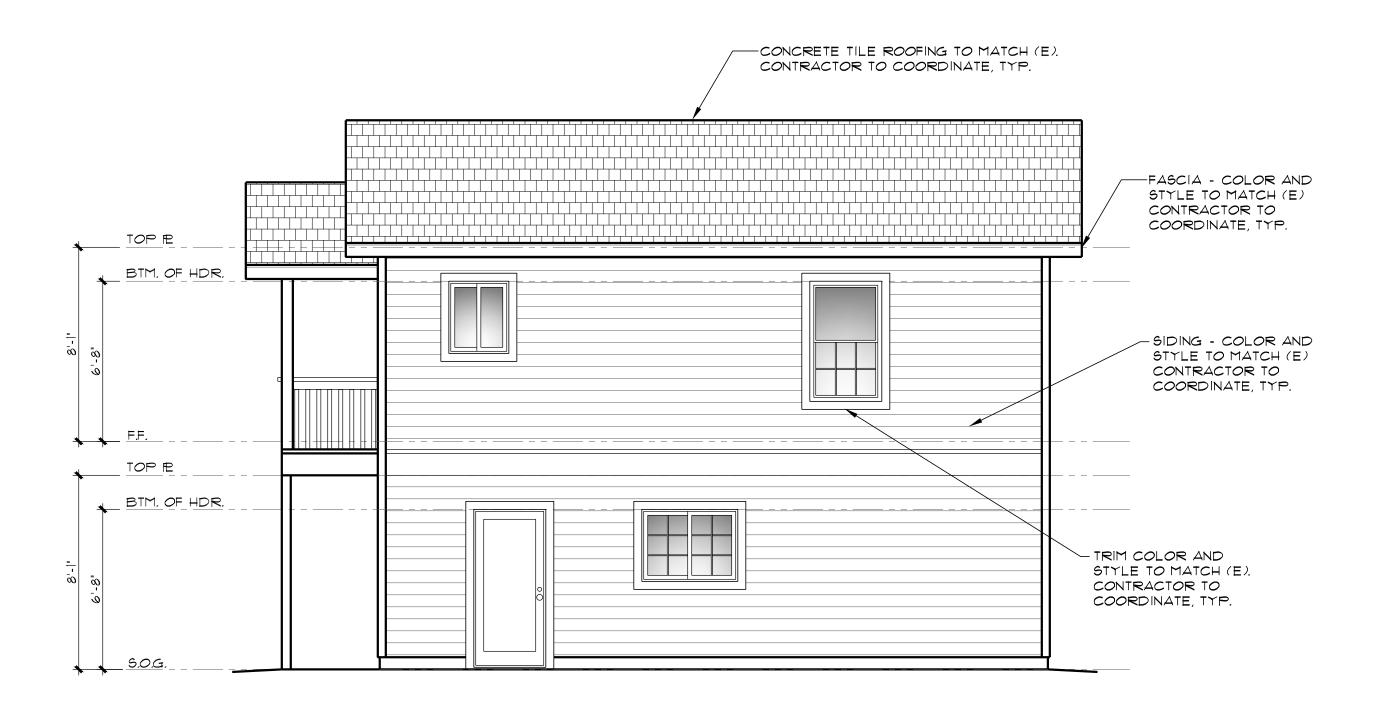
REAR ELEVATION

SCALE 1/4" = 1'-0"



LEFT ELEVATION

SCALE 4" = 1'-0"



RIGHT ELEVATION SCALE 1/4" = 1'-0"



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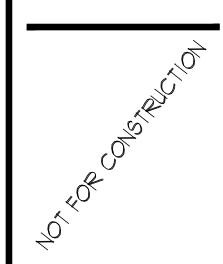
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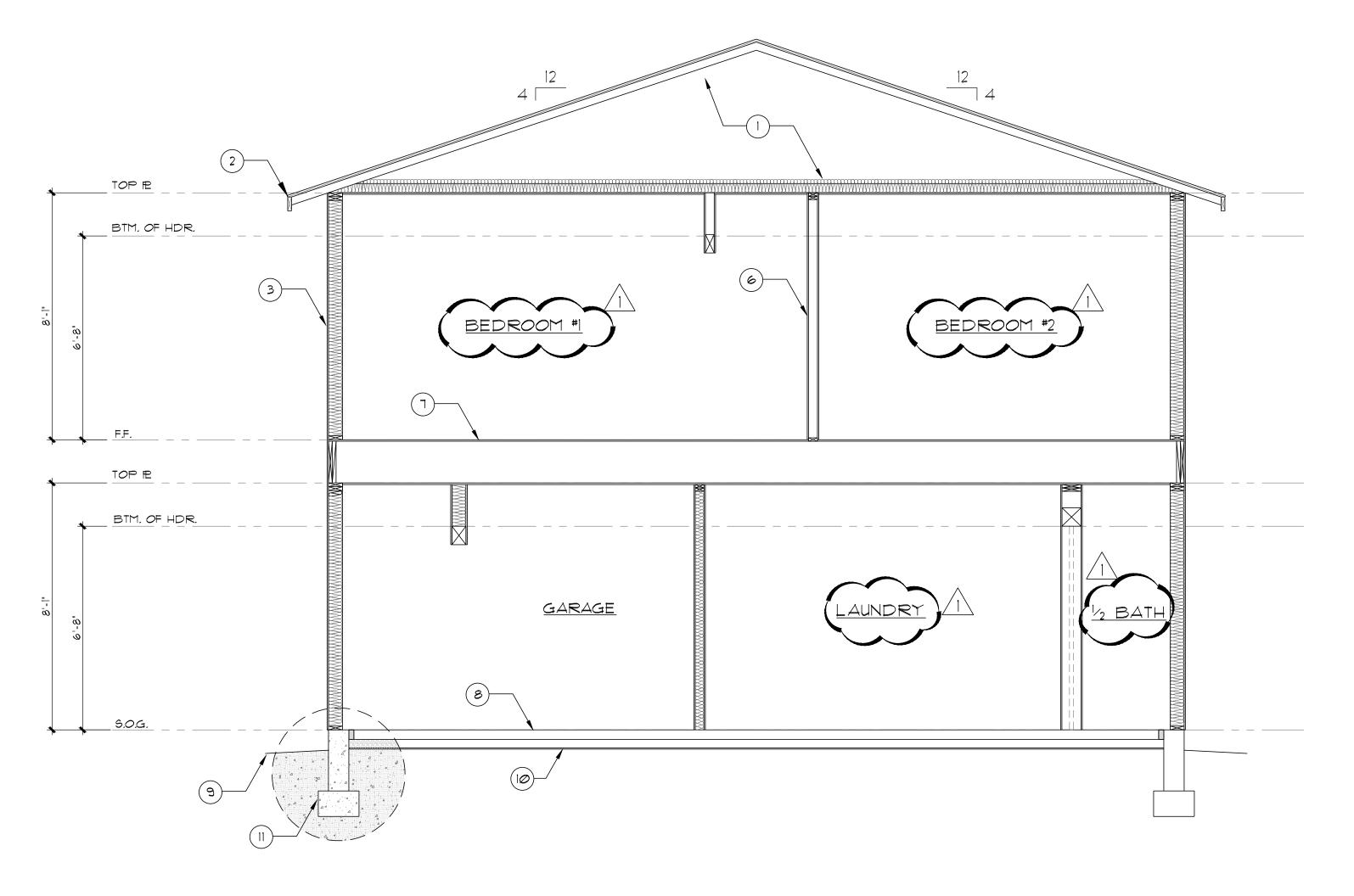


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Section "A-A"





SECTION A-A SCALE %" = 1'-0"

SECTION NOTES

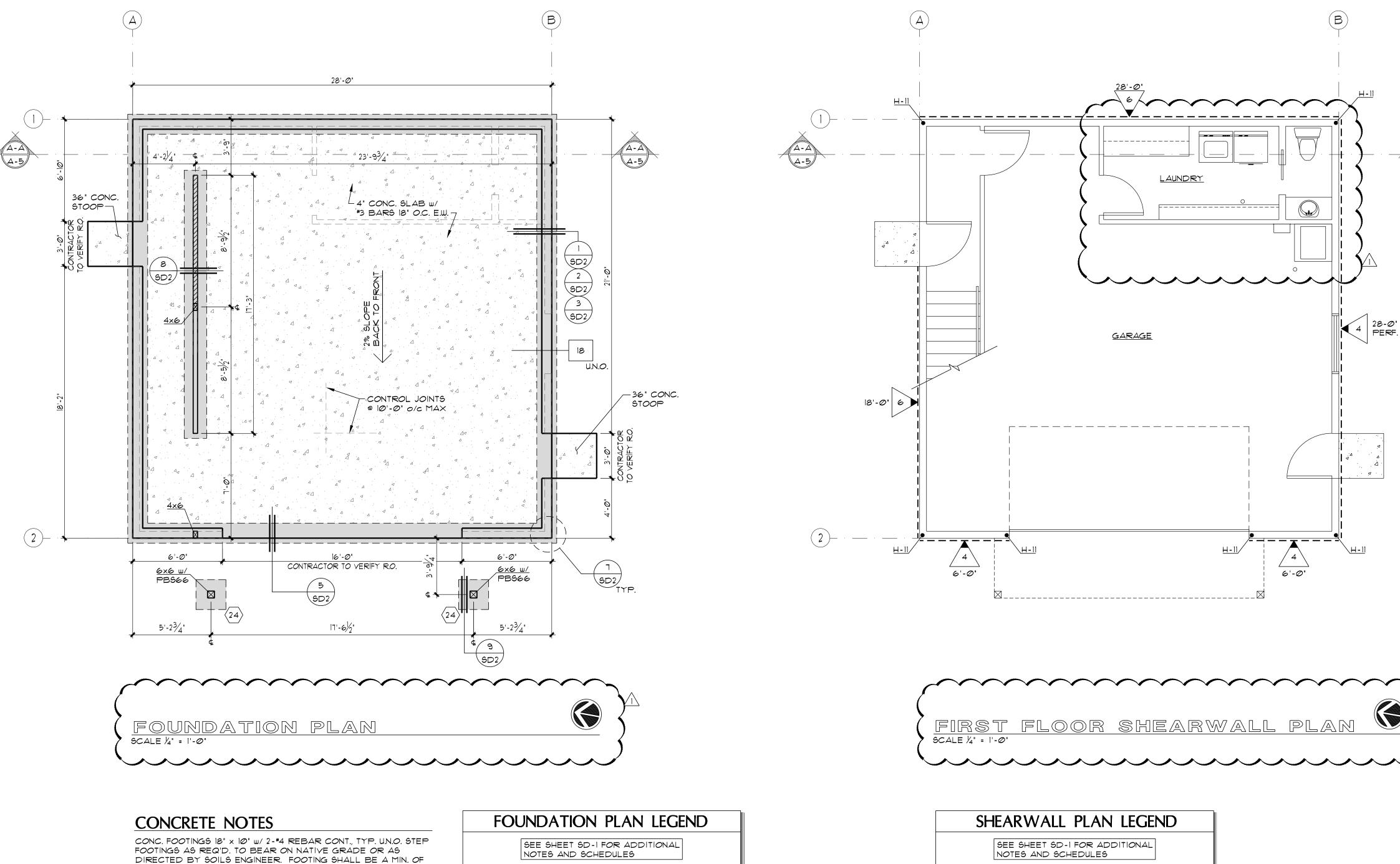
- 1) TYPICAL ROOF/ CEILING ROOFING MATERIAL - SEE EXT. ELEV.
 2 LAYERS 15# FELT · SHEATHING - SEE STRUCT. OTRUSSES - SEE ROOF FRAMING PLAN ∘ R-49 INSUL. ∘ %" GYP. BD.
 - NOTES: OPROVIDE ATTIC ACCESS AS REQ'D. BY I.R.C. SECTION R807.1 PROVIDE ATTIC VENTILATION AS REQ'D. BY I.R.C. SECTION R806.I
- 2 TYPICAL FASCIA / BARGE °2×8 FASCIA W/ DRIP EDGE
- (3) TYPICAL EXTERIOR WALL • EXT. SHEAR - SEE STRUCT. ° 2×6 ≈ 16" O.C. STUDS • R-21 FIBERGLASS INSUL. ∘ ½" GYP. BD.
- 4) WINDOW W/ INSULATED GLAZING (NOT SHOWN)
- 5) DOOR W/ INSULATED GLAZING @ EXT. NOT SHOWN
- TYPICAL INTERIOR WALL ∘ ½" GYP. BD. 02×4 STUDS @ 16" O.C.

