

Community Services Department
Planning and Building
**DETACHED ACCESSORY DWELLING
ADMINISTRATIVE REVIEW
APPLICATION**



Community Services Department
Planning and Building
1001 E. Ninth St., Bldg. A
Reno, NV 89512-2845

Telephone: 775.328.6100

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name:			
Project Description:			
Project Address:			
Project Area (acres or square feet):			
Project Location (with point of reference to major cross streets AND area locator):			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone:	Fax:	Phone:	Fax:
Email:		Email:	
Cell:	Other:	Cell:	Other:
Contact Person:		Contact Person:	
Applicant/Developer:		Other Persons to be Contacted:	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone:	Fax:	Phone:	Fax:
Email:		Email:	
Cell:	Other:	Cell:	Other:
Contact Person:		Contact Person:	
For Office Use Only			
Date Received:		Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Administrative Review Permit Application for a Detached Accessory Dwelling Supplemental Information

(All required information may be separately attached)

1. What is the size (square footage) of the main dwelling or proposed main dwelling (exclude size of garage)?

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2. What is the size of the proposed detached accessory dwelling (exclude size of garage)? If a manufactured or modular home is the secondary dwelling, list the age and size of the unit.

--

3. How are you planning to integrate the main dwelling and secondary dwelling to provide architectural compatibility of the two structures?

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5. How many off-street parking spaces are available? Parking spaces must be shown on site plan. Are any new roadway, driveway, or access improvements be required?

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6. What will you do to minimize any potential negative impacts (e.g. increased lighting, removal of existing vegetation, etc.) your project may have on adjacent properties?

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7. Is the subject property part of an active Home Owners Association (HOA) or Architectural Control Committee?

<input type="checkbox"/> Yes	<input type="checkbox"/> No	If yes, please list the HOA name.
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8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit a detached accessory dwelling on your property?

<input type="checkbox"/> Yes	<input type="checkbox"/> No	If yes, please attach a copy.
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9. Only one accessory dwelling unit, whether attached or detached, is allowed per parcel. Is there a guest apartment, mother-in-law unit, next-gen addition with kitchen or any other type of secondary dwelling on the subject property?

<input type="checkbox"/> Yes	<input type="checkbox"/> No	If yes, please provide information on the secondary unit.
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10. List who the service providers are for the main dwelling and accessory dwelling:

	Main Dwelling	Accessory Dwelling
Sewer Service		
Electrical Service		
Solid Waste Disposal Service		
Water Service		

ABBREVIATIONS

And Angle	H.B.	Hose Bibb	SPEC.	Specification or Special
AT	H.C.	Hollow Core or Handicapped	SQ.	Square
Diameter or Round	HD.	Head	S.S.	Stainless Steel
Pound or Number	HDDB.	Headboard	S.S.D.	See Structural Drawing
Air Conditioning or Asphaltic Concrete	HDR.	Header	S.S.K.	Service Sink
Acoustical	HDWD.	Hardwood	STD.	Standard
Adjustable	HGR.	Hanger	STL.	Steel
Adjacent	HGT.	Height	STOR.	Storage
Above finish floor	HGT.	Height	STRL.	Structural
Aggregate	H.M.	Hollow Metal	S.V.	Sheet Vinyl
Alternate	HORIZ.	Horizontal		
Aluminum	HR.	Hour	T.	Tread
Approximate	H.R.	Handrail	T.B.	Towl Bar
Architectural	HW.	Hot Water Heater	T.B.D.	To Be Determined
	ID.	Inside Diameter	T.C.	Top of Curb
	IN.	Inch	TEL.	Telephone
Board	INSUL.	Insulation	TEMP.	Tempered
Base Flood Elevation	INT.	Interior	T.&G.	Tongue & Groove
Bituminous	INTER.	Intermediate	TER.	Terrazzo
Building			THK.	Thick
Block	JAN.	Janitor	T.M.E.	To Match Existing
Blocking	JST.	Joist	T.O.	Top of
Beam	JT.	Joint	T.O.C.	Top of Concrete
Bottom of			T.O.P.	Top of Plate
Bottom	KIT.	Kitchen	T.O. PLY	Top of Plywood
Building Paper			T.O.W.	Top of Wall
Between	LAM.	Laminate	TYP.	Typical
	LAV.	Lavatory		
Catch Basin	LIN.	Linear	U.B.C.	Uniform Building Code
Cement			UNEXC.	Unexcavated
Ceramic	LN.	Line	UNF.	Unfinished
Control Joint	LT.	Light	S.H.	Sprinkler Head
Ceiling			SHR.	Shower
Caulking	MACH.	Machine	SHT.	Sheet
Clear	MAINT.	Maintain	SHTG.	Sheathing
Closet	MAT.	Material	SIM.	Similar
Concrete Masonry	MAX.	Maximum	SL.	Sliding
Unit	M.B.	Machine Bolt	S.K.D.	See Kitchen Drawings
Counter	M.C.	Medicine Cabinet		See Landscape Overlay
Clean-Out	M.D.O.	Medium Density	S.L.D.	Drawings
Column				See Mechanical Drawings
Concrete	MECH.	Mechanical	S.M.D.	See Plumbing Drawings
Conflict	MEMB.	Membrane		See Specification or Special
Connection	MTL.	Metal		
Construction	MFR.	Manufacturer	S.P.D.	
Continuous	MICRO	Microwave		
Contractor	MIN.	Minimum	SPEC.	
Ceramic Tile	MISC.	Miscellaneous		
Center	MTD.	Mounted	SQ.	Square
Cold Water	MUL.	Mullion	S.S.	Stainless Steel
	(N)	New	S.S.D.	See Structural Drawing
DRYER	N.	North	S.S.K.	Service Sink
Double	N.I.C.	Not in Contract	STD.	Standard
Detail	NO. or #	Number	STL.	Steel
Drinking Fountain	NOM.	Nominal	STOR.	Storage
Diameter	N.T.S.	Not to Scale	STRL.	Structural
Dimension			S.V.	Sheet Vinyl
Dispenser	O.A.	Overall		
Down	O.C.	On Center		
Door	O.D.	Outside Diameter	T.	Tread
Dishwasher		(Dim.)	T.B.	Towl Bar
Drawing	OPNG.	Opening	T.B.D.	To Be Determined
Drawer	OPP.	Opposite	T.C.	Top of Curb
			TEL.	Telephone
Each	PERIM.	Perimeter	TEMP.	Tempered
Existing	PL.	Plate	T.&G.	Tongue & Groove
Exterior Insulation & Finish System	P.LAM.	Plastic Laminate	TER.	Terrazzo
Expansion Joint	PLAS.	Plaster	THK.	Thick
Elevation	PLYWD.	Plywood	T.M.E.	To Match Existing
Electrical	PNL.	Panel	T.O.	Top of
Emergency	PNT.	Point	T.O.C.	Top of Concrete
Enclosure	P.S.I.	Per Square Inch	T.O.P.	Top of Plate
Electrical Panel	PT.	Pressure Treated or Post Tensioned	T.O. PLY	Top of Plywood
Board	PTD.	Painted	T.O.W.	Top of Wall
Equal	P.T.D.	Paper Towel	TYP.	Typical
Equipment			U.B.C.	Uniform Building Code
Existing	PTN.	Partition		Unexcavated
Expansion	P.T.R.	Paper Towel	UNEXC.	
Exterior		Receptacle	UNF.	Unfinished
Expansion				
	Q.T.	Quarry Tile		
Fire Alarm				
Forced Air Unit	R.	Riser		
Flat Bar	R.A.	Return Air		
Floor Drain	RAD.	Radius		
Foundation	REC.	Recessed		
Fire Extinguisher	REF.	Reference		
Cabinet	REFL.	Reflected		
Federal Emergency	REFR.	Refrigerator		
Management	REG.	Register		
Agency	REINF.	Reinforced		
	REQ.	Required		
Flat Head Machine	RESIL.	Resilient		
Screw	RET.	Retaining		
Flat Head Wood	REV.	Revision/ Revised/ Reversed		
Screw		Room		
Finish	RM.	Removable		
Fixture	REMOV.	Rough Opening		
Floor	R.O.	Redwood		
Flashing	RWD.			
Fluorescent				
Face of Concrete	S.	South		
Face of Finish	S.C.	Solid Core		
Face of Plywood	S.C.D.	See Civil Drawings		
Face of Stud	S.D.	Storm Drain, Soap Dispenser/Dish Schedule		
Fireproof	SCHED.	Section		
Frame	SECT.	See Electrical Drawings		
Foot or Feet	S.E.D.	Separation		
Footing	SEP.	Sprinkler Head		
Furring	S.H.	Shower		
Future	SHR.	Sheet		
Gas Outlet	SHT.	Sheathing		
Gauge	SIM.	Similar		
Galvanized	SL.	Sliding		
General	S.K.D.	See Kitchen Drawings		
Ground Fault				
Interrupt	S.L.D.	See Landscape Drawings		
Glass	S.M.D.	See Mechanical Drawings		
Ground	S.P.D.	See Plumbing Drawings		
Grade	TEMP.	Tempered		
Galvanized Sheet				
Metal				
Gypsum				

SUN DOG RESIDENCE
PROPOSED ADU

230 Estates Drive, Incline Village, NV
APN: 130-163-27

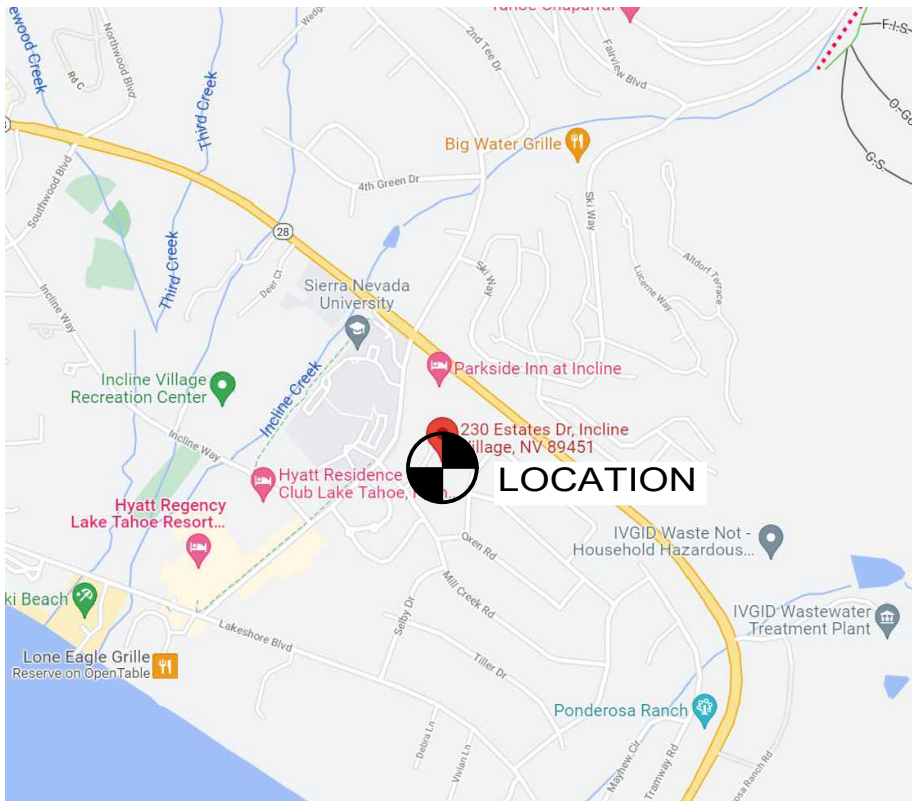


APPLICABLE CODES

2021 International Residential Code
2021 International Wildland-Urban Interface Code
2021 International Energy Conservation-Northern Nevada Amendments
120 MPH Exposure C Wind Zone
2021 Uniform Plumbing Code
2021 National Electrical Code
2021 TRPA-Code of Ordinance
2021 International Fire Code (IFC)
NLTFPD RESOLUTIONS 18-1 & 18-2

2021 Northern Nevada Amendments by the Northern Nevada Chapter of the International Code Council
Applicable General Plan, Zoning, Site Development & Subdivision Ordinances
Note:
These drawings are to conform to the requirements of the code editions cited above. Any work performed in association with these drawings must also comply with these code editions.

VICINITY MAP



DIRECTORY

OWNER

SUN DOG LLC.
930 TAHOE BOULEVARD SUITE 802
INCLINE VILLAGE, NV 89451
510-207-7000
CONTACT: ANDRÉS PÉREZ
775-247-0764
APEREZ@WHISPER.HOMES

DESIGN BUILD
CONTRACTOR

DENNIS SOCOLEAN
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NVCL - 0089383
WC BUSINESS LICENSE W003846A-LIC
PHONE - 916-941-6498 / 916-826-1639
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STRUCTURAL ENGINEER

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775-813-4945
JEFF@STRUCTURED-ENGINEERING.COM

CIVIL ENGINEER

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TAHOE Vista, CA 96148
530-546-2752
FERRELL@FTCIVIL.COM

MECHANICAL ENGINEER

Sean G. Frey, P.E., LEED AP
9500 PROTOTYPE CT.
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775-591-4123
SREY@SGF-ENG.COM

ELECTRICAL & PLUMBING ENGINEER

GMEP ENGINEERS
26439 RANCHO PARKWAY SOUTH, SUITE 120
LAKE FOREST, CA 92630
949-267-9095
CONTACT: STEVE SHEFFIELD
STEVE@GMEPE.COM

PROJECT INFORMATION

OCCUPANCY: R-3, U	ALLOWABLE LOT COVERAGE: LOT SIZE	43,621 S.F.
FEMA ZONE: NO	LOT COVERAGE (PER ERSF2018-13421)	15,259 S.F.
ZONING: LDS	(NET ZERO CHANGE SITE COVERAGE TOTAL FROM APPROVED ERSF2018-13421)	
UNITS PER LOT: 1	FRONT PL SETBACK	30' SETBACK
ALLOWABLE BUILDING HEIGHT: MAX ALLOWABLE: 30'-11"	REAR PL SETBACK	30' SETBACK
BUILDING HEIGHT: BUILDING HEIGHT: 27' 9 1/8"	SIDE PL SETBACK	12' SETBACK
FIRE HAZARD SEVERITY ZONE: WUI - EXTREME	ACCESSORY BUILDING AREA:	EXISTING NEW
NO. OF STORIES: 2	LIVING AREA:	318 S.F. 640 S.F.
AUTO. SPRINKLER: YES	SPA AREA:	322 S.F. 322 S.F.
CONSTRUCTION TYPE: VB	TOTAL CONDITIONED AREA:	640 S.F. 962 S.F.
	NON-CONDITIONED AREA (U):	1,057 S.F. 735 S.F.
	BREEZEWAY:	227 S.F. 227 S.F.
	TOTAL NON-CONDITIONED AREA:	1,284 S.F. 962 S.F.
	PROJECT DESCRIPTION: NEW ACCESSORY DWELLING UNIT AT EXISTING RESIDENTIAL ACCESSORY BUILDING	

SHEET INDEX

GENERAL

A-001 COVER SHEET
A-011 EXISTING SITE PLAN

CIVIL (NO CHANGE)

C1	(P) GRADING & DRAINAGE PLAN
C2	(P) UTILITIES PLAN
D1	DETAILS
D2	DETAILS
E1	FIRE DEFENSIBLE SPACE PLAN

ARCHITECTURAL

A-110 EXISTING & NEW LOWER LEVEL FLOOR PLANS
A-111 EXISTING/DEMO & NEW UPPER LEVEL FLOOR PLANS
A-131 EXISTING ROOF PLAN
A-211 EXISTING ELEVATIONS
A-212 EXISTING ELEVATIONS
A-311 SECTIONS
A-601 INTERIOR FINISH PLAN & SCHEDULES

STRUCTURAL (NO CHANGE)

S1.1	GENERAL NOTES & ABBREVIATIONS
S1.2	SPECIAL INSPECTIONS SCHEDULES
S1.3	TYPICAL & SHEAR TRANSFER DETAILS
S2.1	FOUNDATION/MAIN FLOOR FRAMING PLAN
S2.2	FOUNDATION/ DIMENSION PLAN
S2.3	LOWER ROOF/ UPPER FLOOR FRAMING PLAN
S2.4	UPPER ROOF FRAMING PLAN
S3.1	LOW ROOF UPPER FLOOR DIAPHRAGM PLAN
S3.2	UPPER ROOF DIAPHRAGM PLAN
S4.1	STEEL SCHEDULES & DETAILS
S4.2	FOUNDATION & FRAMING DETAILS

ELECTRICAL

E-1.0 ELECTRICAL GENERAL NOTES, SYMBOLS, & SHEET INDEX
E-1.1 ELECTRICAL SINGLE LINE & SCHEDULES
E-2.0 ELECTRICAL LIGHTING PLAN

MECHANICAL (NO CHANGE)

