

Community Services Department  
Planning and Development  
SPECIAL USE PERMIT APPLICATION



## Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Development staff at 775.328.3600.

|  |                 |                                       |                   |
|--|-----------------|---------------------------------------|-------------------|
| <b>Project Information</b>   |                 | Staff Assigned Case No.: _____        |                   |
| Project Name:<br>Tahoe's Connection for Families   |                 |                                       |                   |
| Project Description: To offer an education program to toddlers before they are to enter pre-school or kindergarden, TCF will obtain a child care license from Washoe County. |                 |                                       |                   |
| Project Address: 761 Northwood Blvd.   |                 |                                       |                   |
| Project Area (acres or square feet):   |                 |                                       |                   |
| Project Location (with point of reference to major cross streets AND area locator):<br>East of the intersection of Tahoe Blvd and Northwood Blvd.                            |                 |                                       |                   |
| Assessor's Parcel No.(s):  | Parcel Acreage: | Assessor's Parcel No(s):              | Parcel Acreage:   |
| 132-203-02   | 0.305           |                                       |                   |
| Section(s)/Township/Range: S-16/T-16/R-18  |                 |                                       |                   |
| <b>Indicate any previous Washoe County approvals associated with this application:</b><br>Case No.(s).   |                 |                                       |                   |
| <b>Applicant Information</b> (attach additional sheets if necessary)   |                 |                                       |                   |
| <b>Property Owner:</b>   |                 | <b>Professional Consultant:</b>       |                   |
| Name: L&L Partners, William Crandall   |                 | Name: Elise Fett & Associates LTD.    |                   |
| Address: 9408 Double R Blvd Suite B; Reno, NV  |                 | Address: PO Box 5989                  |                   |
| Zip: 89521   |                 | Incline Village, NV                   | Zip: 89450        |
| Phone: (775) 324-1787  | Fax:            | Phone: 775-833-3388                   | Fax: 775-833-2388 |
| Email: bcrandall@wealthcarecpas.com  |                 | Email: julie@elisefett.com            |                   |
| Cell:  | Other:          | Cell:                                 | Other:            |
| Contact Person: William Crandall   |                 | Contact Person: Julie Rinaldo         |                   |
| <b>Applicant/Developer:</b>  |                 | <b>Other Persons to be Contacted:</b> |                   |
| Name: Tahoe's Connection for Families  |                 | Name:                                 |                   |
| Address: 761 Northwood Blvd.   |                 | Address:                              |                   |
| Incline Village, NV  |                 | Zip:                                  |                   |
| Zip: 89451   |                 | Zip:                                  |                   |
| Phone: 775-832-8230  | Fax:            | Phone:                                | Fax:              |
| Email: emma@tcfkids.org  |                 | Email:                                |                   |
| Cell:  | Other:          | Cell:                                 | Other:            |
| Contact Person: Emma Healy   |                 | Contact Person:                       |                   |
| <b>For Office Use Only</b>   |                 |                                       |                   |
| Date Received:   | Initial:        | Planning Area:                        |                   |
| County Commission District:  |                 | Master Plan Designation(s):           |                   |
| CAB(s):  |                 | Regulatory Zoning(s):                 |                   |

## Special Use Permit Application Supplemental Information

(All required information may be separately attached)

Chapter 110 of the Washoe County Code is commonly known as the Development Code. Specific references to special use permits may be found in Article 810, Special Use Permits.

1. What is the type of project being requested?

Tahoe's Connection for Families (TCF) recognizes the lack of child care and educational programs for children under the age of 3 in the Lake Tahoe area. As such, they would like to start an educational program for toddlers in their office building that is zoned neighborhood commercial.

2. What currently developed portions of the property or existing structures are going to be used with this permit?

There is currently a recreational room that is utilized during TCF events and has been made "child-proof"; this area is the perfect location for their proposed program. The program is intended for a maximum of 12 children and will run Mon-Fri from approximately 8:15a-10:45a.

3. What improvements (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.) will have to be constructed or installed and what is the projected time frame for the completion of each?

A temporary fence will be used to enclose a 20'x20' outdoor play area. The area will have rubberized mats when in use, no permanent structures will be erected. As the fencing is temporary and no grading or construction is required, the fence will be erected as soon as the special use permit is approved. The fence will need to be installed immediately in order to obtain the child care licensing from Washoe County.

4. What is the intended phasing schedule for the construction and completion of the project?

The project will be initiated immediately and will be completed within three weeks of approval for the special use.

5. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

The building has already been renovated to suit the needs of children of this age. The room in question has had the electrical outlets baby proofed, foam mats have been installed and there is a pony wall that separates play areas into recreation and educational areas.

