# Community Services Department Planning and Building DETATCHED ACCESSORY DWELLING ADMINISTRATIVE REVIEW APPLICATION



Community Services Department Planning and Building 1001 E. Ninth St., Bldg. A Reno, NV 89512-2845

Telephone: 775.328.6100

#### **Washoe County Development Application**

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information s		Staff Assigned Case No.:		
Project Name:				
Project Description:				
Project Address:				
Project Area (acres or square fe	et):			
Project Location (with point of re	eference to major cross	s streets <b>AND</b> area locator):		
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:	
Case No.(s).		s associated with this applica		
		n additional sheets if necessary)		
Property Owner:		Professional Consultant:		
Name: Address:		Name: Address:		
Address.	Zip:		Zip:	
Phone:	Fax:	Phone:	Fax:	
Email:		Email:		
Cell:	Other:	Cell:	Other:	
Contact Person:		Contact Person:		
Applicant/Developer:		Other Persons to be Contacted:		
Name:		Name:		
Address:		Address:		
	Zip:		Zip:	
Phone:	Fax:	Phone:	Fax:	
Email:		Email:		
Cell:	Other:	Cell:	Other:	
Contact Person:		Contact Person:		
	For Office	e Use Only		
Date Received:	Initial:	Planning Area:		
County Commission District:		Master Plan Designation(s):		
CAB(s):		Regulatory Zoning(s):		

#### Administrative Review Permit Application for a Detached Accessory Dwelling Supplemental Information

(All required information may be separately attached)

- 1. What is the size (square footage) of the main dwelling or proposed main dwelling (exclude size of garage)?
- 2. What is the size of the proposed detached accessory dwelling (exclude size of garage)? If a manufactured or modular home is the secondary dwelling, list the age and size of the unit.
- 3. How are you planning to integrate the main dwelling and secondary dwelling to provide architectural compatibility of the two structures?
- 5. How many off-street parking spaces are available? Parking spaces must be shown on site plan. Are any new roadway, driveway, or access improvements be required?
- 6. What will you do to minimize any potential negative impacts (e.g. increased lighting, removal of existing vegetation, etc.) your project may have on adjacent properties?
- 7. Is the subject property part of an active Home Owners Association (HOA) or Architectural Control Committee?

	ΟY	es	🛛 No	If yes, please list the HOA name.
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8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit a detached accessory dwelling on your property?

Yes	🛛 No	If yes, please attach a copy.

9. Only one accessory dwelling unit, whether attached or detached, is allowed per parcel. Is there a guest apartment, mother-in-law unit, next-gen addition with kitchen or any other type of secondary dwelling on the subject property?

Yes I No If yes, please provide information on the secondary unit.
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10. List who the service providers are for the main dwelling and accessory dwelling:

	Main Dwelling	Accessory Dwelling
Sewer Service		
Electrical Service		
Solid Waste Disposal Service		
Water Service		

### ABBREVIATIONS

And Angle		Н.В. Н.С.
At Diameter or Pound or Nu		HD. HDBD.
Air Condinti Asphaltic Co	ong or oncrete	HDR. HDF. HDWD.
Accoustica Adjustable		hgr. hgt. hgt.
Adjacent Above finis Aggregate	h floor	H.M. HORIZ.
Alternate Aluminum Approxima	te	HR. H.R. HW
Architectur Board	al	I.D. IN. INSUL.
Base Flood Bituminous Building	Elevation	INT. INTER.
Block Blocking		JAN. JST.
Beam Bottom of Bottome		JT. KIT.
Building Pap Between	Der	LAM. LAV.
Catch Basir Cement Ceramic	1	lb. Lin. Ln.
Control Joir Ceiling	nt	LT. MACH.
Caulking Clear Closet		MAINT. MAT.
Concrete N Unit Counter	lasonry	MAX. M.B. M.C.
Clean-Out Column Concrete		M.D.O. MECH.
Condition Connection Constructior		MEMB. MTL. MFR.
Continuous Contractor	5	MICRO MIN.
Ceramic Til Center Cold Water		MISC. MTD. MUL.
DRYER Double		(N) N. N.I.C.
Detail Drinking Fou Diameter	untain	NO. or # NOM. N.T.S.
Dimension Dispenser Down		0.A. 0.C.
Door Dishwasher		O.D. OPNG.
Drawing Drawer		OPP. PERIM.
Each Existing Exterior Insu		PL. P.LAM.
Finish System Expansion J Elevation		PLAS. PLYWD. PNL.
Electrical Emergency Enclosure		PNT. P.S.I. PT.
Electrical Po Board Equal	anel	PTD. P.T.D.
Equipment Existing Expansion		PTN. P.T.R.
Expension Expansion		Q.T.
Fire Alarm Forced Air L	Jnit	R.
Flat Bar Floor Drain Foundation		R.A. RAD. REC.
Fire Extingui Cabinet Federal Eme		REF. REFL. REFR.
Managemer Agency	nt	REG. REINF. REQ.
Flat Head M Screw Flat Head W		RESIL. RET. REV.
Screw Finish	000	RM. REMOV.
Fixture Floor Flashing		RLMOV. R.O. RWD.
Fluorescent Face of Cor Face of Finis	sh	S. S.C.
Face of Plyw Face of Stud Fireproof		S.C.D. S.D.
Frame Foot or Feet Footing	t	SCHED. SECT. S.E.D.
Furring Future Gas Outlet		SEP. S.H.
Gauge Galvanized		SHR. SHT. SHTG.
General Ground Fau Interrupt	ılt	SIM. SL.
Glass Ground Grade		s.k.d. s.l.d.
Galvanized Metal Gypsum	Sheet	S.M.D.
		S.P.D. TEMP.

V	IA	IIONS	)
	Hose		SPEC.
	Handia	w Core or capped	SQ.
		board	S.S. S.S.D.
	Head Hardv	vare	S.S.K.
•	Hardy Hang	er	STD. STL.
	Heigh Heigh	it	STOR. STRL.
	Horizo	w Metal ontal	S.V.
	Hour Hand	-	Т. Т.В.
		/ater Heater Diameter	T.B.D. T.C.
	Inch Insula	tion	TEL. TEMP.
	Interio Intern	or nediate	T.&G. TER.
	Janito	or	THK. T.M.E.
	Joist Joint		T.O. T.O.C.
	Kitche	en	T.O.P. T.O. PLY
	Lamir		T.O.W. TYP.
	Lavat Pouno		U.B.C.
	Linea Line	r	UNEXC.
	Light		UNF. S.H.
•	Mach Maint	ain	SHR. SHT.
	Mate Maxir		shtg. sim.
		nine Bolt cine Cabinet	SL. S.K.D.
•	Mediu Overla	um Density ay	S.L.D.
		anical orane	S.M.D.
	Meta Manu	l Ifacturer	S.P.D.
)	Microv Minim		SPEC.
	Misce Moun	llaneous Ited	SQ.
	Mullio New	'n	S.S. S.S.D.
	North Not ir	Contract	S.S.K.
#	Numb Nomi		STD. STL.
	Not to	Scale	STOR. STRL.
	Over On C		S.V.
	Outsia (Dim.)	de Diameter	Т. Т.В.
	Open Oppos		T.B.D. T.C.
	Perim	neter	TEL. TEMP.
	Plate Plasti	c Laminate	T.&G. TER.
).	Plaste Plywoe		THK. T.M.E.
	Pane Paint		T.O. T.O.C.
		quare Inch ure Treated o	T.O.P. r T.O. PLY
	Post Te Paint	ensioned ed	T.O.W. TYP.
	Pape Disper	er Towel nser	U.B.C.
	Partit Pape	ion er Towel	UNEXC.
	Recep	otacle	UNF.
	Quar	ry Tile	
	Riser Retur		
	Radiu Rece	essed	
	Refle		
	Regis		
	Requ		
	Resilio Retai	ining	
	Revers		
1.	Roon Remo	vable	
	Roug Redv	Ih Opening vood	
	South		
	See (	Core Civil Drawings	
	Disper	n Drain, Soap nser/Dish	
).	Scheo Secti	on	
	Drawi	0	
		ler Head	
	Show Sheet		
	Sheat Simila	r	
		itchen	
		andscape	
	Drawir See M	ngs Nechanical	

See Plumbing

Drawings

Drawings

Tempered

Specification or Special Square Stainless Steel See Structural Drawing Service Sink Standard Steel Storage Structural Sheet Vinyl
Tread Towl Bar To Be Determined Top of Curb Telephone Tempered Tongue & Groove Terrazzo Thick To Match Existing Top of Top of Concrete Top of Plate Top of Plate Top of Plywood Top of Wall Typical
Uniform Building Code Unexcavated Unfinished Sprinkler Head Shower Sheet Sheathing Similar Sliding See Kitchen Drawings See Landscape Drawings See Mechanical Drawings See Plumbing Drawings Specification or Special Square Stainless Steel See Structural Drawing Service Sink Standard Steel Storage Structural Sheet Vinyl
Tread Towl Bar To Be Determined Top of Curb Telephone Tempered Tongue & Groove Terrazzo Thick To Match Existing Top of Top of Concrete Top of Plate

lop of Plate .O. PLY Top of Plywood Top of Wall Typical .B.C. Uniform Building

Code NEXC. Unexcavated NF. Unfinished



# APPLICABLE CODES

2021 International Residential Code 2021 International Wildland-Urban Interface Code 2021 International Energy Conservation-Northern Nevada Amendments 120 MPH Exposure C Wind Zone 2021 Uniform Plumbing Code 2021 National Electrical Code 2021 TRPA-Code of Ordinance 2021 International Fire Code (IFC) NLTFPD RESOLUTIONS 18-1 & 18-2

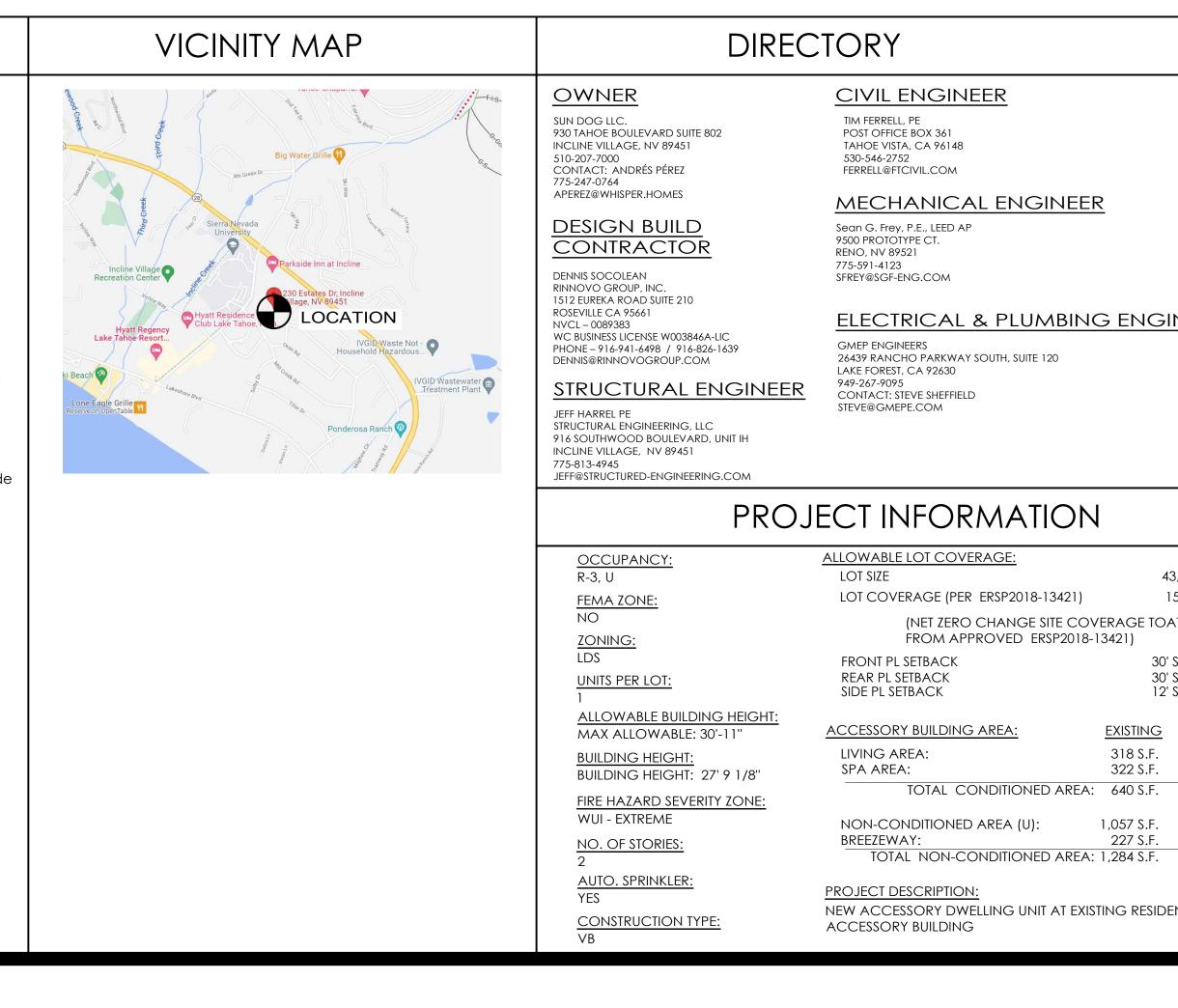
2021 Northern Nevada Amendments by the Northern Nevada Chapter of the International Code Council

Applicable General Plan, Zoning, Site Development & Subdivision Ordinances Note:

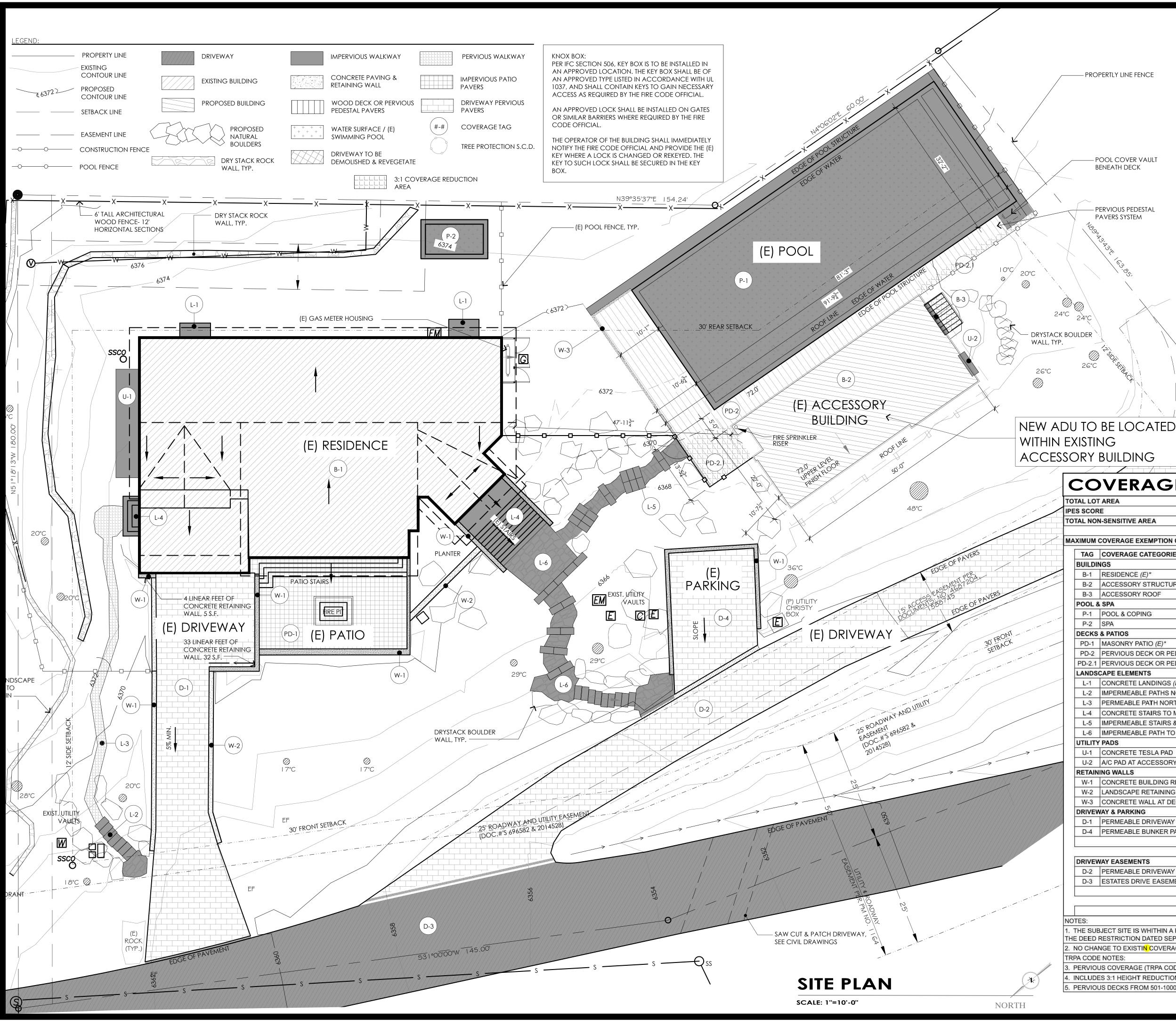
These drawings are to conform to the requirements of the code editions cited above. Any work performed in association with these drawings must also comply with these code editions.