- 1 TYPICAL FLOOR SECOND FLOOR OFLOOR FINISH PER OWNER/CONTRACTOR • FLOOR JOISTS PER STRUCT. • R-30 FIBERGLASS INSUL. - OPT.
- (8) GARAGE SLAB FIRST FLOOR $^{\circ}$ 4" CONC. SLAB W/ 6"x6"-10/10 W.W.M. OR FIBERMESH OVER 4" COMP. BASE OVER COMP. GRADE. OPROVIDE 10 MIL. MOISTURE BARRIER W/ 1'-0" MIN. OVERLAP BTWN. CONC. AND EARTH, ONLY AS REQD.
- 9 FINISH GRADE

 SLOPE A MINIMUM OF 5% AWAY FROM BUILDING AT ALL AREAS, TYP.
- 10 VAPOR BARRIER 06 MIL VAPOR BARRIER UNDER SLAB WITH HABITABLE SPACE ABOVE. TAPE ALL PENETRATIONS

THROUGH VAPOR BARRIER W/ STEGO TAPE OR EQUAL.

TYPICAL FOUNDATION CONC. WALL CONT. TO CONC. FOOTING
 TYP. U.N.O. BOTTOM OF FOOTING MIN. 2'-0" BELOW FIN. GRADE.



2'-0" BELOW FINISHED GRADE.

8" CONC. FOUNDATION WALL w/1-#4 TOP 4 #4 VERT. @ 32" O.C. TYP. UN.O. PROVIDE %" ϕ x 10" AB'S @ 48" O.C. TO 2x6 P.T. SILL UN.O. IN SHEAR WALL PLAN. PROVIDE 2x6 P.T. SOLE PLATE @

ALL SLABS TO BE 4" THICK CONCRETE W/ #3 BARS @ 18" O/C E.W. OR 6x6 10/10 WELDED WIRE FABRIC REINFORCING AND SHALL BE PLACED OVER 4" TYPE-11 BASE COMPACTED TO 95% ON COMPACTED NATIVE SOIL, IF SUITABLE.

FOR 2x SILL_PLATE, USE 5/8" + x 10" A.B. FOR 3x OR DOUBLE SILL PLATE, USE %" ϕ \times 12" A.B. EXTEND SILL BOLTS 1" INTO FOUNDATION MINIMUM, MAXIMUM SPACING SHALL BE 4'-0" O.C. WITH MINIMUM (2) BOLTS IN EACH SILL BOARD, BOLTS SHALL BE LOCATED NOT MORE THAN (12) NOR LESS THAN (1) BOLT DIAMETERS FROM EACH END OF SILL PIECE. MINIMUM 3"x3"x1/4" THICK PLATE WASHERS SHALL BE INSTALLED ON EACH SILL

SILL PLATE: USE FOUNDATION GRADE REDWOOD OR TIMBERSTRAND LSL TREATED W/ ZINC BORATE OR PRESSURE TREATED DOUGLAS FIR MUDSILL. SEE SHEARWALL SCHEDULE FOR IMPORTANT INFORMATION REGARDING SILL PLATES. FOR ALL SILL PLATES NOTED, USE 2x WALL WIDTH WOOD SILL. ALL SHEAR WALLS, EXCEPT TYPE "6" & "4", REQUIRE FOUNDATION SILL PLATES & ALL FRAMING MEMBERS RECEIVING EDGE NAILING FROM ABUTTING PANELS TO BE NOT LESS THAN A SINGLE 3" NOMINAL MEMBER. PLYWOOD JOINT & SILL PLATE NAILING SHALL BE STAGGERED IN ALL CASES.

FLOOR JOIST =====

TYPICAL WALL w/ SHEARPLY AND HOLDOWNS.

U.N.O.

5/2" ♦ ANCHOR BOLT SPACING, 48" o/c TYP.

INDICATES CONCRETE PIER FOOTING PER SCHEDULE ON SHEET SD-1

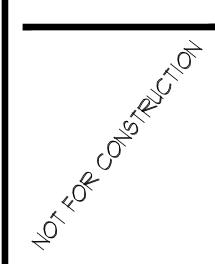
SHEARWALL TYPE - SEE SHEET SDI FOR ADDITIONAL INFORMATION

TYPICAL WALL w/ SHEARPLY AND HOLDOWNS.

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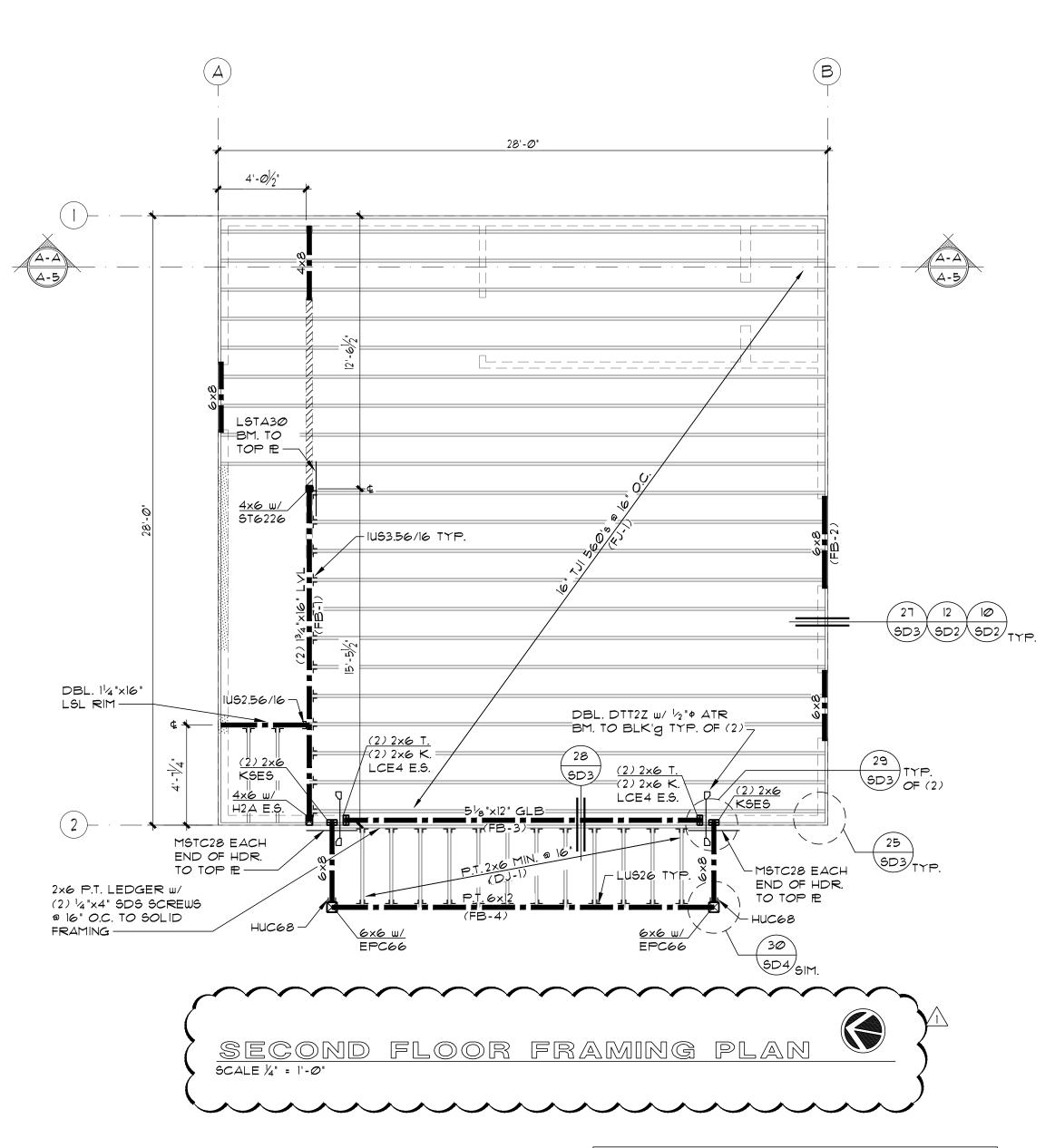
Foundation & Shearwall Plan

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FLOOR FRAMING NOTES

 $\frac{3}{4}$ " T&G PLYWOOD APA RATED STURD-I-FLOOR - 48/24 w/ 10d @ 6" O.C. BOUNDARY, EDGES, & DRAG STRUTS w/ 10d @ 10" O.C. FIELD - GLUE & NAIL THROUGHOUT, TYP.

16" TJI 360 FLOOR JOISTS @ 16" O.C. TYP. BLK. SOLID @ ALL SUPPORT LINES. PROVIDE 14" LSL RIM BOARD THROUGHOUT, TYP. BLOCK SOLID UNDER ALL HOLDOWNS. PROVIDE CRUSH BLOCK, WEB STIFFENERS, ETC. PER MFR.

PROVIDE INSULATION @ RIM JOISTS & FLOOR.

INSULATE ALL PIPES & DUCTWORK.

PROVIDE SOLID BLKG. UP TO SUB-FLOOR, AS REQUIRED, TO SUPPORT POSTS ABOVE.

ALL FRAMING HARDWARE SHALL BE 'SIMPSON'. INSTALL PER MANUF, REQUIREMENTS.

ALL EXTERIOR WALLS SHALL BE CONSIDERED SHEARWALLS NAILED AS TYPE "6" WALLS U.N.O. (SEE SHEARWALL SCHEDULE).

FLOOR FRAMING PLAN LEGEND

SEE SHEET SD-I FOR ADDITIONAL NOTES AND SCHEDULES

FLOOR JOIST

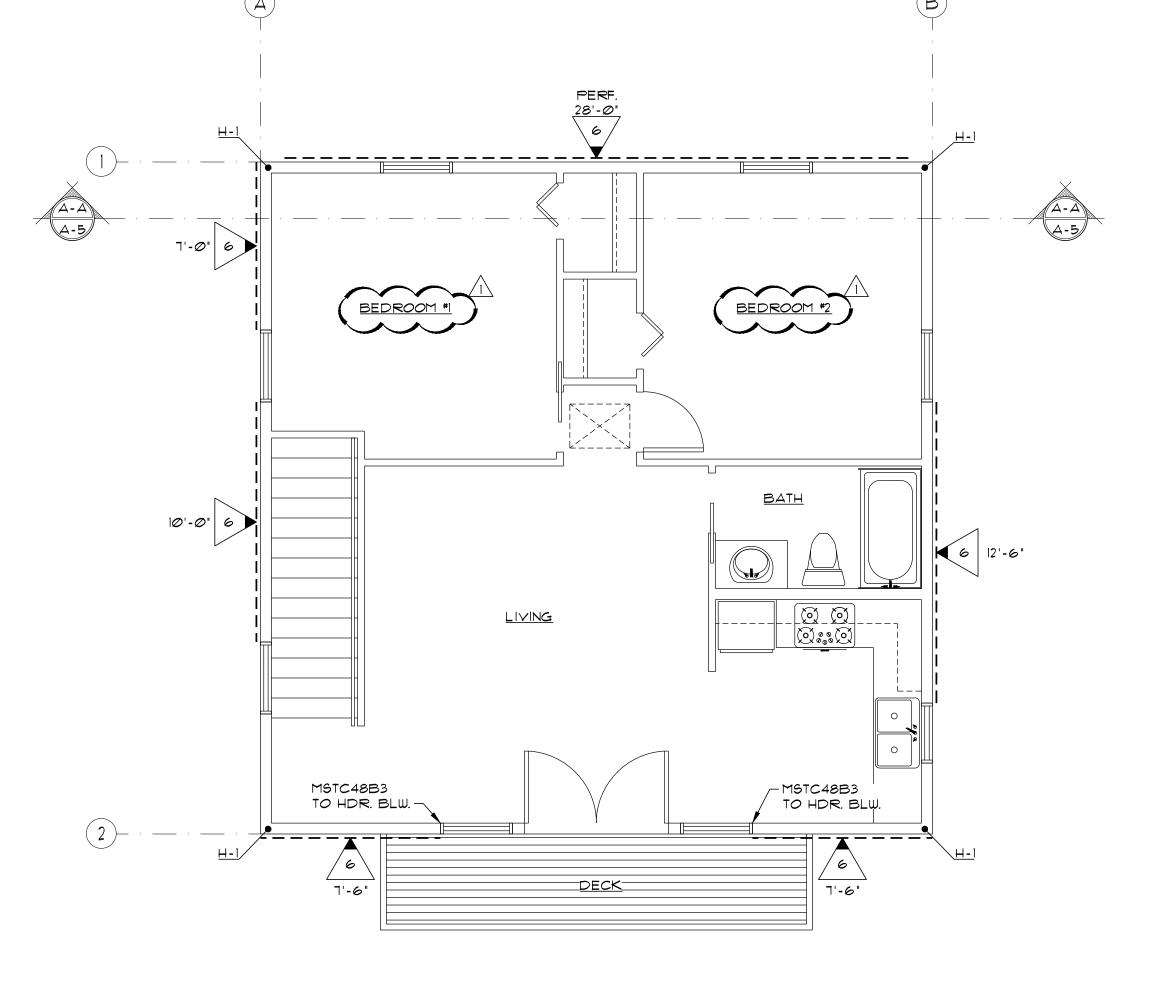
WOOD HEADER/BEAM

TYPICAL WALL W/ SHEARPLY AND HOLDOWNS.