M0.1	MECHANICAL ABB. SYMBOLS, NOTES, EQUIP & SHEET INDEX
M0.2	MECHANICAL DETAILS, WIRING & VENT PIPING DIAGRAMS
M0.3	MECHANICAL HYDRONIC PIPING DIAGRAM & CALCS.
M1.0	MECHANICAL ZONING MAIN LEVEL
M1.1	MECHANICAL ZONING LOWER LEVEL
M2.0	MECHANICAL FLOOR PLAN
M2.1	MECHANICAL HYDRONIC PLAN LOWER LEVEL
M2.2	MECHANICAL HYDRONIC PLAN MAIN LEVEL
M0.1	MECHANICAL CALCS, FG 1 & FG 2

PLUMBING (NO CHANGE)

P 1.0	PLUMBING GENERAL NOTES, SYMBOLS, & SHEET INDEX
P 1.1	PLUMBING SCHEDULE, CALCULATIONS & DETAILS
P 2.0	PLUMBING PLAN, LOWER & UPPER LEVEL
	GOLD/HOT WATER & GAS, GAS DIAGRAM
P 3.0	PLUMBING PLAN, LOWER, UPPER & ROOF WASTE & VENT

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CONTRACTOR DRAWINGS
COMPILED PER NRS 623.035
(D) A CONTRACTOR
LICENSED PURSUANT TO THE
PROVISIONS OF CHAPTER
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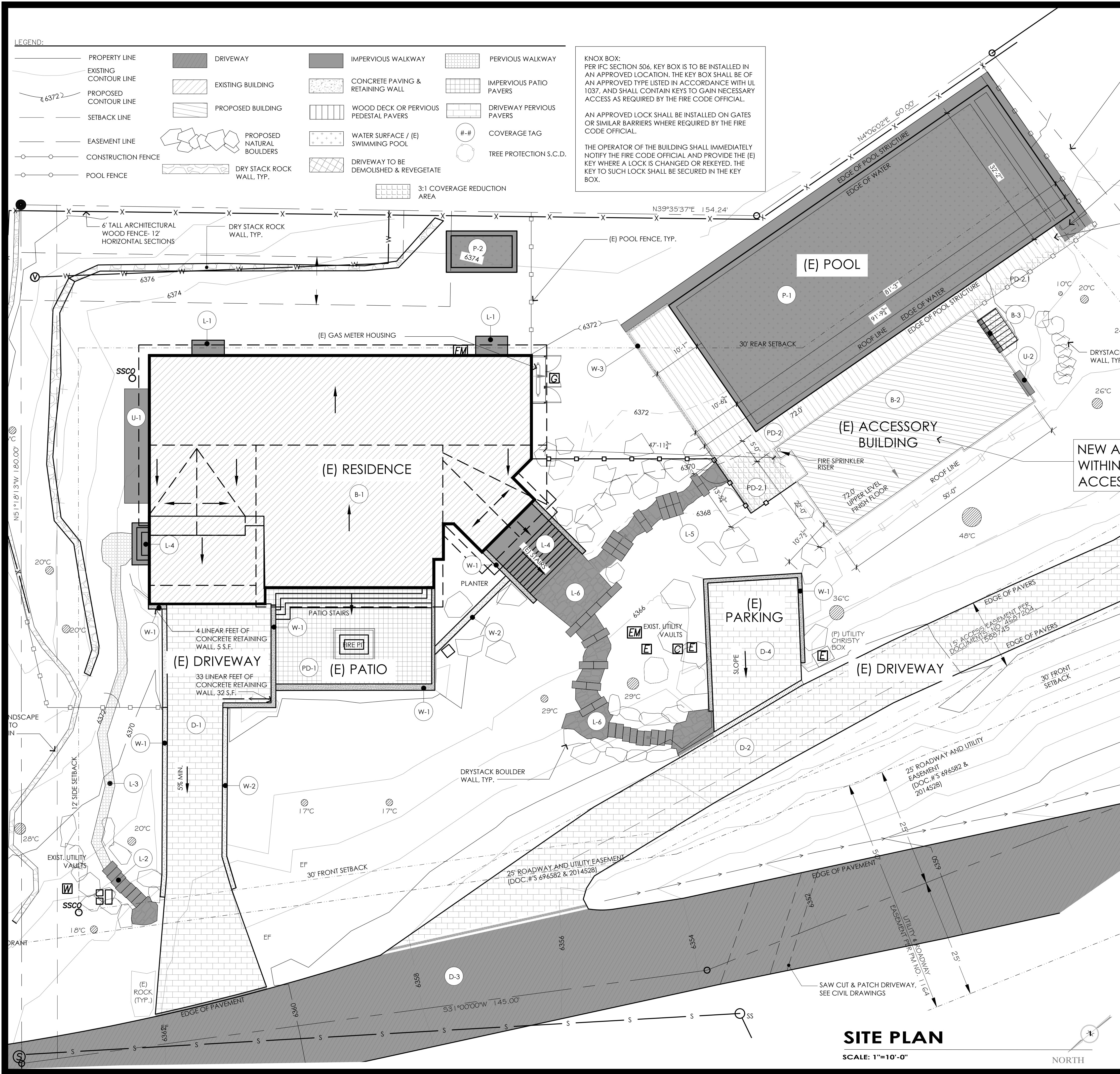
No.	Description	Date
	TRPA - APPLICATION	05/01/22
	COUNTY PERMIT SUBMITTAL	05/01/22

Scale N.T.S.

Sheet Name

COVER SHEET

A-001



DUST CONTROL MEASURES SHALL BE IN PLACE DURING CONSTRUCTION. BROADCAST MULCH SHALL NOT BE PERMITTED AS DUST CONTROL MEASURE WITHIN 36' OF STRUCTURES

ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE REVEGETATED IN ACCORDANCE WITH THE TRPA HANDBOOK OF BEST PRACTICES AND LIVING WITH FIRE, LAKE TAHOE BASIN, SECOND EDITION.

ESTABLISH AND MAINTAIN DEFENSIBLE SPACE SURROUNDING STRUCTURES IN ACCORDANCE WITH THE 2018 INTERNATIONAL WILDLAND URBAN INTERFACE CODE (IWUIC) WITH AMENDMENTS IN NLTFPD RESOLUTIONS 18-1 AND 18-2. A DEFENSIBLE SPACE INSPECTION IS REQUIRED TO PROVIDE FOR SAFE SEPARATION BETWEEN STRUCTURES AND WILDLAND VEGETATION. ALL ITEMS NOTED DURING THE INSPECTION MUST BE CORRECTED PRIOR TO PERMIT CLOSEOUT. CONTACT AN NLTFPD INSPECTOR AT (775)833-8107 TO SCHEDULE AN APPOINTMENT. FOR ADDITIONAL INFORMATION, SEE CIVIL DRAWINGS.

SEE LANDSCAPE PLANTING DRAWINGS & SCHEDULE SHEETS.

SEE CIVIL DRAWINGS FOR FIRE DEFENSE AND UTILITY INFORMATION, TYP.

PER NLTFPD RESOLUTION 18-1, 2018 IFC, 505.1. ADDRESS NUMBERS SHALL BE MIN. 6" LETTERS/NUMBERS AND BE OF A CONTRASTING COLOR TO THE BACKGROUND. THE ADDRESS IDENTIFICATION SHALL BE LEGIBLE AND PLACED IN A POSITION THAT IS VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETIC LETTERS. NUMBERS SHALL NOT BE SPELLED OUT. WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING(S) CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE(S). ADDRESS IDENTIFICATION SHALL BE MAINTAINED. THIS SHALL APPLY FOR BOTH TEMPORARY AND PERMANENT IDENTIFIERS.

COVERAGE TABLE

TOTAL LOT AREA	43,621
IPES SCORE	726
TOTAL NON-SENSITIVE AREA	42,589 S.F.

MAXIMUM COVERAGE EXEMPTION CALCULATIONS (PER TRPA CODE 30.4.6)

TAG	COVERAGE CATEGORIES & ELEMENTS	PROPOSED	EXEMPTION	ACTUAL
BUILDINGS				
B-1	RESIDENCE (E)*	3,395		3,395
B-2	ACCESSORY STRUCTURE	1,100		1,100
B-3	ACCESSORY ROOF	38.25	30	8.25
POOL & SPA				
P-1	POOL & COPING	2,911		2,911
P-2	SPA	127		127
DECKS & PATIOS				
PD-1	MASONRY PATIO (E)*	772		772
PD-2	PERVIOUS DECK OR PEDESTAL PAVERS	647	613	33.8
PD-2.1	PERVIOUS DECK OR PEDESTAL PAVERS - 3:1 EXEMPT	196		
LANDSCAPE ELEMENTS				
L-1	CONCRETE LANDINGS (E)*	46		46
L-2	IMPERMEABLE PATHS NORTH OF RESIDENCE	55		55
L-3	PERMEABLE PATH NORTH OF RESIDENCE	172	43	129
L-4	CONCRETE STAIRS TO MAIN RESIDENCE (E)*	171		171
L-5	IMPERMEABLE STAIRS & PATH TO POOL HOUSE	137		137
L-6	IMPERMEABLE PATH TO MAIN RESIDENCE ENTRY	403		403
UTILITY PADS				
U-1	CONCRETE TESLA PAD	120		120
U-2	A/C PAD AT ACCESSORY BUILDING + STAIR LANDING STEP	10		10
RETAINING WALLS				
W-1	CONCRETE BUILDING RETAINING WALLS (E)*	183		183
W-2	LANDSCAPE RETAINING WALLS (E)*	129		129
W-3	CONCRETE WALL AT DECK	28		28
DRIVEWAY & PARKING				
D-1	PERMEABLE DRIVEWAY TO GARAGE (E)*	1,360	340	1,020
D-4	PERMEABLE BUNKER PARKING (E)*	517	129	388
TOTALS		12,517	1,155	11,166

DRIVEWAY EASEMENTS				
D-2	PERMEABLE DRIVEWAY REPLACEMENT TO 220 ESTATES (E)*	2,488	622	1,866
D-3	ESTATES DRIVE EASEMENT (E)*	2,227		2,227
TOTALS		4,715	622	4,093

COVERAGE TOTALS

17,232	1,777	15,259
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- NOTES:
- THE SUBJECT SITE IS WITHIN A PROJECT AREA THAT IS LIMITED TO 90,261 S.F. OF COVERAGE BASED UPON THE DEED RESTRICTION DATED SEPTEMBER 22, 1992 (DOCUMENT NO 1607335).
 - NO CHANGE TO EXISTING COVERAGE AND PREVIOUSLY APPROVED COVERAGE TOTAL OF 15,259 S.F.
 - TRPA CODE NOTES:
 - PERVIOUS COVERAGE (TRPA CODE 30.4.6.1): 25% REDUCTION FOR USE OF PERVIOUS COVERAGE
 - INCLUDES 3:1 HEIGHT REDUCTION RATIO, TRPA 30.4.6.B
 - PERVIOUS DECKS FROM 501-1000 S.F. TO A MAX EXEMPTION OF 750 S.F.

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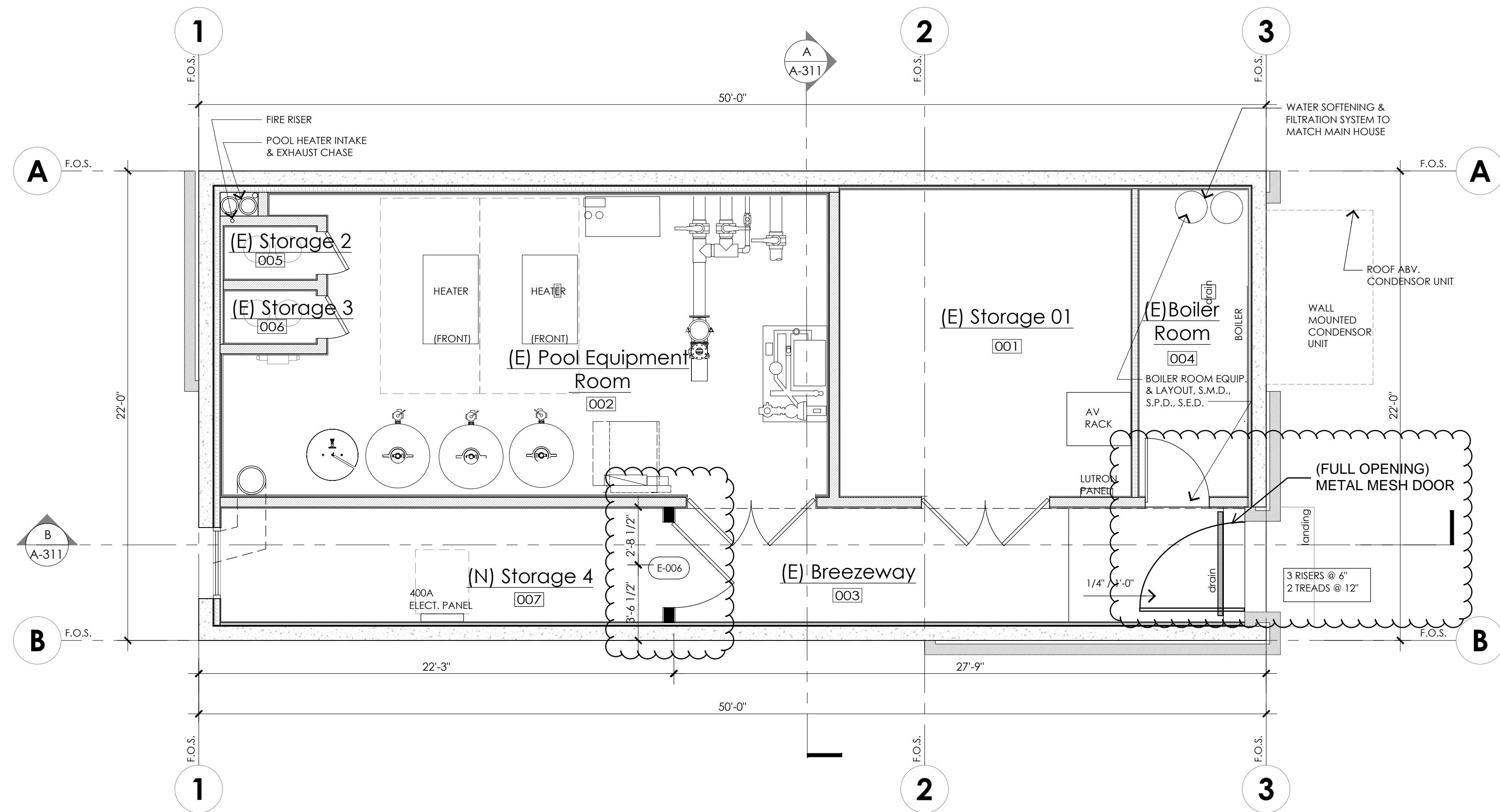
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	COUNTY PERMIT SUBMITTAL	05/01/22

Scale 1"=10'-0"

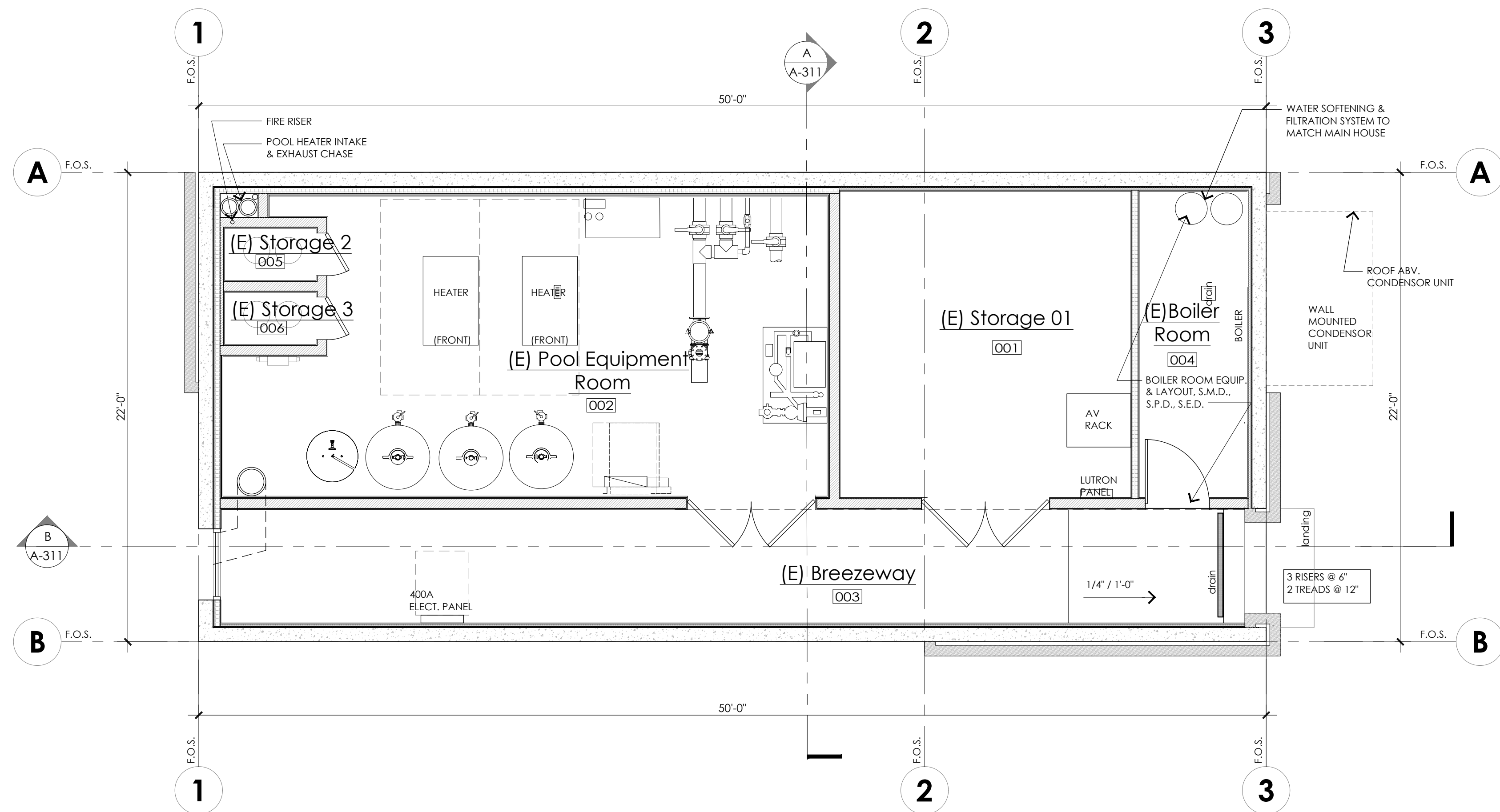
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EXISTING SITE PLAN

A-011



NEW AREA SUMMARY	
CONDITIONED	
LIVING AREA	652 S.F.
SPA & BATHROOM AREA	310 S.F.
TOTAL	950 S.F.
NON-CONDITIONED	
STORAGE, MECHANICAL & POOL EQUIPMENT ROOM	875 S.F.
BREEZEWAY	75 S.F.
TOTAL	950 S.F.