# SUN DOG RESIDENCE **PROPOSED ADU**

230 Estates Drive, Incline Village, NV APN: 130-163-27



	Sheet Index		
GENE A-001 A-011	RAL COVER SHEET EXISTING SITE PLAN		0 846A-LIC 16-826-1639 COM
	(NO CHANGE)		ITE 21 W003 V 91
	(P) ORADINO & DRAINAGE PLAN (P) UTILITIES PLAN DETAIL3 DETAIL3		) GROUP, INC. EKA ROAD SUIT E CA 95661 389383 JESS LICENSE W 916-941-6498 RINNOVOGRO
	FIRE DEFENSIBLE SPACE PLAN		
A-110 A-111 A-131	EXISTING & NEW LOWER LEVEL FLOOR PLANS EXISTING/DEMO & NEW UPPER LEVEL FLOOR PLANS EXISTING ROOF PLAN		RINNO 1512 EU ROSEVI NVCL – WC BU PHONE DENNIS
A-211 A-212 A-311	EXISTING ELEVATIONS EXISTING ELEVATIONS SECTIONS		<b>ل</b> 9451
	INTERIOR FINISH PLAN & SCHEDULES		<b>G AD</b> es Drive e, NV 8 0-163-27
31.2 31.3 52.1	SPECIAL INSPECTIONS SCHEDULES TYPICAL & SHEAR TRANSFER DETAILS FOUNDATION/ MAIN FLOOR FRAMING PLAN		<b>UN DO</b> 230 Estat 7e Villag APN: 13(
	FOUNDATION/ DIMENSION PLAN LOWER ROOF/ UPPER FLOOR FRAMING PLAN UPPER ROOF FRAMING PLAN		SI Inclir 2
- 53.2 	UPPER ROOF DIAFHRAGM FLAN UPPER ROOF DIAFHRAGM FLAN STEEL SCHEDULES & DETAILS FOUNDATION & FRAMING DETAILS	С	ONTRACTOR DRAWINGS OMPILEED PER NRS 623.035 ) A CONTRACTOR
ELECT E-1.0 E-1.1 E-2.0	RICAL Electrical general notes, symbols, & sheet index Electrical single line & schedules Electrical lighting plan	LIC PR 62 HI FC	CENSED PURSUANT TO THE COVISIONS OF CHAPTER 4 OF NRS WHO PROVIDES 5 OR HER OWN DRAWINGS OR HIS OR HER OWN ONSTRUCTION ACTIVITIES.
	IANICAL (NO CHANGE)	s	ignature
M0.2 M0.2 M0.3 M1.0 M1.1	MECHANICAL DETAILS, WIRING & VRE PIPING DIAGRAMS MECHANICAL HYDRONIC PIPING DIAGRAM & CALCS. MECHANICAL ZONING MAIN LEVEL MECHANICAL ZONING LOWER LEVEL	No.	Description     Date       TRPA - APPLICATION     05/01/22       COUNTY PERMIT     05/01/22       SUBMITTAL     05/01/22
M2.1 M2.2 M0.1	MECHANICAL HYDRONIC PLAN LOWER LEVEL MECHANICAL HYDRONIC PLAN MAIN LEVEL MECHANICAL CALCS, FC 1 & FC 2		
INEER PLUM P-1.0 P-1.1	BING (NO CHANGE) PLUMBING CENERAL NOTES, SYMBOLS, & SHEET INDEX PLUMBING SCHEDULE, CALCULATIONS & DETAILS	Sca She	le N.T.S eet Name
P 2.0 P-3.0	PLUMBING PLAN, LOWER & UPPER LEVEL COLD/HOT WATER & CAS, CAS DIAGRAM PLUMBING PLAN, LOWER, UPPER & ROOF WASTE & VENT		
			Ē
43,621 S.F. 15,259 S.F ATL			R SHE
' SETBACK ' SETBACK ' SETBACK <u>NEW</u>			COVER
640 S.F. 322 S.F. 962 S.F. 735 S.F. 227 S F			
227 S.F. 962 S.F. DENTIAL		F	A-001



– PROPERTLY LINE FENCE

- POOL COVER VAULT BENEATH DECK

- PERVIOUS PEDESTAL PAVERS SYSTEM

DUST CONTROL MEASURES SHALL BE IN PLACE DURING CONSTRUCTION. BROADCAST MULCH SHALL NOT BE PERMITTED AS DUST CONTROL MEASURE WITHIN 36' OF STRUCTURES

ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE REVEGETATED IN ACCORDANCE WITH THE TRPA HANDBOOK OF BEST PRACTICES AND LIVING WITH FIRE, LAKE TAHOE BASIN, SECOND EDITION.

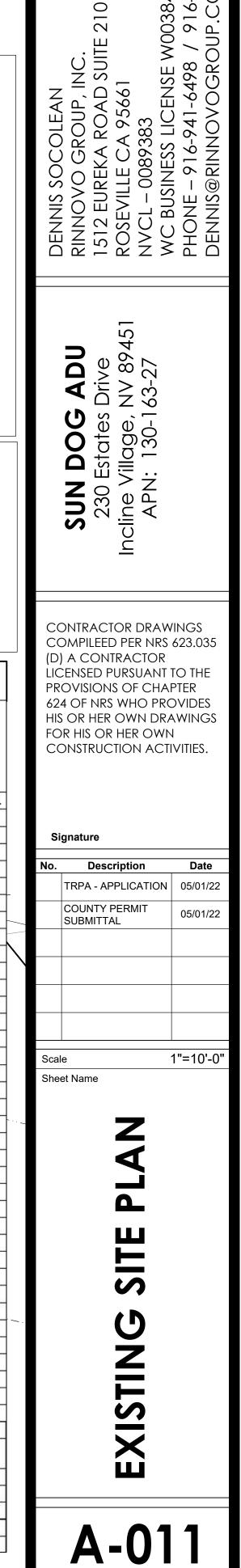
ESTABLISH AND MAINTAIN DEFENSIBLE SPACE SURROUNDING STRUCTURES IN ACCORDANCE WITH THE 2018 INTERNATIONAL WILDLAND URBAN INTERFACE CODE (IWUIC) WITH AMENDMENTS IN NLTFPD RESOLUTIONS 18-1 AND 18-2. A DEFENSIBLE SPACE INSPECTION IS REQUIRED TO PROVIDE FOR SAFE SEPARATION BETWEEN STRUCTURES AND WILDLAND VEGETATION. ALL ITEMS NOTED DURING THE INSPECTION MUST BE CORRECTED PRIOR TO PERMIT CLOSEOUT. CONTACT AN NLTFPD INSPECTOR AT (775)833-8107 TO SCHEDULE AN APPOINTMENT. FOR ADDITIONAL INFORMATION, SEE CIVIL DRAWINGS.

SEE LANDSCAPE PLANTING DRAWINGS & SCHEDULE SHEETS.

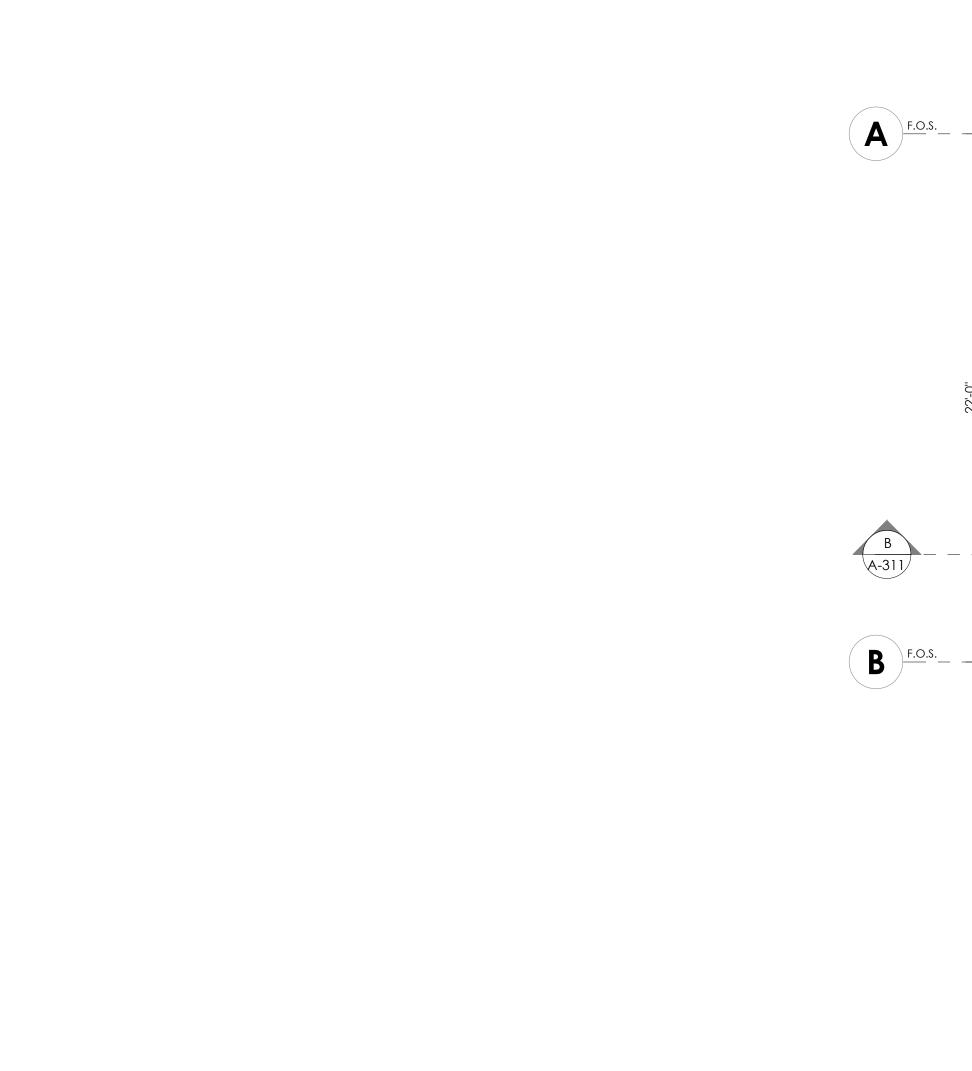
SEE CIVIL DRAWINGS FOR FIRE DEFENSE AND UTILITY INFORMATION , TYP.

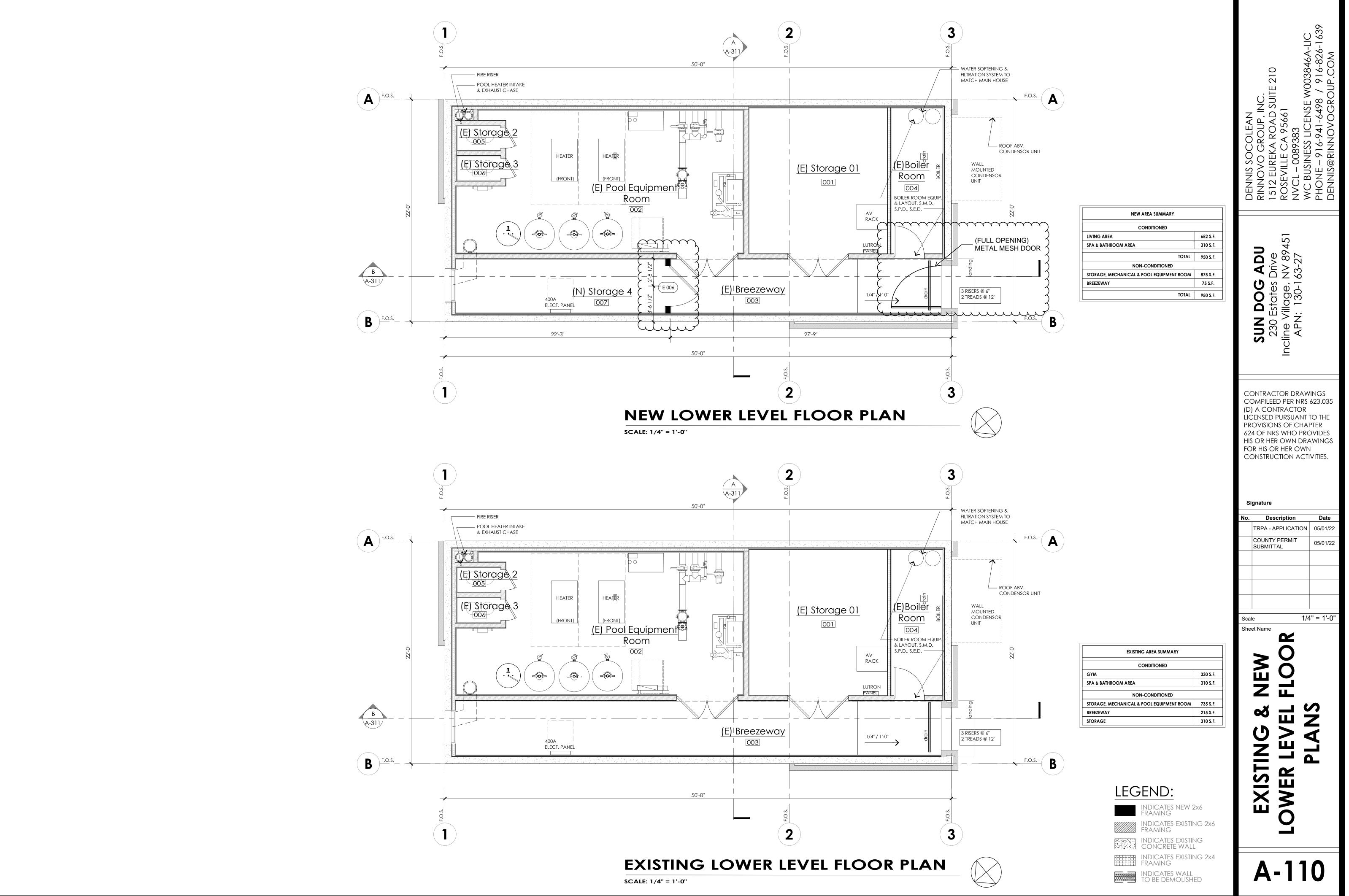
PER NLTFPD RESOLUTION 18-1, 2018 IFC, 505.1. ADDRESS NUMBERS SHALL BE MIN. 6" LETTERS/NUMBERS AND BE OF A CONTRASTING COLOR TO THE BACKGROUND. THE ADDRESS IDENTIFICATION SHALL BE LEGIBLE AND PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETIC LETTERS. NUMBERS SHALL NOT BE SPELLED OUT. WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING(S) CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE(S). ADDRESS IDENTIFICATION SHALL BE MAINTAINED. THIS SHALL APPLY FOR BOTH TEMPORARY AND PERMANENT IDENTIFIERS.

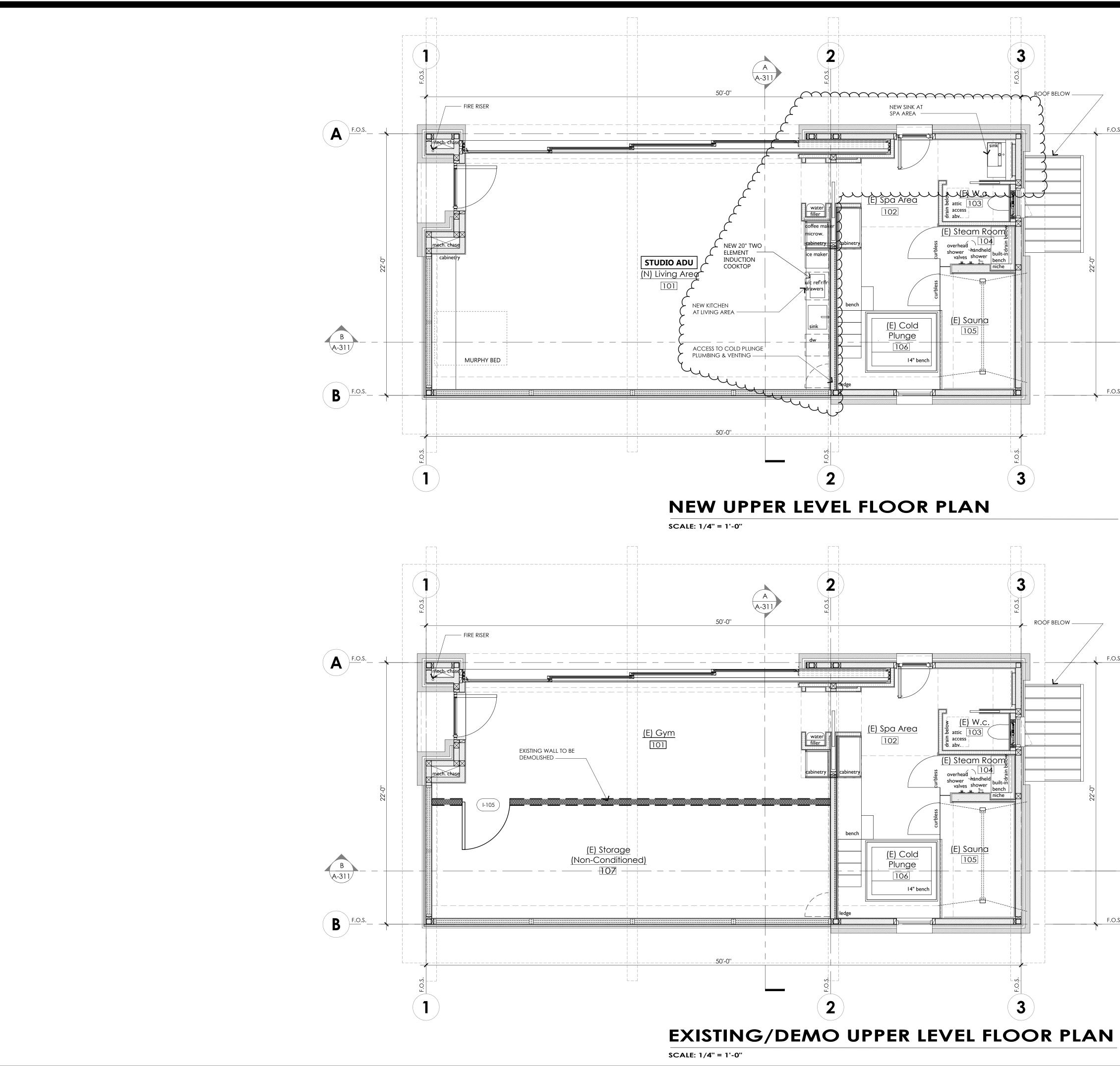
O	VERAGE TABLE			
L LOT	AREA	43,621		
SCORE				
	N-SENSITIVE AREA	42,589 S.F.		
			1	
MUM	COVERAGE EXEMPTION CALCULATIONS (PER TRPA CODE 30.4	.6)		
ſAG	COVERAGE CATEGORIES & ELEMENTS	PROPOSED	EXEMPTION	ACTUAL
JILDI	NGS			
B-1	RESIDENCE (E)*	3,395		3,395
B-2	ACCESSORY STRUCTURE	1,100		1,100
B-3	ACCESSORY ROOF	38.25	30	8.25
DOL 8	SPA			
P-1	POOL & COPING	2,911		2,911
P-2	SPA	127		127
ECKS	& PATIOS			
PD-1	MASONRY PATIO (E)*	772		772
PD-2	PERVIOUS DECK OR PEDESTAL PAVERS	647	613	33.8
D-2.1	PERVIOUS DECK OR PEDESTAL PAVERS - 3:1 EXEMPT	196		
NDS	CAPE ELEMENTS			
L-1	CONCRETE LANDINGS (E)*	46		46
L-2	IMPERMEABLE PATHS NORTH OF RESIDENCE	55		55
L-3	PERMEABLE PATH NORTH OF RESIDENCE	172	43	129
L-4	CONCRETE STAIRS TO MAIN RESIDENCE (E)*	171		171
L-5	IMPERMEABLE STAIRS & PATH TO POOL HOUSE	137		137
L-6	IMPERMEABLE PATH TO MAIN RESIDENCE ENTRY	403		403
TILITY	PADS			
U-1	CONCRETE TESLA PAD	120		120
U-2	A/C PAD AT ACCESSORY BUILDING + STAIR LANDING STEP	10		10
TAIN	ING WALLS			
W-1	CONCRETE BUILDING RETAINING WALLS (E)*	183		183
W-2	LANDSCAPE RETAINING WALLS (E)*	129		129
N-3	CONCRETE WALL AT DECK	28		28
RIVEN	VAY & PARKING			
D-1	PERMEABLE DRIVEWAY TO GARAGE (E)*	1,360	340	1,020
D-4	PERMEABLE BUNKER PARKING (E)*	517	129	388
	TOTALS	12,517	1,155	11,166
RIVEN	VAY EASEMENTS			
D-2	PERMEABLE DRIVEWAY REPLACEMENT TO 220 ESTATES (E)*	2,488	622	1,866
D-3	ESTATES DRIVE EASEMENT (E)*	2,227		2,227
	TOTALS	4,715	622	4,093
		······································		
	COVERAGE TOTALS	17,232	1,777	15,259
S:				
	BJECT SITE IS WHITHIN A PROJECT AREA THAT IS LIMITED TO 90		OVERAGE BAS	ED UPON
	RESTRICTION DATED SEPTEMBER 22, 1992 (DOCUMENT NO 160			
	NGE TO EXISTIN COVERAGE AND PREVIOUSLY APPROVED COV	ERAGE TOTAL	OF 15,259 S.F.	1/
11-50-0-00			0.000	
the second second	JS COVERAGE (TRPA CODE 30.4.6.1): 25% REDUCTION FOR USE	OF PERVIOU	S COVERAGE	
	ES 3:1 HEIGHT REDUCTION RATIO, TRPA 30.4.6.B	ē		
RVIUL	JS DECKS FROM 501-1000 S.F. TO A MAX EXEMPTION OF 750 S.F	6		