X INDICATES CONCRETE PIER FOOTING
PER SCHEDULE ON SHEET SD-1

ANCHOR BOLT SPACING, 48" O/c TYP. U.N.O.

BALLOON FRAMED WALL w/
(2) 2x6 DF #2 STUDS @ 16" O.C.





SHEARWALL PLAN LEGEND

SEE SHEET SD-1 FOR ADDITIONAL NOTES AND SCHEDULES

SHEARWALL TYPE - SEE SHEET SDI FOR ADDITIONAL INFORMATION

TYPICAL WALL W/ SHEARPLY
AND HOLDOWNS.



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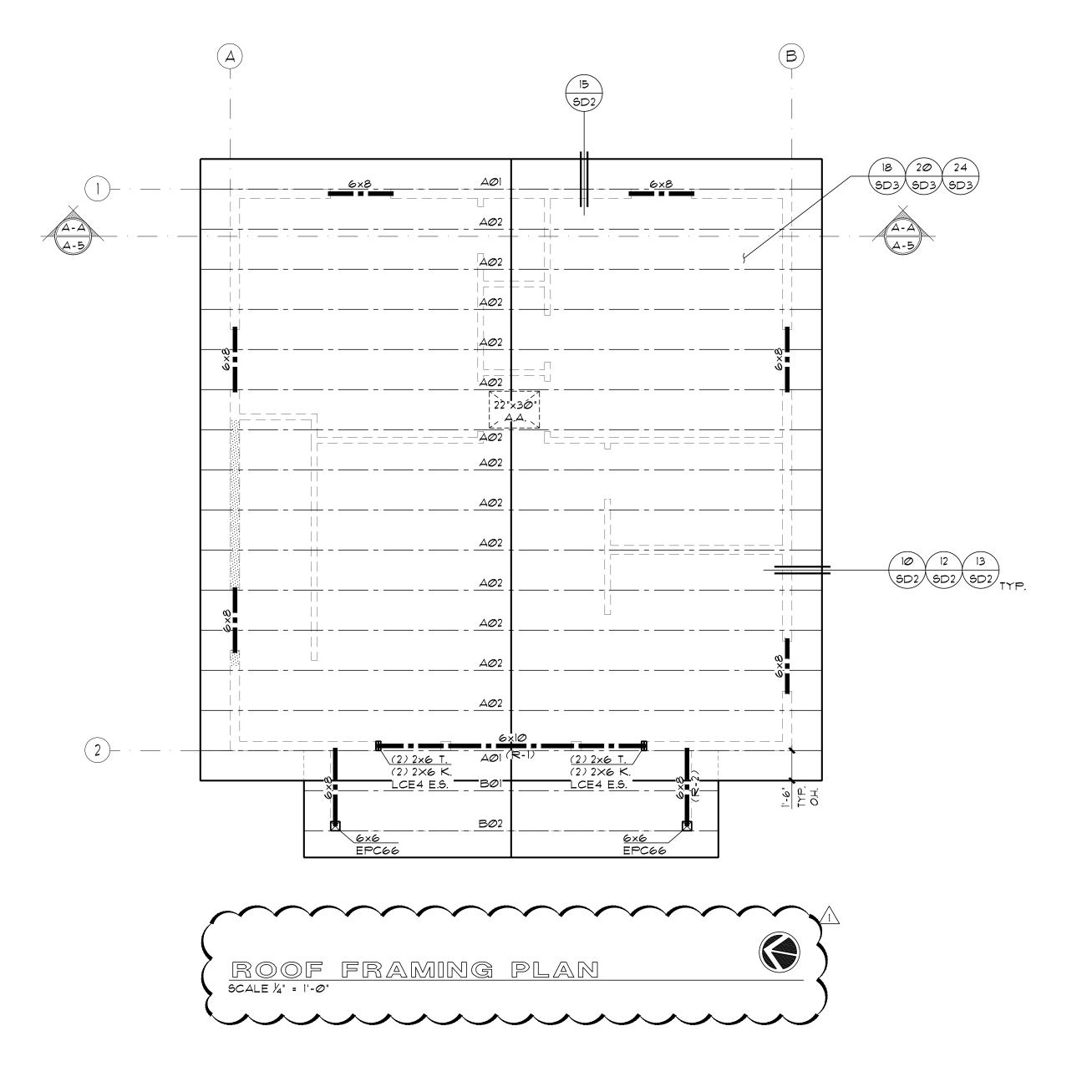
Roof Framing

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S-2

Plan



ROOF FRAMING PLAN LEGEND

SEE SHEET SD-1 FOR ADDITIONAL NOTES AND SCHEDULES

WOOD HEADER/BEAM

----- PRE MANUFACTURED TRUSSES

ROOF RAFTERS

//////// INTERIOR BEARING WALL

BALLOON FRAMED WALL w/ (2) 2x6 DF *2 STUDS @ 16" O.C.

3x FRAMING AT ADJOINING PANEL EDGES ₱ P.T. 3x SILL ₱ w/ ₺"Φx12" AB's, SPACING AS INDICATED ON PLANS. AT TYPE 3 WALLS, 2x SILL PR MAY BE USED w/ 5/8" PXIO" AB'S @ HALF THE SPECIFIED SPACING.

ROOF FRAMING NOTES

ROOF LOADS: SNOW 55# SQ. FT. : DEAD 30# SQ. FT.

USE (1)-LAYER %" (40/20) CDX APA RATED ROOF SHEATHING OR OSB EQUIVALENT, APPLY FACE GRAIN/LONG DIMENSION PERPENDICULAR TO SUPPORT FRAMING. STAGGER PANELS & NAIL w/ 10d'S @ 6" O.C. EDGES & BOUNDARIES & 10d'S @ 12" O.C. FIELD. NAIL ALL DRAG MEMBERS, SHEAR PANELS, BLOCKING, E.T.C. w/ NAILS SPACED @ 4" O.C. SEE DETAILS FOR ADDITIONAL NAILING REQUIREMENTS.

ALL FRAMING HARDWARE NOTED SHALL BE "SIMPSON" INSTALL PER MANUFACTURES REQUIREMENTS.

PROVIDE MIN. DOUBLE STUDS BELOW ALL (1) & (2) PLY GIRDER TRUSSES w/ SIMPSON H6. USE (3) STUDS @ 3-PLY TRUSSES & (4) STUDS @ 4-PLY TRUSSES, U.N.O. CONNECT GIRDER TRUSS TO POST w/ SIMPSON H6 U.N.O.

ALL GLU-LAM BEAMS SHALL BE DOUG-FIR 24F-V4 U.N.O.

TYP HEADER U.N.O. USE 6x8 D.F. #1

USE 12-16d BETWEEN TOP PLATE SPLICES. TYP U.N.O.

USE 2x6 FLAT w/ 2x6 STRONGBACK @ 24" O.C. @ GABLE END FRAMING

PROVIDE G.I. FLASHING @ ALL VALLEYS & ROOF-TO-WALL CONNECTIONS, TYP PROVIDE BITUTHANE MEMBRANE @ CRICKETS SLOPING LESS THAN 3:12 & AS NOTED ON ROOF PLAN

USE BOUNDARY NAILING @ ALL DRAG TRUSSES U.N.O.

A35 @ 48' O.C. TRUSS BLK'G TO TOP PLATE TYP UN.O.

PROVIDE ICE & WATER DAM MEMBRANE @ HIPS, EAVES, VALLEYS & RIDGES AS PER LOCAL BLDG DEPT STANDARDS

PROVIDE SNOW DIVERTERS @ ALL ROOF PENETRATIONS

PROVIDE ATTIC ACCESS (22"x30") PER I.R.C. SECTION R807.1

PROVIDE ROOF VENTILATION PER I.R.C. SECTION R806.1

PROVIDE BLOCKING @ ALL RIDGES, HIPS & VALLEYS TYP

PROVIDE CONT ROOF PLY UNDER ALL ROOF OVER FRAMING

PRE-MANUFACTURED WOOD ROOF TRUSSES

TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR ALL ENGINEERING, LAYOUT DRAWINGS CONNECTIONS, BLOCKING, BRACING, & TRUSS ERECTION INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER COORDINATION BETWEEN ENGINEER/ARCHITECT DRAWINGS, TRUSS MANUFACTURER INFORMATION, ANY REQUIRED FIELD CHANGES, PROPER INSTALLATION OF FINAL PRODUCT & ITS CONFORMANCE TO THE ARCHITECT'S DESIGN. THE ARCHITECT & ENGINEER ASSUME NO LIABILITY FOR SAID PRODUCT.

TRUSS MANUFACTURER TO VERIFY LOCATION OF & PROVIDE REINFORCED TRUSSES FOR THE SUPPORT OF ANY MECHANICAL EQUIPMENT WHERE OCCURRING.

TRUSS MANUFACTURER TO VERIFY LOCATION OF & DESIGN FOR ALL CEILING HEIGHT CHANGES, ATTIC ACCESSES, RETURN AIR GRILLS, ETC. TRUSS MANUFACTURER TO COORDINATE ANY FINDINGS TO BOTH K2 ENGINEERING & THE ARCHITECT.

DEAD LOAD DEFLECTIONS SHALL BE LIMITED TO L/240.

GABLE END TRUSSES SHALL BE STRUCTURAL, DESIGNED TO SUPPORT OVERHANG & TO ALLOW A TOP CHORD NOTCH OF ONE & A HALF INCHES

ALL NON-BEARING WALLS ARE TO HAVE A ONE-FOURTH OF AN INCH GAP TO THE BOTTOM CHORD OF THE TRUSSES. SECURE BOTTOM CHORD TO WALL BELOW W/ SIMPSON STC CLIPS.

USE PRE-ENGINEERED MANUFACTURED TRUSSES. SOLID BLOCK @ ALL SUPPORTS & PER MANUFACTURER'S SPECIFICATIONS. USE SIMPSON HI @ EACH SUPPORT WALL/BEAM TO EACH TRUSS & H6 @ EACH SUPPORT WALL/BEAM TO EACH GIRDER TRUSS.

HANG TRUSSES & GIRDER TRUSSES W/ SIMPSON HUS26 OR AS SPECIFIED ON PLAN. TRUSS CALCULATIONS HOLD PRECEDENCE OVER PLAN @ ALL TRUSS-TO-TRUSS CONNECTIONS.

TRUSSES ARE TO BE HANDLED, INSTALLED, & BRACES IN ACCORDANCE W/ HIB-41 OF THE TRUSS PLATE INSTITUTE (TPI).

THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL FIELD CONDITIONS, PLATE HEIGHTS, TRUSS DIMENSIONS, ROOF PITCHES AND OVERHANGS PRIOR TO TRUSS FABRICATION.

NO TRUSSES SHALL BE DELIVERED TO THIS RESIDENCE THAT ARE NOT FROM RENO TRUSS, UNLESS PRIOR WRITTEN APPROVAL IS OBTAINED.

ATTIC VENTILATION

REQUIRED = 856 S.F./ 300 = 2.85 S.F.

ATTIC SPACE EAVE VENTS II" ATTIC VENTS - LOW

(3)2" ϕ AT 15 BAYS = 0.98 S.F. (2) @ Ø.5Ø S.F E.A. = 1.00 S.F.

(3) @ Ø.5Ø S.F EA. = 1.5Ø S.F. II" ATTIC VENTS - HIGH TOTAL VENT AREA PROVIDED

3.48 S.F.

ENGINEERING

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- . ALL WORK, DETAILS OF DESIGN, WORKMANSHIP, AND MATERIALS SHALL CONFORM TO REQUIREMENTS OF THE 2012 EDITION OF THE INTERNATIONAL BUILDING CODE (IBC) OF THE INTERNATIONAL CODE COUNCIL AND THE APPLICABLE
- COUNTY/CITY BUILDING CODES. 2. K2 ENGINEERING EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED,
- OR COPIED IN ANY MATTER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO A THIRD PARTY WITHOUT THE EXPRESS WRITTEN CONSENT OF K2 ENGINEERING. IN THE EVENT OF UNAUTHORIZED REUSE OF THESE PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL HOLD K2 ENGINEERING HARMLESS.
- 3. K2 ENGINEERING RESERVES THE RIGHT TO PERFORM OBSERVATION VISITS TO THE SITE AT ANY TIME, OBSERVATIONS ARE PERFORMED SOLELY FOR THE PURPOSE OF DETERMINING IF THE CONTRACTOR UNDERSTANDS DESIGN INTENT CONVEYED IN THE PLANS. OBSERVATIONS DO NOT GUARANTEE CONTACTOR'S PERFORMANCE AND ARE NOT TO BE CONSTRUED AS SUPERVISION OF THE PROJECT.
- 4. IN THE EVENT THAT CERTAIN EXISTING DIMENSIONS AND/OR CONDITIONS ARE FOUND TO BE DIFFERENT FROM THOSE SHOWN ON THE PLANS AND DETAILS, THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED SO THAT THE PROPER REVISIONS CAN BE MADE IF NECESSARY. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WHICH THE CONTRACTOR FAILED TO NOTIFY K2 ENGINEERING OF BEFORE CONSTRUCTION AND/OR FABRICATION OF THE WORK.
- 5. K2 ENGINEERING IS RESPONSIBLE FOR THE STRUCTURAL ITEMS IN THE PLANS ONLY SHOULD ANY CHANGES BE MADE, OR SHOULD THE RESULTS OF THESE CALCULATIONS NOT BE FULLY OR PROPERLY TRANSFERRED TO THE PLANS, K2 ENGINEERING ASSUMES NO RESPONSIBILITY FOR THE STRUCTURE.
- 6. THE DETAILS SHOWN ON THE DRAWINGS ARE TYPICAL. SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS. NO DEVIATIONS FROM STRUCTURAL DETAILS SHALL BE MADE WITHOUT THE PRIOR WRITTEN APPROVAL OF K2 ENGINEERING.
- 1. THE CALCULATIONS ARE BASED UPON A COMPLETE STRUCTURE. TEMPORARY SUPPORTS, ETC., ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND HAVE NOT BEEN CONSIDERED BY K2 ENGINEERING. SHOULD AN UNFINISHED STRUCTURE BE SUBJECT TO LOADS, K2 ENGINEERING SHOULD BE CONSULTED FOR AN INTERIM DESIGN OR
- IF NOT, WILL ASSUME NO LIABILITY. 8. ALL NOTES ARE TYPICAL UNLESS NOTED OTHERWISE ON THE PLANS. ALL HARDWARE AND FRAMING MEMBERS SPECIFIED IN THE CALCULATIONS AND/OR PLANS ARE MINIMUMS AND LARGER MEMBERS OF EQUAL OR BETTER GRADE MAY BE SUBSTITUTED.

- 1. K2 ENGINEERING HAS NOT MADE A GEOTECHNICAL REVIEW OF THE BUILDING SITE AND IS NOT RESPONSIBLE FOR GENERAL SITE STABILITY OR SOIL SUITABILITY FOR THE PROPOSED PROJECT. K2 ENGINEERING RECOMMENDS A REVIEW OF THE SITE BY A GEOLOGICAL ENGINEER OR A QUALIFIED CIVIL ENGINEER TO DETERMINE GENERAL SITE STABILITY AND SOIL SUITABILITY FOR THE PROJECT.
- 2. BUILDING SITES ARE ASSUMED TO BE DRAINED AND FREE OF CLAY OR EXPANSIVE SOIL. ALL FOOTINGS SHALL BE LEVEL OR STEPPED AND BEAR ON FIRM, STABLE, NATURAL, UNDISTURBED SOIL OR AN APPROVED COMPACTED FILL.
- 4. PERIMETER OR EXTERIOR FOOTING DEPTHS MUST EXTEND BELOW FROSTLINE (18' OR 24' AS PER LOCAL CODE REQUIREMENTS). ALL OTHER FOOTINGS (INTERIOR) SHALL BOTTOM 12" MINIMUM BELOW NATURAL UNDISTURBED GRADE.
- 5. BUILDING PADS SHALL BE GRADED 2% TOWARD APPROVED DRAINAGE FACILITIES AND PROVISIONS SHALL BE MADE TO CONTROL AND DRAIN SURFACE WATER AROUND BUILDING. 6. ASSUME CLASS D SOILS WITH ALLOWABLE SOIL BEARING PRESSURE OF 2000 PSF WITH A CONSTANT EXPANSION INDEX LESS THAN 20. SOIL BEARING PRESSURE HAS BEEN

DETERMINED IN ACCORDANCE WITH IBC TABLE 1806.2.

- 1. FILL MATERIAL SHALL BE FREE FROM DEBRIS, VEGETATION, AND OTHER FOREIGN
- 2. BACKFILL TRENCHES SHALL BE COMPACTED TO 90% DENSITY PER ASTM 1557 TO WITHIN 12" OF FINISHED GRADE. THE TOP 12" SHALL BE LANDSCAPE FILL
- 3. BACKFILL AT PIPE TRENCHES SHALL BE COMPACTED ON BOTH SIDES OF PIPE IN 6" LIFTS. 4. WATERPROOF EXTERIOR FACES OF ALL FOUNDATION WALLS ADJACENT TO USABLE SPACES. WATERPROOFING OF ALL FOUNDATION AND RETAINING WALLS TO BE THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR
- 5. ALL BACKFILL AGAINST FOUNDATION WALLS MUST BE COMPACTED TO 90% RELATIVE
- 6. PROVIDE A 4" DIAMETER PYC PERFORATED DRAINPIPE AT GRADE SIDE OF ALL RETAINING WALLS. SLOPE PIPE TO DRAIN TO DAYLIGHT AND DRYWELL.

- 1. REINFORCED CONCRETE WORK SHALL CONFORM TO APPLICABLE REQUIREMENTS OF THE IBC AND ACI STANDARD 318-11.
- 2. AGGREGATE SHALL CONFORM TO ASTM C33 FOR STONE CONCRETE. 3. CONCRETE STOOPS TO BE MACHINED MIXED AND PLACED IN ACCORDANCE WITH THE IBC.
- 4. COMPRESSION STRENGTH OF ALL REINFORCED CONCRETE SHALL NOT BE LESS THAN
- 3000 PSI AT 28 DAYS. 5. STRUCTURAL DESIGN BASED ON Fig = 2500 PSI (SPECIAL INSPECTION NOT REQUIRED). 6. USE NORMAL WEIGHT CONCRETE (145 PCF) FOR ALL CONCRETE, USE TYPE II CEMENT
- TYPICAL. IF SOIL CONTAINS SULFATE CONCENTRATIONS OF 2% OR MORE, USE TYPE Y CEMENT. 1. THE MAXIMUM SLUMP SHALL NOT EXCEED 3". PLASTICIZERS MAY BE USED TO INCREASE
- SLUMP TO 8' MAXIMUM PROVIDED THEY DO NOT INCREASE SHRINKAGE. 8. MAXIMUM WATER/CEMENT RATIO SHALL BE .55 FOR 3000 PSI CONCRETE.
- 9. EXTERIOR SLABS ON GRADE SHALL CONTAIN NOT LESS THAN 5% NOR MORE THAN 6% ENTRAINED AIR
- IØ. FOLLOW RECOMMENDED PRACTICES FOR HOT AND COLD WEATHER CONCRETING BY OBSERVING ACI 305 AND ACI 306 GUIDELINES.
- 11. PROVIDE STANDARD CRACK CONTROL JOINTS IN ALL SLABS ON GRADE USING MAXIMUM DIMENSION OF 10 FEET FOR 4" SLABS AND 12 FEET FOR 6" SLABS. JOINT DEPTH SHALL NOT EXCEED ONE-FOURTH OF SLAB DEPTH. 12. TOP OF CONCRETE SLABS SHALL BE MINIMUM 6" ABOVE FINISHED GRADE.
- 3. PIPES MAY PASS THROUGH STRUCTURAL CONCRETE IN SLEEVES, BUT SHALL NOT BE EMBEDDED THEREIN, PIPES OR DUCTS EXCEEDING ONE-THIRD THE SLAB OR WALL THICKNESS SHALL NOT BE PLACED IN STRUCTURAL CONCRETE 14. DO NOT PLACE CONCRETE UNTIL ALL REINFORCEMENT, CONDUIT, OUTLET BOXES, ANCHORS
- HANGERS, SLEEVES, BOLTS, HOLDOWNS, ANCHOR BOLTS OR OTHER EMBEDDED MATERIALS AND ITEMS ARE SECURELY AND PROPERLY FASTENED IN THEIR PROPER PLACES AND POSITIONS.

- . ALL CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C90, GRADE N. F'M = 1500 PSI. USE 85 PCF MINIMUM WEIGHT UNITS ABOVE GRADE AND 110 PCF MINIMUM WEIGHT UNITS BELOW GRADE, USE MOISTURE CONTROLLED UNITS ONLY. USE OPEN-END MASONRY UNITS AS MUCH AS POSSIBLE AND AT WALL INTERSECTIONS.
- 2. ALL BRICK SHALL CONFORM TO ASTM C62, GRADE MW. 3. MORTAR FOR CONCRETE MASONRY SHALL CONFORM TO ASTM C279, TYPE S.
- 4. GROUT FOR CONCRETE MASONRY SHALL BE IN ACCORDANCE WITH IBC SECTION 2103. MINIMUM 28-DAY COMPRESSIVE STRENGTH SHALL NOT BE LESS THAN 2000 PSI. 5. ALL WALLS SHALL BE GROUTED SOLID. GROUT SHALL BE VIBRATED INTO PLACE AND SHALL BE PLACED IN LIFTS NOT EXCEEDING 4' UNLESS APPROPRIATE CLEANOUT HOLES
- ARE PROVIDED IN ACCORDANCE WITH IBC. 6. AGGREGATES FOR MORTAR AND GROUT SHALL BE NATURAL SAND AND ROCK CONFORMING TO ASTM C-144 (MORTAR) AND C-404 (GROUT). 1. CEMENT SHALL BE PORTLAND CEMENT CONFORMING TO ASTM C-150, TYPE I OR II,
- LOW ALKALI 8. ALL CONCRETE BLOCK AND BRICK SHALL BE LAID IN RUNNING BOND. 9. WHEN ABSOLUTELY NECESSARY FOR CONSTRUCTION PURPOSES TO STOP OFF LONGITUDINAL
- RUNS OF MASONRY, STOP OFF ONLY BY RACKING BACK ONE-HALF UNIT LENGTH IN EACH COURSE. TOOTHING SHALL NOT BE PERMITTED. 10. MASONRY WALLS SHALL BE REINFORCED WITH *4'S VERT @ 16" O.C. EACH WAY. # *4 @ 24" O.C. HORIZ. BAR SPLICES SHALL BE STAGGERED.