6. What are the anticipated beneficial aspects or effects your project will have on adjacent properties and the community?

With the addition of another program, there may be more exposure to businesses in the surrounding area. Additionally, the community at large has limited programs for children under the age of three. This program will allow new mothers who otherwise can't afford childcare to have a safe alternative in the mornings so that they can run errands or work part-time, etc. This will have an overall positive effect on the community. Early education is also paramount in the overall development of children and is an area in which our community is lacking.

7. What will you do to minimize the anticipated negative impacts or effects your project will have on adjacent properties?

We will ensure that all participants are aware of parking procedures and routes to get to our facility. By limiting the number of children in the program, we will ensure that noise levels are kept to a minimum. There are no other anticipated negative impacts to adjacent properties.

8. Please describe operational parameters and/or voluntary conditions of approval to be imposed on the project special use permit to address community impacts:

Limiting the hours of operation to a few hours a day and the number of toddlers per class will minimize traffic and noise impacts. The proposed max number of students is 12 and the proposed program time is 8:15a-10:45a. With the actual time, we would like the flexibility to adjust the hours based upon the response from the community/participants, but are happy to limit the duration of the program to 2.5 hours.

9. How many improved parking spaces, both on-site and off-site, are available or will be provided? (Please indicate on site plan.)

The building has a total of 15 parking spaces, the required number of spaces for the program is 1 per 8 students plus 1 per employee. The maximum number of 12 participants is dictated by the need to maintain a 6:1 child to employee ratio, so the number of employees is 2 and the total required spaces for the proposal is 4. The building is 3,164sf and the area for the proposed toddler educational program is 1,728sf. The remaining 1,436sf is Administrative and requires 6 spaces (4/1000sf). The building is in compliance with all parking code requirements.

10. What types of landscaping (e.g. shrubs, trees, fencing, painting scheme, etc.) are proposed? (Please indicate location on site plan.)

A temporary fence will be erected at the back of the property as noted on the site plan. The height of the fence will be 6' and it will enclose an area of no less than 450sf per the Washoe childcare licensing requirements of 37.5sf per child. The existing retaining wall and rock rip-rap will make up two sides of the area. The approx. fence dimensions are 23' out from the building and 16' across to the rock rip-rap.

11. What type of signs and lighting will be provided? On a separate sheet, show a depiction (height, width, construction materials, colors, illumination methods, lighting intensity, base landscaping, etc.) of each sign and the typical lighting standards. (Please indicate location of signs and lights on site plan.)

No new signage or lighting is required/proposed.

12. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the special use permit request? (If so, please attach a copy.)

|                              |  |
|------------------------------|--|
| <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No |
|------------------------------|--|

13. Community Sewer

|   |                             |
|---|-----------------------------|
| <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No |
|---|-----------------------------|

Community Water

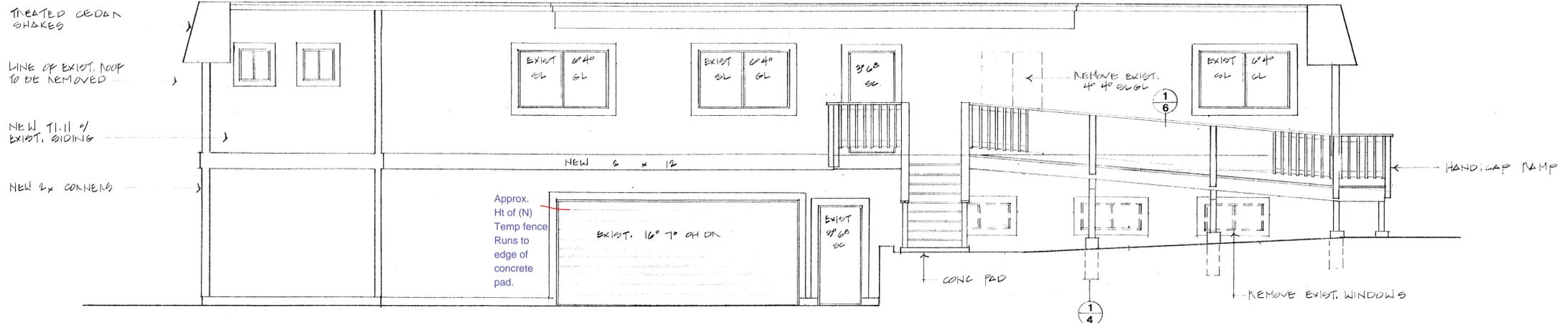
|   |                             |
|---|-----------------------------|
| <input checked="" type="checkbox"/> Yes | <input type="checkbox"/> No |
|---|-----------------------------|