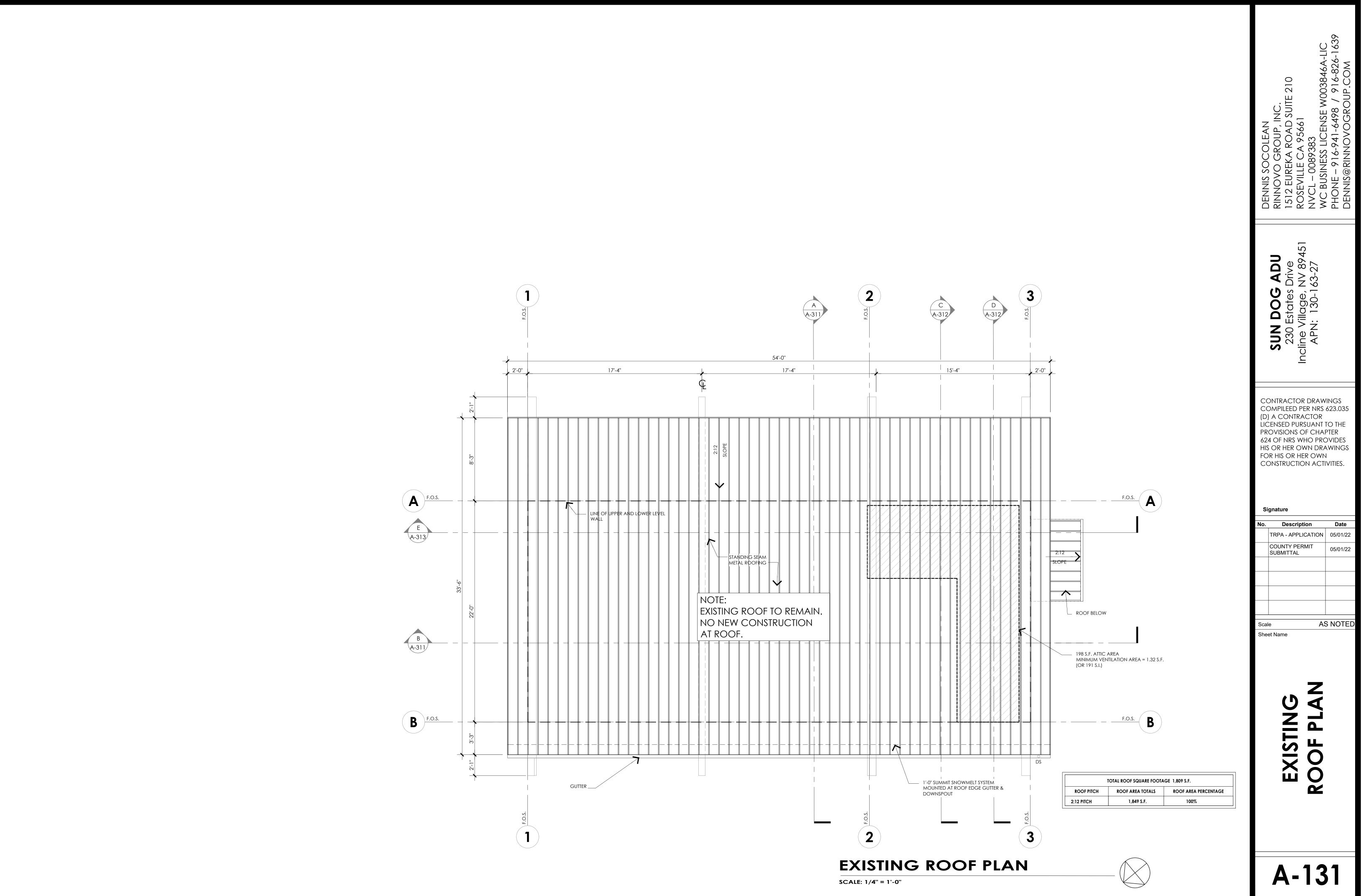
-163%







-LIC -1639 INC. D SUITE 210  $\mathbf{v}$ ) 0 0 ∎  $\circ$  $\leq$ F.O.S. Α ш∞й 5661 DLEAN < >Δ ΟŇ SOC EUREK C (D ٩IS DENNI RINNC 1512 E ROSEV NVCL WC BU NEW AREA SUMMARY CONDITIONED 652 S.F. LIVING AREA ıve / 89451 -27 310 S.F. SPA & BATHROOM AREA DU TOTAL 950 S.F. N< NON-CONDITIONED 4 STORAGE, MECHANICAL & POOL EQUIPMENT ROOM 875 S.F. U S 75 S.F. BREEZEWAY **SUN DOG** 230 Estates Incline Village, APN: 130-1 TOTAL 950 S.F. F.O.S. **B** CONTRACTOR DRAWINGS COMPILEED PER NRS 623.035 (D) A CONTRACTOR LICENSED PURSUANT TO THE PROVISIONS OF CHAPTER 624 OF NRS WHO PROVIDES HIS OR HER OWN DRAWINGS FOR HIS OR HER OWN CONSTRUCTION ACTIVITIES. Signature ROOF BELOW -Description Date TRPA - APPLICATION 05/01/22 COUNTY PERMIT 05/01/22 SUBMITTAL F.O.S. **A** 1/4" = 1'-0" Scale Sheet Name EXISTING AREA SUMMARY CONDITIONED 330 S.F. GYM Ζ 310 S.F. SPA & BATHROOM AREA NON-CONDITIONED Ш STORAGE, MECHANICAL & POOL EQUIPMENT ROOM 735 S.F. ER BREEZEWAY 215 S.F. 310 S.F. STORAGE U 0 **EXISTIN** F.O.S. **B** FLO **E** LEGEND: Ζ INDICATES NEW 2x6 FRAMING INDICATES EXISTING 2x6 FRAMING õ INDICATES EXISTING CONCRETE WALL INDICATES EXISTING 2x4 A-11 INDICATES WALL TO BE DEMOLISHED



	ABBREV	ATIONS	)	
		MECH	MECHANICAL	1.
ADA AFF	AMERICAN DISABILITIES ACT ABOVE FINISHED FLOOR	MH ML <i>O</i>	METAL HALIDE MAIN LUGS ONLY	С
AHU AP	AIR HANDLING UNIT ACCESS PANEL	MIN MW	MINIMUM MICROWAVE	2
AF AFCI A/C	ACCESS FANEL ARC FAULT CIRCUIT INTERRUPTER AMPERES INTERRUPTING CAPACITY	(N)	NEW	al
A/C (SYMMETRICAL) AS/AF		(N) N/A NC	NOT APPLICABLE	a
AMP, A	AMP SWITCH, AMP FUSE AMPERE	NEC	NORMALLY CLOSED NATIONAL ELECTRICAL CODE	
ARCH AWG	ARCHITECTURAL AMERICAN WIRE GAUGE	NFPA NO	NATIONAL FIRE PROTECTION ASSOCIATION NORMALLY OPEN	3. La
BLDG	BUILDING	P	POLE	a da
BKR	BREAKER	PB PC	PULLBOX PHOTOCELL	a
CLG	CEILING	PH OR ¢ PWR	PHASE POWER	
C CB	CONDUIT CIRCUIT BREAKER			
CKT	CIRCUIT	RECPT, REC REF	RECEPTACLE REFRIGERATOR	
∆ DIST	DELTA CONNECTED DISTRIBUTION	REQD RPM	REQUIRED REVOLUTIONS PER MINUTE	
DEG	DEGREE			
DWG D/W	DRAWING DISH WASHER	ST SP	SHUNT TRIP SUMP PUMP	
EF	EXHAUST FAN	SPEC SYS	SPECIFICATION SYSTEMS	w N
eg Elec	EQUIPMENT GROUND ELECTRICAL	SYM	SYMMETRICAL	
ELEV EQ	ELEVATOR EQUIPMENT	TELCOM	TELECOMMUNICATIONS	4
EP	EXPLOSION PROOF	TV TYP	TELEVISION TYPICAL	th
				C
FACP FDR	FIRE ALARM CONTROL PANEL FEEDER	U/G UTIL	UNDERGROUND UTILITY UNIVERPRINTIPLE ROWER CURPLY	5.
FLA FLVOR	FULL LOAD AMPS FLVORESCENT	UPS	UNINTERRUPTIBLE POWER SUPPLY	di
G/GRD	GROUND	V VA	VOLTS VOLT AMPERE	th
GFCI	GROUND FAULT CIRCUIT INTERRUPTER	VD V/¢/HZ	VOLTAGE DROP VOLTS/PHASE/HERTZ	
HP HPS	HORSE POWER HIGH PRESSURE SODIUM	W	WIRE	6. to
HVAC	HEATING, VENTILATION, AND AIR CONDITIONING	MP	WEATHERPROOF	in at
INCAND	INCANDESCENT	XFMR XFR	TRANSFORMER TRANSFER	bi
JB/JBOX	JUNCTION BOX	Υ		7
KVA	KILOVOLT AMPERES	I	WYE CONNECTED	7. pi
KM KMH	KILOWATTS KILOWATTS PER HOUR			OT CC
KCMIL	THOUSAND CIRCULAR MILS			in
				5
LPS	LIGHTING CONTROL PANEL LOW PRESSURE SODIUM LIGHTING			si be pi
LPS LTG/LTS M	LOW PRESSURE SODIUM LIGHTING METER			64 pi 8
LPS LTG/LTS M MAX	LOW PRESSURE SODIUM LIGHTING			bi pi 8 tii w
LPS LTG/LTS M MAX	LOW PRESSURE SODIUM LIGHTING METER MAXIMUM			bi pi 8 tii waa
LPS LTG/LTS M MAX	LOW PRESSURE SODIUM LIGHTING METER MAXIMUM			bo pr 8 tiu w a to
LPS LTG/LTS M MAX	LOW PRESSURE SODIUM LIGHTING METER MAXIMUM			bo pr 8. tir w ar tc pr
LPS LTG/LTS M MAX	LOW PRESSURE SODIUM LIGHTING METER MAXIMUM			8. tin w an to pr 9. 0. 0. 0. 0. 0. 0. 0. 0. 0. 0. 0. 0. 0.
LPS LTG/LTS M MAX	LOW PRESSURE SODIUM LIGHTING METER MAXIMUM MAIN CIRCUIT BREAKER ELECTRICA			8 tii w ai to pi 9
LPS LTG/LTS MAX MCB	LOW PRESSURE SODIUM LIGHTING METER MAXIMUM MAIN CIRCUIT BREAKER ELECTRICAL NOTE: 'NL' DENOTES 90 MIN	UTE BATTERY BA	CKUP	8. tin w an tc p 9. 0 0 0 0 0 0 0 10
LPS LTG/LTS MAX MCB YMBOL ME	LOW PRESSURE SODIUM LIGHTING METER MAXIMUM MAIN CIRCUIT BREAKER ELECTRICAL NOTE: 'NL' DENOTES 90 MIN ANING		CKUP	8. tin wan tc pr 9. 0 0 0 0 0 0 0
LPS LTG/LTS MAX MCB YMBOL ME \$ SM	LOW PRESSURE SODIUM LIGHTING METER MAXIMUM MAIN CIRCUIT BREAKER ELECTRICAL NOTE: 'NL' DENOTES 90 MIN	UTE BATTERY BA	ICKUP NING	9. 9. 9. 0. 0. 0. 0. 0. 0. 0. 0. 0. 0. 0. 0. 0.
LPS LTG/LTS MAX MCB YMBOL ME \$ SM	LOW PRESSURE SODIUM LIGHTING METER MAXIMUM MAIN CIRCUIT BREAKER ELECTRICAL NOTE: 'NL' DENOTES 90 MIN ANING	UTE BATTERY BA	CKUP	8. tin wa tc pi 9. 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
LPS LTG/LTS M MAX MCB YMBOL ME \$ SM \$ 3-1	LOW PRESSURE SODIUM LIGHTING METER MAXIMUM MAIN CIRCUIT BREAKER ELECTRICAL NOTE: 'NL' DENOTES 90 MIN ANING IITCH	SYMBOL MEAN	ICKUP NING CTRICAL PANEL	9. 00 00 00 00 00 00 00 00 00 00 00 00 00
LPS LTG/LTS MAX MCB YMBOL ME \$ SW \$ 3-1 HD DIN	LOW PRESSURE SODIUM LIGHTING METER MAXIMUM MAIN CIRCUIT BREAKER ELECTRICAL NOTE: 'NL' DENOTES 90 MIN ANING IITCH MAY SMITCH MMER SWITCH	SYMBOL MEAN SYMBOL MEAN ELEC DUP	ICKUP NING CTRICAL PANEL LEX RECEPTACLE	9. 9. 9. 0. 0. 0. 0. 0. 0. 0. 0. 0. 0
LPS LTG/LTS MAX MCB YMBOL ME \$ SM \$ 3-1 HD DIN ¢ HIG	LOW PRESSURE SODIUM LIGHTING METER MAXIMUM MAIN CIRCUIT BREAKER ELECTRICAL NOTE: 'NL' DENOTES 90 MIN ANING IITCH MAY SWITCH MER SWITCH SH EFFICACY FIXTURE (CEILING)	SYMBOL MEAN SYMBOL MEAN ELEC DUP 240	CKUP NING CTRICAL PANEL LEX RECEPTACLE V RECEPTACLE	9. 9. 9. 9. 9. 10. 11. 12. 12. 14. 14. 14. 14. 14. 14. 14. 14
LPS LTG/LTS MAX MCB YMBOL ME \$ SM \$ 3-J HD DIN ↓ HIC ↓ HIC	LOW PRESSURE SODIUM LIGHTING METER MAXIMUM MAIN CIRCUIT BREAKER ELECTRICAL NOTE: 'NL' DENOTES 40 MIN ANING IITCH MAY SWITCH MER SWITCH SH EFFICACY FIXTURE (CEILING) SH EFFICACY FIXTURE (WALL)	SYMBOL MEAN SYMBOL MEAN ELEC DUP 240	ICKUP NING CTRICAL PANEL LEX RECEPTACLE	9. 9. 9. 0. 0. 0. 0. 0. 0. 0. 0. 0. 0
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LPS LTG/LTS MAX MCB YMBOL ME \$ SM \$ 3-1 \$ SM \$ 3-1 HD DIN ↓ HIC ↓ HIC ↓ HIC ↓ HIC ↓ HIC ↓ HIC ↓ HIC ↓ HIC ↓ HIC ↓ UL	LOW PRESSURE SODIUM LIGHTING METER MAXIMUM MAIN CIRCUIT BREAKER ELECTRICAL NOTE: 'NL' DENOTES 40 MIN ANING IITCH NAY SWITCH MAR SWITCH MAR SWITCH SH EFFICACY FIXTURE (CEILING) SH EFFICACY FIXTURE (CEILING) SH EFFICACY FIXTURE (RECESS) MDANT LIGHT FIXTURE (CEILING) 4' LED STRIP LIGHT K4' LED STRIP LIGHT HAUST FAN	SYMBOL MEAN SYMBOL MEAN ELEC DUP 240 DUP 240 DUP 1 240 DUP 240 DUP 240 FLO JUNC ONL REC NL HOM 2,4,6	ICKUP NING CTRICAL PANEL LEX RECEPTACLE V RECEPTACLE OR RECEPTACLE RECEPTACLE CTION BOX ESSED DOWNLIGHT HERUN: HPC=PANEL DESTINATION, SECIRCUITS	be           8.           tii           w           ai           tc           pi           9.           0.           0.           0.           0.           0.           10           11           12           14           15           16           17           11           12           13           14           14           14           14           15           16           17           18           19           11           12           13           14           15           16           17           18           19           11           11           12           13           14           15           16           17           18           19           11
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LPS LTG/LTS MAX MCB YMBOL ME \$ SM \$ 3-1 \$ SM \$ 3-1 HD DIN ↓ HIC ↓ HIC ↓ HIC ↓ HIC ↓ HIC ↓ HIC ↓ HIC ↓ HIC ↓ HIC ↓ UL	LOW PRESSURE SODIUM LIGHTING METER MAXIMUM MAIN CIRCUIT BREAKER ELECTRICAL NOTE: 'NL' DENOTES 90 MIN ANING NOTE: 'NL' DENOTES 90 MIN ANING NITCH MAY SWITCH MMER SWITCH MMER SWITCH SH EFFICACY FIXTURE (CEILING) SH EFFICACY FIXTURE (RECESS) NDANT LIGHT FIXTURE (CEILING) 4' LED STRIP LIGHT K4' LED STRIP LIGHT K4' LED STRIP LIGHT HAUST FAN 2034/2075 CARBON MONOXIDE ALARM	SYMBOL MEAN SYMBOL MEAN ELEC DUP 240 DUP 240 DUP 10 240 DUP 10 240 0 FLO JUNC 0 NL REC 10 10 10 10 10 10 10 10 10 10	CKUP NING CTRICAL PANEL LEX RECEPTACLE V RECEPTACLE OR RECEPTACLE RECEPTACLE CTION BOX ESSED DOWNLIGHT NERUN: HPC=PANEL DESTINATION, D=CIRCUITS CUIT BREAKER HAUST FAN/ FLUORESCENT	be           8.           tii           w           ai           tc           pi           9.           0.           0.           0.           0.           0.           0.           0.           0.           0.           0.           0.           10.           11.           12.           12.           13.           14.           14.           14.           14.           14.           14.           14.           14.           14.           14.           14.           14.           14.           14.           14.           15.           14.           14.           15.           16.           17.           18.           11.           11.           11.           12.           13.           14
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GROUND