REINFORCING STEEL

- 1. REINFORCING BARS SHALL BE DEFORMED BARS CONFORMING TO THE REQUIREMENTS OF ASTM AG15 GRADE 60 FOR ALL #5 AND LARGER BARS AND GRADE 40 FOR ALL #4 AND SMALLER BARS.
- 2. ALL DETAILS OF FABRICATION AND INSTALLATION OF REINFORCING STEEL SHALL BE IN ACCORDANCE WITH THE ACI MANUAL OF STANDARD PRACTICE. 3. WELDED FABRIC (MESH) SHALL CONFORM TO LATEST REVISED ASTM A185 AND BE
- FURNISHED IN FLAT SHEETS. SMOOTH WIRE FABRIC SHALL CONFORM TO ASTM A-85 HAVING A YIELD STRENGTH OF 60 KSI.
- 4. WELDING OF REINFORCING STEEL SHALL CONFORM TO AWS DIZ-1 USING LOW HYDROGEN ELECTRODES 5. ALL BARS SHALL BE LAPPED WITH A MINIMUM OF 40 BAR DIAMETERS (2' MINIMUM) AT ALL
- 6. SPLICES OF HORIZONTAL REBAR IN WALLS AND FOOTINGS SHALL BE STAGGERED 4' MINIMUM. 7. DOWELS FOR WALLS AND COLUMNS SHALL BE THE SAME SIZE AND SPACING AS THE
- WALL/COLUMN REINFORCING. 8. ALL REINFORCING STEEL SHALL BE ACCURATELY LOCATED AND ADEQUATELY SECURED IN POSITION BEFORE AND DURING PLACEMENT OF CONCRETE.
- 9. MASONRY REINFORCEMENT, BOLTS, ETC. SHALL HAVE MINIMUM GROUT COVERAGE OF THREE-FOURTHS OF AN INCH.
- 10. REINFORCEMENT COVER IN CAST-IN-PLACE CONCRETE SHALL BE AS FOLLOWS:
- A. 3' CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH B. 2" - FORMED SURFACES EXPOSED TO GROUND OR WEATHER

STRUCTURAL STEEL

- 1. STRUCTURAL STEEL AND MISCELLANEOUS IRON SHALL CONFORM TO ASTM A-36.
- W SECTIONS SHALL CONFORM TO ASTM A992, GRADE 50. 2. STEEL PIPE COLUMNS SHALL CONFORM TO ASTM A-53, TYPE E OR S, GRADE B.
- 3. STEEL TUBE SECTIONS SHALL CONFORM TO ASTM A500, GRADE B. 4. STEEL PLATES SHALL CONFORM TO ASTM A-282, GRADE "A".
- 5. ALL DETAILING SHALL CONFORM TO CURRENT AISC SPECIFICATIONS 6. ALL WELDING SHALL CONFORM TO CURRENT AISC AND AWS 1.1 SPECIFICATIONS, AND SHALL
- PERFORMED BY CERTIFIED WELDERS APPROVED BY THE LOCAL BUILDING AUTHORITY. ALL SHOP WELDING SHALL BE IN AN APPROVED FABRICATORS SHOP AUTHORIZED BY THE BUILDING AUTHORITY OR SPECIFIC INSPECTION PER IBC.
- 7. ALL COMPLETE JOINT PENETRATION WELDS REQUIRE SPECIAL INSPECTION AND UT TESTING. 8. ALL WELDING ELECTRODES SHALL BE ETØXX OR SHIELDED WIRES WITH FY GREATER THAN
- OR EQUAL TO TO KSI. 9. BOLTS, NUTS, AND SCREWS SHALL CONFORM TO ASTM A3ØT GRADE "A".
- 10. HIGH STRENGTH BOLTS SHALL BE ASTM A325. CONTACT FACES OF STEEL CONNECTIONS WHERE HIGH STRENGTH BOLTS ARE TO BE USED SHALL NOT BE PAINTED. 11. ALL FOUNDATION BOLTS SHALL BE ASTM A-36 GALVANIZED ALL THREAD OR ASTM A3ØT UNFINISHED BOLTS, ALL SILL BOLTS IN SEISMIC ZONE 4 SHALL BE FIVE-EIGHTHS INCHES IN DIAMETER BOLT HOLES TO BE ONE-THIRTY-SECONDS OF AN INCH TO ONE-SIXTEENTH OF AN INCH LARGER THAN SPECIFIED BOLT.
- 12. ALL STRUCTURAL STEEL AND MISCELLANEOUS IRON NOT ENCASED IN CONCRETE SHALL RECEIVE ONE SHOP COAT OF APPROVED PRIMER PAINT. 13. ALL STEEL EXPOSED TO WEATHER SHALL BE HOT-DIP GALVANIZED AFTER FABRICATION OR
- OTHER APPROVED WEATHER PROOFING METHOD HAVING EQUIVALENT RESULTS MAY BE USED. 14. WHERE NECESSARY, PROVIDE ONE-HALF INCH DIAMETER X THREE INCH NELSON STUDS
- 15. ALL GROUT UNDER STEEL BEARING PLATES SHALL BE SOLID DRYPACK OR NON-SHRINK GROUT PLACED AS DIRECTED BY THE MANUFACTURER.
- 16. PROVIDE WELDER'S CERTIFICATE FOR ALL SINGLE-PASS FILLET WELDS NOT EXCEEDING 5/16" IN SIZE, OR PROVIDE THE CERTIFICATE OF COMPLIANCE THAT THE WORK WAS PERFORMED IN AN APPROVED FABRICATOR'S SHOP.

WOOD FRAMING NOTES

- 1. ALL LUMBER FRAMING AND BEARING STUDS TO BE DOUGLAS FIR-LARCH WITH MOISTURE CONTENT LESS THAN 19%.
- GLUE LAMINATED TIMBER BEAMS TO BE APA/EWS MARKED 24F-V4. GLU-LAMS EXPOSED TO WEATHER SHALL BE RATED FOR EXTERIOR USE BY THE MANUFACTURER OR AN APPROVED PROTECTION FROM EXPOSURE SHALL BE PROVIDED.
- LAMINATED VENEER LUMBER (LVL) TO BE 1.9E, Fb=2600 P61. Fv= 285 P61 EQUIVALENT OR BETTER FOR MEMBERS LESS THAN 10" DEEP, CONNECT PLIES WITH (2) ROWS 16D BOX NAILS AT 12" O.C. FOR MEMBERS GREATER THAN 10" DEEP, CONNECT PLIES WITH (3) ROWS 16d BOX NAILS AT 12"O.C. FOR THREE PIECE MEMBER, NAILING SPECIFIED 15 FROM
- EACH SIDE. • PARALLEL STRAND LUMBER (PSL) TO BE 2.0E, Fb= 2900 PSI Fv= 290 PSI EQUIVALENT OR BETTER.
- 4x AND SMALLER FRAMING TO BE DF #2.
- 6x AND LARGER FRAMING TO BE DF #1.
- INTERIOR NON-BEARING STUDS AND PLATES MAY BE CONSTRUCTION GRADE OR BETTER. 2. APA RATED SHEATHING SHALL BE MANUFACTURED WITH EXTERIOR GLUE IN ACCORDANCE WITH THE REQUIREMENTS OF THE IBC AND PS 1-1, PS-2, OR APA PRP-108. SHEAR
- PLYWOOD SHALL BE C-D, C-C, 303 (TI-II), OR AN APPROVED EQUAL 3. ALL RESAUN AND ROUGH SAWN BEAMS ARE TO BE FREE OF HEART CENTER
- 4. ALL FRAMING CLIPS AND DEVICES SHALL BE 'SIMPSON TIE' OR ICC APPROVED EQUAL. 5. MINIMUM NAILING FOR CONNECTION NOT INDICATED ON THE DRAWINGS SHALL BE IN ACCORDANCE WITH IBC .
- 6. ALL MULTIPLE TRIMMERS, MULTIPLE STUDS, OR POSTS SHALL BE STACKED IN ALL WALL FRAMING CONNECTED WITH POSITIVE CONNECTIONS, SOLID BLOCKING SIMILAR IN SIZE TO FRAMING ABOVE SHALL BE PROVIDED AT ALL FLOORS ALL THE WAY DOWN TO THE FOUNDATION.
- T. DO NOT NOTCH BEAMS, JOISTS, OR STUDS. 8. ALL NAILS SHALL BE "COMMON" WIRE NAILS AND SHALL CONFORM TO THE FOLLOWING:

	ALIONO		
SIZE	SHANK DIA.	LENGTH	EQUIVALENT STAPLE SIZES
8d	Ø.131 '	21/2"	13 GA x 1-3/4"
1Ød	Ø.148 '	3'	12 GA × 1-3/4"
16d	Ø.162'	31/2"	

- NO SUBSTITUTIONS UNLESS APPROVED IN WRITING BY K2 ENGINEERING OR SPECIFICALLY ADDRESSED IN THESE CALCULATIONS OR THE PLANS. ALL NAILS EXPOSED TO WEATHER SHALL BE GALVANIZED.
- REFER TO SIMPSON SPECIFICATIONS FOR FRAMING HARDWARE ATTACHMENT REQUIREMENTS. ALL NAILS SHALL MEET THE REQUIREMENTS OF ASTM F 1667. 9. SHEATH AND NAIL ALL SHEAR PANELS AND GABLE END TRUSSES THE SAME AS THE
- SHEAR WALL ABOYE OR BELOW. 10. CONNECT DOUBLE STUDS, DOUBLE JOISTS, OR ANY OTHER MULTIPLE PIECE MEMBER W/
- 11N. (2) ROWS 16d BOX NAILS @ 12" O.C II. TYPICAL LOAD BEARING AND EXTERIOR STUDWALL CONSTRUCTION:
- STUD HEIGHT ≤ 10'-0" 2x4 @ 16" O.C. STUD HEIGHT ≤ 14'-0" - 2x6 @ 16" O.C.
- STUD HEIGHT ≤ 18'-0" 1-3/4" x 5-1/2" L.V.L. @ 12" O.C. STUD HEIGHT ≤ 22'-Ø" - 1-3/4" x 7-1/4" L.Y.L. @ 12" O.C.
- STUD HEIGHT ≤ 27'-Ø" 1-3/4" x 9-1/4" L.V.L. @ 12" O.C. 12. USE (2) CONT. KING STUDS E.S. OF OPENINGS WHERE STUD HEIGHT EXCEEDS 10'-6" U.N.O. DO NOT BREAK CONT. KING STUDS BY SPANNING HEADER OVER MULTIPLE OPENINGS. ALWAYS RAKE/BALLOON FRAME STUDWALLS.
- 13. PORTIONS OF STRUCTURAL GLU-LAM BEAMS, WHICH ARE EXPOSED TO WEATHER, SHALL BE PRESSURE TREATED OR WOOD OF NATURAL RESISTANCE TO DECAY, EQUIVALENT PROTECTION MAY BE PROVIDED WITH TWO COATS MINIMUM OF SEALER.

ROOF FRAMING NOTES

- 1. ROOF LOADS: LIVE = <u>21 PSF</u> : DEAD = <u>20 PSF</u> 2. USE (1)-LAYER 5/8" (40/20) CDX APA RATED ROOF SHEATHING OR OSB EQUIVALENT, APPLY FACE GRAIN/LONG DIMENSION PERPENDICULAR TO SUPPORT FRAMING. STAGGER PANELS AND NAIL WITH <u>100'S</u> AT 6' O.C. EDGES AND BOUNDARIES AND <u>100'S</u> AT 12' O.C. FIELD. NAIL ALL DRAG MEMBERS, SHEAR PANELS, BLOCKING, E.T.C. W/ NAILS SPACED AT 4" O.C. SEE DETAIL FOR ADDITIONAL NAILING REQUIREMENTS.
- 4. CONNECT TRUSS BLOCKING AND GABLE END TRUSSES TO TOP PLATE OR BEAM BELOW WITH A35's, LTP4's, LTØ's, OR LS50's @ 48' O.C. UNLESS NOTED OTHERWISE. 5. DOUBLE TOP PLATE LAP SPLICES SHALL BE 4'-@' MINIMUM AND FACE NAILED WITH (12)-16d NAILS.