EXISTING AREA SUMMARY	
CONDITIONED	
GYM	330 S.F.
SPA & BATHROOM AREA	310 S.F.
NON-CONDITIONED	
STORAGE, MECHANICAL & POOL EQUIPMENT ROOM	735 S.F.
BREEZEWAY	215 S.F.
STORAGE	310 S.F.

LEGEND:

- INDICATES NEW 2x6 FRAMING
- INDICATES EXISTING 2x6 FRAMING
- INDICATES EXISTING CONCRETE WALL
- INDICATES EXISTING 2x4 FRAMING
- INDICATES WALL TO BE DEMOLISHED

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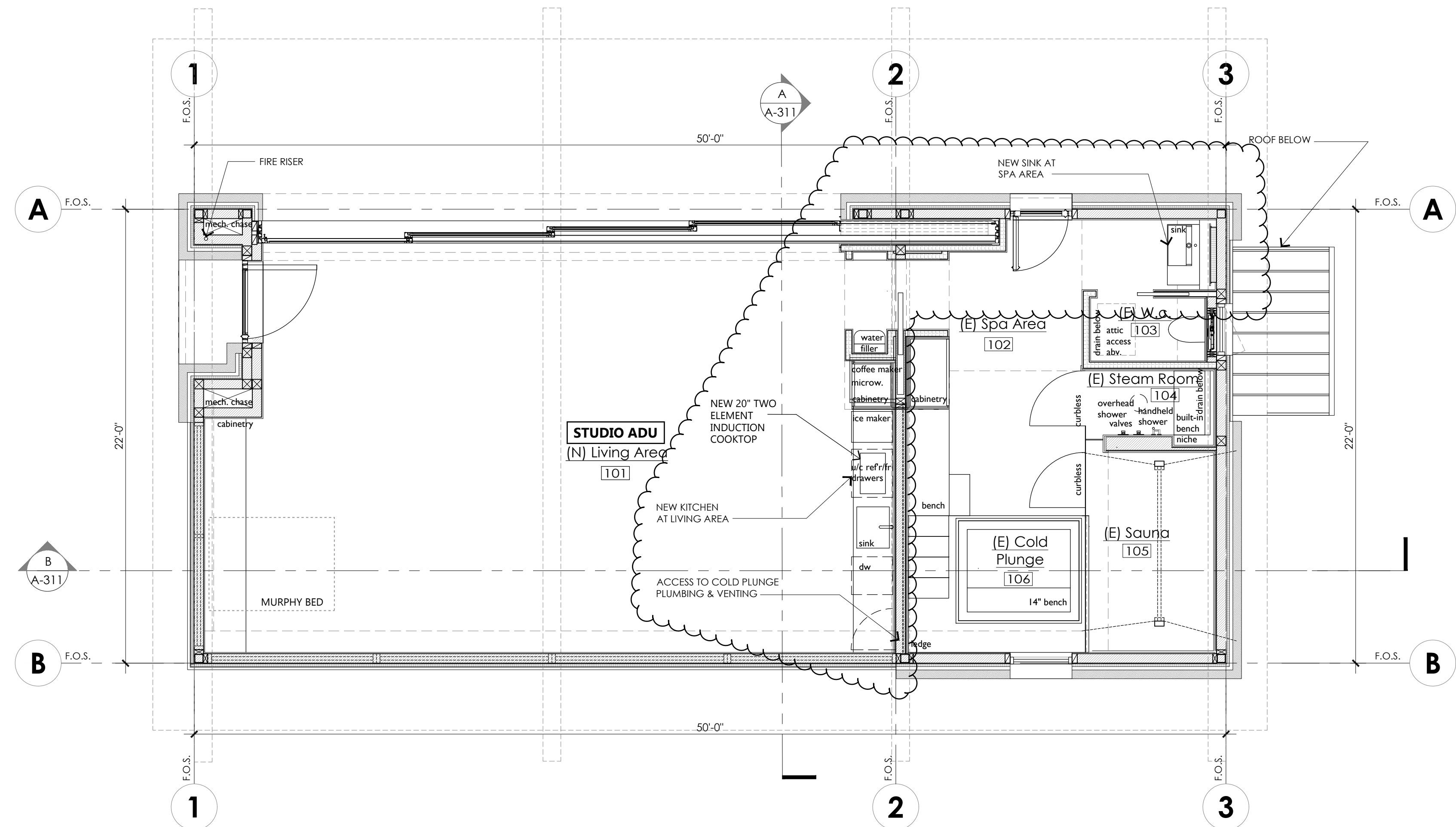
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Scale 1/4" = 1'-0"

Sheet Name

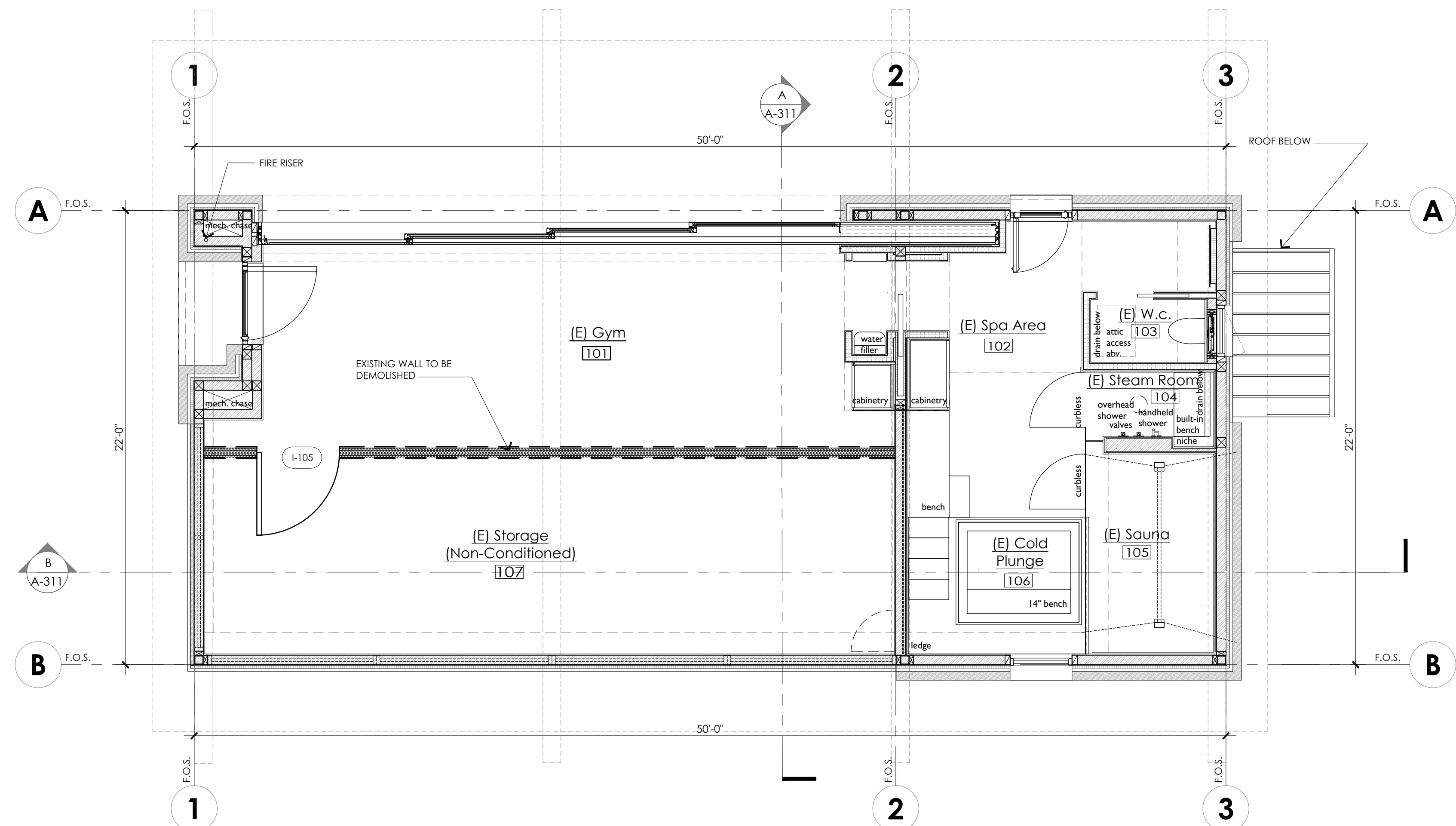
**EXISTING & NEW
LOWER LEVEL FLOOR
PLANS**

A-110



NEW UPPER LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"



EXISTING/DEMO UPPER LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

NEW AREA SUMMARY	
CONDITIONED	
LIVING AREA	652 S.F.
SPA & BATHROOM AREA	310 S.F.
TOTAL	950 S.F.
NON-CONDITIONED	
STORAGE, MECHANICAL & POOL EQUIPMENT ROOM	875 S.F.
BREEZEWAY	75 S.F.
TOTAL	950 S.F.

EXISTING AREA SUMMARY	
CONDITIONED	
GYM	330 S.F.
SPA & BATHROOM AREA	310 S.F.
NON-CONDITIONED	
STORAGE, MECHANICAL & POOL EQUIPMENT ROOM	735 S.F.
BREEZEWAY	215 S.F.
STORAGE	310 S.F.

LEGEND:

- INDICATES NEW 2x6 FRAMING
- INDICATES EXISTING 2x6 FRAMING
- INDICATES EXISTING CONCRETE WALL
- INDICATES EXISTING 2x4 FRAMING
- INDICATES WALL TO BE DEMOLISHED

DENNIS SOCOLEAN
RINNOVO GROUP, INC.
1512 EUREKA ROAD SUITE 210
ROSEVILLE CA 95661
NVCL - 0089383
WC BUSINESS LICENSE W003846A-LIC
PHONE - 916-941-6498 / 916-826-1639
DENNIS@RINNOVOGROUP.COM

SUN DOG ADU
230 Estates Drive
Incline Village, NV 89451
APN: 130-163-27

CONTRACTOR DRAWINGS
COMPILED PER NRS 623.035
(D) A CONTRACTOR
LICENSED PURSUANT TO THE
PROVISIONS OF CHAPTER
624 OF NRS WHO PROVIDES
HIS OR HER OWN DRAWINGS
FOR HIS OR HER OWN
CONSTRUCTION ACTIVITIES.

Signature

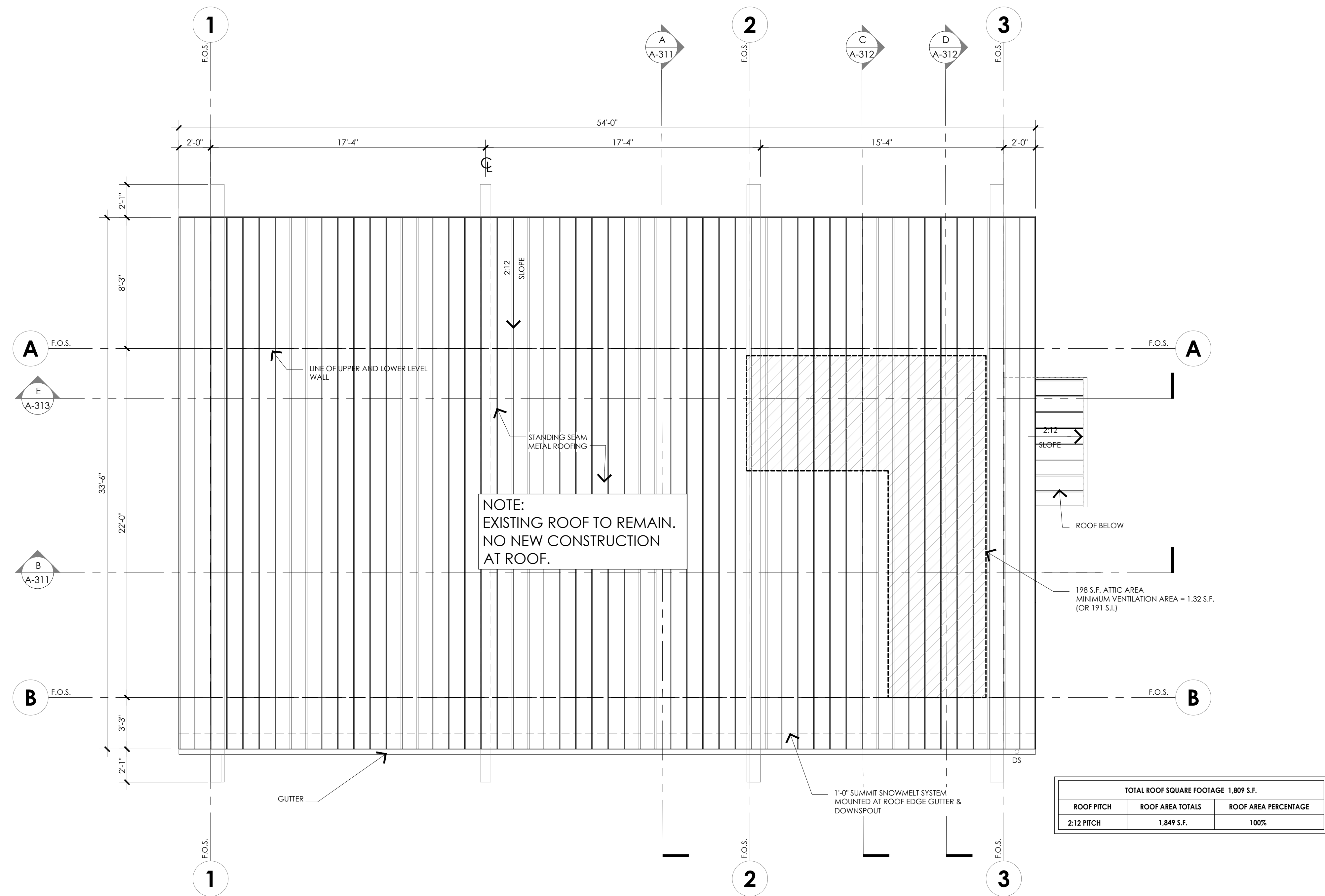
No.	Description	Date
1	TRPA - APPLICATION	05/01/22
2	COUNTY PERMIT SUBMITTAL	05/01/22

Scale 1/4" = 1'-0"

Sheet Name

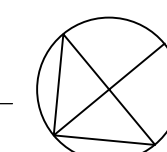
**EXISTING/DEMO
& NEW UPPER LEVEL
FLOOR PLAN**

A-111



EXISTING ROOF PLAN

SCALE: 1/4" = 1'-0"