18. Con ceiling s

	SENERAL NOTES
entire installation shall comply with 2017 NEC, 2018 International Energy Conservation	19. Whenever a discrepancy in quantity or size of conduit, wire, equipment devices, circuit
and all applicable local codes and regulation.	breakers, ground fault protection system, etc., (all materials), arises on the drawings or specifications, the contractor shall be responsible for providing and installing all materials and services required by the strictest conditions noted on the drawings or in the specifications to ensure complete and operable systems as required by the owner and engineer.
tions, elements, sub-assemblies and/or parts of said equipment, and the equipment as a including its attachments, will resist a load which exceeds the force level used to restraint nchor the equipment to the supporting structure.	20. It shall be contractor's responsibility to verify type of ceiling systems and to furnish approved lighting fixtures of the type required for mounting in subject ceiling. Where fixtures are recessed in plaster or drywall ceilings, they shall be complete with necessary mounting hardware and plaster
electrical materials and equipment shall be new and shall be listed by Underwriter's atories (UL) and bear their label or listed or certified by a nationally recognized testing rity where UL does not have a listing. Custom made equipment shall have complete test ubmitted by the manufacturer attesting to its safety. In addition, the materials, equipment, stallation shall comply with the requirements of the following:	frames. 21. All recessed lighting fixtures, speakers, receptacles, switches, etc., mounted in the fire rated ceilings or walls shall be enclosed with an approved enclosure carrying the same fire rating as the
American Society of Testing Materials (ASTM)	ceiling or wall by this contractor.
Insulated Power Cable Engineers Association (IPCEA) American Standard Association (ASA) National Fire Protection Association (NFPA) American National Standard Institute (ANSI)	22. Utility penetrations of any kind in fire and smoke partitions and ceiling assemblies, shall be firestopped and sealed with an approved material securely installed.
NEC National Electrical Code (NEC) Institute of Electrical and Electronic Enginners(IEEE) All local codes having jurisdiction	Utility and electrical outlets or boxes shall be securely fastened to the stud of framing of the wall, partition or ceiling assembly. The opening in the gypsum board facing shall be cut so that the clearance between the box and the gypsum board does not exceed 1/8 inch. In smoke walls or partitions, the 1/8 inch clearance shall be filled with an approved fire-rated sealant.
e the codes have different levels of requirements, the most stringent rule shall apply.	23. Architectural reflected ceiling plans indicating the location of lighting fixtures shall take
e contractor shall visit the site including all areas indicated on the drawings. He shall ughly familiarize himself with the existing conditions and by submitting a bid, accepts the ions under which he shall be required to perform his work.	precedence over the locations of same shown on the electrical drawings. Install the lighting fixtures in any given area to agree with the reflected ceiling plans. Discrepancies shall be brought to the attention of the architect.
nall be contractor's responsibility to obtain a complete set of contract documents, addenda, ngs and specifications. He shall check the drawings of the other trades and shall carefully he entire specifications and determine his responsibilities. Failure to do so shall not release ntractor from doing the work in complete accordance with the drawings and specifications.	24. The exact locations and mounting heights of lighting fixtures located in mechanical equipment spaces and storage shall be coordinated in the field before installation to avoid interferences with ducts, piping and other mechanical equipment and all mounting hardware shall be included in base bid. When locations and mounting heights are determined, obtain approval from the engineer prior to installation.
e contractor shall coordinate his work with other trades at the site. Any costs to install work omplish said coordination which differs from the work as shown on the drawings shall be	25. Maximum number of conductors in outlet or junction boxes shall conform to 2017 NEC.
ed by the contractor. Any discrepancies, ambiguities or conflicts shall be brought to the on of the engineer during bid time for clarification. Any such conflicts not clarified prior to all be subject to the interpretation of the engineer at no additional cost to the owner.	26. The exact locations of all electrical devices and equipment shall be coordinated with the architectural elevations, details or sections prior to installation. All electrical devices and equipment shall be recessed in walls, unless otherwise noted. Outlets not indicated on architectural elevations shall be coordinated with the architect prior to rough-in, unless otherwise
e contractor shall provide and keep up-to-date a complete record set of drawings. These shall be corrected accordingly and show every change from the original drawings. This set wing shall be kept on the job site and shall be used only as a record set. This shall not be	noted.
ued as authorization for the contractor to make changes in the layout without definite stion in each case. Upon completion of the work, a set of reproducible contract drawings be obtained from the engineer, and all changes as noted on the record set of drawings shall orporated on reproducible bond with black ink in a neat, legible, understandable and sional manner per Client's request.	27. Review architectural elevations of casework. Outlets mounted above or below, or adjacent to casework shall be coordinated with the architectural drawings, prior to final rough-in. Electrical drawings shall govern number and type of outlets. However, locations shall be as indicated on architectural elevations. Provide conduit, wires and outlets for work required in casework installations. Reference architectural details for method of routing conduit within casework construction. Provide box extensions through all casework. Finish flush with face of splash,
ome instance, it may be necessary to defer work in certain areas and locations until such s existing facilities can be temporarily or permanently rearranged by the owner. Therefore, ever it becomes necessary for the contractor to perform work under this contract in existing in which the owner's work is being performed, the contractor shall advise the owner relative	cabinets, etc. Mounting heights of all devices and equipment are from finished floor to center of devices and equipment, unless otherwise noted. Boxes installed in locations not approved by the architect shall be relocated as directed by the architect at no additional cost to the owner.
requirement and shall follow closely the directive issued by the engineer insofar as time and dure are concerned. nterruption of electrical power shall be kept to a minimum. However, when an interruption is	28. Drawings are diagrammatic only and do not show special conduit routing or lengths required for a complete installation. Routing of raceways shall be at the option of the contractor but shall be in strict compliance with structural requirements and specifications, unless otherwise noted and shall be coordinated with other trades. Do not scale the electrical drawings for locations of any electrical architectural, structural, civil, or mechanical items or features. Refer to architectural and
sary, the shutdown must be coordinated with the owner 7 days prior to the outage. Any me pay and work required to be accomplished on weekends shall be included in the actor's bid. Work in existing switchboards or panelboards shall be coordinated with the prior to removing access panels or doors.	structural dimensional drawings. 29. The equipment grounding conductor runs shall be installed and run continuous from panel to last outlets. This wire shall be pigtailed in each outlet for connection to box and device so that if
shall be responsibility of the contractor to review and to coordinate with the mechanical, fire tion and plumbing drawings for duct lines and equipment.	device is removed, ground will not be interrupted. All equipment grounding conductors shall be insulated green or bare conductors. Alternate methods of identification shall be used.
equipment mounted on roof for connection of HVAC equipment shall be mounted on It stands utilizing approved pitch pockets, flashing, etc	30. For small ac motors not having built-in thermal overload protection, provide manual motor starters with overload heater elements sized to the nameplate current rating of the motor. Small ac motors with built-in thermal overload protection, provide a horse power rated toggle type disconnect switch.
ter all requirements of the specifications and/or the drawings have been fully completed, sentatives of the owner will inspect the work. The contractor shall provide competent nnel to demonstrate the operation of any item or system to the full satisfactory of each sentative. Final acceptance of the work will be made by the owner after receipt of approval	31. Boxes shall be sized for the number and sizes of conductors and conduit entering the box and equipped with plaster extension rings where required.
ecommendation of acceptance from each representative.	32. Lamps: all fixtures shall be high efficacy.
e contractor shall furnish a one year written guarantee of materials and workmanship from te of substantial completion.	33. Where lighting fixtures require the use of acrylic plastic lenses, they shall be 100 percent virgin acrylic thermoplastic, not less than 0.125" thick with an unpenetrated depth of not less than 0.045" equal to ksh-k12, unless otherwise noted.
bordinate with other trades as to the exact location and configuration of their respective ment, supply power and make connection to motors and equipment requiring electrical ctions as indicated on the single line diagram, electrical drawings and drawings of other Review the drawings of other trades for control diagram, size and locations of equipment.	34. Provide sound insulation at all conduit penetrations at sound barrier rated walls. Typical unless otherwise noted.
nnect switches, starters, wiring, controls and conduit for mechanical and plumbing tions shall be provided. The contractor shall be responsible for obtaining manufacturer's drawings prior to roughing in all conduit to this equipment.	35. Where outlets occur at tackable wall panels or other wall finishes, provide extension rings as required so that no space will exist between device plate and backbox, per NEC 370.20, typical. See architectural elevations for wall finishes and locations.
act method and location of conduit penetration and openings in concrete or masonry walls, beams, floors or structural steel members shall be as directed by the structural engineer. m coring, sawcutting, patching, and refinished of walls and surfaces wherever it is sary to penetrate openings shall be sealed in an approved method to meet the fire rating of irticular wall, floor or ceiling. Exact method and locations of conduit penetrations and	36. All conductors for branch circuits shall be THHN/THWN copper AWG or KCML per NEC table 310.16. Grounding shall be "Green wire" or bare copper wire sizes per NEC table 250.122.
ngs in concrete walls or floors shall be for UL approved systems. onnections to vibrating equipment, mechanical and plumbing equipment and seismic	<ul> <li>37. Grounding System:</li> <li>The grounding system shall be derived per NEC 250.50:</li> <li>A) 10' of meter underground water pipe</li> <li>B) Meter frame of building or structure where effectively grounded</li> </ul>
ations: Liquid-tight conduit in all locations	C) An electrode encased by at least 2" of concrete located within or near the bottom of a concrete foundation that is in direct contact with the earth. 20' zinc galvanized or other electrically conductive steel reinforcing bar or rod of not less than 1/2" in diameter or bare copper conductor not smaller than #4AWG.
Maximum length of flexible conduit runs shall be 6'-0" u.O.N. juipment outlets, lighting fixtures, conduit, wire and connection methods in HVAC nums shall be approved for use in plenums and shall conform to 2017 NEC.	38. Listed or labeled equipment shall be installed and used in accordance with any instructions included in the listing or labeling. Section 110.3(b)
onduit shall not be installed in any floor slab. Conduit shall be installed concealed in the space, concealed in walls, or below slab on grade. Unless otherwise noted.	39. Contractor must verify locations of all equipment and points of connection and coordinate with construction manager, architect, civil engineer, landscape architect, and utility consultants prior to
	start of construction. No compensation will be made for relocation of equipment and associated cost. 40. This document is not for bid or construction until the plan has been reviewed and approved by
	all authorities having jurisdiction and the permit is obtained. No compensation will be made for additional work due to the violation of this requirement.

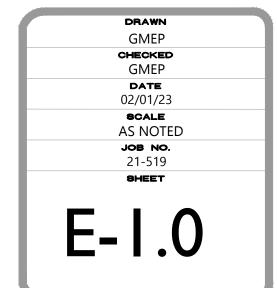
ELECTRICAL SHEET INDEX										
NO.	SHEET	DESCRIPTION								
I	E-I <i>.O</i>	ELECTRICAL GENERAL NOTES, SYMBOLS, & SHEET INDEX								
2	2 E-I.I ELECTRICAL SINGLE LINE DIAGRAM & SCHEDULES									
3	E-2.0	ELECTRICAL LIGHTING PLAN								
4	E-2.I	ELECTRICAL POWER PLAN								
		•								

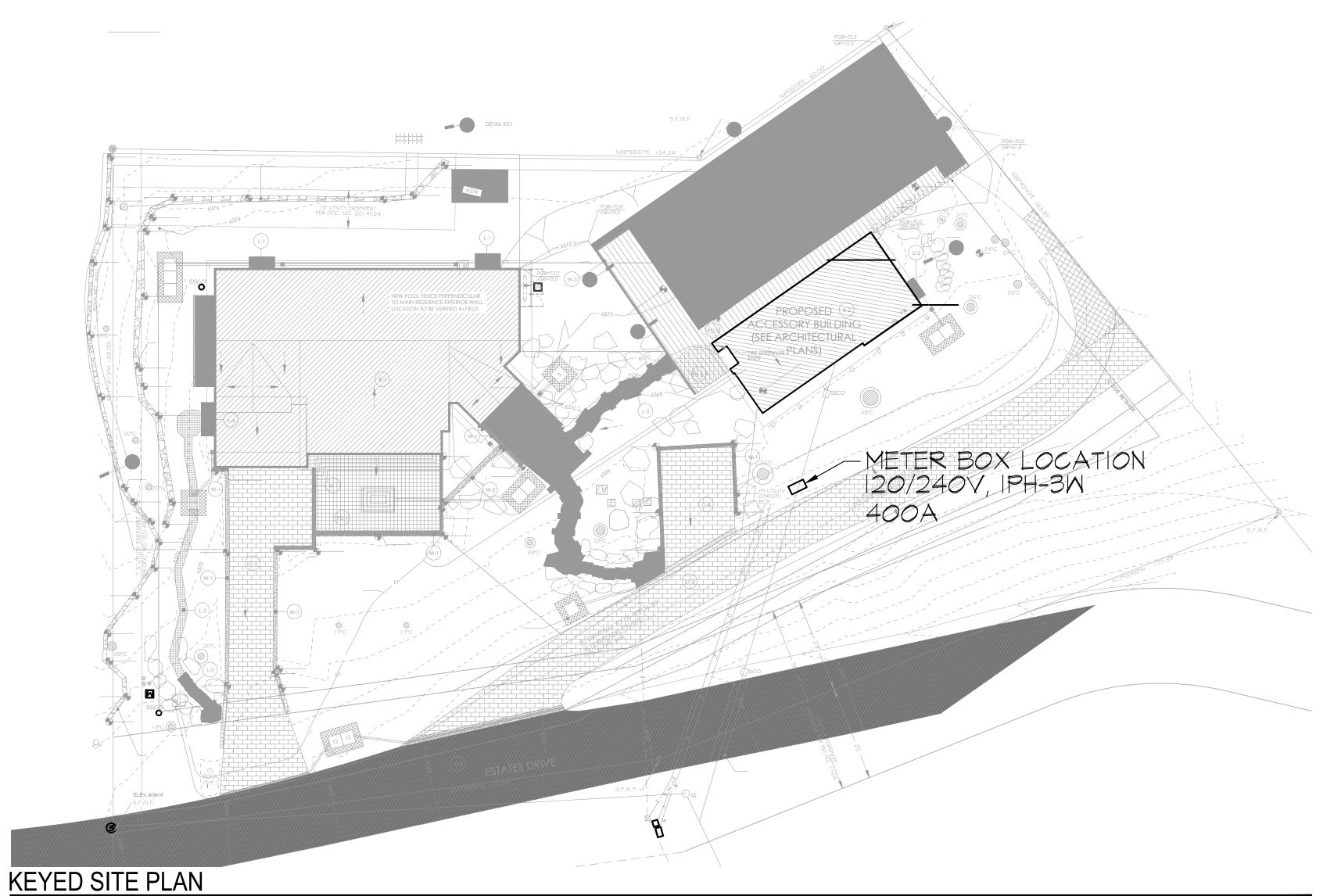




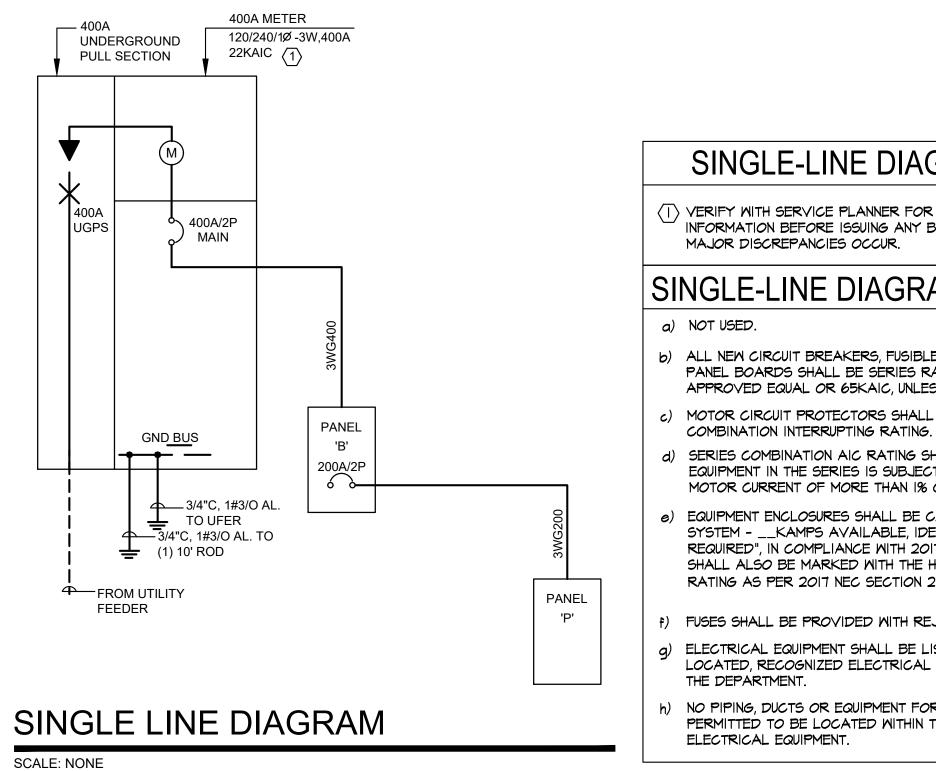








SCALE:NONE



#### (NEW PANEL) PANEL 'B'

PANEL 'B'		MAIN (AM	· ./			<u>M.</u>	<u>L.O</u>				00	S RA		G	400 A			UNTING: SURFACE
DESCRIPTION	VOLT/ ØA	AMPS ØB	L T G	R E C	M I S	CKT NO	BKR	E ØA	US ØB	BKR	CKT NO	M I S	КШС	L T G	VOLTA ØA	MPS ØB		DESCRIPTION
OW LEVEL LIGHTING	600		6		3		20-1	Ĩ-		20-1		0	0	0	720			STORAGE REC
XTERIOR LTG		400				3	20-1	1 🕹		20-1					720	900		EXTERIOR REC
PPER LEVEL LTG 1	600	100				5	20-1	🔶		20-1					180			BATH REC
/V EQUIPMENT		500				7	20-1	1 🕹		50/	8					400		STEAM SHOWER
LOOR REC 1	600	000				9	20-1	╎╺	$\square$		10				4000		-	
LOOR REC 2		600				11	20-1	1 🕹		20-1						900		TREADMILL
	900	000				13	20-1	🛓	$\square$	20-1	_				900			PELETON
TORAGE REC		360					20-1	łΙ		20-1	_				300	90		WATER FOUNTAIN
OLD PLUNGE EQUIP	1357	000					20/	┤╷	$\_\_$	20-1					540	30		EXERCISE CONV
	1007	1357				19	$\frac{20}{2}$	Ιİ		20-1					540	130		COLD PLUNGE
VE SNOW MELT	1200	1007				21	20-1	╎╷	$\_\_$	20 1	20					130		SPACE
SHADE SCREENS	1200	600						łİ		20-1						180		WATER HEATER
PUMP 1	1920	000						╎╷	$\_\_$	20-1					1080	100		
PUMP 2	1920	696					20-1	ΙI		20-1					1060	720		STORAGE CONV
	1500	090				29	20-1	łΤ		40/	30				3000	/20		EXTERIOR REC
<u>UH-1</u>	1300	1500					20-1	ΙI							3000	700		HP-1
<u>UH-2</u>	1500	1300	-	-			20-1	ΙŢ		/ 2	34					300		
<u>UH-3</u>	1300	360	<u> </u>	<u> </u>				┤ <mark>╶</mark> ╹			36							SPACE
<sup>•</sup> C-1	360	300				35 37		łŤ			30 38							SPACE
	360	700		—			$\frac{2}{20}$	┤╹		200 /								SPACE
C-2	700	360	<u> </u>	<u> </u>		39		+	-	200	40							SUBPANEL 'P'
	360					41	/ 2	🕈		/ 2								
SUB-TOTAL		ØA=	213	319	VA	<b>\</b>			ØВ=	1827	73 \	√A						
OTAL CONNECTED VA	= ;	39592	N	OTE	<u>c</u> .	6	654				<ul> <li>w</li> </ul>	/ (			E PLANNI			
	-	0			<u>.</u> .	$\frac{1}{2}$						<u>,</u>						MENT. REFER TO
									E (.(.))		HUN	12 1						WENT, REFER TO
	0 =												- N.A.			<b>n'</b>		
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OTAL OTHER LOAD PANEL LOAD FEEDER AMPS	= = 39 =	0 9.6KVA 178A					MEC		NICAL		IS A	<u>AND</u>	M/	<u>ANU</u>	FACTURE	R'S R		
TOTAL OTHER LOAD PANEL LOAD FEEDER AMPS NEW PANEL)	= = 39 =	0 0.6KVA 178A LOCATIO			PO		MEC		NICAL								120	0/240 V1Ø3W
TOTAL OTHER LOAD PANEL LOAD FEEDER AMPS	= 39 =	0 0.6KVA 178A LOCATIO MAIN (AM		R	M	0L M.	MEC EQU L.O		ENT		BUS		\TIN		200 AI	MPS	120	
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### ELECTRICAL FEEDER SCHEDULE-AL

			THREE WIRE + GROUND						
_	OVERCURRENT DEVICE SETTINGS	FEEDER IDENTIFIER	ALUMINUM INSULATION PER SPECIFICATIONS						
	20	3WG20	(3#10 + 1#10G) 3/4"C.						
	30	3WG30	(3#8 + 1#8G) 3/4"C.						
	40	3WG40	(3#6 + 1#8G) 3/4"C.						
	50	3WG50	(3#4 + 1#8G) 1"C.						
	65	3WG65	(3#3 + 1#6G) 1-1/4"C.						
	75	3WG75	(3#2 + 1#6G) 1-1/4"C.						
	90	3WG90	(3#1 + 1#6G) 1-1/4"C.						
	100	3WG100	(3#1/0 + 1#6G) 1-1/2"C.						
	120	3WG120	(3#1/0 + 1#4G) 1-1/2"C.						
	125	3WG125	(3#2/0 + 1#4G) 2"C.						
	150	3WG150	(3#3/0 + 1#4G) 2"C.						
	175	3WG175	(3#4/0 + 1#4G) 2"C.						
	200	3WG200	(3#250KCMIL + 1#2G) 2-1/2"C.						
	250	3WG250	(3#350KCMIL + 1#2G) 3"C.						
	300	3WG300	(3#500KCMIL + 1#1G) 3"C.						
	350	3WG350	2[(3#4/0 + 1#1G) 2"C.]						
	400	3WG400	2[(3#250KCMIL + 1#1/0G) 2-1/2"C.]						
	450	3WG450	2[(3#300KCMIL + 1#1/0G) 2-1/2"C.]						
	500	3WG500	2[(3#350KCMIL + 1#1/0G) 3"C.]						
	600	3WG600	2[(3#500KCMIL + 1#3/0G) 3"C.]						