3. USE (2) TRIMMERS AND (1) KING STUD UNDER ALL OPENINGS $\underline{6'-0'}$ OR GREATER.

- 6. THE FOLLOWING COLUMN/POST CAPS ARE INTERCHANGEABLE: CC, ECC, CCQ, & ECCQ. 1. WHERE HEADERS ARE PLACED HIGH IN THE WALL AND BREAK THE DOUBLE TOP PLATE, AN MSTC28 SHALL CONNECT THE HEADER TO THE TOP PLATE AT EACH END.
- 8. ENCLOSED ATTIC AND RAFTER SPACES SHALL HAVE CROSS VENTILATION BY OPENINGS EQUAL TO 1/150TH OF THE AREA. WHERE EAVE OR CORNICE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING. ROOFS WITH

RAFTERS, BAYS AND/OR VAULTED CEILINGS MUST BE VENTILATED TO OUTSIDE AT RIDGE. PRE-MANUFACTURED WOOD ROOF TRUSSES

- 1. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR ALL ENGINEERING, LAYOUT DRAWINGS, CONNECTIONS, BLOCKING, BRACING, AND TRUSS ERECTION INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER COORDINATION BETWEEN ENGINEER/ARCHITECT DRAWINGS, TRUSS MANUFACTURER INFORMATION, ANY REQUIRED FIELD CHANGES, PROPER INSTALLATION OF FINAL PRODUCT AND ITS CONFORMANCE TO THE ARCHITECT'S DESIGN.
- THE ARCHITECT AND ENGINEER ASSUME NO LIABILITY FOR SAID PRODUCT. 2. TRUSS MANUFACTURER TO VERIFY LOCATION OF AND PROVIDE REINFORCED TRUSSES FOR THE SUPPORT OF ANY MECHANICAL EQUIPMENT WHERE OCCURRING. 3. TRUSS MANUFACTURER TO VERIFY LOCATION OF AND DESIGN FOR ALL CEILING HEIGHT CHANGES, ATTIC ACCESSES, RETURN AIR GRILLS, ETC. TRUSS MANUFACTURER TO
- COORDINATE ANY FINDINGS TO BOTH K2 ENGINEERING AND THE ARCHITECT. 4. DEAD LOAD DEFLECTIONS SHALL BE LIMITED TO L/240 5. GABLE END TRUSSES SHALL BE STRUCTURAL, DESIGNED TO SUPPORT OVERHANG AND TO ALLOW A TOP CHORD NOTCH OF ONE AND A HALF INCHES.
- 6. ALL NON-BEARING WALLS ARE TO HAVE A ONE-FOURTH OF AN INCH GAP TO THE BOTTOM CHORD OF THE TRUSSES. SECURE BOTTOM CHORD TO WALL BELOW WITH
- 7. USE PRE-ENGINEERED MANUFACTURED TRUGGES @ 24" O.C. SOLID BLOCK @ ALL SUPPORTS AND PER MANUFACTURER'S SPECIFICATIONS. USE SIMPSON HI @ EACH SUPPORT WALL/BEAM TO EACH TRUSS AND HG @ EACH SUPPORT WALL/BEAM TO EACH GIRDER TRUSS. 8. HANG TRUSSES AND GIRDER TRUSSES W/ SIMPSON HUS26 OR AS SPECIFIED ON PLAN.

TRUSS CALCULATIONS HOLD PRECEDENCE OVER PLAN AT ALL TRUSS TO TRUSS

9. TRUSSES ARE TO BE HANDLED, INSTALLED, AND BRACED IN ACCORDANCE WITH HIB-91 OF THE TRUSS PLATE INSTITUTE (TPI).

FOUNDATION/FLOOR FRAMING NOTES

- 1. ALL EXTERIOR WALLS SHALL BE CONSIDERED SHEARWALLS NAILED AS TYPE '6' WALLS
- (SEE SHEARWALL SCHEDULE). 2. FLOOR SHEATHING SHALL BE T. &G. APA RATED STURD-I-FLOOR APPLY FACE GRAIN/LONG DIMENSION PERPENDICULAR TO SUPPORT FRAMING. STAGGER PANELS AND NAIL WITH
- 10d AT 6" O.C. AT ALL EDGES AND BOUNDARIES (BLOCKING AT INTERIOR SHEAR WALLS, DRAG MEMBERS, ETC.), AND 10d AT 10" O.C. FIELD. GLUE AND NAIL THROUGHOUT. 3. FLOOR JOISTS SHALL BE BLOCKED SOLID @ ALL SUPPORT LINES (CONNECT BLOCKING TO WALL/BEAM BELOW WITH A35'S & TWICE THE JOIST SPACING), BENEATH ALL INTERIOR-BEARING WALLS, AND UNDER ALL HOLDOWNS. USE DOUBLE JOISTS BELOW ALL PARALLEL INTERIOR-BEARING WALLS. PROVIDE L.S.L. RIM BOARD THROUGHOUT. PROVIDE CRUSH
- BLOCKS, WEB STIFFENERS, ETC. PER MANUFACTURER'S SPECIFICATIONS. 4. ALL FLOOR OPENINGS SHALL BE BETWEEN JOISTS.
- 5. ALL HOLDOWNS SHALL BE INSTALLED AT THE TIME APPROPRIATE MEMBERS ARE FRAMED AND ACCORDING TO MANUFACTURER'S SPECIFICATIONS. IF STRUCTURE IS MULTIPLE STORIES, AS MUCH AS POSSIBLE, LINE FLOOR-TO-FLOOR HOLDOWNS UP WITH FLOOR-TO-FOUNDATION HOLDOWNS SO THAT HOLDOWNS ARE ATTACHED TO COMMON MEMBERS. USE SHEAR PLY
- NAILING TO ALL HOLDOWN MEMBERS. 6. PROVIDE FULL BEARING, FULL DEPTH BLOCKING UP TO FLOOR TO SUPPORT POSTS, DOUBLE
- STUDS, OR DOUBLE TRIMMERS ABOVE. • WHERE COLUMN BASE OR POST BASE IS CALLED OUT ON A PIER BENEATH THE SUBFLOOR. PROVIDE POST UP TO SUBFLOOR TO SUPPORT IDENTICAL POST ABOVE, USE (2) SIMPSON ST6224 ON OPPOSITE SIDES OF POST TO STRAP POST ABOVE THROUGH THE FLOOR TO THE POST BELOW.
- T. ANCHOR BOLTS: FOR 2x SILL PLATE, USE ½ 4 x 10 AB.
- FOR 3x OR DOUBLE SILL PLATE, USE 5/4 x 12" A.B. EXTEND SILL BOLTS 7" INTO FOUNDATION MINIMUM, MAXIMUM SPACING SHALL BE 4'-0" O.C. WITH MINIMUM (2) BOLTS IN EACH SILL BOARD. BOLTS SHALL BE LOCATED NOT MORE THAN (12) NOR LESS THAN (7) BOLT DIAMETERS FROM EACH END OF SILL PIECE. MINIMUM 3'x3'x'4' THICK PLATE WASHERS SHALL BE INSTALLED ON EACH SILL BOLT. SPACE WASHER
- 1/2" FROM SHEATING OR RIM. SILL PLATES: USE FOUNDATION GRADE REDWOOD OR TIMBERSTRAND L.S.L. TREATED WITH ZINC BORATE OR PRESSURE TREATED MUDSILL. SEE SHEARWALL SCHEDULE FOR IMPORTANT INFORMATION REGARDING SILL PLATES, FOR ALL SILL PLATES NOT NOTED, USE 2'X WALL WIDTH WOOD SILL. ALL SHEAR WALLS, EXCEPT TYPE '6' AND '4', REQUIRE FOUNDATION SILL PLATES AND ALL FRAMING MEMBERS RECEIVING EDGE NAILING FROM ABUTTING PANELS TO BE NOT LESS THAN A SINGLE 3' NOMINAL MEMBER. PLYWOOD JOINT AND SILL PLATE NAILING SHALL BE STAGGERED IN ALL CASES.
- 8. AN 8' WIDE CONCRETE FOUNDATION WALL SHALL BE CENTERED ON CONTINUOUS FOOTING BELOW W/(1)*4 CONTINUOUS @ TOP OF WALL & *4 VERTICALS @ 32" O.C. MAX HOOKED AT FOOTING (ALTERNATE HOOKS).
- 9. CONTINUOUS CONCRETE FOOTINGS TO BE 16"X10" W/ (2) *4's CONT. STEP FOOTING AS REQUIRED TO BEAR ON NATIVE GRADE OR AS DIRECTED BY SOILS ENGINEER EXTEND EXTERIOR FOOTING DEPTHS TO FROST LINE (2'-0").
- 10. THE FOLLOWING COLUMN/POST BASES ARE INTERCHANGEABLE: CB & CBQ OR CBS & CBSQ. 11. ALL SLABS TO BE 4" THICK CONCRETE W/ 6x6 10/10 WELDED WIRE FABRIC REINFORCING OR CONCRETE SHALL HAVE FIBERMESH ADDITIVE @ PLANT. SLAB SHALL BE PLACED OVER 4" TYPE-II BASE COMPACTED TO 90% RELATIVE DENSITY ON UNDISTURBED NATIVE SOIL. 12. REFERENCE HOLDOWN SCHEDULE FOR IMPORTANT INFORMATION PERTAINING TO FOOTINGS 13. STAIRWAYS SHALL NOT BE LESS THAN 36" IN WIDTH. EVERY STAIRWAY SHALL HAVE
- MINIMUM 6'-8" HEADROOM, THE MAXIMUM VERTICAL HEIGHT ALLOWED BETWEEN LANDINGS IS 12'-0". THE RISE OF STEPS IN THE STAIRWAY SHALL NOT EXCEED 8", AND THE TREAD SHALL BE NOT LESS THAN 9". 14. STAIR HANDRAILS SHALL BE PLACED NOT LESS THAN 34" NOR MORE THAN 38" ABOVE LANDINGS AND THE NOSING OF THE TREADS. THEY SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE STAIRS AND THE ENDS SHALL BE RETURNED. IN RESIDENTIAL OCCUPANCIES HANDRAILS MAY HAVE STARTING NEWELS WITHIN THE FIRST TREAD. HANDGRIP PORTION OF
- HANDRAILS SHALL BE NOT LESS THAN 11/4" NOR MORE THAN 2" IN CROSS-SECTIONAL DIMENSION AND HAVE A SMOOTH GRIPPING SURFACE. A SPACE OF NOT LESS THAN $1\frac{1}{2}$! SHALL BE PROVIDED BETWEEN THE WALL AND THE RAIL. 15. GUARDRAILS SHALL BE A MINIMUM OF 42" HIGH, UN.O. NO OPENINGS OVER 4", TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD AT THE OPEN
- SIDE OF A STAIRWAY ARE PERMITTED TO BE OF SUCH SIZE THAT A SPHERE 6" IN DIAMETER CANNOT PASS THROUGH. 16. FIRE BLOCKING BETWEEN CHIMNEYS AND COMBUSTIBLE CONSTRUCTION SHALL BE INSTALLED AT 10'-0' INTERVALS, BOTH VERTICAL AND HORIZONTAL
- 17. INSTALL ADHERED VENEER IN COMPLIANCE WITH LOCAL CODES, FOUNDATION SUPPORT REQUIRED FOR EXTERIOR ROCK VENEER ANCHOR TIES SHALL BE PROVIDED TO HORIZONTAL JOINT REINFORCEMENT WIRE OF NO. 9 GAUGE OR EQUIVALENT. 18. EXTERIOR STUCCO WALLS SHALL HAVE A WEEP SCREED AT OR BELOW THE FOUNDATION
- PLATE LINE AND 4' ABOVE GRADE OR 2' ABOVE PAVED AREAS THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEATHER-RESISTIVE BARRIER SHALL LAP THE ATTACHMENT FLANGE, AND THE EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE SCREED. 19. COLUMNS OR POSTS LOCATED ON CONCRETE OR MASONRY FLOORS AND THAT SUPPORT
- PERMANENT STRUCTURES SHALL BE SUPPORTED BY CONCRETE PIERS OR METAL PEDESTALS PROJECTING ABOVE EXPOSED EARTH A MINIMUM OF 6" AND AT LEAST 1" ABOVE SUCH FLOORS UNLESS TREATED WOOD IS USED. INDIVIDUAL CONCRETE OR MASONRY PIERS SHALL PROJECT AT LEAST 8' ABOVE EXPOSED GROUND UNLESS THE COLUMNS OR POSTS
- THAT THEY SUPPORT ARE OF WOOD RESISTANT TO DECAY. 20. MINIMUM CLEARANCE FROM GROUND UNDER GIRDERS SHALL BE 12 INCHES±

