

Community Services Department

Planning and Building

ADMINISTRATIVE REVIEW
PERMIT APPLICATION



Community Services Department
Planning and Building
1001 E. Ninth St., Bldg. A
Reno, NV 89512-2845

Telephone: 775.328.6100

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

| | | | |
|--|--------------------------------|---------------------------------------|-----------------|
| Project Information | | Staff Assigned Case No.: _____ | |
| Project Name: <u>Adl -Granny Shack</u> | | | |
| Project Description: <u>Granny shack</u> | | | |
| Project Address: <u>2030 Ron Way Reno NV 89521</u> | | | |
| Project Area (acres or square feet): <u>30,900 sq ft</u> | | | |
| Project Location (with point of reference to major cross streets AND area locator): <u>South West corner of Ron Way + Searlet way</u> | | | |
| Assessor's Parcel No.(s): <u>017-443-13</u> | Parcel Acreage: <u>.709</u> | Assessor's Parcel No.(s): | Parcel Acreage: |
| Section(s)/Township/Range: | | | |
| Indicate any previous Washoe County approvals associated with this application: Case No.(s). | | | |
| Applicant Information (attach additional sheets if necessary) | | | |
| Property Owner: Fleischmann | | Professional Consultant: | |
| Name: <u>William + Evelyn</u> | | Name: | |
| Address: <u>2030 Ron Way</u> | | Address: | |
| <u>Reno NV</u> Zip: <u>89521</u> | | Zip: | |
| Phone: <u>775-771-3025</u> | | Phone: Fax: | |
| Email: <u>Gabilnevada@gmail.com</u> | | Email: | |
| Cell: <u>775-771-3025</u> Other: | | Cell: Other: | |
| Contact Person: <u>Bill</u> | | Contact Person: | |
| Applicant/Developer: Fleischmann | | Other Persons to be Contacted: | |
| Name: <u>William + Evelyn</u> | | Name: | |
| Address: <u>2030 Ron Way</u> | | Address: | |
| <u>Reno NV</u> Zip: <u>89521</u> | | Zip: | |
| Phone: <u>775-771-3025</u> | | Phone: Fax: | |
| Email: <u>Gabilnevada@gmail.com</u> | | Email: | |
| Cell: <u>775-771-3025</u> Other: | | Cell: Other: | |
| Contact Person: <u>Bill</u> | | Contact Person: | |
| For Office Use Only | | | |
| Date Received: Initial: | | Planning Area: | |
| County Commission District: | | Master Plan Designation(s): | |
| CAB(s): | | Regulatory Zoning(s): | |

Administrative Review Permit Application

Supplemental Information

(All required information may be separately attached)

1. Describe the type of development that is proposed (e.g. accessory dwelling unit, accessory structure, etc.)

accessory dwelling unit

2. If this proposed administrative review permit application is for an accessory dwelling or structure, what is the square footage of the proposed building? If the building is a manufactured or modular home, also list the age and size of the unit.

918 sq ft will be a new build

3. How are you planning to integrate the proposed building to provide architectural compatibility with the subject property and neighborhood?

Similar in design to match neighborhood houses.

5. How many off-street parking spaces are available? Parking spaces must be shown on site plan. Will any new roadway, driveway, or access improvements be required?

4 parking spaces, no, a new driveway will not be required.

6. What will you do to minimize any potential negative impacts (e.g. increased lighting, removal of existing vegetation, etc.) your project may have on adjacent properties?

The adu will improve the neighborhood.

7. If your project falls under WCC 110.220.60 Sitting on Corner and Sloped Lots, address how the project meets the requirements of WCC 110.220.60(a)(1-6).

N/A

8. Is the proposed building intended to be used for a business or as a short term rental (STR)? If so, have you obtained a business license or STR permit?