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RINNOVO GROUP, INC.
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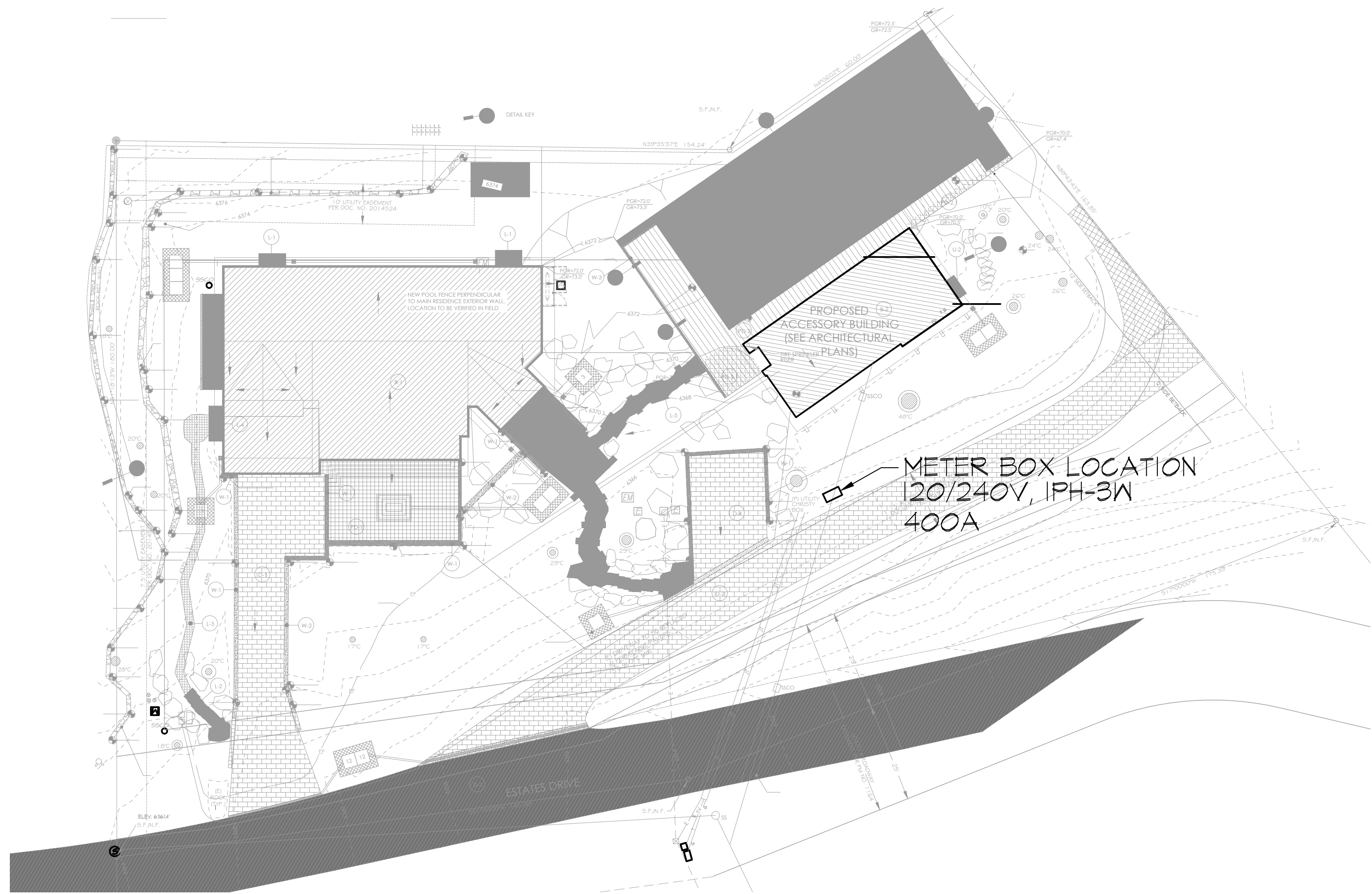
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Signature		
No.	Description	Date
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	COUNTY PERMIT SUBMITTAL	05/01/22

Scale AS NOTED
Sheet Name

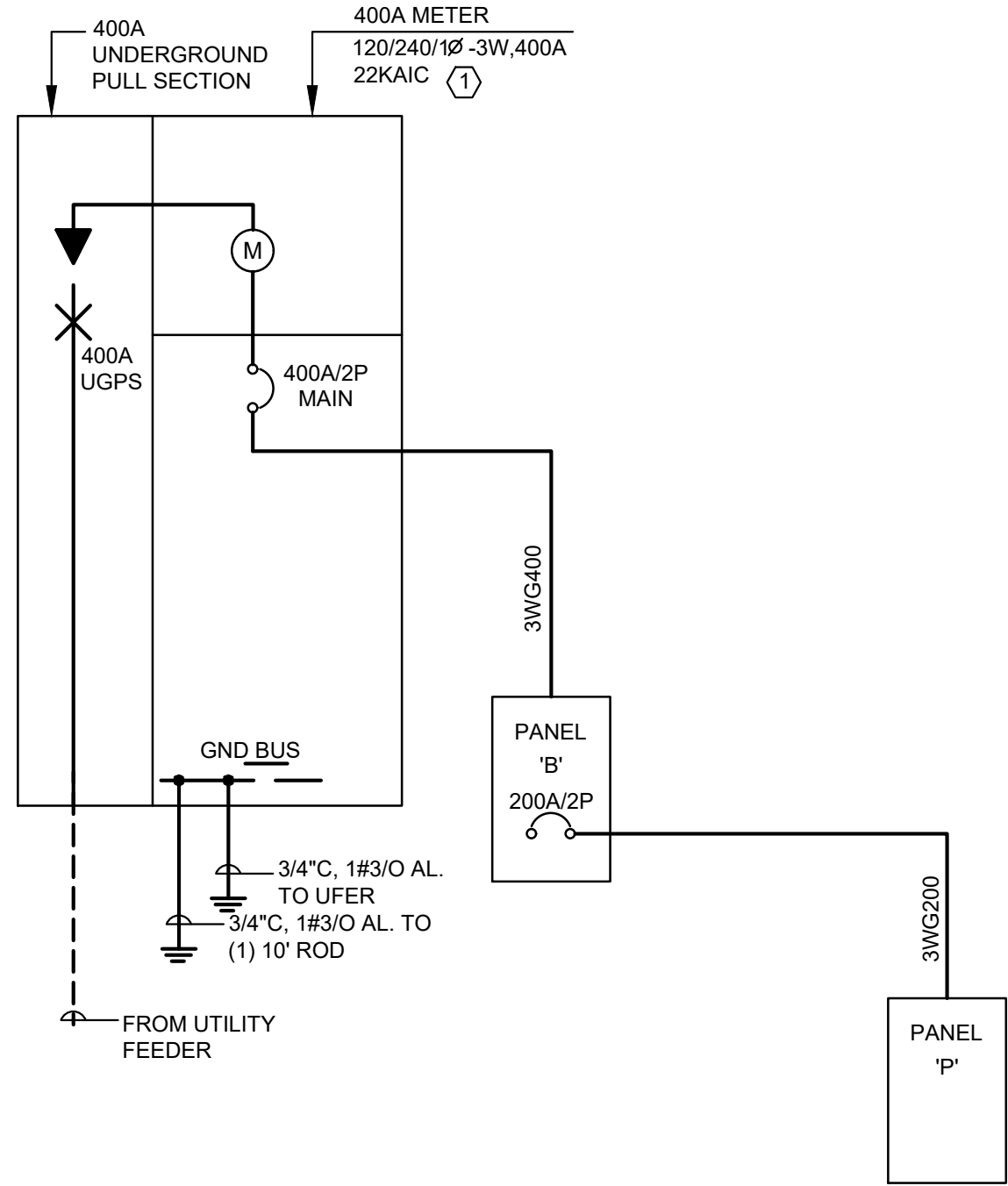
EXISTING
ROOF PLAN

A-131



KEYED SITE PLAN

SCALE: NONE



SINGLE LINE DIAGRAM

SCALE: NONE

SINGLE-LINE DIAGRAM KEY NOTES	
(1) VERIFY WITH SERVICE PLANNER FOR AIC RATING AND ELECTRICAL INFORMATION BEFORE ISSUING ANY BID. NOTIFY ENGINEER IMMEDIATELY IF ANY MAJOR DISCREPANCIES OCCUR.	
SINGLE-LINE DIAGRAM GENERAL NOTES	
a) NOT USED.	
b) ALL NEW CIRCUIT BREAKERS, FUSIBLE SWITCHES IN MAINSWITCHBOARD OR PANEL BOARDS SHALL BE SERIES RATED TO MATCH EXISTING AIC RATING OR APPROVED EQUAL OR 65KAIC, UNLESS NOTED OTHERWISE.	
c) MOTOR CIRCUIT PROTECTORS SHALL NOT BE A PART OF A SERIES COMBINATION INTERRUPTING RATING.	
d) SERIES COMBINATION AIC RATING SHALL NOT BE USED WHEN THE SECONDARY EQUIPMENT IN THE SERIES IS SUBJECTED TO A TOTAL CONNECTED FULL LOAD MOTOR CURRENT OF MORE THAN 1% OF ITS AIC RATING.	
e) EQUIPMENT ENCLOSURES SHALL BE CLEARLY MARKED "CAUTION-SERIES RATED SYSTEM - KAMPS AVAILABLE, IDENTIFIED REPLACEMENT COMPONENTS REQUIRED", IN COMPLIANCE WITH 2017 NEC SECTION 110-22. END USE EQUIPMENT SHALL ALSO BE MARKED WITH THE HIGHER SERIES COMBINATION INTERRUPTING RATING AS PER 2017 NEC SECTION 240-83(C). NO EXCEPTION.	
f) FUSES SHALL BE PROVIDED WITH REJECTION TYPE FUSE HOLDERS.	
g) ELECTRICAL EQUIPMENT SHALL BE LISTED BY THE CITY, WHERE THE PROJECT IS LOCATED, RECOGNIZED ELECTRICAL TESTING LABORATORY OR APPROVED BY THE DEPARTMENT.	
h) NO PIPING, DUCTS OR EQUIPMENT FOREIGN TO ELECTRICAL EQUIPMENT SHALL BE PERMITTED TO BE LOCATED WITHIN THE DEDICATED SPACE ABOVE THE ELECTRICAL EQUIPMENT.	

ELECTRICAL FEEDER SCHEDULE-AL		
OVERCURRENT DEVICE SETTINGS	THREE WIRE + GROUND	
	FEEDER IDENTIFIER	ALUMINUM INSULATION PER SPECIFICATIONS
20	3WG20	(3#10 + 1#10G) 3/4\"C.
30	3WG30	(3#8 + 1#8G) 3/4\"C.
40	3WG40	(3#6 + 1#6G) 3/4\"C.
50	3WG50	(3#4 + 1#8G) 1\"C.
65	3WG65	(3#3 + 1#6G) 1-1/4\"C.
75	3WG75	(3#2 + 1#6G) 1-1/4\"C.
90	3WG90	(3#1 + 1#6G) 1-1/4\"C.
100	3WG100	(3#1/0 + 1#6G) 1-1/2\"C.
120	3WG120	(3#1/0 + 1#4G) 1-1/2\"C.
125	3WG125	(3#2/0 + 1#4G) 2\"C.
150	3WG150	(3#3/0 + 1#4G) 2\"C.
175	3WG175	(3#4/0 + 1#4G) 2\"C.
200	3WG200	(3#250KCMIL + 1#2G) 2-1/2\"C.]
250	3WG250	(3#350KCMIL + 1#2G) 3\"C.
300	3WG300	(3#500KCMIL + 1#1G) 3\"C.
350	3WG350	2[(3#4/0 + 1#1G) 2\"C.]
400	3WG400	2[(3#250KCMIL + 1#1/0G) 2-1/2\"C.]
450	3WG450	2[(3#300KCMIL + 1#1/0G) 2-1/2\"C.]
500	3WG500	2[(3#350KCMIL + 1#1/0G) 3\"C.]
600	3WG600	2[(3#500KCMIL + 1#3/0G) 3\"C.]

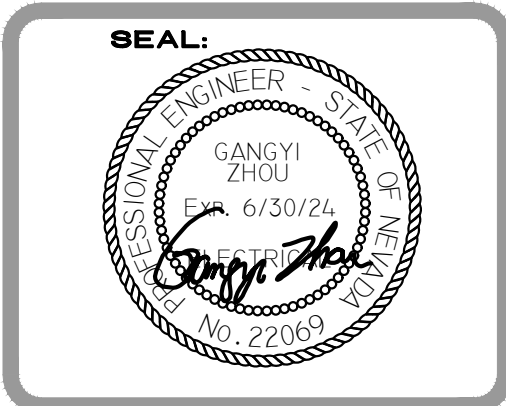
(NEW PANEL)

PANEL 'B'		LOCATION MAIN (AMP)		ELECTRICAL ROOM M.L.O						BUS RATING		400 AMPS		120/240 V 1 Ø 3 W MOUNTING: SURFACE	
DESCRIPTION	VOLTAMPS ØA ØB		L T G	R E C	M I S	BKR	BUS ØA ØB		BKR	ØA ØB	L T G	R E C	VOLTAMPS ØA ØB		DESCRIPTION
LOW LEVEL LIGHTING	600					1 20-1	◆		20-1 2				720		STORAGE REC
EXTERIOR LTG		400				3 20-1	◆		20-1 4				900		EXTERIOR REC
UPPER LEVEL LTG 1	600					5 20-1	◆		20-1 6				180		BATH REC
A/V EQUIPMENT		500				7 20-1	◆		50 8				4000		STEAM SHOWER
FLOOR REC 1	600					9 20-1	◆		2 10				4000		----
FLOOR REC 2		600				11 20-1	◆		20-1 12				900		TREADMILL
RECEPTACLE	900					13 20-1	◆		20-1 14				900		PELETON
STORAGE REC		360				15 20-1	◆		20-1 16				900		WATER FOUNTAIN
COLD PLUNGE EQUIP	1357					17 20 1	◆		20-1 18				540		EXERCISE CONV
----		1357				19 2	◆		20-1 20				1300		COLD PLUNGE
EVE SNOW MELT	1200					21 20-1	◆		22						SPACE
SHADE SCREENS		600				23 20-1	◆		20-1 24				180		WATER HEATER
PUMP 1	1920					25 20-1	◆		20-1 26				1080		STORAGE CONV
PUMP 2		696				27 20-1	◆		20-1 28				720		EXTERIOR REC
EUH-1	1500					29 20-1	◆		40 30				3000		HP-1
EUH-2		1500				31 20-1	◆		2 32				3000		----
EUH-3	1500					33 20-1	◆		34						SPACE
FC-1		360				35 20 1	◆		36						SPACE
----	360					37 2	◆		38						SPACE
FC-2		360				39 20 1	◆		200 40						SUBPANEL 'P'
----	360					41 2	◆		2 42						----
SUB-TOTAL		ØA= 21319 VA		ØB= 18273 VA											
TOTAL CONNECTED VA		= 39592		NOTES: (1) 65KAIC OR VERIFY W/ SERVICE PLANNER											
LCL @ 125 %		0 = 0		(2) PROVIDE CONNECTIONS FOR MECHANICAL EQUIPMENT. REFER TO											
TOTAL OTHER LOAD		= 0		MECHANICAL PLANS AND MANUFACTURER'S RECOMMENDATIONS.											
PANEL LOAD		= 39.6KVA													
FEEDER AMPS		= 178A													

(NEW PANEL)

PANEL 'P'		LOCATION MAIN (AMP)				POOL EQUIPMENT M.L.O				BUS RATING		200 AMPS		120/240 V 1 Ø 3 W MOUNTING: SURFACE			
DESCRIPTION	VOLTAMPS		L T G	R E C	M I S	BKR	BUS		BKR	ØK T N O	M P S	L V G	VOLTAMPS		DESCRIPTION		
	ØA	ØB					ØA	ØB					ØA	ØB			
SPACE						1	●	●		2					SPACE		
SPACE						3	●	●		4					SPACE		
SPACE						5	●	●		6					SPACE		
SPACE						7	●	●		8					SPACE		
SPACE						9	●	●		10					SPACE		
SPACE						11	●	●		12					SPACE		
SPACE						13	●	●		14					SPACE		
SPACE						15	●	●		16					SPACE		
SPACE						17	●	●		18					SPACE		
SPACE						19	●	●		20					SPACE		
SPACE						21	●	●		22					SPACE		
SPACE						23	●	●		24					SPACE		
SPACE						25	●	●		26					SPACE		
SPACE						27	●	●		28					SPACE		
SPACE						29	●	●		30					SPACE		
SPACE						31	●	●		32					SPACE		
SUB-TOTAL		ØA= 6250 VA				ØB= 5170 VA											
TOTAL CONNECTED VA		=		0		NOTES: (1) PANEL RESERVED FOR CONNECTION TO POOL EQUIPMENT. VERIFY ALL CONNECTIONS WITH POOL EQUIPMENT DESIGNER.											
LCL @ 125 %		0		=												0	
TOTAL OTHER LOAD		=		0													
PANEL LOAD		=		0KVA													
FEEDER AMPS		=		0A													