< 42)

(54)

 \langle 60 angle

54"

60'

UNDER JOISTS SHALL BE 18 INCHES. 21. UNDERFLOOR VENTS SHALL EQUAL 1 SQUARE FOOT FOR EACH 150 SQUARE FEET

,	FLOOR AREA, AND MUST PROVIDE CROSS VENTILATION. Beam Equivalent Table						
DF No. 1 BEAM	EQUIVALENT BEAM	DF No. 1 BEAM	EQUIVALENT BEAM				
6x8	6x8 DF No. 1 RMT (2) 1-3/4x9-1/2 LVL 1.9E 5-1/4x9-1/2 PSL 2.ØE 5-1/8x1-1/2 GLB 24F-V4	6×12	6x12 DF No. 1 RMT (2) 1-3/4x14 LVL 1.9E 5-1/4x11-7/8 PSL 2.ØE 5-1/8x12 GLB 24F-V4				
6x10	6x10 DF No. 1 RMT (2) 1-3/4x11-7/8 LVL 1.9E 5-1/4x9-1/2 PSL 2.0E 5-1/8x10-1/2 GLB 24F-V4	6x14	6x14 DF No. 1 RMT (2) 1-3/4x16 LVL 1.9E 5-1/4x14 PSL 2.ØE 5-1/8x13-1/2 GLB 24F-V4				

Continuous Footing Schedule Pier Footing Schedule 12 DENOTES FOOTING SIZE 12 DENOTES FOOTING SIZE <u>DEPTH</u> (NA TO <u>SYMBOL</u> <u>DEPTH</u> <u>SYMBOL</u> (EACH SIDE) (EACH WAY) (MIN) (CONTINUOUS MONOPOUR) (12 (2) *****4's (2) #4 (14) (2) #4's 14" 10" (2) #4's (16 (2) #4's (2) *****4's (18 10" (3) #4's (2) #4's 24 (3) #4's (3) #4's (24) 28 24" (3) *****4's (3) #4's (28) 28" (3) #4's (3) #4's 32 (4) #4's (4) #4's 32' (36) (5) #4's

(6) #4's

(T) #4's

(8) #4's

(9) *****4's

LOADING AND EARTHQUAKE DESIGN DATA:

- 1. LOADING: FLOOR LOADS: LIVE = 40 PSF : DEAD = 10 PSF ROOF LOADS: LIVE = 30 PSF : DEAD = 20 PSF 2. EARTHQUAKE DESIGN DATA:
 - Ss = 2.27, S1 = 0.80, SDS = 1.51, SD1 = 0.80 SEISMIC DESIGN CATEGORY: D BASE SHEAR Y = Cs*W = (I*Rho*F*SDS/1.4*R)*W R = 6.5 (LIGHT FRAMED WOOD WALLS SHEATHED WITH WOOD STRUCTURAL PANELS RATED FOR SHEAR RESISTANCE).

Design Parameters

Abbreviations

AB

ATR

BM

BRG BET

BS(B/S

ALTERNATE

BEAM

BEARING

BETWEEN

BOTH SIDES

BLOCK

FACH

EQUAL

FINISH

FLOOR

FOOTING

FIELD NAIL

FOUNDATION

GALVANIZED

HORIZONTAL

INFORMATION

INTERIOR

KING STUD

LIVE LOAD

MAXIMUM

MINIMUM

MACHINE BOLT

MANUFACTURER

MISCELLANEOUS

NOT TO SCALE

ON CENTER

ON OR OVER

PENETRATION

PLATE

PLYWOOD

REDWOOD

REFERENCE

REQUIRED

SCHEDULE

SIMILAR

SQUARE

STEEL

STANDARD

THREADED

TOP PLATE

TUBE STEEL

VERTICAL

TONGUE & GROOVE

|WELDED WIRE MESH

UNLESS NOTED OTHERWISE

TOP & BOTTOM

SHEAR WALL

SPECIFICATION

MECHANICAL

KING STUD EACH SIDE

LAMINATED VENEER LUMBER

POUND PER SQUARE FOOT

POWDER DRIVEN FASTENER PDF

POUND PER SQUARE INCH

PRESERVATIVE TREATED

SEE ARCHITECTURAL DRAWINGS

KSES

LVL

MAX

MECH

MIN

(N)

NTS

O.C.

0/

PSF

SCHED

SAD

SIM

STD STL THD

T#G

T#B

UNO

WWM

TRIMM

SPEC SQ

HEADER

HEIGHT

HFM-FIR

EXTERIOR

ANCHOR BOLT

APPROXIMATE

ALL THREAD ROD

2012 IBC AND LOCAL DESIGN CRITERIA APPROX < 5*000*° PROJECT ELEVATION: SITE CLASS: WIND SPEED: 130 MPH (3 SECOND GUST)

BOTTOM BOT CANT CANTILEVER Shearwall Schedule CENTERLINE CONCRETE CONC CONCRETE MASONRY UNIT CMU E.N. F.N. Spacing Spacing Thickness Size Symbol CONTINUOUS CONT CONTROL JOINT CJ8d 6' O.C. 12' O.C. 6' O.C. 16' O.C. COUNTERSINK CS DL DET DEAD LOAD DETAIL 12**'** O.C. 4" O.C. DIAMETER DIM DIMENSION DBL DF DOUBLE 12**'** O.C. 3' O.C. 3" O.C. 8' O.C. DOUGLAS FIR DŤ DRAG TRUSS DWG EA DRAWING 8d 2' O.C. 12' O.C. 2' O.C. 6' O.C. EACH END EE EACH FACE EF 4' O.C. | 12' O.C. | 2' O.C. | 5-1/2' O.C. Yes EACH SIDE ES EACH WAY EDGE NAIL 4" O.C. 15" O.C. ELEY 3" O.C. 12**"** O.C. N/A **IELEVATION** |EMBEDMENT EMBED EQ EXISTING

32' O.C. | 21' O.C. | 26' O.C. (E) 2' O.C. | 12' O.C. N/A 3" O.C. 18" O.C. 11**'** O.C. EXT FIN FLR 2" O.C. 12**'** O.C. N/A 29" O.C. 19" O.C. 24" O.C. FTG ĦΝ FDN 10d 2" O.C. 12" O.C. N/A 5-1/2" O.C. 26' O.C. | 16' O.C. | 21' O.C. Yes GALY GLB 7/16" Smart GLUED-LAMINATED BEAM 6' O.C. | 12' O.C. | 6' O.C. 16' O.C. /L6\ Panel Siding HDR 12**"** O.C. 4" O.C. 16" O.C. HORIZ Panel Siding INFO INT 7/16" Smart

- USE APA RATED SHEAR PLYWOOD / OSB / TI-11 SHEATHING OR AN APPROVED EQUAL UN.O
- ALL FIELD NAILING SHALL BE AT 6" O.C. UN.O. ALL SHEAR WALL STUDS SHALL BE DOUGLAS FIR LARCH SPACED AT 16" O.C.

Panel Siding

- NAIL ALL SHEAR PLY WITH EDGE NAIL SPACING AT TOP PLATES, MUD SILLS, ALL POSTS, ALL KING STUDS, AND ALL STUDS WITH HOLDOWNS.
- FOR ALL SHEAR WALLS EXCEPT TYPES 6, 4, L6, L4 USE:
- B. 3 INCH NOMINAL OR THICKER FRAMING MEMBERS, OR DOUBLE 2x FRAMING MEMBERS STITCHED TOGETHER WITH MINIMUM (2) ROWS OF 16d NAILS @ 12" O.C. AT ALL ADJOINING PANEL EDGES. FOR SHEAR WALL TYPE 3, L3, & L2, A 2" NOMINAL SILL PLATE MAY BE USED IF ANCHOR
- BOLTS ARE SPACED AT 1/2 THE SPECIFIED SPACING.
- USE SIMPSON MSTC48 OR MSTC52 TO STRAP ACROSS BEAMS AT ANY BREAK IN TOP PLATES, U.N.O. FOUNDATION SILL ANCHOR BOLTS SHALL BE 5/8'XIO' SPACED AT 48' O.C. ON ALL EXTERIOR WALL U.N.O.
- 59:45/8" AND 1/2" TITEN HD ANCHORS WITH 6" MINIMUM CONCRETE EMBEDMENT MAY BE USED AS A RETROFIT SOLUTION TO SUBSTITUTE AB'S WITH EQUAL DIAMETER. ». ALL NOTES ARE TYPICAL UN.O.

FLOOR TO FLOOR HOLDOWN CONNECTIONS (SEE DETAILS FOR APPLICATIONS) Min. Vertical Wood Thickness (2) Holdown (1) Additional Comments Symbol H-1 MSTC4Ø (2) - 2x Studs H-2 MSTC52 N/A (2) - 2x Studs H-3 MSTC66 (2) - 2x Studs H-4 CMST14 Strap to be at Least 80" Long (2) - 2x Studs H-5 CMST12 (2) - 2x Studs Strap to be at Least 102" Long

	F.	LOOR TO FOUNDATI	ON HOLDOWN CONNEC	TIONS (SEE DETAIL	LS FOR APPLICATIONS	3)	
Symbol (7)	Holdown Options	Min. Vert Wood Thickness (2)	Foundat Threaded Rod w/ Dbl. Nutted BP	ion Installation Opt Simpson SB (4)	Threaded Rod Retrofit w/ SET-XP Epoxy (5)	CL (8)	Screws, Bolts, or Nails (6)
H-1Ø	STHD1Ø (9)	(2) - 2x Studs	N/A	N/A	N/A	N/A	(20) 16d
	HTT4	(2) - 2x Studs	5/8" W/ 12" Embed	SB 5/8x24 W/ 18" Embed	5/8" W/ 12" Embed	1-3/8"	(18) 16d
	HDU2-SDS2.5	(2) - 2x Studs	5/8" W/ 14" Embed	SB 5/8x24 W/ 18" Embed	5/8" W/ 12" Embed	1-5/16"	(6) SDS
H-11	STHD14 (9)	(2) - 2x Studs	N/A	N/A	N/A	N/A	(24) 16d
	НТТБ	(2) - 2x Studs	5/8" W/ 14" Embed	SB 5/8x24 W/ 18" Embed	5/8" W/ 12" Embed	1-3/8"	(26) 16d
	HDU4-SDS2.5	(2) - 2x Studs	5/8' W/ 14' Embed	SB 5/8x24 W/ 18" Embed	5/8" W/ 12" Embed	1-5/16"	(1Ø) SDS
H-12	HDU5-SDS2.5	(2) - 2x Studs	5/8' W/ 20' Embed	SB 5/8x24 W/ 18" Embed	5/8' W/ 16' Embed	1-5/16"	(14) SDS
	HDTB	(2) - 2x Studs	7/8' W/ 20' Embed	5B 7/8x24 W/ 18" Embed	7/8' W/ 16' Embed	1-1/4"	(3) 3/4' Bolts
H-13	HDQ8-5D53	3-1/2"	7/8" W/ 20" Embed(3)	5B 7/8x24 W/ 18" Embed	N/A	1-1/4"	(2Ø) SDS
	HD9B	3-1/2"	7/8" W/ 20" Embed(3)	5B 7/8x24 W/ 18" Embed	N/A	1-1/4"	(3) 7/8' Bolts
H-14	HHDQII	5-1/2"	1" W/8" Embed Into Ftg. (3)	N/A	N/A	1-1/2"	(24) SDS
	HD12	5-1/2"	1" W/8" Embed Into Ftg. (3)	N/A	N/A	2-1/8"	(4) Bolts
H-15	HHDQ14	5-1/2"	1" W/8" Embed Into Ftg. (3)	N/A	N/A	1-1/2"	(3Ø) SDS
	HDU14-SDS2.5	5-1/2"	1' W/8'	N/A	N/A	1-9/16"	(36) SDS

INSTALL ALL HOLDOWNS PER SIMPSON'S SPECIFICATIONS, MAINTAINING REQUIRED EDGE CLEARANCES. DOUBLE STUDS TO BE CONNECTED BY (2) ROWS OF 16d NAILS AT 4" O.C. STAGGERED . USE (1) *4 BAR VERTICAL EACH SIDE OF 1/8" OR GREATER THREADED ROD (TOTAL OF 2) TO CONNECT STEMWALL TO FOOTING.