No

9. Is the subject property part of an active Home Owners Association (HOA) or Architectural Control Committee?

| | | |
|------------------------------|--|-----------------------------------|
| <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No | If yes, please list the HOA name. |
|------------------------------|--|-----------------------------------|

10. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit a detached accessory dwelling on your property?

| | | |
|------------------------------|--|-------------------------------|
| <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No | If yes, please attach a copy. |
|------------------------------|--|-------------------------------|

11. Only one accessory dwelling unit, whether attached or detached, is allowed per parcel. Is there a guest apartment, mother-in-law unit, next-gen addition with kitchen or any other type of secondary dwelling on the subject property?

| | | |
|------------------------------|--|---|
| <input type="checkbox"/> Yes | <input checked="" type="checkbox"/> No | If yes, please provide information on the secondary unit. |
|------------------------------|--|---|

12. List who the service providers are for the main dwelling and accessory dwelling:

| | Main Dwelling | Accessory Dwelling |
|------------------------------|------------------|--------------------|
| Sewer Service | Washoe County | Washoe County |
| Electrical Service | Nevada Energy | Nevada Energy |
| Solid Waste Disposal Service | Waste Management | Waste Management |
| Water Service | T M W A | T M W A |

WDADAR25-0002 MAIN HOUSE, NORTH ELEVATION
2030 RON WAY, RENO, NV 89521



WDADAR25-0002 MAIN HOUSE, WEST ELEVATION
2030 RON WAY, RENO, NV 89521



WDADAR25-0002 MAIN HOUSE, SOUTH ELEVATION
2030 RON WAY, RENO, NV 89521



WDADAR25-0002 MAIN HOUSE, EAST ELEVATION
2030 RON WAY, RENO, NV 89521



ADMINISTRATIVE PERMIT
NEW 25x33 ACCESSORY STRUCTURE

Fleischmann Residence
2030 Ron Way
Reno, Nevada
APN 017-443-13

WDADAR 25-0002

ENGINEER

SOILS ENGINEERING
HUGH EZZELL, CE10310
10000 ROAD RUNNER ROAD
RENO, NEVADA 89510
(775) 240-2692
hugh10000@aol.com

CONTRACTOR

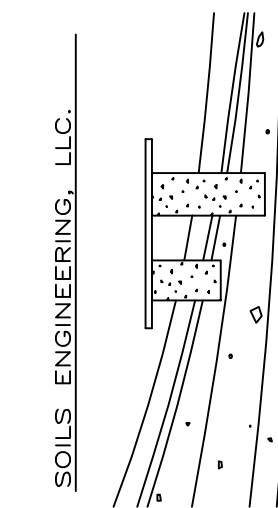
GABIL CONSTRUCTION
2030 RON WAY
RENO, NEVADA 89521
(775) 851-0689

OWNER

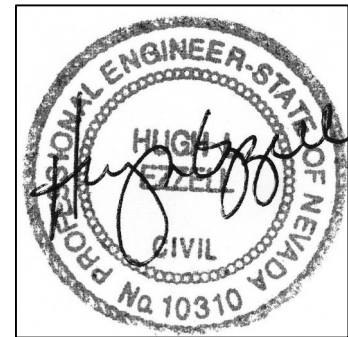
Bill and Gayle Fleischmann
2030 Ron Way
RENO, NEVADA 89521

ZONING MDS
MUNICIPAL WATER
MUNICIPAL SEWER
NVE
SWGAS
FTG MAIN RESIDENCE = 1836 SQ FT
AREA ACCES. STRUCTURE = 918 SQ FT
LOT 0.649 AC
EX BEDRMS = 3
NEW BEDRMS = 1
TOTAL BEDRMS = 4
DIST TO FIRE STA = 5 MILES
FLOOD ZONE X
FIRM PANEL 32031C3263G
TMFPD
W/IN 1000' OF HYDRANT
HYDROLOGIC BASIN 87
SEE ATTACHED EX. STRUC. PHOTOS

| REVISIONS | BY |
|-----------|----|
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| | |
| | |