REVISIONS		
NO.	DATE	DESCRIPTION
△	04/28/22	REVISION
△	05/18/22	PLAN CHECK
△	09/14/22	REVISIONS
△	02/01/23	REVISIONS



GMEP
ENGINEERS

26439 Rancho Pkwy. S., Ste 120
Lake Forest, CA 92630
Tel. 949-267-9095

PROJECT NAME:
SUN DOG RESIDENCE
230 ESTATES DRIVE
INCLINE VILLAGE, NV 89451

SHEET TITLE
ELECTRICAL SINGLE LINE & SCHEDULES

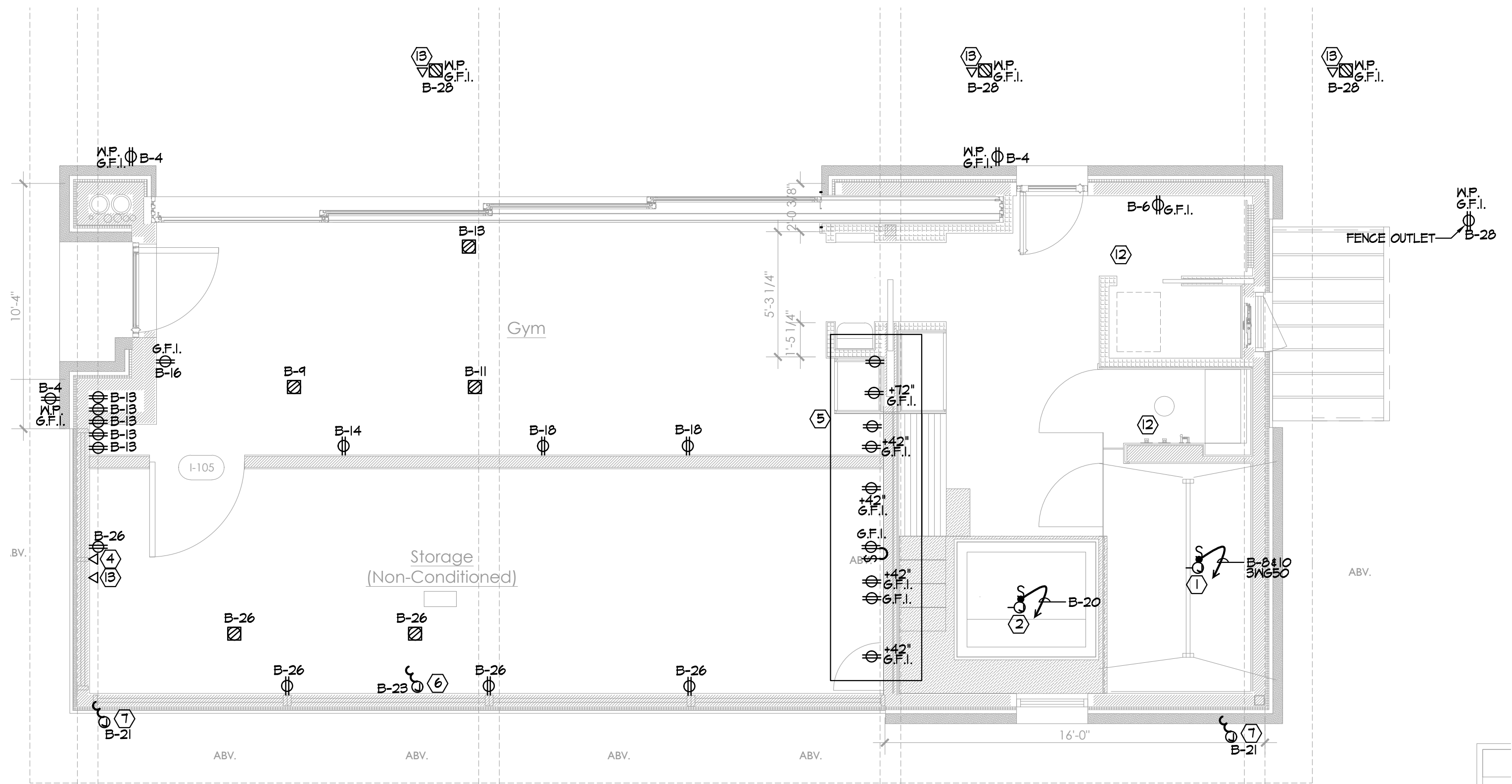
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DATE
02/01/23

SCALE
AS NOTED

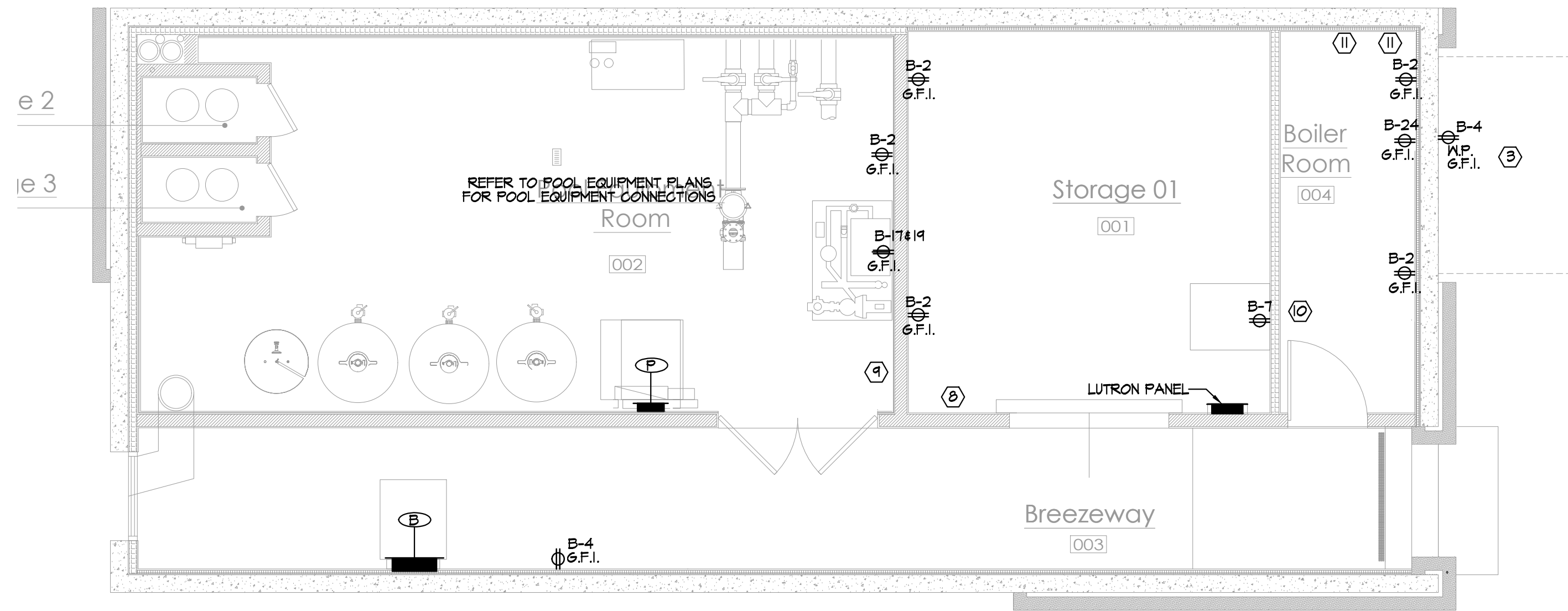
JOB NO.
21-519

SHEET
E-1.1



ELECTRICAL POWER PLAN - UPPER LEVEL

SCALE: 1/4"=1'-0"



ELECTRICAL POWER PLAN - LOWER LEVEL

SCALE: 1/4"=1'-0"

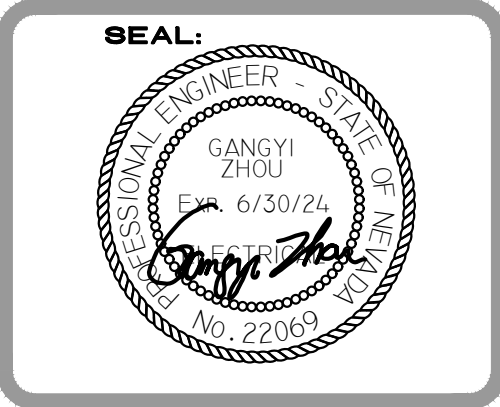
ELECTRICAL GENERAL NOTES

1. VERIFY ALL LIGHT AND SWITCH LOCATIONS WITH ARCHITECTURAL LIGHTING PLAN. VERIFY LIGHTING SPECIFICATIONS WITH OWNER AND ARCHITECT.
2. THIS DRAWING IS FOR REFERENCE ONLY. WIRE CKT 20 ON THE PLAN TO ALL DETECTORS FOR A COMPLETE AND OPERATIONAL SYSTEM. VERIFY W/LOCAL JURISDICTION FOR ALARM DETECTOR REQUIREMENT BEFORE ROUGH-IN.
3. IN DWELLING AREA SPECIFIED IN NEC 2017 SECTION 210.52, ALL 125-VOLT, 15- AND 20- AMPERE RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES.
4. OUTLETS INSTALLED IN KITCHENS, FAMILY ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, KITCHENS OR SIMILAR ROOMS OR AREAS WILL BE PROTECTED BY A LISTED ARC-FAULT CIRCUIT INTERRUPTER, COMBINATION-TYPE, INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.
5. ALL NEW SMOKE ALARMS & CARBON MONOXIDE ALARM ARE 120V HARD-WIRED WITH BATTERY BACKUP AND ARE AUDIBLE IN ALL SLEEPING ROOMS.
6. ELECTRICAL CONTRACTOR MUST VERIFY MECHANICAL EQUIPMENT INFORMATION FOR MECHANICAL DRAWING BEFORE ISSUING ANY BID. NOTIFY ENGINEER IMMEDIATELY IF ANY DISCREPANCY OCCUR.
7. LIGHT FIXTURES ABOVE THE BATH TUB AND ON THE EXTERIOR OF THE BUILDING SHALL BE WET OR DAMP LOCATION RATED PER 410.10(A) AND (D) OF THE NEC.

ELECTRICAL POWER KEY NOTES

- ① PROVIDE 50A/2P MOTOR RATED SWITCH FOR CONNECTION TO STEAM UNIT. CONNECTION IS PLACEHOLDER. VERIFY ALL CONNECTION REQUIREMENTS AND LOCATION WITH APPROVED SHOP DRAWINGS OR MANUFACTURER'S RECOMMENDATION. NOTIFY ENGINEER OF ANY DISCREPANCY.
- ② PROVIDE 20A/1P MOTOR RATED SWITCH FOR CONNECTION TO COLD PLUNGE POOL. CONNECTION IS PLACEHOLDER. VERIFY ALL CONNECTION REQUIREMENTS AND LOCATION WITH APPROVED SHOP DRAWINGS OR MANUFACTURER'S RECOMMENDATION. NOTIFY ENGINEER OF ANY DISCREPANCY.
- ③ PROVIDE FUSED DISCONNECT FOR CONNECTION TO MECHANICAL HP. VERIFY SIZE WITH MANUFACTURER'S RECOMMENDATIONS. CONDUCTORS TO BE SIZED PER 310.15(B)(6).
- ④ PROVIDE OUTLET (1)R664(1)CAT5. RUN CABLE TO THE CAT5 BOX AND RUN CAT5 CABLE TO THE APPROPRIATE DESTINATION. VERIFY WITH TV SERVICE PROVIDER AND IT CONSULTANT BEFORE ROUGH-IN.
- ⑤ OUTLETS ARE SHOWN FOR FUTURE EQUIPMENT USE.
- ⑥ DENOTES LOCATION OF J-BOX FOR CONNECTION TO POWERED SHADE SCREENS. VERIFY EXACT LOCATION WITH ARCHITECT BEFORE ROUGH-IN.
- ⑦ DENOTES LOCATION OF J-BOX FOR CONNECTION TO POWERED EYE SNOW MELT. VERIFY EXACT LOCATION WITH ARCHITECT BEFORE ROUGH-IN.
- ⑧ PROVIDE FUSED DISCONNECT FOR CONNECTION TO MECHANICAL E.H.-1. VERIFY SIZE WITH MANUFACTURER'S RECOMMENDATIONS. CONDUCTORS TO BE SIZED PER 310.15(B)(6).
- ⑨ PROVIDE FUSED DISCONNECT FOR CONNECTION TO MECHANICAL E.H.-2. VERIFY SIZE WITH MANUFACTURER'S RECOMMENDATIONS. CONDUCTORS TO BE SIZED PER 310.15(B)(6).
- ⑩ PROVIDE FUSED DISCONNECT FOR CONNECTION TO MECHANICAL E.H.-3. VERIFY SIZE WITH MANUFACTURER'S RECOMMENDATIONS. CONDUCTORS TO BE SIZED PER 310.15(B)(6).
- ⑪ PROVIDE FUSED DISCONNECT FOR CONNECTION TO PUMP. VERIFY SIZE WITH MANUFACTURER'S RECOMMENDATIONS. CONDUCTORS TO BE SIZED PER 310.15(B)(6).
- ⑫ PROVIDE A MOTOR RATED SWITCH FOR CONNECTION TO THE FC UNITS. VERIFY SIZE WITH MANUFACTURER'S RECOMMENDATIONS. CONDUCTORS TO BE SIZED PER 310.15(B)(6).
- ⑬ PROVIDE (1)CAT5 DATA JACK AND RUN CAT5 CABLE TO THE DESTINATION SUGGESTED BY THE IT CONSULTANT.