# SINGLE-LINE DIAGRAM KEY NOTES

 $\langle | \rangle$  verify with service planner for aic rating and electrical information before issuing any bid. Notify engineer immediately if any

### SINGLE-LINE DIAGRAM GENERAL NOTES

b) ALL NEW CIRCUIT BREAKERS, FUSIBLE SWITCHES IN MAINSWITCHBOARD OR PANEL BOARDS SHALL BE SERIES RATED TO MATCH EXISTING AIC RATING OR APPROVED EQUAL OR 65KAIC, UNLESS NOTED OTHERWISE.

c) MOTOR CIRCUIT PROTECTORS SHALL NOT BE A PART OF A SERIES

d) SERIES COMBINATION AIC RATING SHALL NOT BE USED WHEN THE SECONDARY EQUIPMENT IN THE SERIES IS SUBJECTED TO A TOTAL CONNECTED FULL LOAD MOTOR CURRENT OF MORE THAN 1% OF ITS AIC RATING.

e) EQUIPMENT ENCLOSURES SHALL BE CLEARLY MARKED "CAUTION-SERIES RATED SYSTEM - \_\_KAMPS AVAILABLE, IDENTIFIED REPLACEMENT COMPONENTS REQUIRED", IN COMPLIANCE WITH 2017 NEC SECTION 110-22. END USE EQUIPMENT SHALL ALSO BE MARKED WITH THE HIGHER SERIES COMBINATION INTERRUPTING RATING AS PER 2017 NEC SECTION 240-83(C). NO EXCEPTION.

F) FUSES SHALL BE PROVIDED WITH REJECTION TYPE FUSE HOLDERS.

q) ELECTRICAL EQUIPMENT SHALL BE LISTED BY THE CITY, WHERE THE PROJECT IS LOCATED, RECOGNIZED ELECTRICAL TESTING LABORATORY OR APPROVED BY

h) NO PIPING, DUCTS OR EQUIPMENT FOREIGN TO ELECTRICAL EQUIPMENT SHALL BE PERMITTED TO BE LOCATED WITHIN THE DEDICATED SPACE ABOVE THE

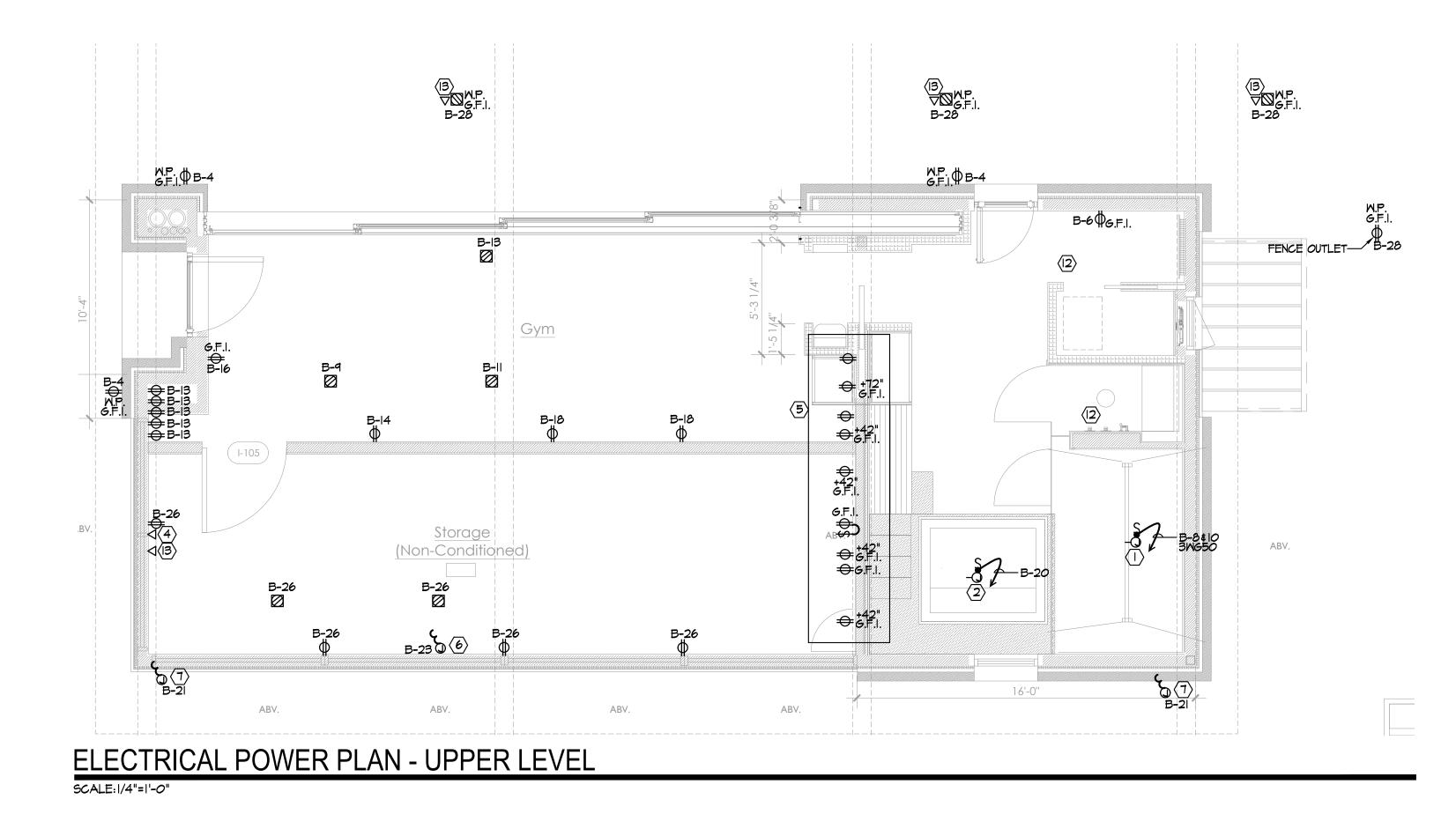
RECEPTACLE	900					20-1		-+	· 20–1				900		PELETON
STORAGE REC		360			15	20-1	╝┽──	-+-	· 20–1					900	WATER FOUNTAIN
COLD PLUNGE EQUIP	1357				17	20/	] 🔶		· 20–1	18			540		EXERCISE CONV
		1357			19	2	1 +	_∳-	· 20-1	20				1300	COLD PLUNGE
EVE SNOW MELT	1200					20-1		-+		22					SPACE
SHADE SCREENS		600			23	20-1	┇ <sub>╋</sub> —	-	20-1	24				180	WATER HEATER
PUMP 1	1920					20-1			20-1				1080		STORAGE CONV
PUMP 2		696				20-1		_	· 20-1					720	EXTERIOR REC
EUH-1	1500					20-1			40/	30			3000		HP-1
EUH-2		1500				20-1		_	$\cdot / 2$	_				3000	
EUH-3	1500					20-1				34					SPACE
FC-1		360				20/		_		36					SPACE
	360				37					38		+			SPACE
FC-2		360			_	20/		_	. 200/	40					SUBPANEL 'P'
	360				41				. 7	42	$\vdash$	+			
	1000	Ø1-	017	10.1		<u>//                                   </u>		<u> </u>	1/ 2						
SUB-TOTAL		ØA=	213	19	VA 		Ĺ	)R=	1827	/3 \	VA				
TOTAL CONNECTED VA		39592	NC	DTES	$\sim$						,		E PLANNE		
	0 =	0			2	) PR(	DVIDE	CO	NNEC	TION	NS FO	R M	ECHANICA	L EQUI	PMENT. REFER TO
TOTAL OTHER LOAD	=	0				MEG	CHANIC	CAL	PLAN	NS /	AND N	IANU	FACTURE	R'S RE	COMMENDATIONS.
PANEL LOAD	= 39	.6KVA													
FEEDER AMPS	=	178A													
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PANEL LOAD	=	OKVA													
FEEDER AMPS	=	0A													

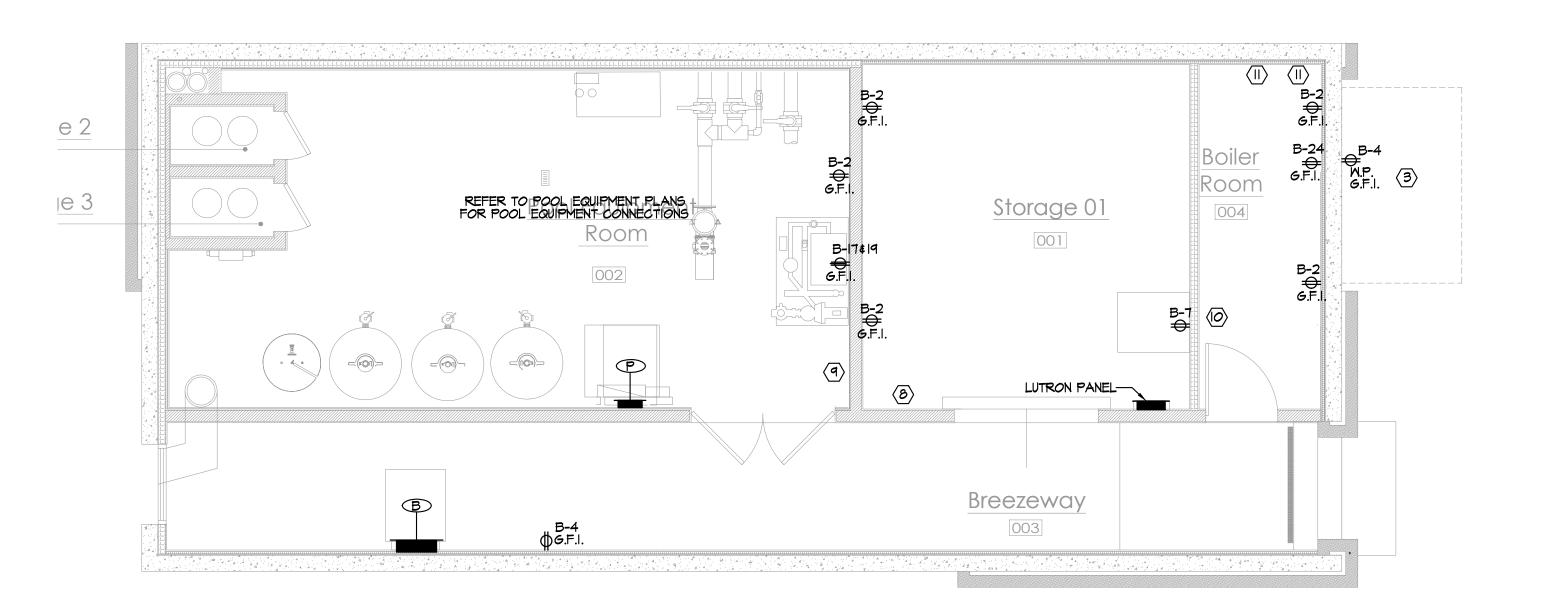
	RE	/ISIONS
NO.	DATE	DESCRIPTION
	04/28/22	REVISION
2	05/18/22	PLAN CHECK
ß	09/14/22	REVISIONS
4	02/01/23	REVISIONS
	SEAL:	ANGYI GANGYI THOU A. 6/30/24
2	6439 Ranci Lake Fo	D E P INEERS ho Pkwy. S., Ste 120 orest, CA 92630 949-267-9095
PROJECT NAME:	SUN DOG	RESIDENCE 230 ESTATES DRIVE INCLINE VILLAGE, NV 89451
SHEET TITLE	Ĭ, L	
		<b>DRAWN</b> GMEP
	C	CHECKED GMEP
		<b>DATE</b> 02/01/23
F		DATE

JOB NO. 21-519

SHEET

**E-I**.







# ELECTRICAL POWER PLAN - LOWER LEVEL

	REVISIONS
	04/28/22 REVISION
	2 05/18/22 PLAN CHECK
	3 09/14/22 REVISIONS
	<u>/4</u> 02/01/23 REVISIONS
	SEAL:
	GANGYI THOU
	0000 Exa. 6/30/24
	No. 22069
	ENGINEERS
NG	26439 Rancho Pkwy. S., Ste 120 Lake Forest, CA 92630
ALL DCAL	Tel: 949-267-9095
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15(B)16.	SCALE AS NOTED JOB NO.
RIFY SIZE	21-519 8HEET
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E-2.1

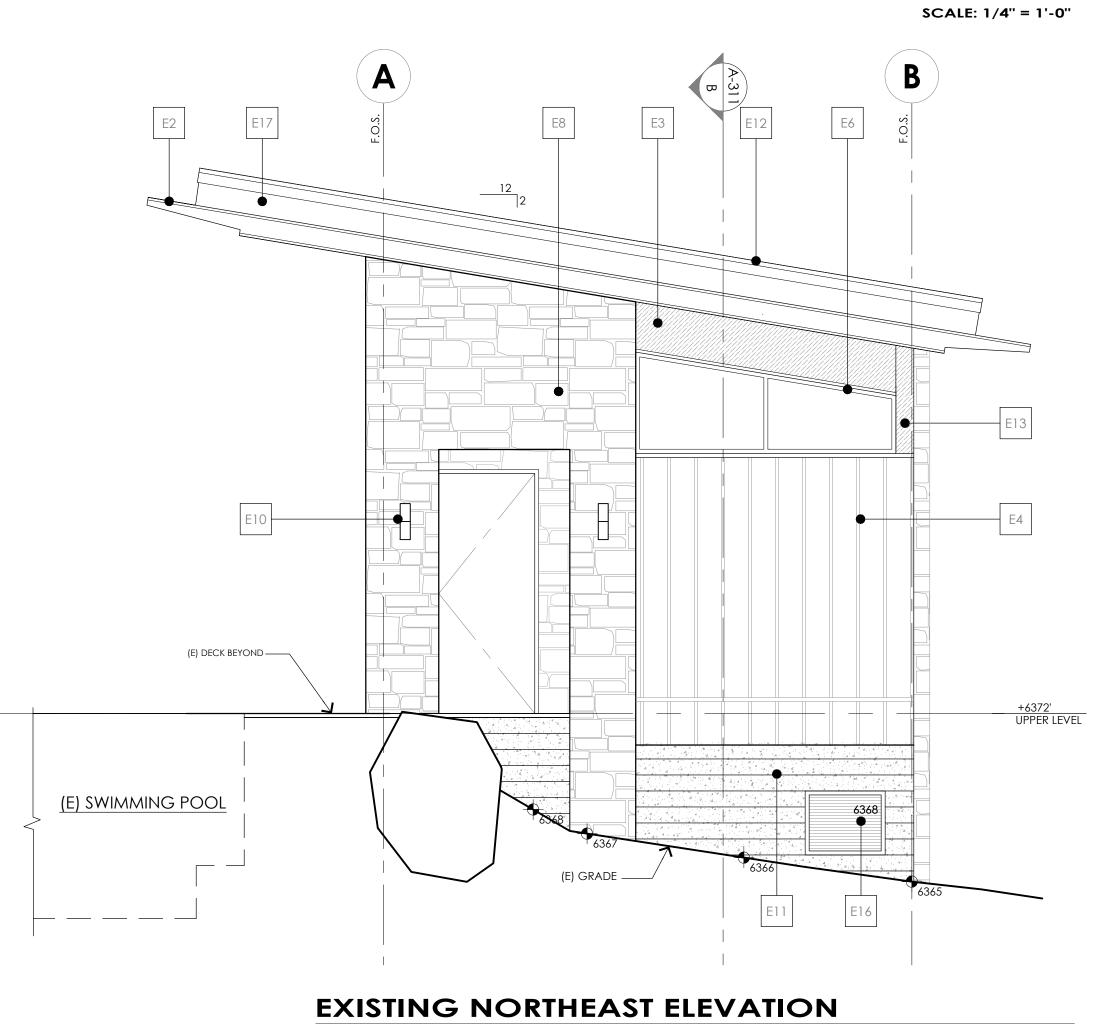
# ELECTRICAL GENERAL NOTES

- VERIFY ALL LIGHT AND SWITCH LOCATIONS WITH ARCHITECTURAL LIGHTING PLAN. VERIFY LIGHTING SPECIFICATIONS WITH OWNER AND ARCHITECT.
- 2. THIS DRAWING IS FOR REFERENCE ONLY. WIRE CKT 20 ON THE PLAN TO DETECTORS FOR A COMPLETE AND OPERATIONAL SYSTEM. VERIFY W/LOC JURISDICTION FOR ALARM DETECTOR REQUIREMENT BEFORE ROUGH-IN.
- 3. IN DWELLING AREA SPECIFIED IN NEC 2017 SECTION 210.52, ALL 125-VOLT, AND 20- AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.
- 4. OUTLETS INSTALLED IN KITCHENS, FAMILY ROOMS, LIVING ROOMS, PARLOR LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, KITCHENS OR SIMILAR ROOMS OR AREAS WILL BE PROTECTED LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION-TYPE, INSTALLED PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
- 5. ALL NEW SMOKE ALARMS & CARBON MONOXIDE ALARM ARE 120V HARD-WITH BATTERY BACKUP AND ARE AUDIBLE IN ALL SLEEPING ROOMS.
- 6. ELECTRICAL CONTRACTOR MUST VERIFY MECHANICAL EQUIPMENT INFORM FOR MECHANICAL DRAWING BEFORE ISSUING ANY BID. NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCY OCCUR.
- 7. LIGHT FIXTURES ABOVE THE BATH TUB AND ON THE EXTERIOR OF THE BUILT SHALL BE WET OR DAMP LOCATION RATED PER 410.10(A) AND (D) OF THE