SOILS ENGINEERING, LLC.
10000 Roadrunner Rd.
Reno, Nevada 89510
(775) 240-2692



03/20/25
EXP 12/31/26

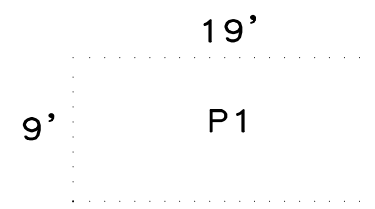
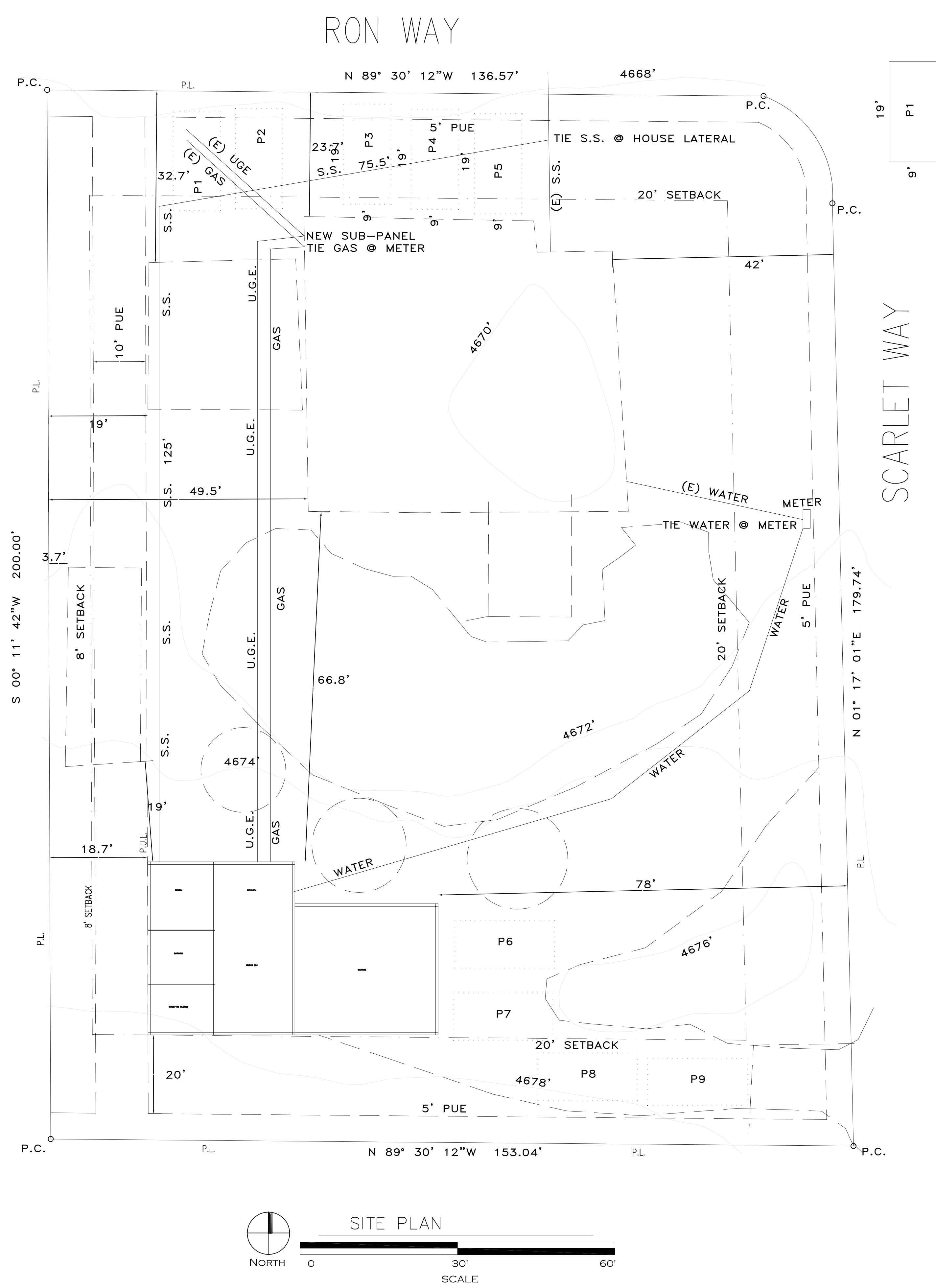
ASSESSORY STRUCTURE