REVISIONS		
NO.	DATE	DESCRIPTION
△	04/28/22	REVISION
△	05/18/22	PLAN CHECK
△	09/14/22	REVISIONS
△	02/01/23	REVISIONS

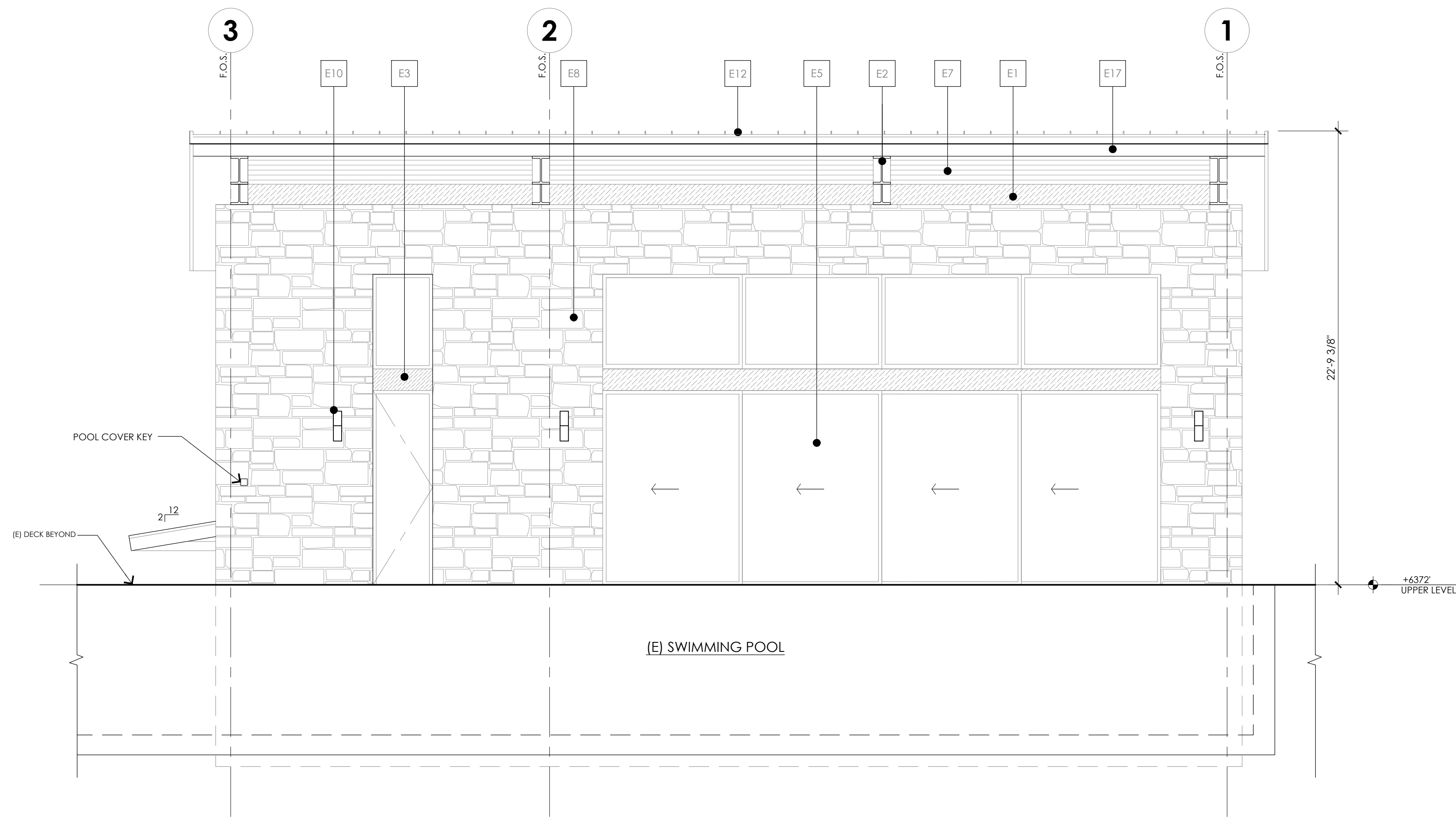


SUN DOG
RESIDENCE
230 ESTATES DRIVE
INCLINE VILLAGE, NV 89451

PROJECT NAME:
SHEET TITLE:
ELECTRICAL POWER PLAN

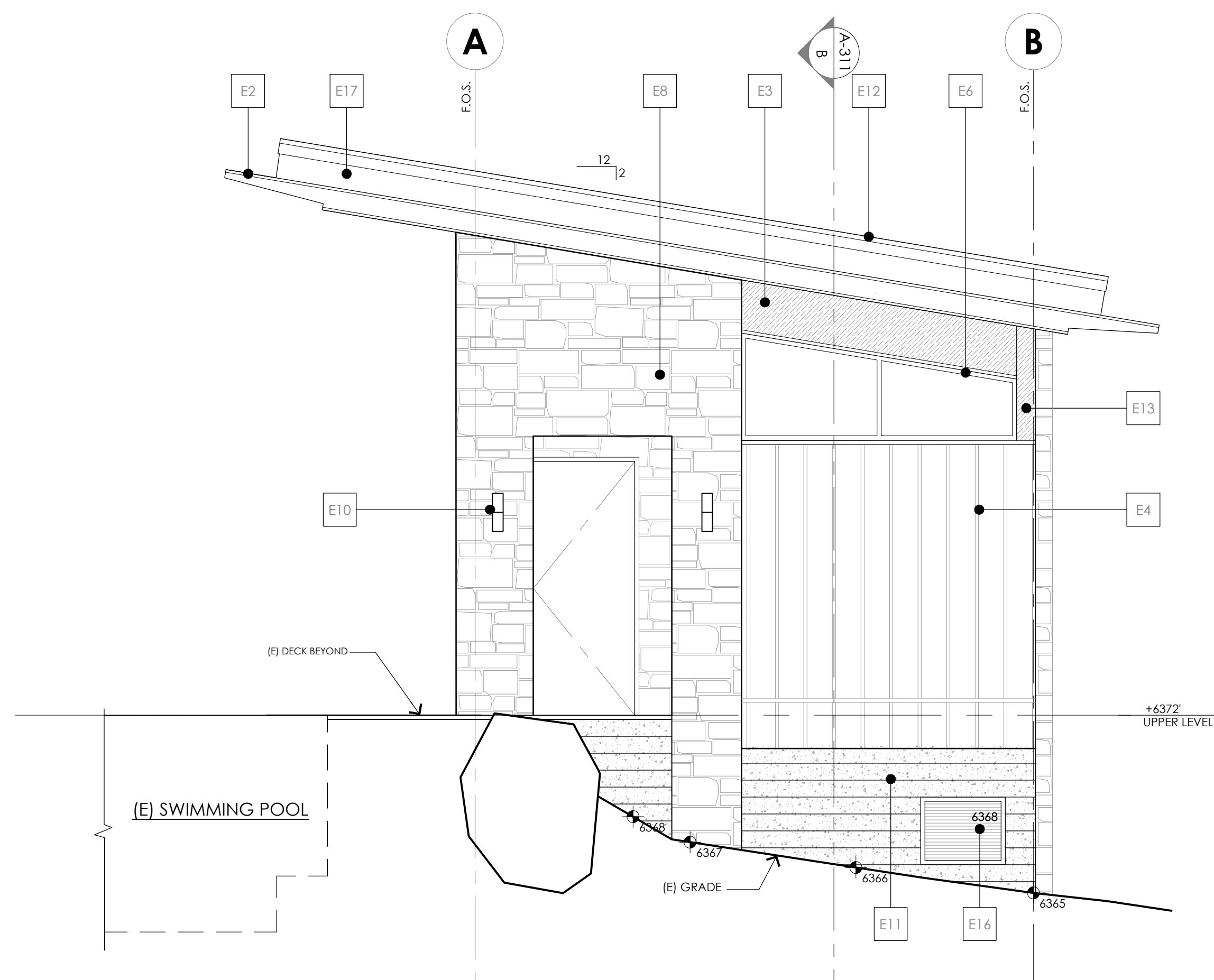
DRAWN	GMEP
CHECKED	GMEP
DATE	02/01/23
SCALE	AS NOTED
JOB NO.	21-519
SHEET	

E-2.1



EXISTING SOUTHEAST ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING NORTHEAST ELEVATION

SCALE: 1/4" = 1'-0"

KEYNOTES

E1	BLACK METAL CLAD CLOSURE PANELS
E2	EXPOSED STEEL RAFTER DETAIL
E3	EXPOSED STEEL CLADDING, PAINTED BLACK TO MATCH EXISTENCE
E4	BOARD & BATTEN, HARDIE PANEL VERTICAL SIDING OR EQ., COLOR IRON GREY TO MATCH EXISTING RESIDENCE
E5	ALUMINUM LIFT & SLIDE GLASS DOOR OR EQ. w/ BLACK FRAME TO MATCH EXISTING RESIDENCE
E6	DOOR / WINDOW FRAMESCLAD-OR EQ. w/ BLACK FRAME TO MATCH EXISTING RESIDENCE
E7	OAK WOOD SOFFIT BOARDS TO MATCH EXISTING HOUSE
E8	RANDOM ASHLAR LIMESTONE CUT STONE VENEER, TUXEDO GREY OR EQ. TO MATCH EXISTING RESIDENCE
E10	EXTERIOR LIGHT - MODERN FORMS DOUBLE DOWN BK-BLACK
E11	BOARD FORMED CONCRETE WALLS
E12	CLASS "A" STANDING SEAM METAL ROOF, DARK GREY PAINTED METAL TO MATCH (E) RESIDENCE
E13	STEEL COLUMN
E14	SNOW MELT ROOF EDGE & GUTTER DETAILW/ 4" GUTTERS SUMMIT SNOW MELT EDGE
E15	EXPOSED STEEL W-BEAM
E16	MECHANICAL EXHAUST SCREEN TO BE WUI COMPLIANT VENT PER IWUIC SD4.10, DARK GREY FINISH TO MATCH WINDOW FRAMES
E17	METAL FASCIA TO BE MINIMUM 22 GA KYNAR FINISHED GALVANIZED METAL, DARK GREY COLOR TO MATCH MAIN HOUSE. ALL FASTENERS TO BE CONCEALED

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	TRPA - APPLICATION	05/01/22
	COUNTY PERMIT SUBMITTAL	05/01/22

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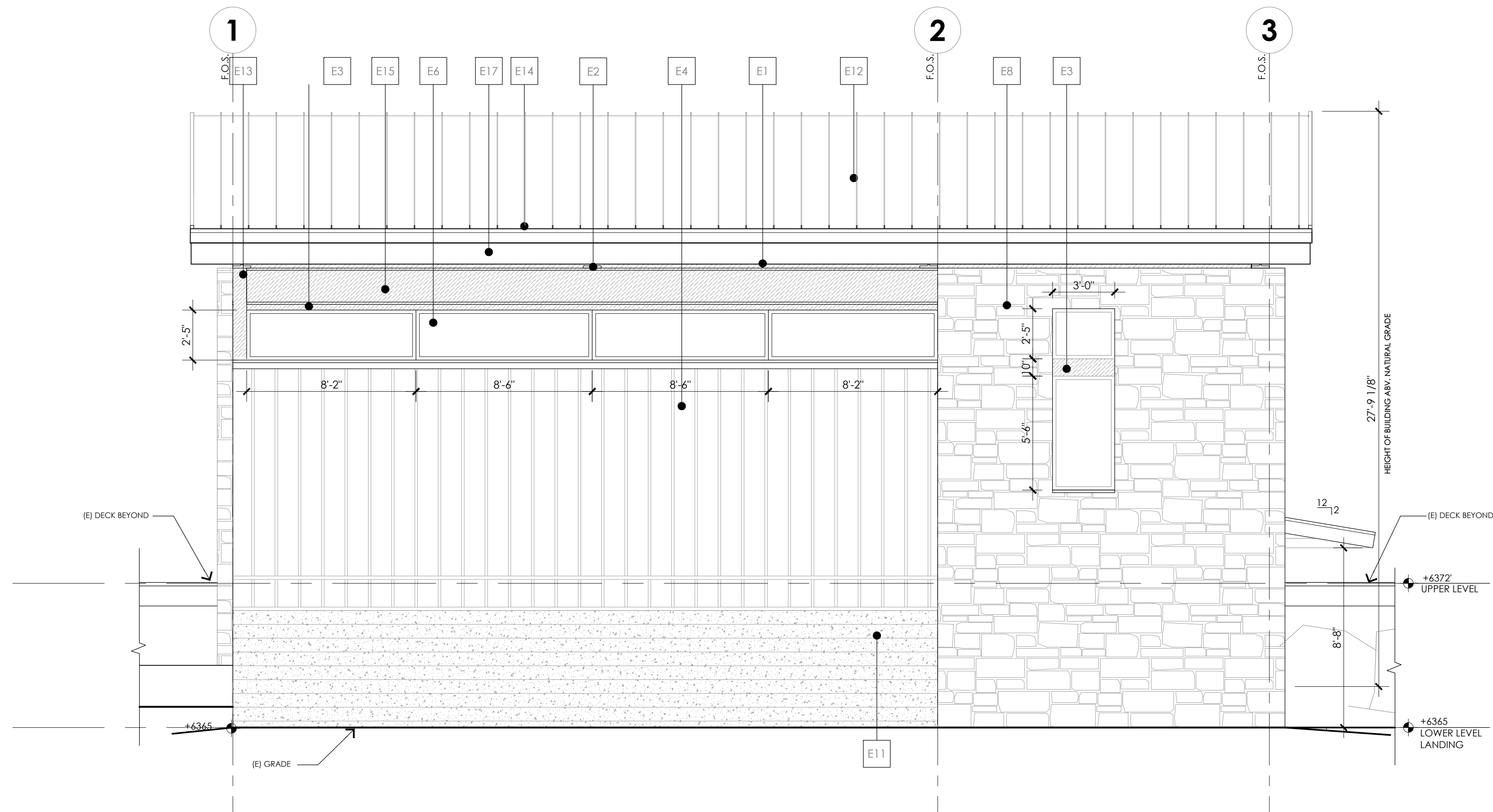
Sheet Name

**EXISTING
ELEVATIONS**

A-211

NOTE:

EXISTING ELEVATIONS TO REMAIN.
NO NEW EXTERIOR CONSTRUCTION



KEYNOTES

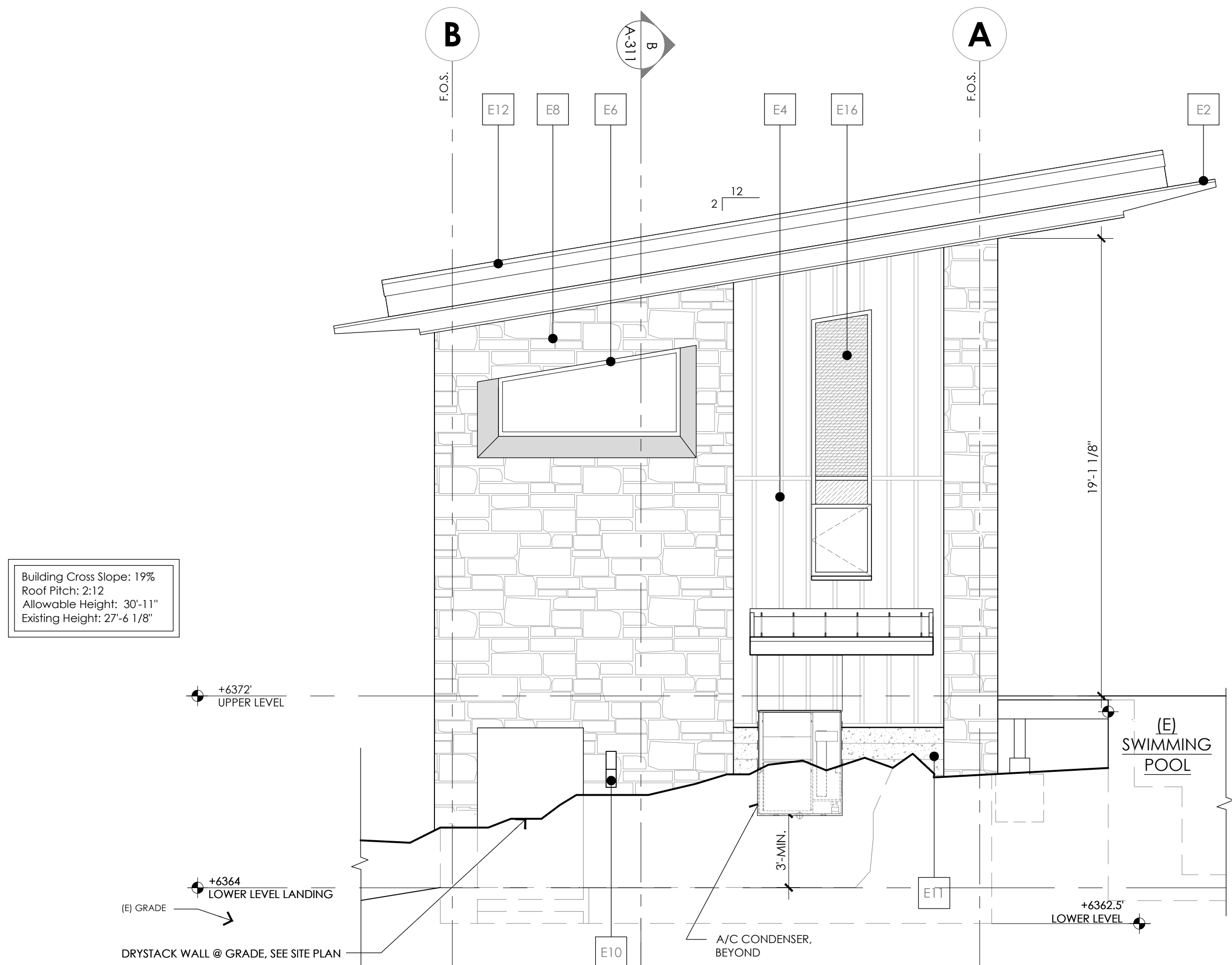
- E1 BLACK METAL CLAD CLOSURE PANELS
- E2 EXPOSED STEEL RAFTER DETAIL
- E3 EXPOSED STEEL CLADDING, PAINTED BLACK TO MATCH EXISTENCE
- E4 BOARD & BATTEN, HARDIE PANEL VERTICAL SIDING OR EQ., COLOR IRON GREY TO MATCH EXISTING RESIDENCE
- E5 ALUMINUM LIFT & SLIDE GLASS DOOR OR EQ. w/ BLACK FRAME TO MATCH EXISTING RESIDENCE
- E6 DOOR / WINDOW FRAMESCLAD-OR EQ. w/ BLACK FRAME TO MATCH EXISTING RESIDENCE
- E7 OAK WOOD SOFFIT BOARDS TO MATCH EXISTING HOUSE
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- E10 EXTERIOR LIGHT - MODERN FORMS DOUBLE DOWN BK-BLACK
- E11 BOARD FORMED CONCRETE WALLS
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- E15 EXPOSED STEEL W-BEAM
- E16 MECHANICAL EXHAUST SCREEN TO BE WUI COMPLIANT VENT PER IWUIC S04.10, DARK GREY FINISH TO MATCH WINDOW FRAMES
- E17 METAL FASCIA TO BE MINIMUM 22 GA KYNAR FINISHED GALVANIZED METAL, DARK GREY COLOR TO MATCH MAIN HOUSE. ALL FASTENERS TO BE CONCEALED

NOTE:

COLOR: THE COLOR OF THIS STRUCTURE, INCLUDING ANY FENCES ON THE PROPERTY, SHALL BE COMPTIBLE WITH THE SURROUNDINGS. SUBDUED COLORS IN THE EARTHTONE AND WOODTONE RANGES SHALL BE USED FOR THE PRIMARY COLOR OF THE STRUCTURE. HUES SHALL BE WITHIN THE RANGE OF NATURAL COLORS THAT BLEND, RATHER THAN CONTRAST. WITH THE EXISTING VEGETATION AND EARTH HUES. EARTHTONE COLORS ARE CONSIDERED TO BE SHADES OF REDDISH BROWN, BROWN, TAN, OCHRE, AND UMBER.

ROOFS: ROOFS SHALL BE COMPOSED OF NON-GLARE EARTHTONE OR WOODTONE MATERIALS THAT MINIMIZE REFLECTIVITY.

FENCES: WOODEN FENCES SHALL BE USED WHENEVER POSSIBLE. IF CYCLONE FENCES MUST BE USED, IT SHALL BE COATED WITH BROWN OR BLACK VINYL, INCLUDING FENCE POLES.



NOTE:

EXISTING ELEVATIONS TO REMAIN.
NO NEW EXTERIOR CONSTRUCTION

Building Cross Slope: 19%
Roof Pitch: 2:12
Allowable Height: 30'-11"
Existing Height: 27'-6 1/8"

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CONSTRUCTION ACTIVITIES.