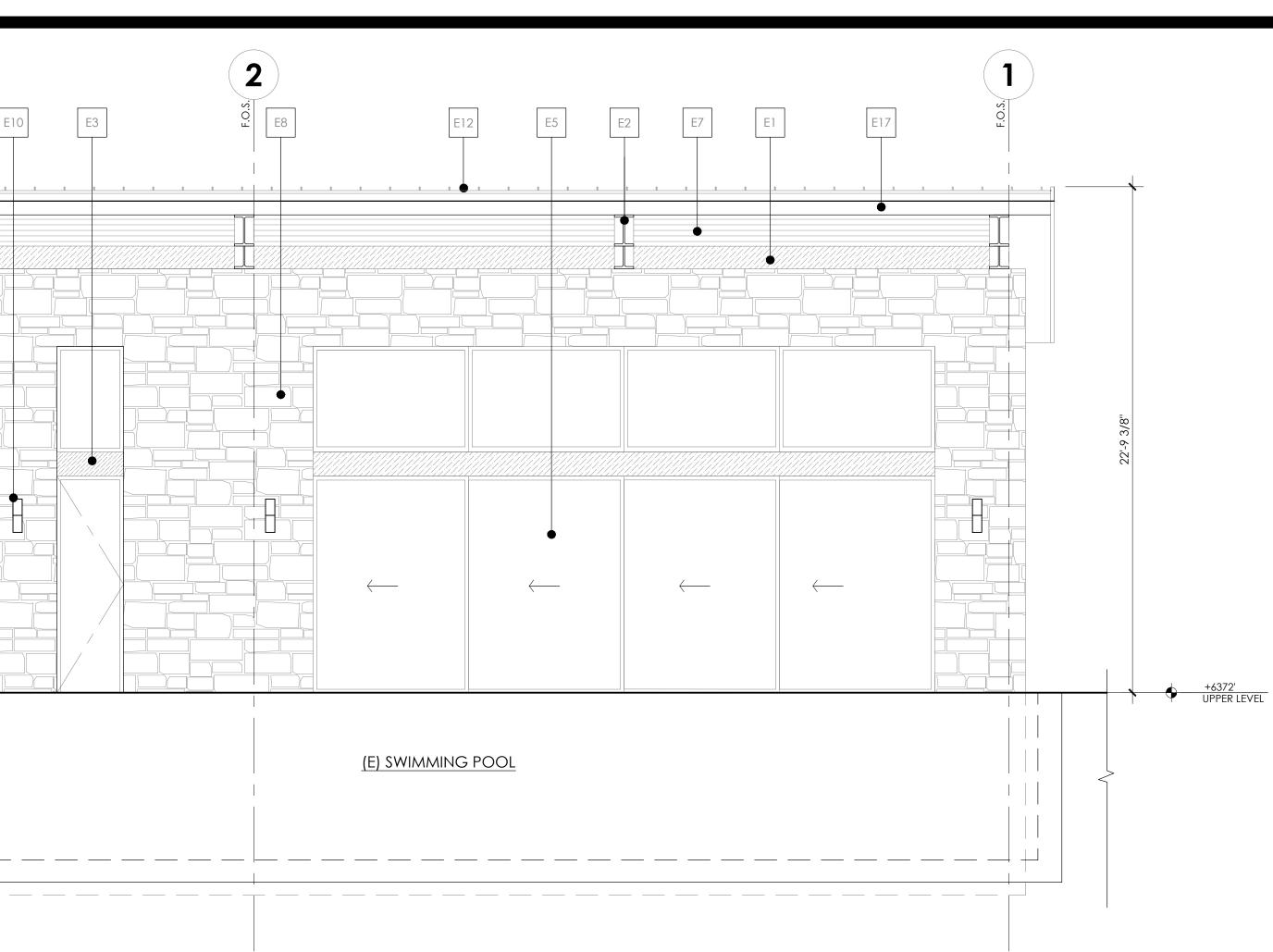
# ELECTRICAL POWER KEY NOTES

- PROVIDE 50A/2P MOTOR RATED SWITCH FOR CONNECTION TO STEAM UNIT. CONNECTION IS PLACEHOLDER. VERIFY ALL CONNECTION REQUIREMENTS AND LOCATION WITH APPROVED SHOP DRAWINGS OR MANUFACTURER'S RECOMMENDATION. NOTIFY ENGINEER OF ANY DISCREPANCY.
- 2 PROVIDE 20A/IP MOTOR RATED SWITCH FOR CONNECTION TO COLD PLUNGE CONNECTION IS PLACEHOLDER. VERIFY ALL CONNECTION REQUIREMENTS AN LOCATION WITH APPROVED SHOP DRAWINGS OR MANUFACTURER'S RECOMMENDATION. NOTIFY ENGINEER OF ANY DISCREPANCY.
- $\langle 3 \rangle$  provide fused disconnect for connection to mechanical HP. Verify WITH MANUFACTURERS RECOMMENDATIONS. CONDUCTORS TO BE SIZED PER 310.15(B)16.
- $\langle 4 \rangle$  PROVIDE OUTLET (1)RG6 (1)CAT5. RUN CABLE TO THE CATV BOX AND RUN C CABLE TO THE APPROPRIATE DESTINATION. VERIFY WITH TV SERVICE PROV AND IT CONSULTANT BEFORE ROUGH-IN.
- $\langle 5 \rangle$  OUTLETS ARE SHOWN FOR FUTURE EQUIPMENT USE.
- 6 DENOTES LOCATION OF J-BOX FOR CONNECTION TO POWERED SHADE SCREE VERIFY EXACT LOCATION WITH ARCHITECT BEFORE ROUGH-IN.
- $\langle 7 \rangle$  denotes location of J-box for connection to powered eve snow m VERIFY EXACT LOCATION WITH ARCHITECT BEFORE ROUGH-IN.
- 8 PROVIDE FUSED DISCONNECT FOR CONNECTION TO MECHANICAL EUH-I. VERIF WITH MANUFACTURERS RECOMMENDATIONS. CONDUCTORS TO BE SIZED PER 310.15(B)16.
- Image: PROVIDE FUSED DISCONNECT FOR CONNECTION TO MECHANICAL EUH-2. VERI

   WITH MANUFACTURERS RECOMMENDATIONS. CONDUCTORS TO BE SIZED PER
   310.15(B)16.
- (O) PROVIDE FUSED DISCONNECT FOR CONNECTION TO MECHANICAL EUH-3. VERI WITH MANUFACTURERS RECOMMENDATIONS. CONDUCTORS TO BE SIZED PER 310.15(B)16.
- $\langle II \rangle$  provide fused disconnect for connection to pump. Verify size with MANUFACTURERS RECOMMENDATIONS. CONDUCTORS TO BE SIZED PER 310.15
- (2) PROVIDE A MOTOR RATED SWITCH FOR CONNECTION TO THE FC UNITS. VERI WITH MANUFACTURERS RECOMMENDATIONS. CONDUCTORS TO BE SIZED PER 310.15(B)16.
- (13) PROVIDE (1)CAT5 DATA JACK AND RUN CAT5 CABLE TO THE DESTINATION SUGGESTED BY THE IT CONSULTANT.



3 \_\_\_\_\_ POOL COVER KEY (E) DECK BEYOND ——

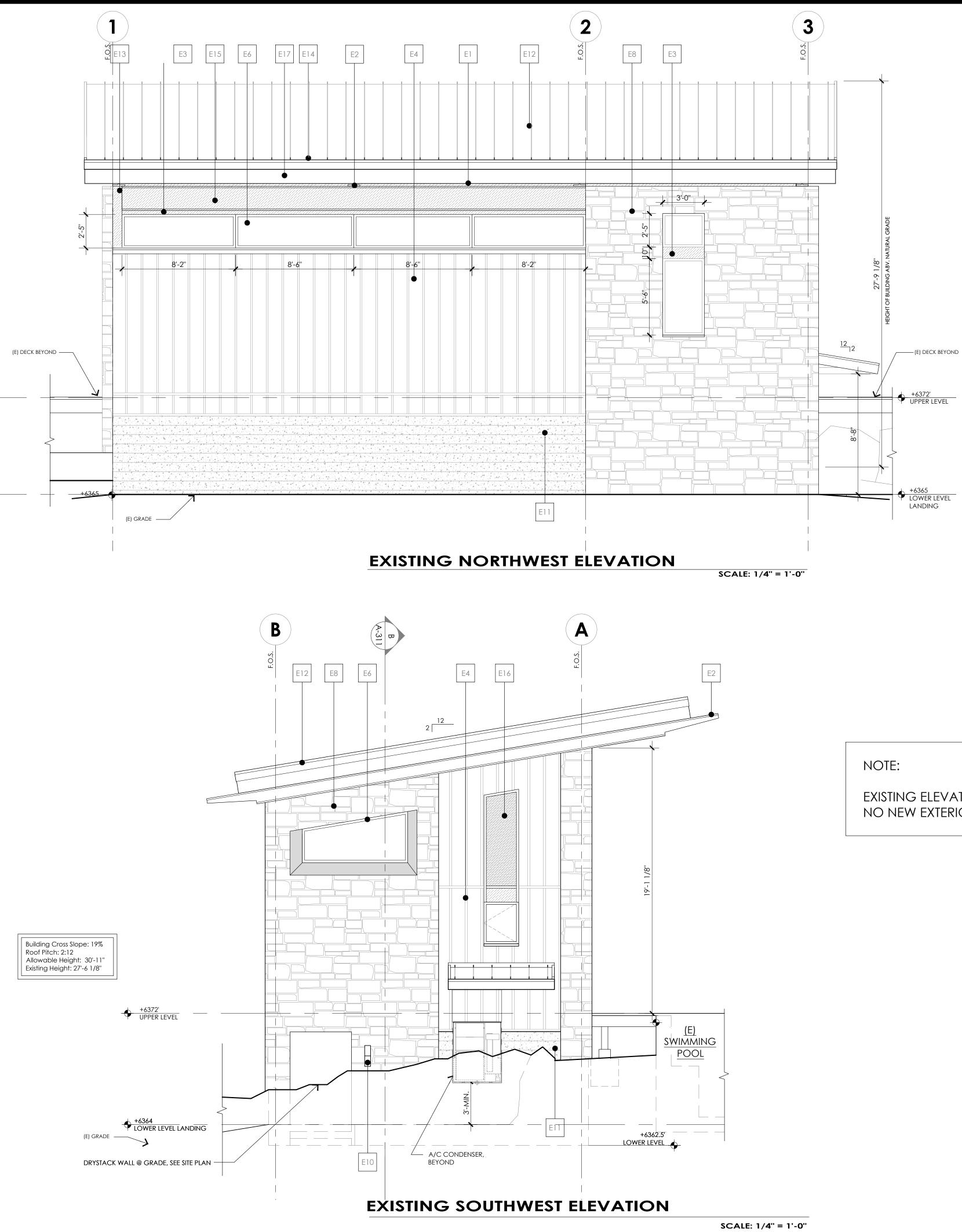


## **EXISTING SOUTHEAST ELEVATION**

SCALE: 1/4" = 1'-0"

	G ELEVATIONS TO REMAIN. W EXTERIOR CONSTRUCTION	EXISTING ELEVATIONS
		Scale 1/4" = 1'-0" Sheet Name
		SignatureNo.DescriptionDateTRPA - APPLICATION05/01/22COUNTY PERMIT SUBMITTAL05/01/22Image: Colspan="2">OUNTY PERMIT SUBMITTAL
		CONTRACTOR DRAWINGS COMPILEED PER NRS 623.035 (D) A CONTRACTOR LICENSED PURSUANT TO THE PROVISIONS OF CHAPTER 624 OF NRS WHO PROVIDES HIS OR HER OWN DRAWINGS FOR HIS OR HER OWN CONSTRUCTION ACTIVITIES.
E15 E16 E17	SUMMIT SNOW MELT EDGE EXPOSED STEEL W-BEAM MECHANICAL EXHAUST SCREEN TO BE WUI COMPLIANT VENT PER IWUIC 504.10, DARK GREY FINISH TO MATCH WINDOW FRAMES METAL FASCIA TO BE MINIMUM 22 GA KYNAR FINISHED GALVANIZED METAL, DARK GREY COLOR TO MATCH MAIN HOUSE. ALL FASTENERS TO BE CONCEALED	<b>SUN DOG ADU</b> 230 Estates Drive Incline Village, NV 89451 APN: 130-163-27
E1 E2 E3 E4 E5 E6 E7 E8 E10 E11 E12 E13 E14	BLACK METAL CLAD CLOSURE PANELS BLACK METAL CLAD CLOSURE PANELS EXPOSED STEEL RAFTER DETAIL EXPOSED STEEL CLADDING, PAINTED BLACK TO MATCH EXISTENCE BOARD & BATTEN, HARDIE PANEL VERTICAL SIDING OR EQ., COLOR IRON GREY TO MATCH EXISTING RESIDENCE ALUMINUM LIFT & SLIDE GLASS DOOR OR EQ. w/ BLACK FRAME TO MATCH EXISTING RESIDENCE DOOR / WINDOW FRAMESCLAD-OR EQ. w/ BLACK FRAME TO MATCH EXISTING RESIDENCE OAK WOOD SOFFIT BOARDS TO MATCH EXISTING HOUSE RANDOM ASHLAR LIMESTONE CUT STONE VENEER, TUXEDO GREY OR EQ.TO MATCH EXISTING RESIDENCE EXTERIOR LIGHT - MODERN FORMS DOUBLE DOWN BK-BLACK BOARD FORMED CONCRETE WALLS CLASS "A" STANDING SEAM METAL ROOF DARK GREY PAINTED METAL TO MATCH (E) RESIDENCE STEEL COLUMN SNOW MELT ROOF EDGE & GUTTER DETAILW/ 4" GUTTERS SUMMIT SNOW MELT EDGE	DENNIS SOCOLEAN RINNOVO GROUP, INC. 1512 EUREKA ROAD SUITE 210 ROSEVILLE CA 95661 NVCL - 0089383 NVCL - 0089383 WC BUSINESS LICENSE W003846A-LIC PHONE - 916-941-6498 / 916-826-1639 DENNIS@RINNOVOGROUP.COM

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E1 E2 E3 E4 E5 E6 E7 E8 E10	KEYNDTES BLACK METAL CLAD CLOSURE PANELS BLACK METAL CLAD CLOSURE PANELS EXPOSED STEEL RAFTER DETAIL EXPOSED STEEL CLADDING, PAINTED BLACK TO MATCH EXISTENCE BOARD & BATTEN, HARDIE PANEL VERTICAL SIDING OR EQ., COLOR IRON GREY TO MATCH EXISTING RESIDENCE ALUMINUM LIFT & SLIDE GLASS DOOR OR EQ. W/ BLACK FRAME TO MATCH EXISTING RESIDENCE DOOR / WINDOW FRAMESCLAD-OR EQ. W/ BLACK FRAME TO MATCH EXISTING RESIDENCE OAK WOOD SOFFIT BOARDS TO MATCH EXISTING HOUSE RANDOM ASHLAR LIMESTONE CUT STONE VENEER, TUXEDO GREY OR EQ.TO MATCH EXISTING RESIDENCE EXTERIOR LIGHT - MODERN FORMS DOUBLE DOWN BK-BLACK	DENNIS SOCOLEAN RINNOVO GROUP, INC. 1512 EUREKA ROAD SUITE 210 ROSEVILLE CA 95661 VVCL – 0089383 VVCL – 0089383 WC BUSINESS LICENSE W003846A-LIC PHONE – 916-941-6498 / 916-826-1639 DENNIS@RINNOVOGROUP.COM
E11 E12	BOARD FORMED CONCRETE WALLS CLASS "A" STANDING SEAM METAL ROOF DARK GREY PAINTED METAL TO MATCH (E) RESIDENCE	DENNIS SO RINNOVO 1512 EURE ROSEVILLE NVCL – 008 WC BUSINE PHONE – 9 DENNIS@RI
E13	STEEL COLUMN SNOW MELT ROOF EDGE & GUTTER DETAILW/ 4" GUTTERS SUMMIT SNOW MELT EDGE	
E15	exposed steel w-beam	_
E16	MECHANICAL EXHAUST SCREEN TO BE WUI COMPLIANT VENT PER IWUIC 504.10, DARK GREY FINISH TO MATCH WINDOW FRAMES METAL FASCIA TO BE MINIMUM 22 GA KYNAR FINISHED GALVANIZED METAL, DARK GREY COLOR TO MATCH MAIN HOUSE. ALL FASTENERS TO BE CONCEALED	<b>G ADU</b> es Drive e, NV 8945 )-163-27
	NOTE: COLOR: THE COLOR OF THIS STRUCTURE, INCLUDING ANY FENCES ON THE PROPERTY, SHALL BE COMPTIBLE WITH THE SURROUNDINGS. SUBDUED COLORS IN THE EARTHTONE AND WOODTONE RANGES SHALL BE USED FOR THE PRIMARY COLOR OF THE STRUCTURE. HUES SHALL BE WITHIN THE RANGE OF NATURAL COLORS THAT BLEND, RATHER THAN CONTRAST , WITH THE EXISTING VEGETATION AND EARTH	<b>SUN DOG</b> 230 Estates ncline Village, APN: 130-1

COLOR: THE COLOR OF THIS STRUCTURE, INCLUDING ANY FENCES ON THE PROPERTY, SHALL BE COMPTIBLE WITH THE SURROUNDINGS. SUBDUED COLORS IN THE EARTHTONE AND WOODTONE RANGES SHALL BE USED FOR THE PRIMARY COLOR OF THE STRUCTURE. HUES SHALL BE WITHIN THE RANGE OF NATURAL COLORS THAT BLEND, RATHER THAN CONTRAST , WITH THE EXISTING VEGETATION AND EARTH HUES. EARTHTONE COLORS ARE CONSIDERED TO BE SHADES OF REDDISH BROWN, BROWN, TAN, OCHRE, AND UMBER.

ROOFS: ROOFS SHALL BE COMPOSED OF NON-GLARE EARTHTONE OR WOODTONE MATERIALS THAT MINIMIZE REFLECTIVITY.

FENCES: WOODEN FENCES SHALL BE USED WHENEVER POSSIBLE. IF CYCLONE FENCES MUST BE USED, IT SHALL BE COATED WITH BROWN OR BLACK VINYL, INCLUDING FENCE POLES.