FLEISCHMANN
2030 RON WAY
Reno, Nevada 89521
APN 017-443-13

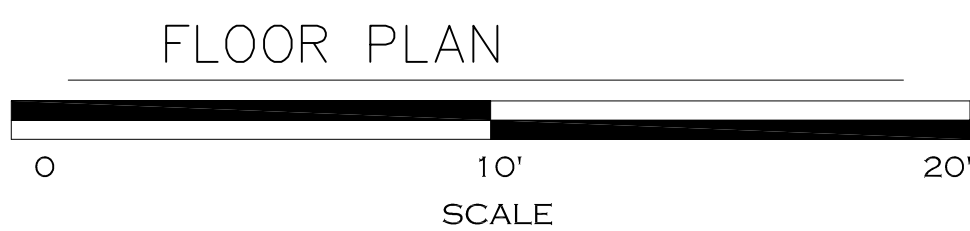
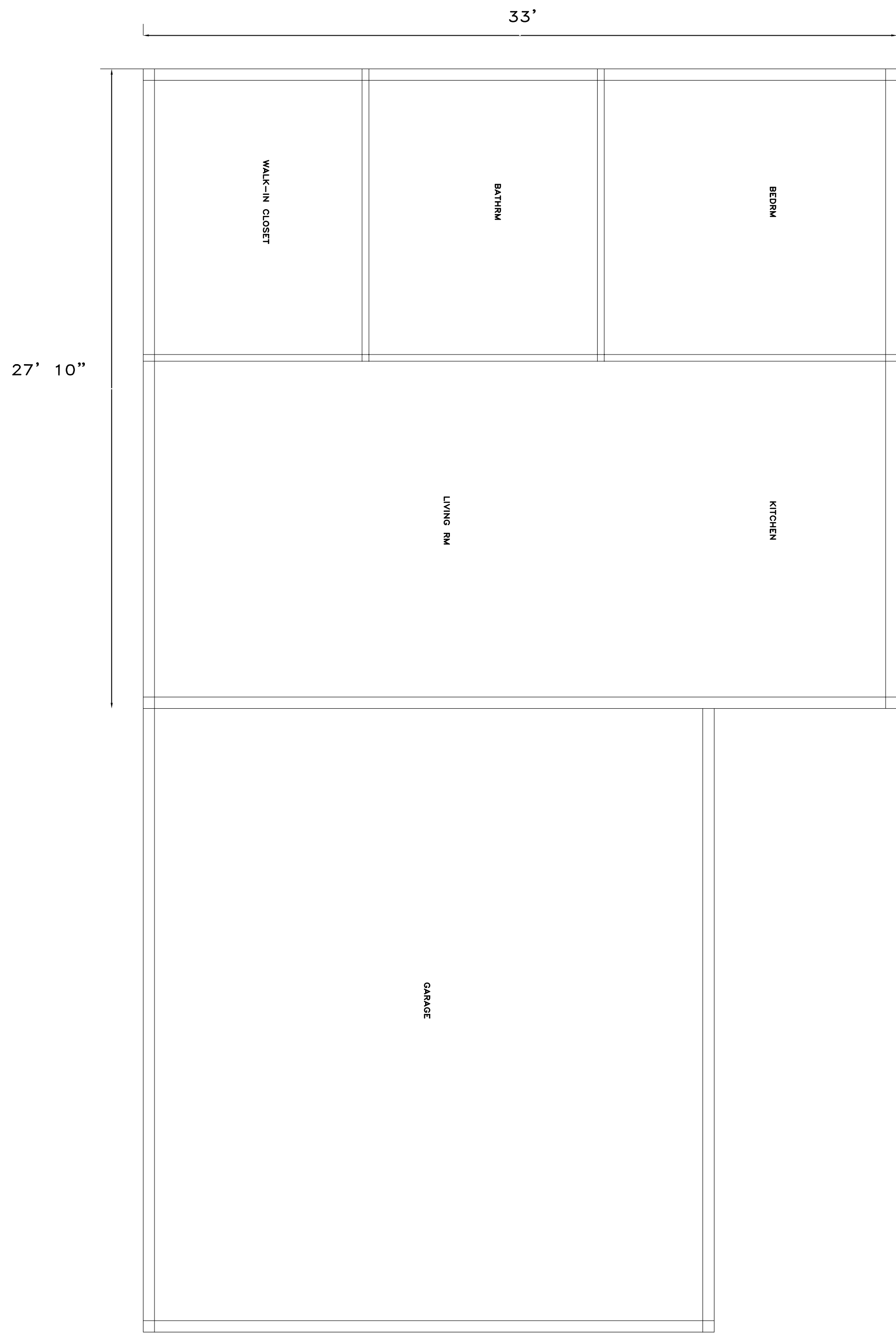
DATE: March 20, 2025
SCALE:
DRAWN BY: HE
JOB #:
SHEET:

1

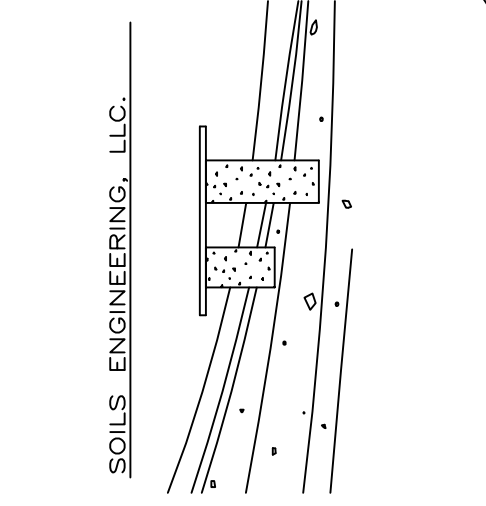
SHEET 1 - COVER SHEET/VICINITY MAP
SHEET 2 - SITE PLAN/FLOOR PLAN
SHEET 3 - ELEVATIONS



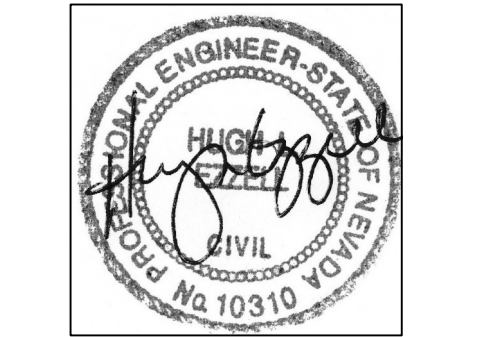
TYP OFF STREET PARKING SPACE
4 REQD
9 AVAILABLE