Signature

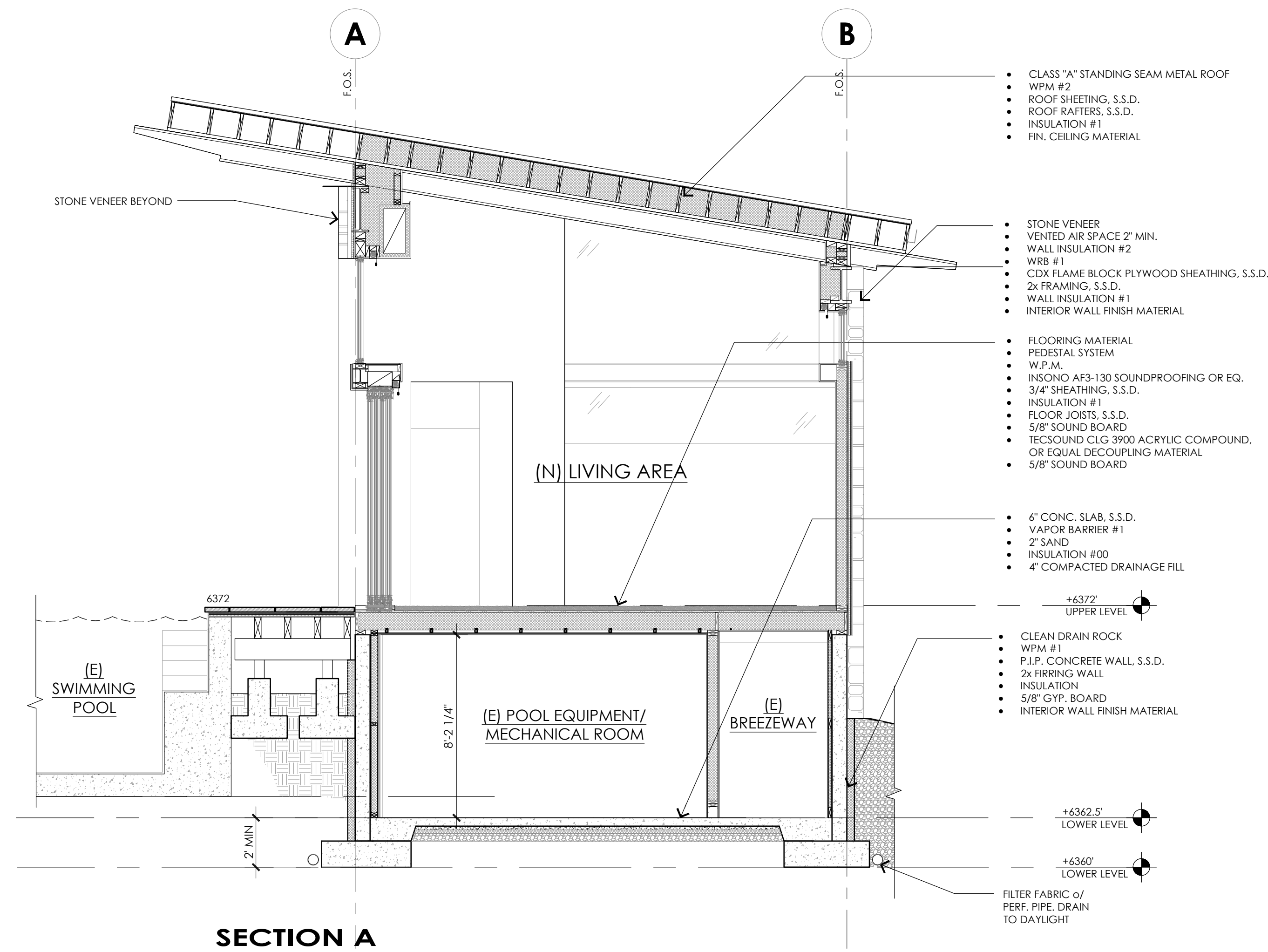
No.	Description	Date
1	TRPA - APPLICATION	05/01/22
2	COUNTY PERMIT SUBMITTAL	05/01/22

Scale 1/4" = 1'-0"

Sheet Name

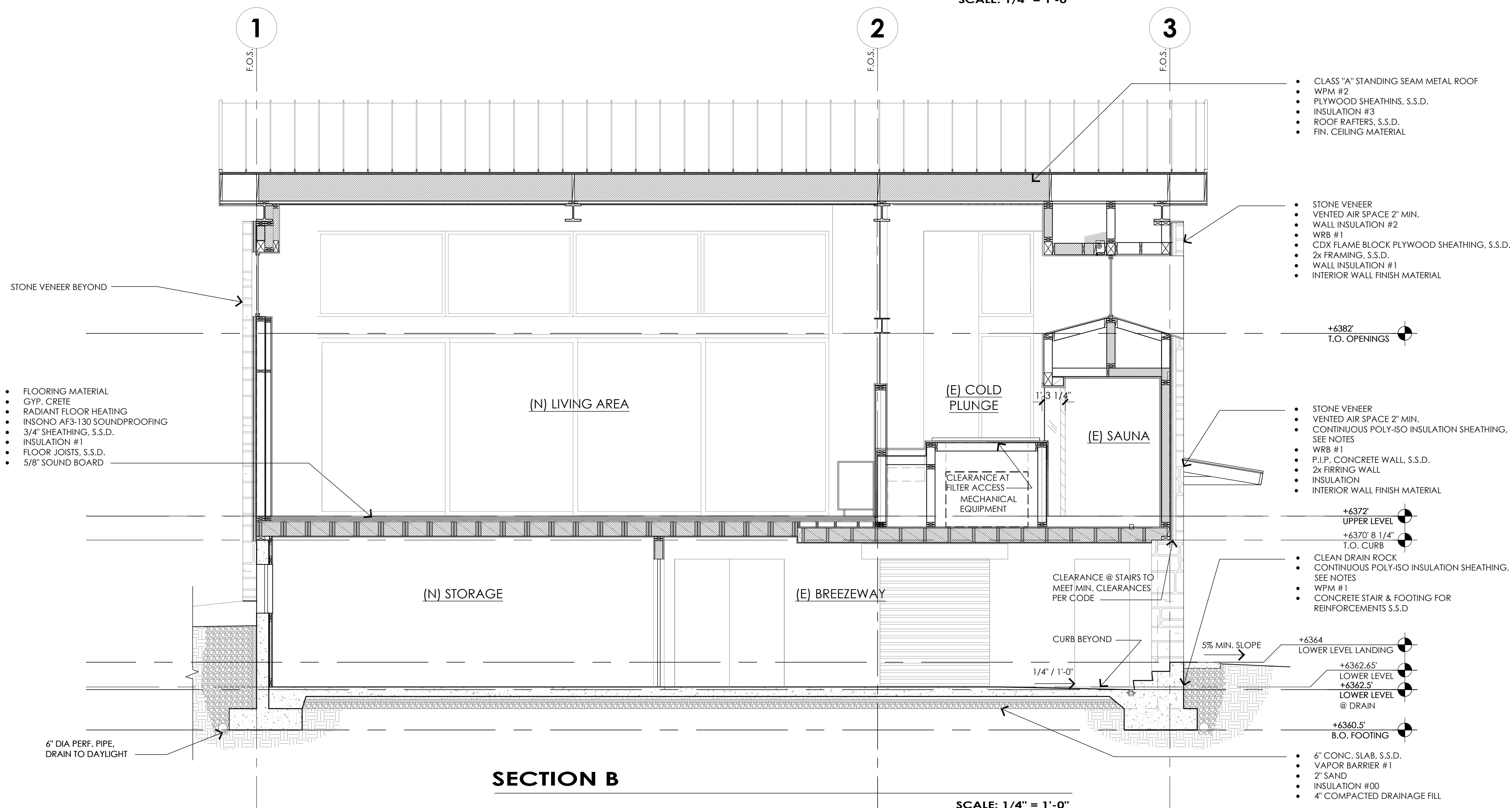
**EXISTING
ELEVATIONS**

A-212



SECTION A

SCALE: 1/4" = 1'-0"



SECTION B

SCALE: 1/4" = 1'-0"

NO CHANGE

INSULATION MATERIALS LIST & NOTES		
FLOORING INSULATION:		
INSULATION #00: R-10 RIGID INSULATION		
FLOORING INSULATION:		
INSULATION #1: R-30 FIBERGLASS SOUND BATT INSULATION		
INSULATION #2: 1 1/2" RIGID INSULATION		
EXTERIOR WALL INSULATION #1:		
INSULATION #2: R-21 CLOSED CELL SPRAY FOAM INSULATION		
EXTERIOR WALL INSULATION #2:		
INSULATION #2: 1-1/2" CLOSED CELL SPRAY FOAM INSULATION		
ROOFING INSULATION:		
INSULATION #4: R-49 CLOSED CELL SPRAY FOAM INSULATION		
*ALL MATERIALS MUST BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS & SPECIFICATIONS		

WATERPROOFING MATERIALS LIST & NOTES		
CONCRETE SLAB:		
VAPOR BARRIER #1: STEGO WRAP 15-MIL VAPOR BARRIER - UNDER CONCRETE SLAB VAPOR BARRIER		
NOTE: THE CONCRETE SLAB ALSO HAS AN UNDER SLAB DRAINAGE SYSTEM (BELOW THE VAPOR BARRIER)		
BELOW GRADE CONCRETE WALLS:		
WPM #1: TREMCO PARASEAL WATERPROOFING SYSTEM, w/ MIRA-DRAIN 6000 DRAINAGE MAT OR EQ.		
NOTE: THE CONCRETE WALLS ALSO HAVE A PERIMETER DRAINAGE SYSTEM		
ABOVE GRADE CONCRETE WALLS:		
SEALER #1: PROSOCO CONSOLIDECK SLX 100 WATER & OIL REPELLENT		
WOOD SIDING AND TRIM:		
WRB #1: WATER RESISTANT BARRIER - PROSOCO R-GUARD CAT 5 RAIN SCREEN AIR & WATER RESISTIVE BARRIER w/ DUPONT TYVEK HOUSE WRAP- SLIP SHEET WHERE NEEDED		
DOORS, WINDOWS AND PENETRATIONS:		
WRB #2: PROSOCO R-GUARD FASTFLASH		
ROOFING:		
WPM #2: POLYGLASS POLYSTYCK MTS WATERPROOF UNDERLAYMENT, w/ RED ROSIN PAPER SLIP SHEET & ANCHOR SHEET, EQUAL OR BETTER		
V.R. #1: VAPOR RETARDER		
MISCELLANEOUS		
WATER STOP #1: TREMCO SUPER STOP AT CONCRETE COLD JOINTS		
SEALANT #1: SILKAFLEX-1A AT DOOR THRESHOLDS, WOOD SIDING, FLASHING AND MISC. CAULKING, NOT TO BE USED IN CONTACT WITH THE R-GUARD SYSTEM, TYVEK HOUSE WRAP OR ANY PRODUCTS CONTAINING PETROLEUM		
*ALL MATERIALS MUST BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS & SPECIFICATIONS		

DENNIS SOCOLEAN
RINNOVO GROUP, INC.
1512 EUREKA ROAD SUITE 210
ROSEVILLE CA 95661
NVCL - 0089383
WC BUSINESS LICENSE W003846A-LIC
PHONE - 916-941-6498 / 916-826-1639
DENNIS@RINNOVOGROUP.COM

SUN DOG ADU
230 Estates Drive
Incline Village, NV 89451
APN: 130-163-27

CONTRACTOR DRAWINGS
COMPILED PER NRS 623.035
(D) A CONTRACTOR
LICENSED PURSUANT TO THE
PROVISIONS OF CHAPTER
624 OF NRS WHO PROVIDES
HIS OR HER OWN DRAWINGS
FOR HIS OR HER OWN
CONSTRUCTION ACTIVITIES.

Signature

No.	Description	Date
	TRPA - APPLICATION	05/01/22
	COUNTY PERMIT SUBMITTAL	05/01/22

Scale 1/4" = 1'-0"

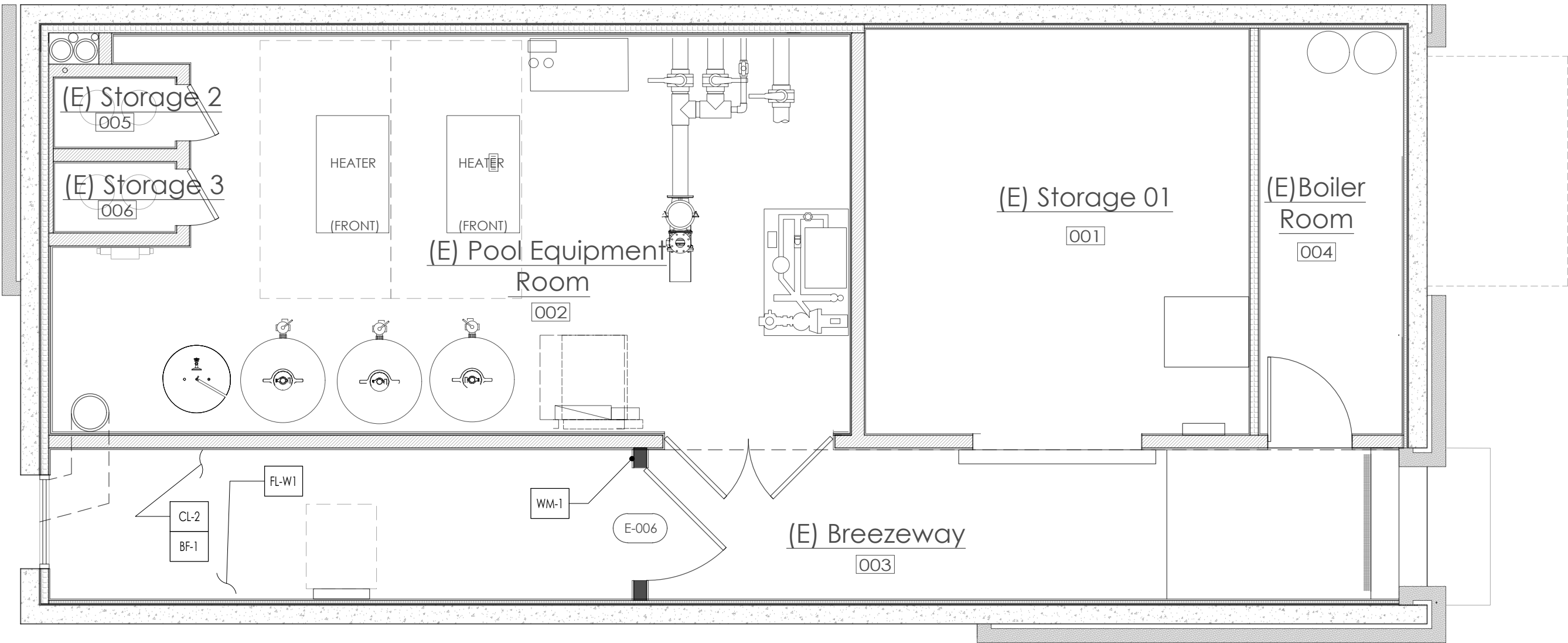
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SECTIONS