EXISTING ELEVATIONS TO REMAIN. NO NEW EXTERIOR CONSTRUCTION

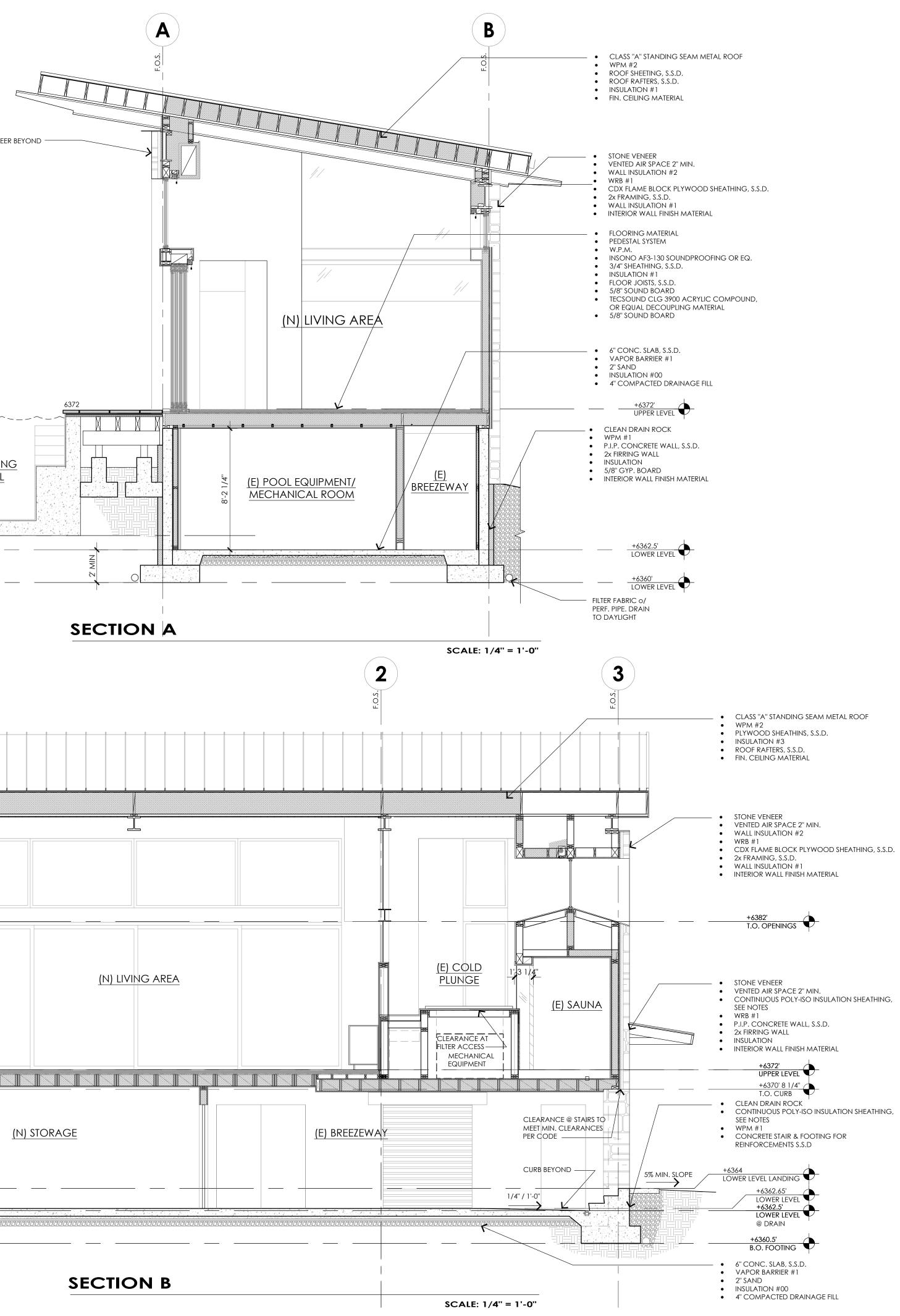
CONTRACTOR DRAWINGS COMPILEED PER NRS 623.035 (D) A CONTRACTOR LICENSED PURSUANT TO THE **PROVISIONS OF CHAPTER** 624 OF NRS WHO PROVIDES HIS OR HER OWN DRAWINGS FOR HIS OR HER OWN CONSTRUCTION ACTIVITIES.

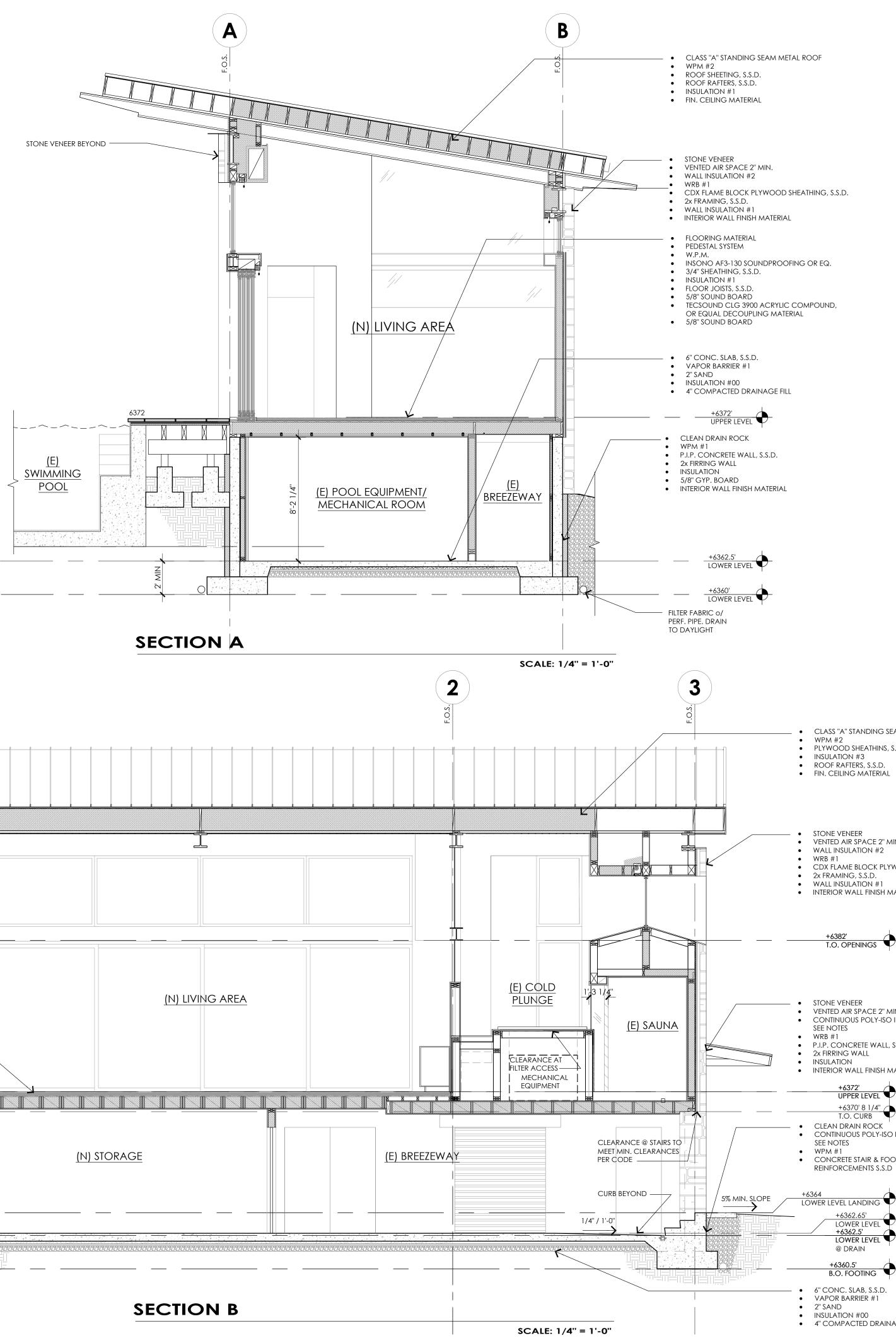
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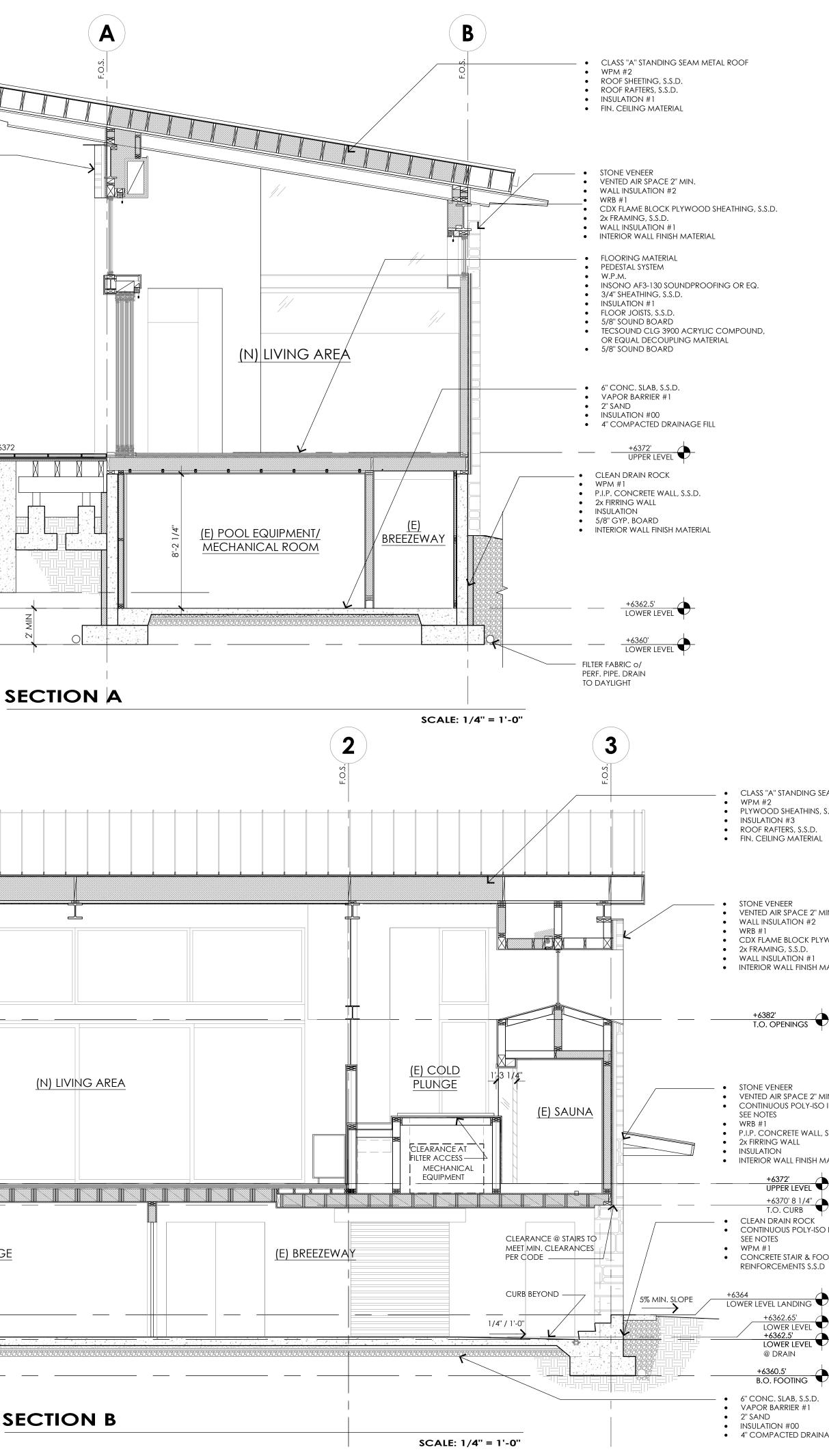
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	TRPA - APPLICATION	05/01/22			
	COUNTY PERMIT SUBMITTAL	05/01/22			
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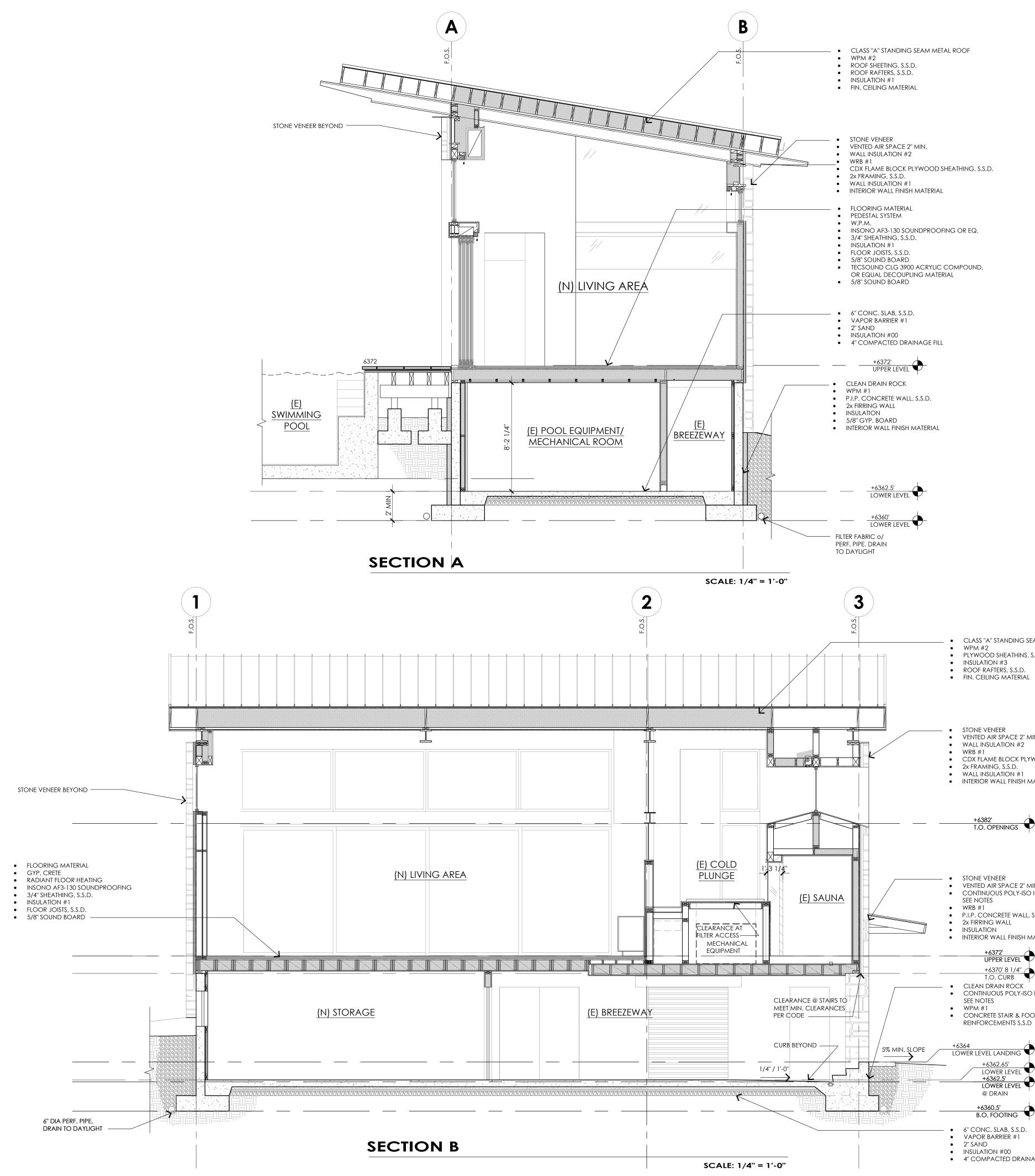
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A-212









**NO CHANGE** 

INSULATION MATERIALS LIST & NOTES

INSULATION #00: R-10 RIGID INSULATION

INSULATION #2: 1 1/2" RIGID INSULATION

**RECOMMENDATIONS & SPECIFICATIONS** 

WATERPROOFING MATERIALS LIST & NOTES

UNDER CONCRETE SLAB VAPOR BARRIER<sup>\*</sup>

EXTERIOR WALL INSULATION #1:

INSULATION #1: R-30 FIBERGLASS SOUND BATT INSULATION

INSULATION #2: R-21 CLOSED CELL SPRAY FOAM INSULATION

ROOFING INSULATION: INSULATION #4: R-49 CLOSED CELL SPRAY FOAM INSULATION

\*ALL MATERIALS MUST BE INSTALLED PER MANUFACTURER'S

CONCRETE SLAB: VAPOR BARRIER #1- STEGO WRAP 15-MIL VAPOR BARRIER.-

NOTE: THE CONCRETE SLAB ALSO HAS AN UNDER SLAB

BELOW GRADE CONCRETE WALLS: WPM #1- TREMCO PARASEAL WATERPROOFING SYSTEM,

NOTE: THE CONCRETE WALLS ALSO HAVE A PERIMETER DRAINAGE SYSTEM\*

ABOVE GRADE CONCRETE WALLS: SEALER #1- PROSOCO CONSOLIDECK SLX 100 WATER & OIL

WOOD SIDING AND TRIM: WRB #1: WATER RESISTANT BARRIER - PROSOCO R-GUARD

w/ DUPONT TYVEK HOUSE WRAP- SLIP SHEET WHERE NEEDED\*

CAT 5 RAIN SCREEN AIR & WATER RESISTIVE BARRIER,

<u>ROOFING:</u> WPM #2: POLYGLASS POLYSTICK MTS WATERPROOF UNDERLAYMENT, w/ RED ROSIN PAPER SLIP SHEET & ANCHOR SHEET, EQUAL OR BETTER<sup>\*</sup>

MISCELLANEOUS WATER STOP #1: TREMCO SUPER STOP AT CONCRETE COLD

SEALANT #1: SILKAFLEX-1A AT DOOR THRESHOLDS, WOOD SIDING, FLASHING AND MISC. CAULKING. NOT TO BE USED IN

CONTACT WITH THE R-GUARD SYSTEM, TYVEK HOUSE WRAP

\*ALL MATERIALS MUST BE INSTALLED PER MANUFACTURER'S

OR ANY PRODUCTS CONTAINING PETROLEUM\*

RECOMMENDATIONS & SPECIFICATIONS

DOORS, WINDOWS AND PENETRATIONS: WRB #2: PROSOCO R-GUARD FASTFLASH\*

V.R. #1: VAPOR RETARDER

DRAINAGE SYSTEM (BELOW THE VAPOR BARRIER)\*

W/ MIRA-DRAIN 6000 DRAINAGE MAT<sup>\*</sup> OR EQ.

EXTERIOR WALL INSULATION #2: INSULATION #2: 1-1/2" CLOSED CELL SPRAY FOAM

FLOORING INSULATION:

FLOORING INSULATION:

INSULATION

REPELLENT<sup>\*</sup>

JOINTS<sup>\*</sup>

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DENNIS SOCOLEAN RINNOVO GROUP, INC. 1512 EUREKA ROAD SUITE 2 ROSEVILLE CA 95661 NVCL - 0089383 WC BUSINESS LICENSE W00 PHONE - 916-941-6498 / 9 DENNIS@RINNOVOGROUP.