EXISTING ELEVATIONS OF BUILDING

\*ALL ITEMS NOTED "NEW" WERE COMPLETED IN 2013 PROJECT, ONLY ELEVATION CHANGE IS THE TEMPORARY FENCE AS NOTED

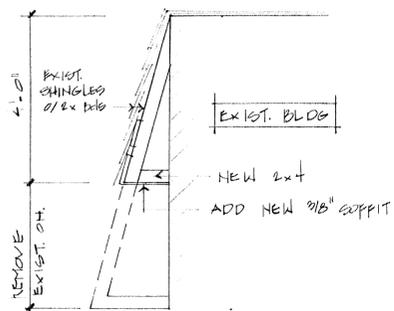
PAIN + STAIN SCHEDULE

ROOF - FIRE RETARDANT MED GRADE SHAKES  
 SIDING - 1/2" x 4" CLEAN NATURAL STAIN  
 TRIM - 2" x STAINED 1/2" ENG W/IN  
 DOORS - NATURAL CLEAR STAIN  
 METAL - ALL METAL TO BE FLAT BROWN  
 EXPOSED END - PAINTED FLAT BROWN  
 WINDOWS - METAL - BRONZE ANODIZED  
 WOOD - STAINED TO MATCH

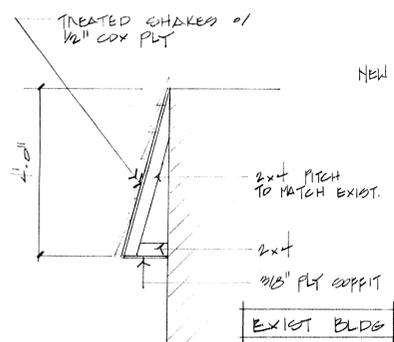


E A S T E L E V A T I O N

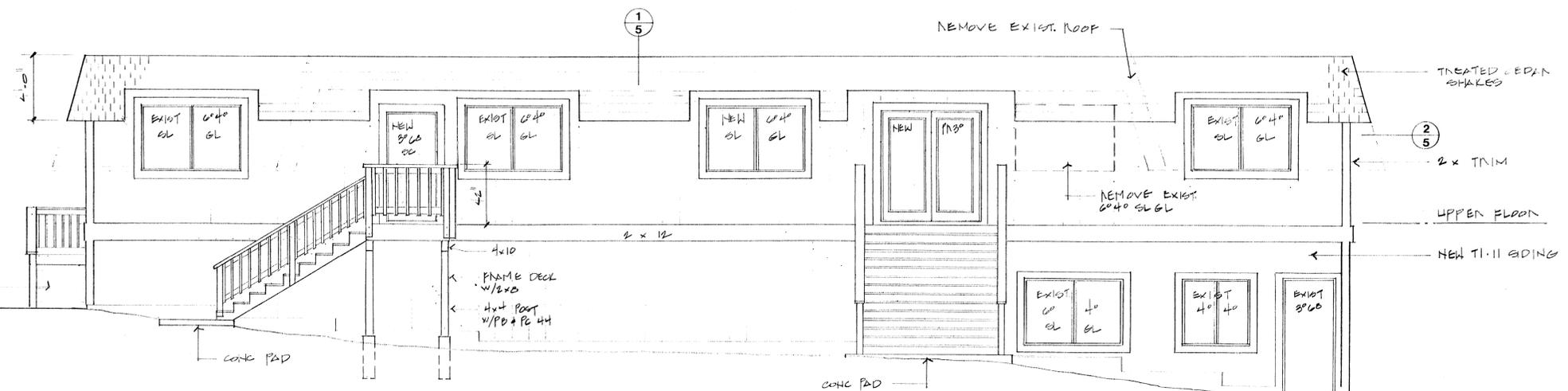
1/4" = 1'-0"



2/5 EXIST. ROOF OVERHANG  
1/4" = 1'-0"



1/5 NEW OVERHANG  
1/4" = 1'-0"



W E S T E L E V A T I O N

1/4" = 1'-0"

| REVISIONS | BY |
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PROPOSED OFFICE FOR:  
 WILLIAM J CRANDALL CHARTERED  
 761 NORTHWOOD BLVD  
 IN CLINE VILLAGE, NEVADA