A-311

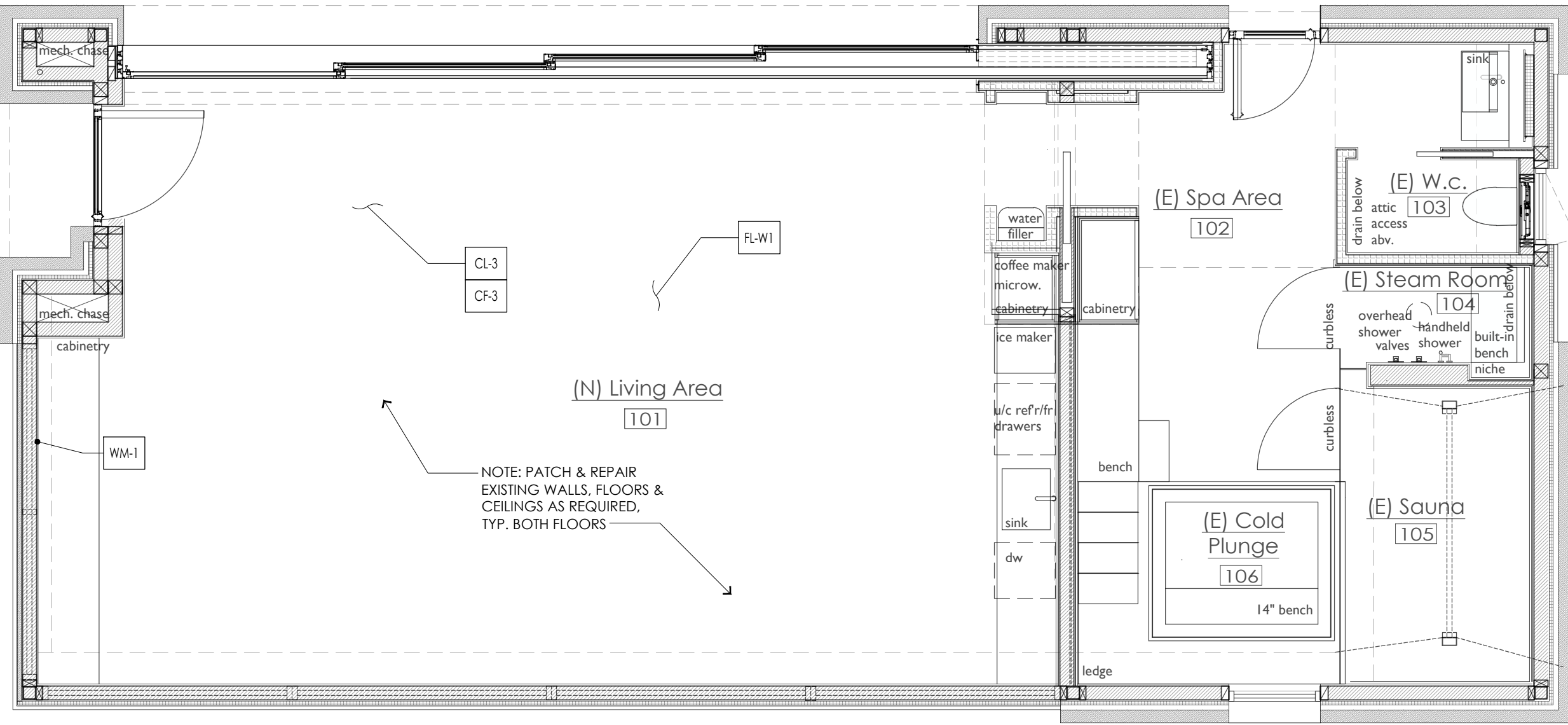
FINISH LOG															
BASEMENT FLOOR															
NO.	ROOM NAME	FLOOR			WALLS			BASE			CEILING				REMARKS
		MAT'L	FINISH	AREA	MAT'L	FINISH	AREA	MAT'L	FINISH	L.F.	MAT'L	FINISH	HEIGHT	AREA	
007	STORAGE 4	FL-W1	-	-	WM-1	WF-P1	-	-	BF-1	-	CL-2	WF-P1	-	-	-
FIRST FLOOR															
NO.	ROOM NAME	FLOOR			WALLS			BASE			CEILING				REMARKS
		MAT'L	FINISH	AREA	MAT'L	FINISH	AREA	MAT'L	FINISH	L.F.	MAT'L	FINISH	HEIGHT	AREA	
101	(N) LIVING AREA	FL-W1	-	-	WM-1	WF-P1	-	-	BF-1	-	CL-3	-	-	-	-
FINISH SCHEDULE															
TAG	ITEM	SPECIFICATION					NOTES								
		MANUFACTURER	CAT.#	FINISH			DIMENSIONS			QTY.	DESCRIPTION				
		WALL MATERIAL													
WM-1	GYP. BOARD										CONTRACTOR TO PROVIDE				
WM-2	TYPE X GYP. BOARD										CONTRACTOR TO PROVIDE				
		WALL FINISH													
WF-P1	PAINT	SHERWIN WILLIAMS	SW7005	PURE WHITE											
WF-P2	PAINT(ACCENT WALLS)	SHERWIN WILLIAMS	SW7069	IRON ORE											
		FLOOR													
FL-W1	WOOD FLOORING	CALIFORNIA CLASSICS	MCTP808	TRIPOLI			8"W x 75"L								
FL-W1	CONCRETE ON GRADE	-	-	-							EXISTING CONCRETE FLOORING TO REMAIN				
		BASE FINISH													
BF-1	TO MATCH EXISTING	SHERWIN WILLIAMS	SW7005	PURE WHITE											
		CEILING MATERIAL													
CL-1	GYP. BOARD										CONTRACTOR TO PROVIDE				
CL-2	TYPE X GYP BOARD										CONTRACTOR TO PROVIDE				
CL-3	WOOD	WHITE OAK					1x6" SUB TO VERIFY				RINNOVO: MATCH (E) @MAIN HOUSE				
		CEILING FINISH													
CF-3	SEAL				SEAL TO MATCH EXISTING HOUSE LIVING ROOM							MATTE SEALANT THAT DOESN'T AFFECT WOOD APPEARANCE. PROVIDE SAMPLE			

DOOR SCHEDULE															
TAG	ROOM NAME	ROOM #	DOOR		DOOR										
			DESCRIPTION	WIDTH	HEIGHT	THICKNESS	WALL	SWING	CORE /FRAME	CLAD	FINISH	MFR	CAT. #		
EXTERIOR															
BASEMENT															
E-006	STORAGE 4	007	SWINGING	4/0	7/0				SOLID CORE						



BASEMENT FLOOR PLAN - FIT & FINISH TAGS

SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN - FIT & FINISH TAGS

SCALE: 1/4" = 1'-0"

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Signature		
No.	Description	Date
	TRPA - APPLICATION	05/01/22
	COUNTY PERMIT SUBMITTAL	05/01/22

Scale 01/17/22
Sheet Name AS NOTED

INTERIOR FINISH
PLAN & SCHEDULES

A-601

OWNER'S CERTIFICATE:

WE, THE UNDERSIGNED OWNERS OF THE AFFECTED PARCELS AS SHOWN ON THIS MAP DO HEREBY STATE:

1. WE HAVE EXAMINED THIS PLAT AND APPROVE AND AUTHORIZE ITS RECORDING.
2. WE AGREE TO EXECUTE THE REQUIRED DOCUMENTS CREATING ANY EASEMENT WHICH IS SHOWN HEREON.
3. WE AGREE TO EXECUTE THE REQUIRED DOCUMENTS ABANDONING ANY EXISTING EASEMENT PURSUANT TO THE PROVISIONS OF NRS 278.010 TO 278.630 INCLUSIVE.
4. ALL PROPERTY TAXES ON THE LAND FOR THE FISCAL YEAR HAVE BEEN PAID.
5. ANY LENDER WITH AN IMPOUND ACCOUNT FOR THE PAYMENT OF TAXES HAS BEEN NOTIFIED OF THE ADJUSTMENT OF THE BOUNDARY LINES OR THE TRANSFER OF THE LAND.
6. THE PROPERTY OWNERS HEREBY AGREE TO ACCEPT ANY DRAINAGE ONTO THEIR PROPERTY RESULTING FROM THIS BOUNDARY LINE ADJUSTMENT.

SUN DOG, LLC, A NEVADA LIMITED LIABILITY COMPANY

BY: _____

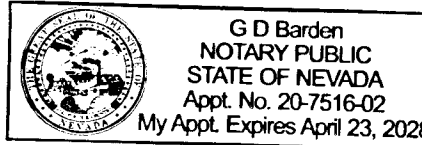
Lyndon Rive / owner
NAME/TITLE (PRINT)

NOTARY CERTIFICATE:

STATE OF Nevada }
COUNTY OF Washoe } SS

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THE 20 DAY OF August, 2024,
BY Lyndon Rive AS Owner OF SUN DOG, LLC, A NEVADA LIMITED LIABILITY COMPANY.

GDBarden
NOTARY PUBLIC
GDBarden



08/20/2024
DATE

SECURITY INTEREST HOLDER'S CERTIFICATE:

THIS IS TO CERTIFY THAT THE FOLLOWING HAVE CONSENTED TO THE PREPARATION AND RECORDATION OF THIS PLAT BY SEPARATE DOCUMENT.

JPMORGAN CHASE BANK, NATIONAL ASSOCIATION, BY DOCUMENT NO. 5550431, OFFICIAL RECORDS OF WASHOE COUNTY, NEVADA.
(REFERENCE ORIGINAL DEED OF TRUST DOCUMENT NO. 5284944 AS LAST MODIFIED BY DOCUMENT NO. 5417103.)

TAX CERTIFICATE:

THE UNDERSIGNED HEREBY CERTIFIES THAT ALL PROPERTY TAXES ON THIS LAND SHOWN HEREON FOR THE FISCAL YEAR HAVE BEEN PAID, AND THAT THE FULL AMOUNT OF ANY DEFERRED PROPERTY TAXES FOR THE CONVERSION OF THE PROPERTY FROM AGRICULTURAL USE HAS BEEN PAID PURSUANT TO N.R.S. 361A.265.

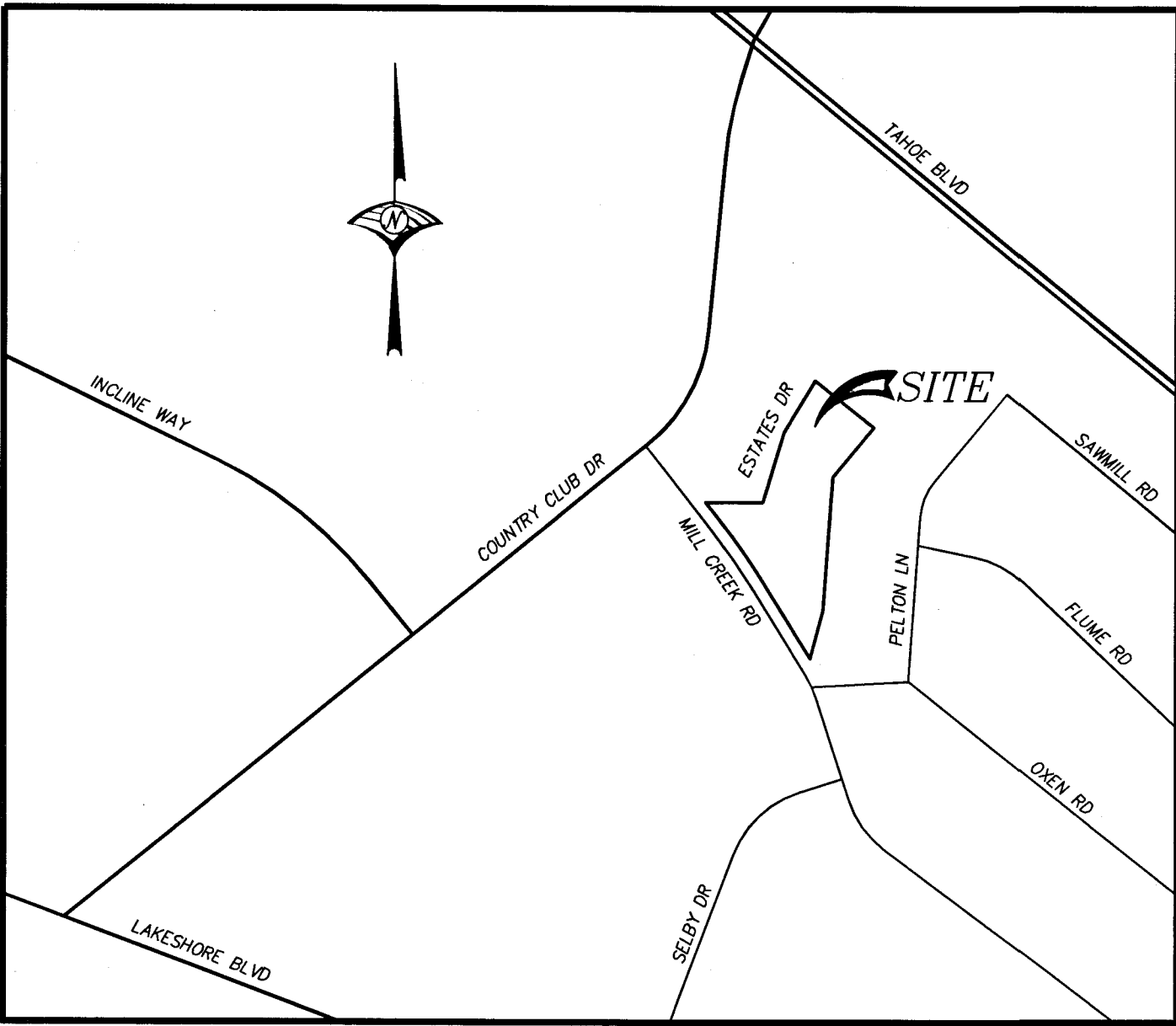
APN: 130-163-26 & 130-163-27

WASHOE COUNTY TREASURER

BY: _____

L. Yantis-Marche
NAME/TITLE (PRINT)

2/4/2025
DATE



VICINITY MAP
NOT TO SCALE

DISTRICT BOARD OF HEALTH CERTIFICATE:

THIS MAP IS APPROVED BY THE WASHOE COUNTY DISTRICT BOARD OF HEALTH. THIS APPROVAL CONCERNS SEWAGE DISPOSAL, WATER POLLUTION, WATER QUALITY, AND WATER SUPPLY FACILITIES. THIS MAP HAS BEEN FOUND TO MEET ALL APPLICABLE REQUIREMENTS AND PROVISIONS OF THE ENVIRONMENTAL HEALTH SERVICES DIVISION OF THE WASHOE COUNTY HEALTH DISTRICT.

FOR THE DISTRICT BOARD OF HEALTH
DATE

01/29/2025
DATE

GOVERNING AGENCY CERTIFICATE:

THE UNDERSIGNED HEREBY CERTIFIES THAT THIS MAP HAS BEEN REVIEWED AND APPROVED BY WASHOE COUNTY.

Wayne Handrock
WAYNE HANDROCK, P.L.S. 20464
WASHOE COUNTY SURVEYOR

4-15-25
DATE

TITLE COMPANY CERTIFICATE:

THE UNDERSIGNED HEREBY CERTIFIES THAT THIS PLAT HAS BEEN EXAMINED AND THAT SUN DOG, LLC, A NEVADA LIMITED LIABILITY COMPANY, OWNS OF RECORD AN INTEREST IN THE LANDS DELINEATED HEREON AND THAT THEY ARE THE ONLY OWNERS OF RECORD OF SAID LAND; THAT ALL THE OWNERS OF RECORD OF THE LAND HAVE SIGNED THE PLAT; AND THAT THERE ARE NO LIENS OF RECORD AGAINST THE LANDS DELINEATED HEREON, OR ANY PART THEREOF, FOR DELINQUENT STATE, COUNTY, MUNICIPAL, FEDERAL, OR LOCAL TAXES COLLECTED AS TAXES OR SPECIAL ASSESSMENTS; EXCEPT DOCUMENT NO. 5284944 AS LAST MODIFIED BY DOCUMENT NO. 5417103.

TICOR TITLE OF NEVADA, INC.

BY: _____

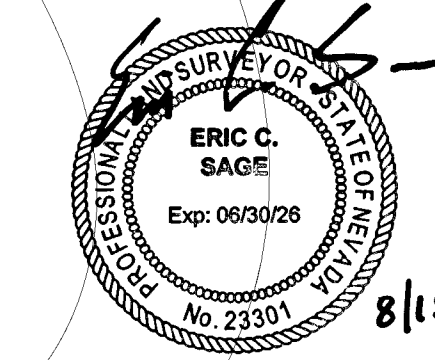
Timothy S. Polko, Agent
NAME/TITLE (PRINT)

2-3-25
DATE

SURVEYOR'S CERTIFICATE:

I, ERIC C. SAGE, A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF NEVADA, DO HEREBY CERTIFY THAT:

1. THIS PLAT REPRESENTS THE RESULTS OF SURVEY PERFORMED UNDER MY DIRECT SUPERVISION AT THE INSTANCE OF SUN DOG, LLC, A NEVADA LIMITED LIABILITY COMPANY.
2. THE LANDS SURVEYED LIE WITHIN THE NORTHWEST ONE-QUARTER OF SECTION 23, TOWNSHIP 16 NORTH, RANGE 18 EAST, M.D.M., COUNTY OF WASHOE, STATE OF NEVADA, AND THE SURVEY WAS COMPLETED ON June 22, 2025.
3. ALL CORNERS AND ANGLE POINTS OF THE ADJUSTED BOUNDARY HAVE BEEN DEFINED BY MONUMENTS AS REQUIRED BY NRS 625.340;
4. THIS PLAT COMPLIES WITH THE APPLICABLE STATE STATUTES AND ANY LOCAL ORDINANCES IN EFFECT ON THE DATE THE SURVEY WAS COMPLETED, AND THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH CHAPTER 625 OF THE NEVADA ADMINISTRATIVE CODE.
5. THIS PLAT DELINEATES A BOUNDARY LINE ADJUSTMENT AND DOES NOT CREATE ANY ADDITIONAL PARCELS AND IS NOT IN CONFLICT WITH PROVISIONS OF NRS 278.010 TO 278.630, INCLUSIVE.



ERIC C. SAGE, P.L.S.
NEVADA CERTIFICATE NO. 23301

DOC #5550433

06/30/2025 11:16:27 AM
Requested By
WOOD RODGER INC
Washoe County Recorder
Kalie M. Work
Fee: \$45.00
Page 1 of 2

RECORD OF SURVEY IN SUPPORT OF A
BOUNDARY LINE ADJUSTMENT FOR
SUN DOG, LLC
BEING PARCELS 2 & 3 OF PARCEL MAP 1164,
SITUATE WITHIN THE NORTHWEST 1/4 OF SECTION 23,
TOWNSHIP 16 NORTH, RANGE 18 EAST, M.D.M.
WASHOE COUNTY NEVADA

WOOD RODGERS
BUILDING RELATIONSHIPS ONE PROJECT AT A TIME
1361 Corporate Boulevard
Reno, NV 89502
Tel 775.823.4068
Fax 775.823.4068

JOB NO. 4005052

SHEET 1
OF 2