. 3B EMBEDMENTS ARE FOR SINGLE POUR INSTALLATION ONLY. REFER TO LATEST VERSION OF SIMPSON CATALOG: FOR DOUBLE POUR APPLICATIONS SPECIAL INSPECTION IS REQUIRED AT ALL EPOXY-SET ANCHORS. CONTACT ENGINEER OF RECORD 2-WORKING DAYS IN ADVANCE PRIOR TO INSTALLATION. USE SIMPSON SET-XP EPOXY FOR CONCRETE DRILL & EPOXY

- APPLICATIONS & SET EPOXY FOR SOLID GROUTED CMU APPLICATIONS 5. BOLT HOLES SHALL BE A MINIMUM OF 1/32" AND NO MORE THAN 1/16" LARGER THAN THE SPECIFIED BOLT DIAMETER . IT IS ACCEPTABLE TO SUBSTITUTE HOLDOWNS SPECIFIED HIGHER IN THE TABLE WITH HOLDOWNS OCCURING
- 9. USE STHORJ WHEN RIM JOIST IS PRESENT. 10. USE ASTM A307 ALL THREADED RODS TYPICAL.

WIND EXPOSURE: DESIGN INCLUDES SNOW LOAD FOR DRIFT AND UNBALANCED LOADING.

Nail | Shear Nail Spacing | 16d Nail | 1/4" SDS | 3x Framing at | ***5/8" A.B. | ***1/2" A.B. | **MASA Adj. Panel Edges | Spacing | Spacing | SPACING 48' O.C. | 48' O.C. | 48' O.C. 48' O.C. | 35' O.C. | 48' O.C. 3Ø' O.C. | 38' O.C. 35' O.C. | 23' O.C. | 29' O.C. 3' O.C. | 12' O.C. | 3' O.C. | 12' O.C. Panel Siding 7/16**'** Smart 2' O.C. | 12' O.C. | 2' O.C. 42' O.C. 27' O.C. 35' O.C.

NAILS SHALL BE COMMON OR GALVANIZED BOX. NAIL HEADS ARE NOT TO PENETRATE PLYWOOD.

- WHERE APPLICABLE, PLYWOOD JOINT AND SILL PLATE NAILING SHALL BE STAGGERED IN ALL CASES.
- A. 3 INCH NOMINAL OR THICKER SILL PLATES WITH 5/8" X 12" AB'S AND (2) 20d BOX NAILS FOR STUD END NAILING.
- PROVIDE BLOCKING OR SOLID FRAMING AT ALL PANEL EDGES. Ø. DOUBLE SHEAR WALLS TO HAYE SHEAR PLY WITH SPECIFIED NAILING BOTH SIDES. PROVIDE 3" NOMINAL OR THICKER FRAMING MEMBERS ON ALL ABUTTING PANEL EDGES, B/S IS BOTH SIDES.
- 13. USE 3"x3"x14" THICK STEEL PLATE WASHERS AT ALL WOOD SILL PLATES FOR SHEAR WALLS. SPACE WASHERS 1/2" FROM SHEATHING OR RIM 4.4 ALL MASA MUDSILL ANCHORS TO BE INSTALLED WITH BOTH LEGS FULLY NAILED INTO SIDE AND TOP OF SILL PLATE.

Holdown Schedule

Embed Into Ftg. (3)

LOWER IN THE TABLE.

"CL" IS IS THE DIMENSION TO THE CENTERLINE OF AB HOLE IN HOLDOWN.

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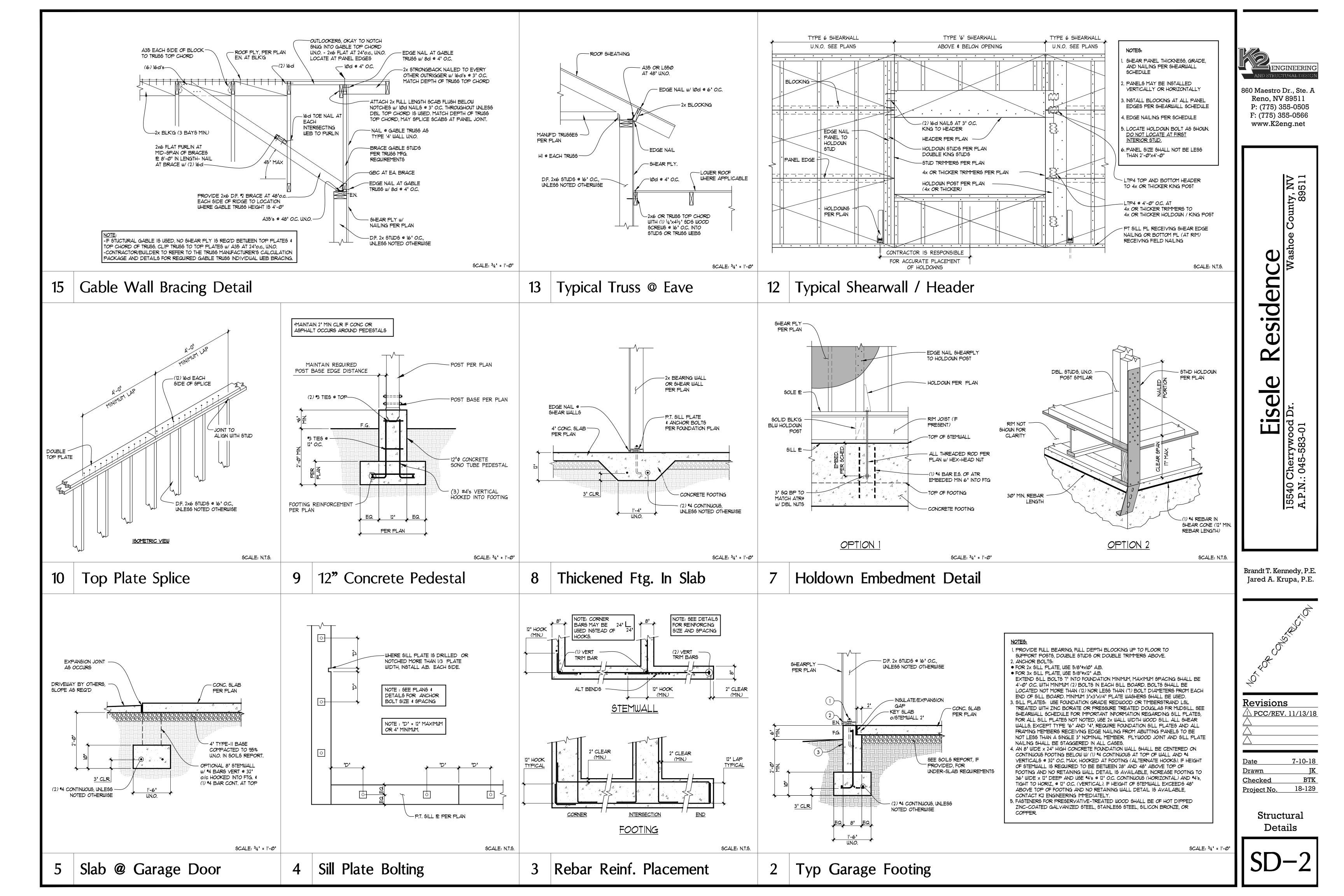
Revisions <u> PCC/REV. 11/13/18</u>

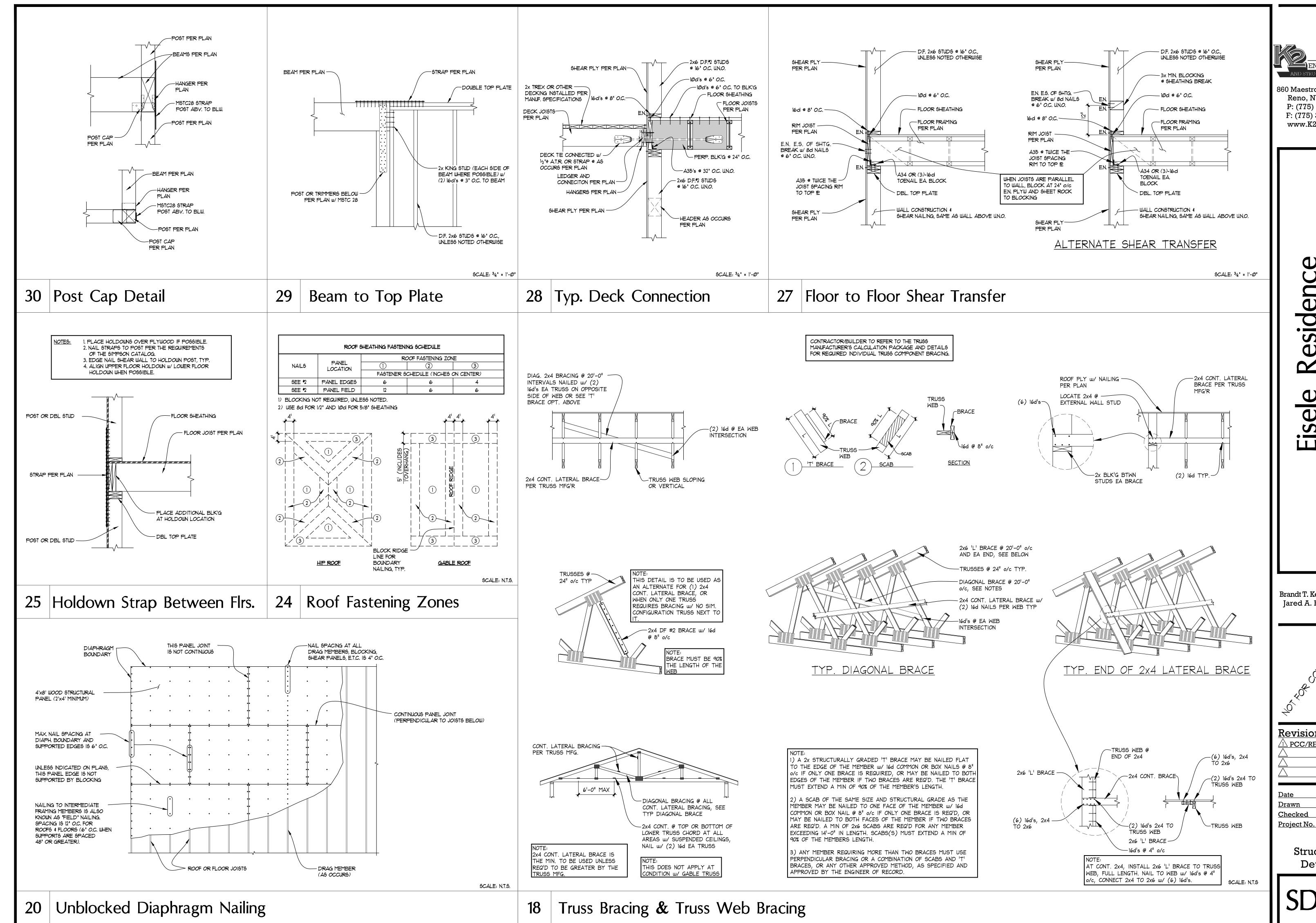
BTK **Checked** 18-129 <u>Project No.</u>

Structural Notes

7-10-18

& Schedules





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Revisions <u>1\ PCC/REV. 11/13/18</u>

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Structural Details