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**Α** S Drive 63

SUN DOG 230 Estates [ 230 Estates [ APN: 130-16

CONTRACTOR DRAWINGS

(D) A CONTRACTOR

FOR HIS OR HER OWN

Signature

Scale

Sheet Name

COMPILEED PER NRS 623.035

LICENSED PURSUANT TO THE

HIS OR HER OWN DRAWINGS

CONSTRUCTION ACTIVITIES

Description

COUNTY PERMIT

SUBMITTAL

TRPA - APPLICATION 05/01/22

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SECTION

**A-3**1

Date

05/01/22

1/4" = 1'-0"

PROVISIONS OF CHAPTER 624 OF NRS WHO PROVIDES

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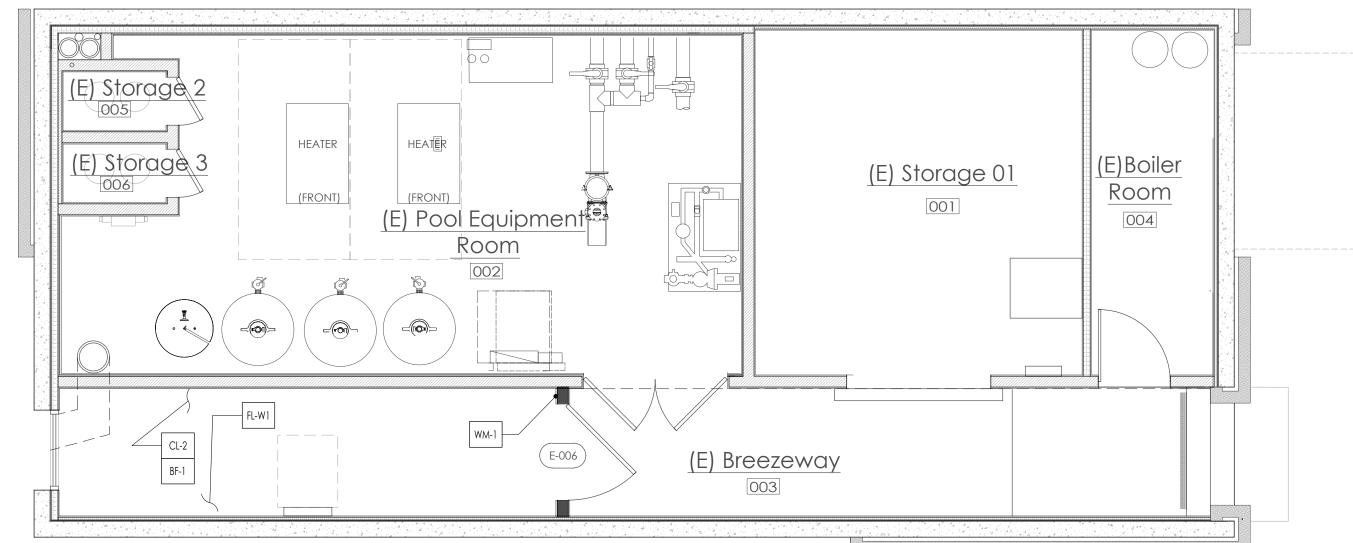
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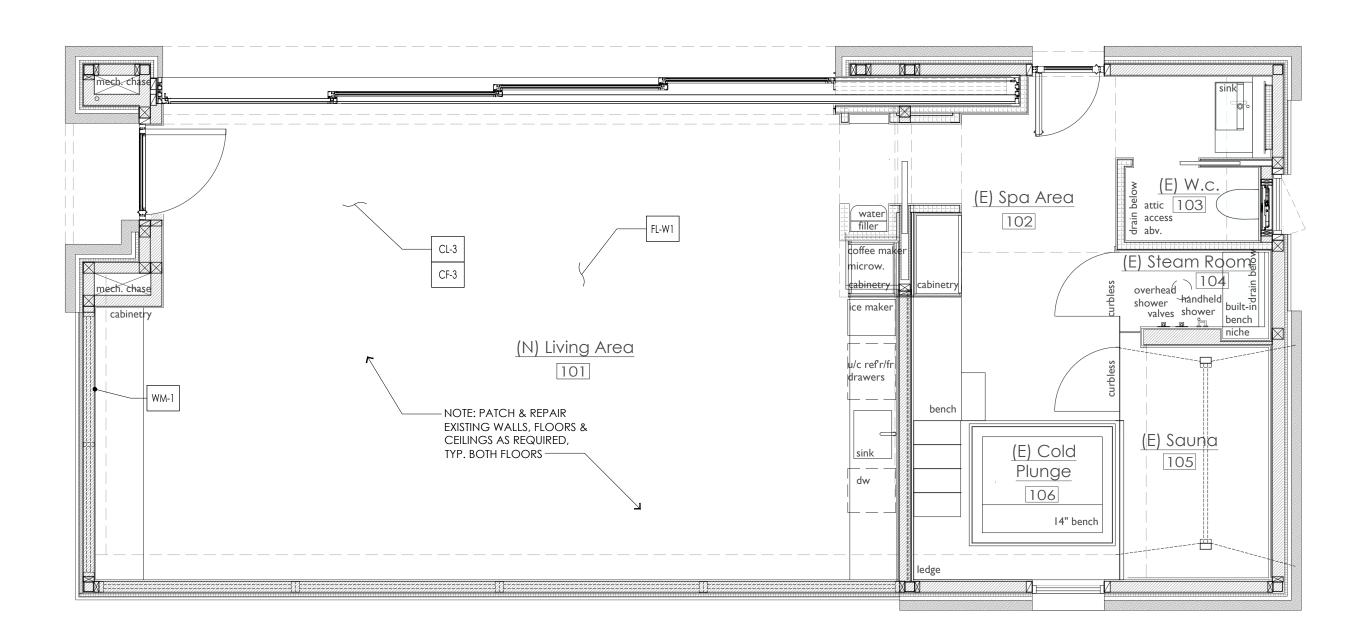
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	FLOOR WALLS BASE											CEIL		LINC
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007	STORAGE 4	4	FL-W1	-		- WM	-1 WF-P1	-	-	BF-1	-	CL-2	WF-P1	
								FIF	RST FLC	OR				
				FLOOR			WALLS			BASE		CEILING		
NO.	ROOM N	AME	MAT'L		AR	EA MA	t'l finish	AREA	MAT'L	FINISH	L.F.	MAT'L	FINISH	F
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	TAG	ITEM	N	MANUFACTURER		CAT.#	FINISH					DIMENSIONS		
								WALL M	ATERIAL					
WM-1		GYP. BOARD												
WM-2	2	TYPE X GYP. BOARD												
	1		6		14 4 4 5	SW7005	PURE WHITE	WALL FIN	VISH					
WF-P		PAINT PAINT(ACCENT WALLS)		HERWIN WILL			IRON ORE							
**1 1.	<u>ک</u>		3			3117007	INCIACIÓ	FLOOR						
FL-W	1	WOOD FLOORING	С	ALIFORNIA CLA	SSICS	MCTP808	TRIPOLI				8''W	x 75''L		
FL-W	1	CONCRETE ON GRADE	-			-	-							
								BASE FIN	IISH					
BF-1		TO MATCH EXISTING	S	HERWIN WILL	IAMS	SW7005	PURE WHITE							
								CEILING	MATERIAL					
CL-1		GYP. BOARD												
CL-2		TYPE X GYP BOARD												
CL-3		WOOD		VHITE OAK				CEILING			1×6	' SUB TO VEF	KIF Y	
CF-3		SEAL					SEAL TO MAT				м			

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			CON	RACTOR TO PROVIDE							
			CON	TRACTOR TO PROVIDE							
			RINN	dvo: match (e) @main house							
			<b></b>	E SEALANT THAT DOESN'T AFFECT WOOD							
				ARANCE. PROVIDE SAMPLE							

				DO	OR	SC	СНЕ
		ROOM	DOOR				
TAG	ROOM NAME	#	DESCRIPTION	WIDTH	HEIGHT	THICKNESS	WALL
	EXT	ERIOR					
BASEN	1ENT						
E-006	STORAGE 4	007	SWINGING	4/0	7/0		
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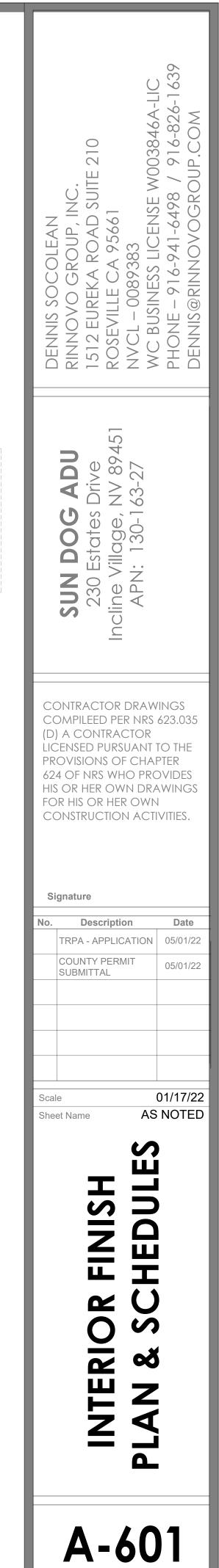


EDULE								
	DOOR							
	SWING	CORE /FRAME	CLAD	FINISH	MFR	CAT. #		
		solid core						

BASEMENT FLOOR PLAN - FIT & FINISH TAGS SCALE: 1/4" = 1'-0"

FIRST FLOOR PLAN - FIT & FINISH TAGS

SCALE: 1/4" = 1'-0"



OWNER'S CERTIFICATE: WE, THE UNDERSIGNED OWNERS OF THE AFFECTED PARCELS AS SHOWN ON THIS MAP DO HE 1. WE HAVE EXAMINED THIS PLAT AND APPROVE AND AUTHORIZE ITS RECORDING. 2. WE AGREE TO EXECUTE THE REQUIRED DOCUMENTS CREATING ANY EASEMENT WHICH HEREON. 3. WE AGREE TO EXECUTE THE REQUIRED DOCUMENTS ABANDONING ANY EXISTING EASEN PURSUANT TO THE PROVISIONS OF NRS 278.010 TO 278.630 INCLUSIVE. 4. ALL PROPERTY TAXES ON THE LAND FOR THE FISCAL YEAR HAVE BEEN PAID. 5. ANY LENDER WITH AN IMPOUND ACCOUNT FOR THE PAYMENT OF TAXES HAS BEEN N THE ADJUSTMENT OF THE BOUNDARY LINES OR THE TRANSFER OF THE LAND. 6. THE PROPERTY OWNERS HEREBY AGREE TO ACCEPT ANY DRAINAGE ONTO THEIR PRO RESULTING FROM THIS BOUNDARY LINE ADJUSTMENT. SUN DOG, LLC. A NEVADA LIMITED LIABILITY COMPANY Lyndon Rive / Owener NOTARY CERTIFICATE: STATE OF Nevada, COUNTY OF Washoe \$ SS this instrument was acknowledged before me on the <u>20</u> day of <u>August</u>, 2 by <u>Lyndon Rive</u> as <u>Owner</u> of sun dog, llc, a nevada limite LIABILITY COMPANY. 08/20/20 GDBarden G D Barden NOTARY PUBLIC STATE OF NEVADA Appt. No. 20-7516-02 My Appt. Expires April 23, 2028 SECURITY INTEREST HOLDER'S CERTIFIC THIS IS TO CERTIFY THAT THE FOLLOWING HAVE CONSENTED TO THE PREPARATION AND RECO THIS PLAT BY SEPARATE DOCUMENT. JPMORGAN CHASE BANK, NATIONAL ASSOCIATION, BY DOCUMENT NO. 5550431, OFF RECORDS OF WASHOE COUNTY, NEVADA. (REFERENCE ORIGINAL DEED OF TRUST DOCUMENT NO. 5284944 AS LAST MODIFIED BY DOCU NO. 5417103.) TAX CERTIFICATE: THE UNDERSIGNED HEREBY CERTIFIES THAT ALL PROPERTY TAXES ON THIS LAND SHOWN HEI FISCAL YEAR HAVE BEEN PAID AND THAT THE FULL AMOUNT OF ANY DEFERRED PROPERTY CONVERSION OF THE PROPERTY FROM AGRICULTURAL USE HAS BEEN PAID PURSUANT TO N. APN: 130-163-26 & 130-163-27 WASHOE COUNTY TREASURER 214/2000 DATE L. Yantis-March NAME/TITLE (PRINT)

**CUMULATIVE INDEXES** SHOULD BE EXAMINED FOR ANY SUBSEQUENT CHANGES TO THIS MAP

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		NOT TO SCALE		2. THE LANDS RANGE 18 ON JUNE
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				PARCELS
024	DISTRICT BOARD	OF HEALTH C	ERTIFICATE:	
	THIS MAP IS APPROVED BY THE WASH CONCERNS SEWAGE DISPOSAL, WATER H THIS MAP HAS BEEN FOUND TO MEET	LOE COUNTY DISTRICT BOARD POLLUTION, WATER QUALITY, A ALL APPLICABLE REQUIREME	OF HEALTH. THIS APPROVAL AND WATER SUPPLY FACILITIES. INTS AND PROVISIONS OF THE	EN NOISS
	ENVIRONMENTAL HEALTH SERVICES DIVISI	ON OF THE WASHOE COUNTY H	HEALTH DISTRICT.	All to the second
	A		01/29/2025	ERIC C. SAÇE,
ATE:	FOR THE DISTRICT BOARD OF HEALTH		DATE	NEVADA CERTI
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	GOVERNING AGEN			DUNTY.
REON FOR THE TAXES FOR THE R.S. 361A.265.				
	Maye Hard	ngs	4-13-25	<b>[</b>
<u>157</u>	WAYNE HANDROCK, P.L.S. 20464 WASHOE COUNTY SURVEYOR		DATE	DOC #
				06/30/2025 Requested B
				WOOD ROD Washoe Cou
				Kalie M. Wor
				Fee: \$45.00 Page 1 of 2

### TLE COMPANY CERTIFICATE:

IDERSIGNED HEREBY CERTIFIES THAT THIS PLAT HAS BEEN EXAMINED AND THAT SUN DOG, LLC. A DA LIMITED LIABILITY COMPANY, OWNS OF RECORD AN INTEREST IN THE LANDS DELINEATED HEREON THAT THEY ARE THE ONLY OWNERS OF RECORD OF SAID LAND; THAT ALL THE OWNERS OF RECORD LAND HAVE SIGNED THE PLAT; AND THAT THERE ARE NO LIENS OF RECORD AGAINST THE LANDS EATED HEREON, OR ANY PART THEREOF, FOR DELINQUENT STATE, COUNTY, MUNICIPAL, FEDERAL, OR TAXES COLLECTED AS TAXES OR SPECIAL ASSESSMENTS; EXCEPT DOCUMENT NO. 5284944 AS MODIFIED BY DOCUMENT NO. 5417103.

TITLE OF NEVADA, INC.

<u>Z-3-25</u> <u>Jimothy S. Palko, Sycat</u> <u>HE (TITLE (DDUT)</u>

### RVEYOR'S CERTIFICATE:

C. SAGE, A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF NEVADA, REBY CERTIFY THAT:

PLAT REPRESENTS THE RESULTS OF SURVEY PREFORMED UNDER MY DIRECT SUPERVISION AT THE TANCE OF SUN DOG, LLC, A NEVADA LIMITED LIABILITY COMPANY. LANDS SURVEYED LIE WITHIN THE NORTHWEST ONE-QUARTER OF SECTION 23, TOWNSHIP 16 NORTH,

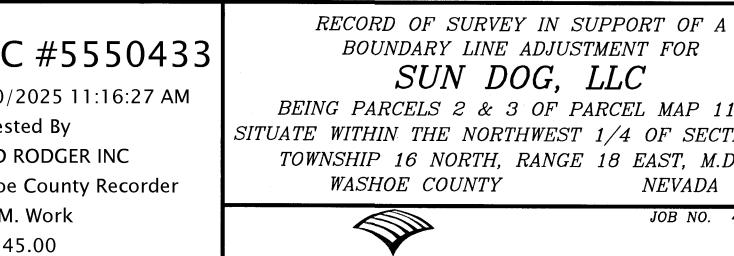
NGE 18 EAST, M.D.M., COUNTY OF WASHOE, STATE OF NEVADA, AND THE SURVEY WAS COMPLETED

CORNERS AND ANGLE POINTS OF THE ADJUSTED BOUNDARY HAVE BEEN DEFINED BY MONUMENTS REQUIRED BY NRS 625.340;

PLAT COMPLIES WITH THE APPLICABLE STATE STATUTES AND ANY LOCAL ORDINANCES IN EFFECT THE DATE THE SURVEY WAS COMPLETED, AND THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH APTER 625 OF THE NEVADA ADMINISTRATIVE CODE.

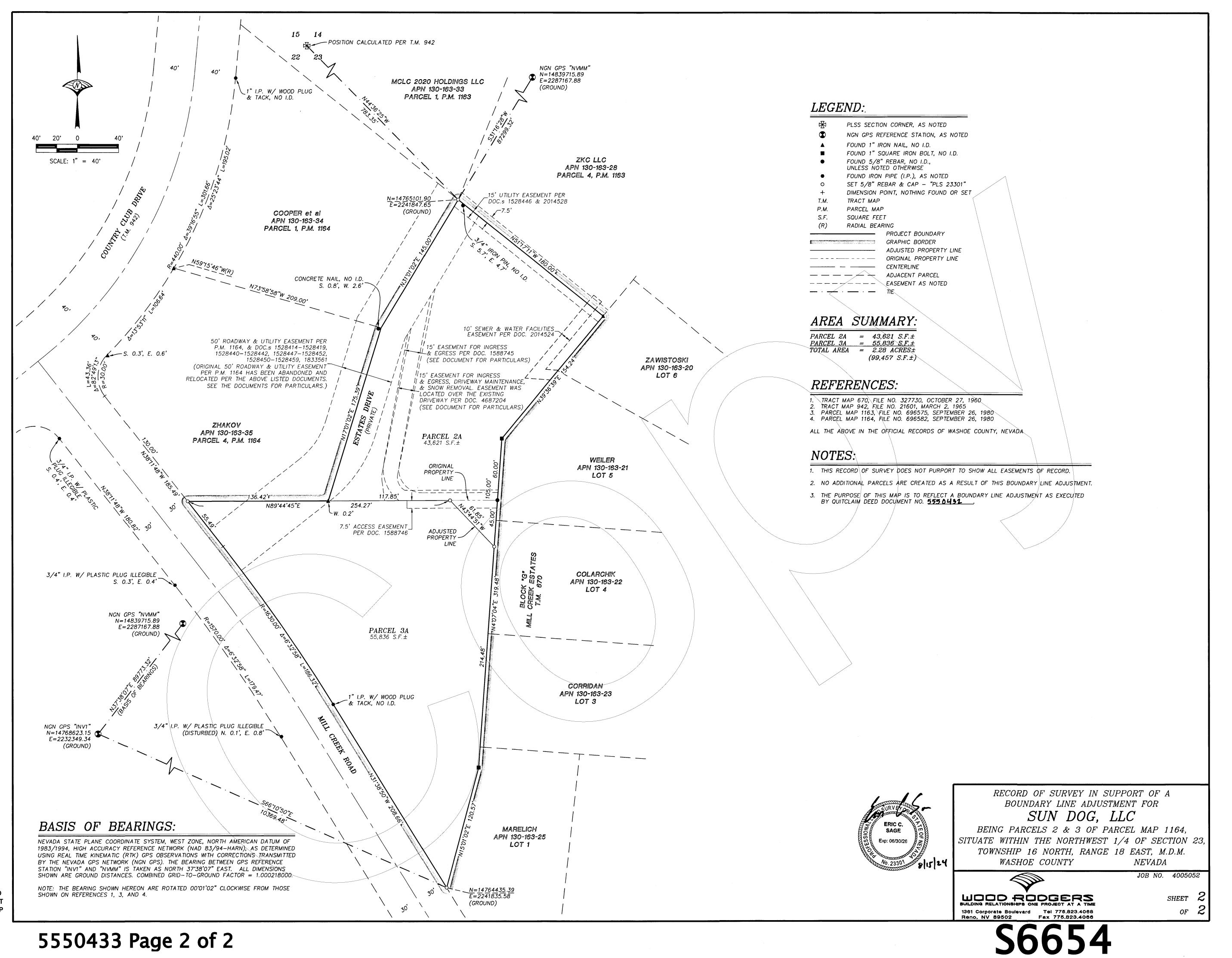
PLAT DELINEATES A BOUNDARY LINE ADJUSTMENT AND DOES NOT CREATE ANY ADDITIONAL RCELS AND IS NOT IN CONFLICT WITH PROVISIONS OF NRS 278.010 TO 278.630, INCLUSIVE.





SUN DOG, LLC BEING PARCELS 2 & 3 OF PARCEL MAP 1164, SITUATE WITHIN THE NORTHWEST 1/4 OF SECTION 23, TOWNSHIP 16 NORTH, RANGE 18 EAST, M.D.M. WASHOE COUNTY NEVADA JOB NO. 4005052 BUILDING RELATIONSHIPS ONE PROJECT AT A TIME SHEET OF  $m{2}$ 
 1361 Corporate Boulevard
 Tel 775.823.4068

 Reno, NV 89502
 Fax 775.823.4066



**CUMULATIVE INDEXES** SHOULD BE EXAMINED FOR ANY SUBSEQUENT CHANGES TO THIS MAP