ELEVATIONS

|         |
|---------|
| DRAWN   |
| CHECKED |
| DATE    |
| SCALE   |
| JOB NO. |
| SHEET   |

5

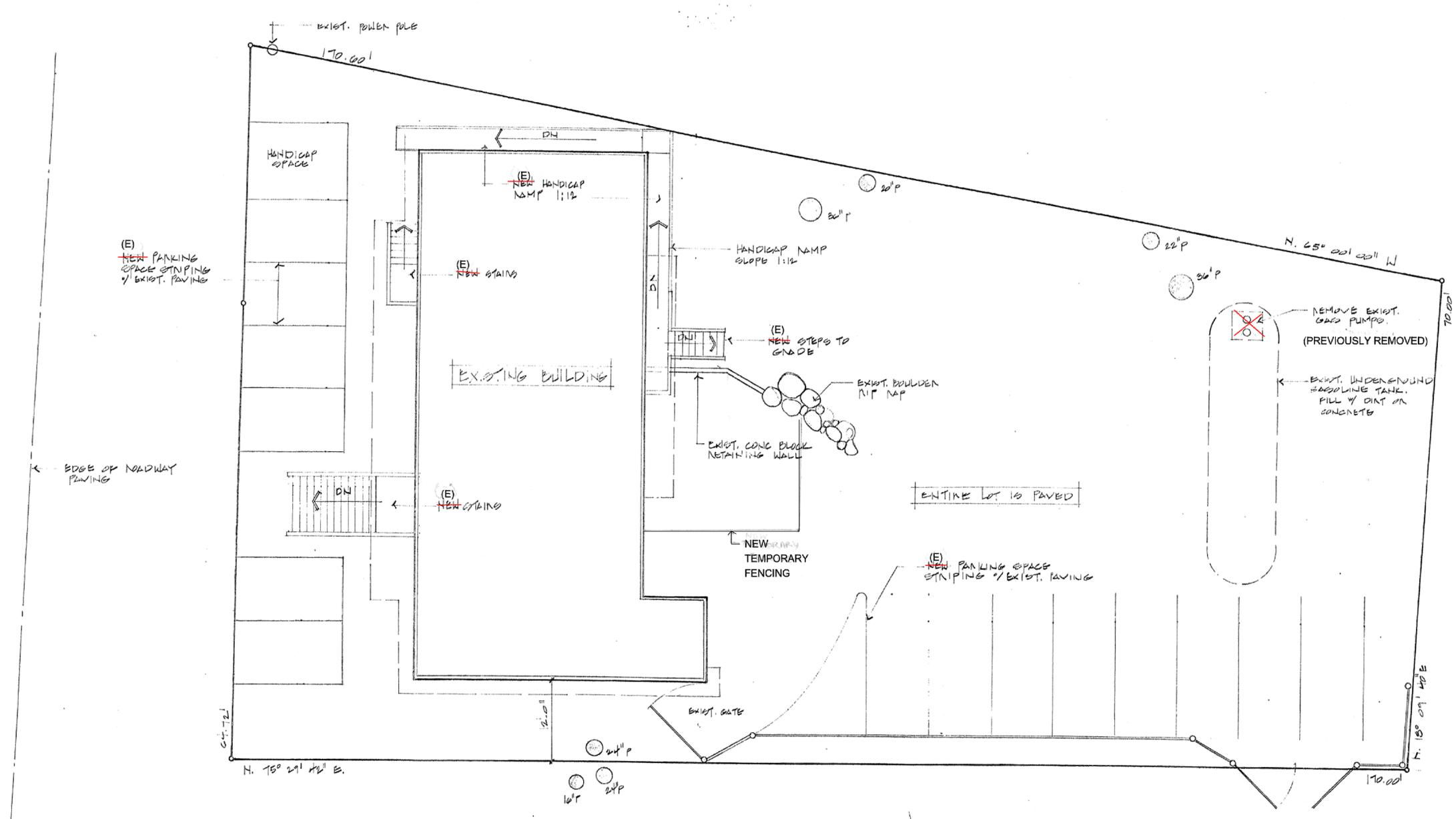
OF SHEET

| REVISIONS | BY |
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PROPOSED OFFICE FOR:  
**WILLIAM J CRANDALL CHARTERED**  
**761 NORTHWOOD BLVD**  
**INCLINE VILLAGE, NEVADA**

REVISED SITE PLAN

|                             |
|-----------------------------|
| DRAWN                       |
| CHECKED                     |
| DATE<br>7-5-80              |
| SCALE<br>AS SHOWN           |
| JOB NO.<br>CRANDALL REMODEL |
| SHEET<br><b>1</b>           |
| OF 6 SHEETS                 |



- NOTES
1. D-2 OCCUPANCY
  2. TYPE V NON-NATED
  3. C-1 ZONING
  4. APN 192-203-02

S I T E P L A N

761 NORTHWOOD BLVD  
 INCLINE VILLAGE, NV  
 89450

1/8"=1'-0"