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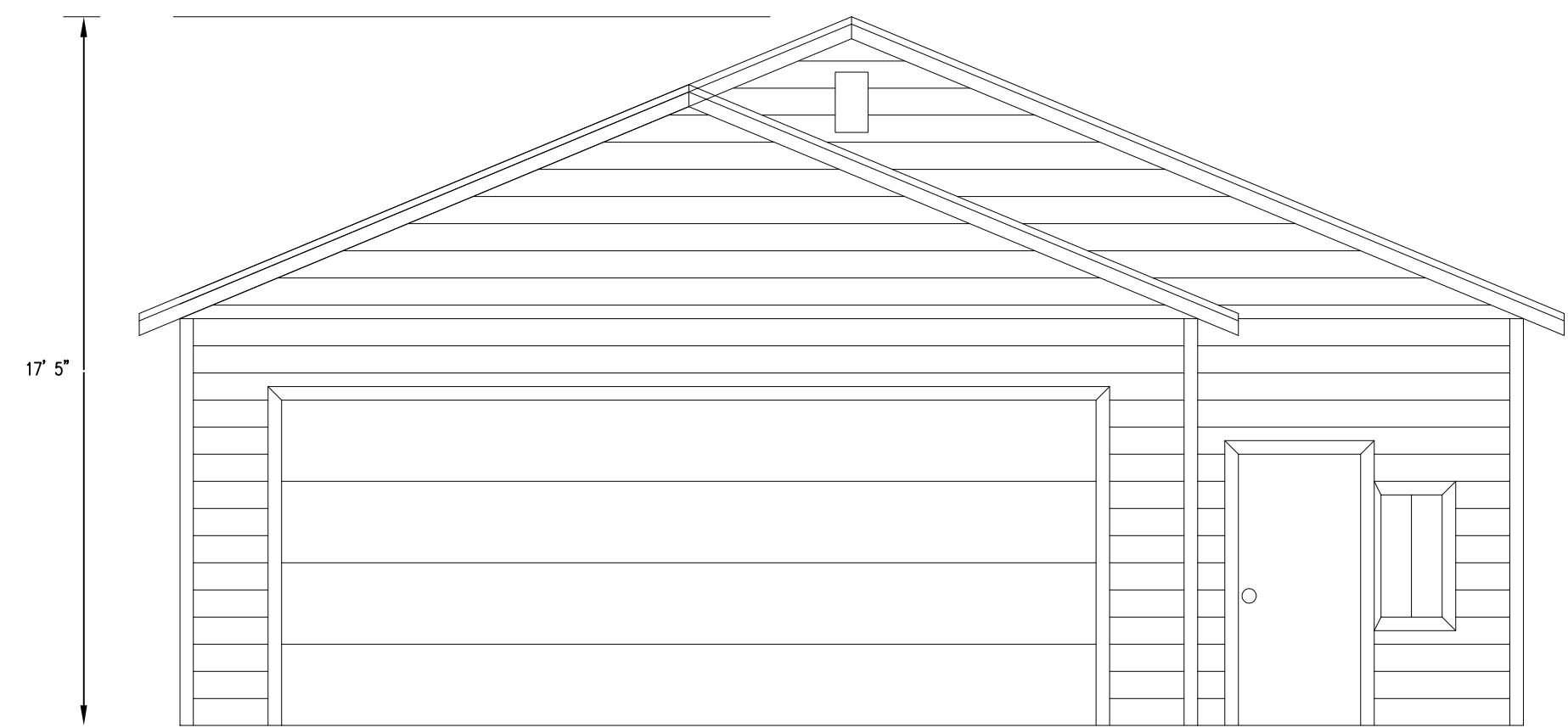
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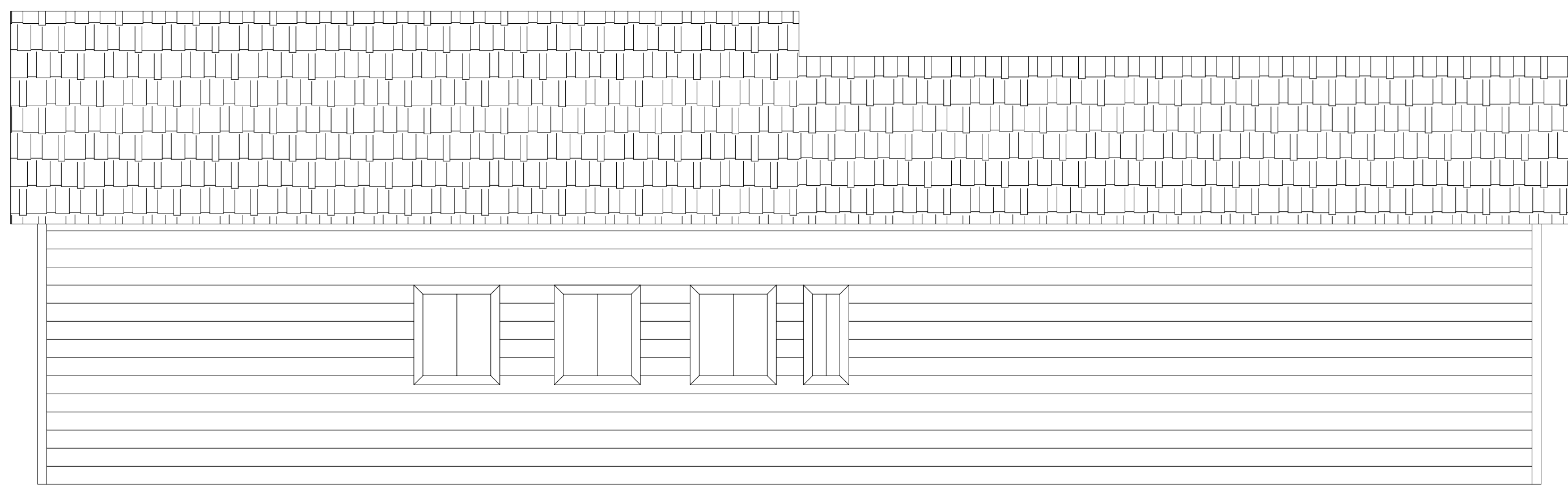
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SHEET:

2



East Elevation

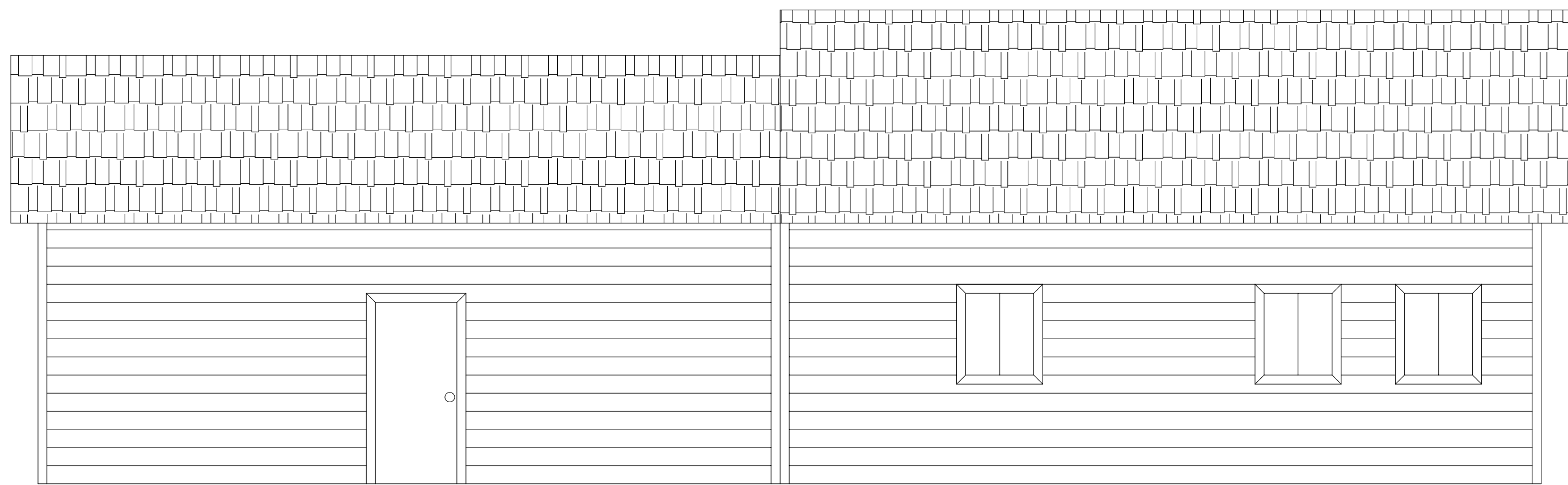
SCALE - FT



South Elevation

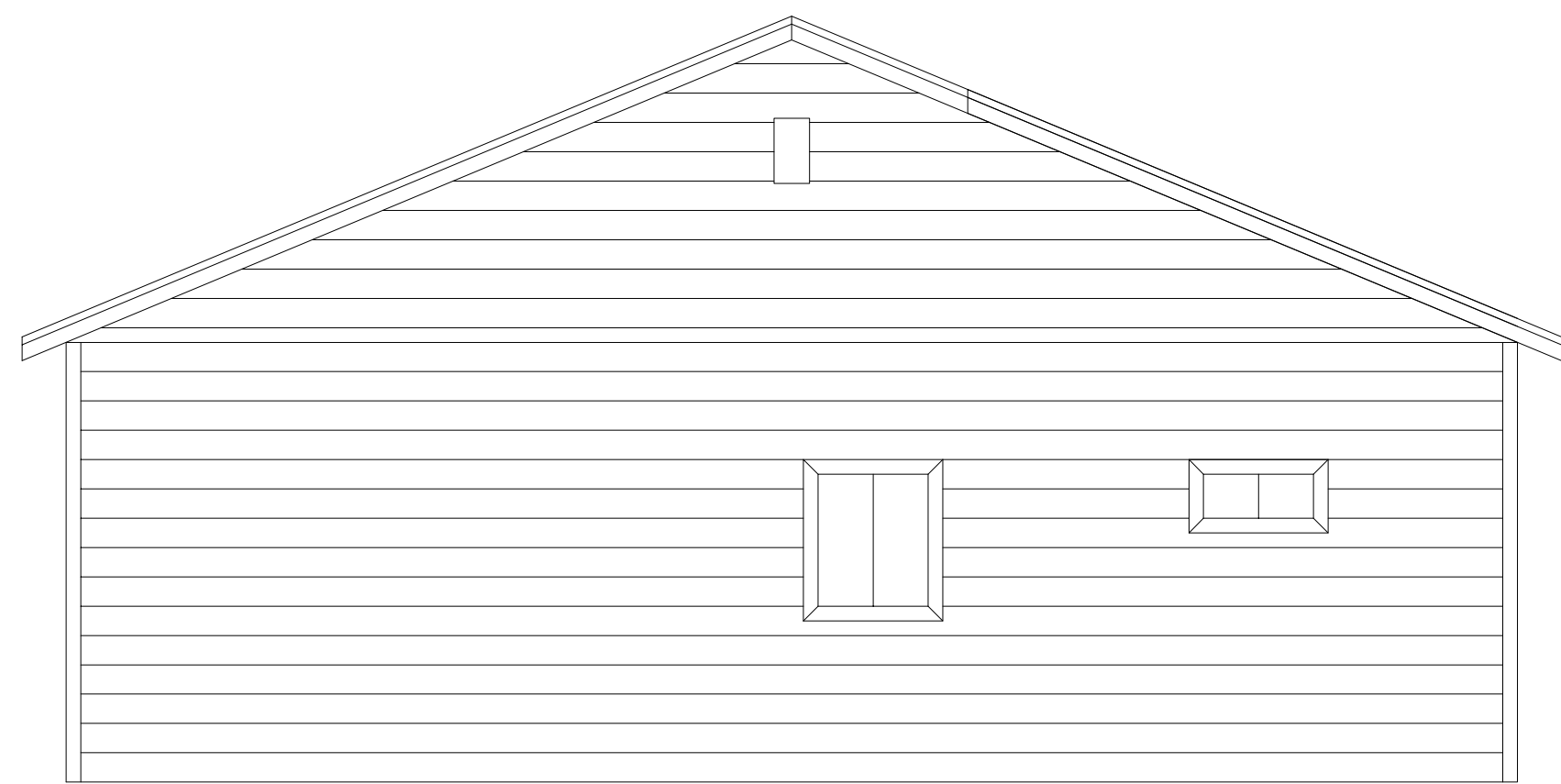
SCALE - FT

EXTERIOR COLORS TO MATCH MAIN RESIDENCE:
LIGHT GRAY ON SIDING
WITH DARK GRAY TRIM
SIDING = 6" SHIP LAP OR T-111
ASPHALT SHINGLE ROOF TO MATCH MAIN RESIDENCE
10' PLATE HT



North Elevation

SCALE - FT



West Elevation

SCALE - FT

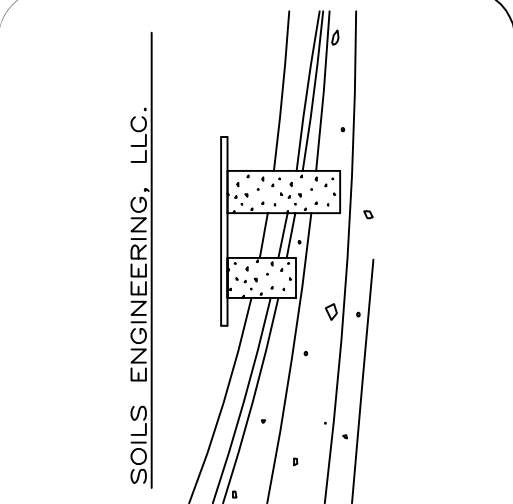
NAILING SCHEDULE - MINIMUMS

| | |
|--------------------------|--------------------|
| RAFTER TO RIDGE BOARD | 4- 16D TOENAIL |
| COLLAR TIE TO RAFTER | 4 - 8D |
| CEILING JOIST TO RAFTER | 4 - 16D |
| VERT. 1X6 @ RAFTER | 4 - 8D BOTH ENDS |
| WALL TOP PLATE SPLICE | 10 - 16D |
| RIM JOIST TO FLOOR JOIST | 3 - 16D |
| FLOOR JOIST SPLICE | 5 - 16D |
| FLOOR JOIST TO PURLIN | 4 - 16D |
| BLOCKING TO FLOOR JOIST | 4 - 16D |
| PLYWOOD GUSSET @ PURLIN | 6 - 8D, EA. MEMBER |

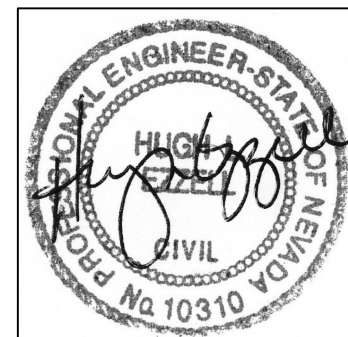
ALL SIMPSON CEILING/ROOF HARDWARE:
NAIL ALL HOLES WITH 8D NAILS

ALL SIMPSON FOUNDATION HARDWARE:
NAIL ALL HOLES WITH 16D NAILS

REVISIONS BY



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2030 RON WAY
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APN 017-443-13

DATE: March 4, 2025

SCALE:

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