

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name:			
Project Description:			
Project Address:			
Project Area (acres or square feet):			
Project Location (with point of reference to major cross streets AND area locator):			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone:	Fax:	Phone:	Fax:
Email:		Email:	
Cell:	Other:	Cell:	Other:
Contact Person:		Contact Person:	
Applicant/Developer:		Other Persons to be Contacted:	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone:	Fax:	Phone:	Fax:
Email:		Email:	
Cell:	Other:	Cell:	Other:
Contact Person:		Contact Person:	
For Office Use Only			
Date Received:		Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Administrative Review Permit Application

Supplemental Information

(All required information may be separately attached)

1. Describe the type of development that is proposed (e.g. accessory dwelling unit, accessory structure, etc.)

2. If this proposed administrative review permit application is for an accessory dwelling or structure, what is the square footage of the proposed building? If the building is a manufactured or modular home, also list the age and size of the unit.

3. How are you planning to integrate the proposed building to provide architectural compatibility with the subject property and neighborhood?

5. How many off-street parking spaces are available? Parking spaces must be shown on site plan. Will any new roadway, driveway, or access improvements be required?

6. What will you do to minimize any potential negative impacts (e.g. increased lighting, removal of existing vegetation, etc.) your project may have on adjacent properties?

7. If your project falls under WCC 110.220.60 Sitting on Corner and Sloped Lots, address how the project meets the requirements of WCC 110.220.60(a)(1-6).

8. Is the proposed building intended to be used for a business or as a short term rental (STR)? If so, have you obtained a business license or STR permit?

9. Is the subject property part of an active Home Owners Association (HOA) or Architectural Control Committee?

☐ Yes	☒ No	If yes, please list the HOA name.
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10. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit a detached accessory dwelling on your property?

☐ Yes	☒ No	If yes, please attach a copy.
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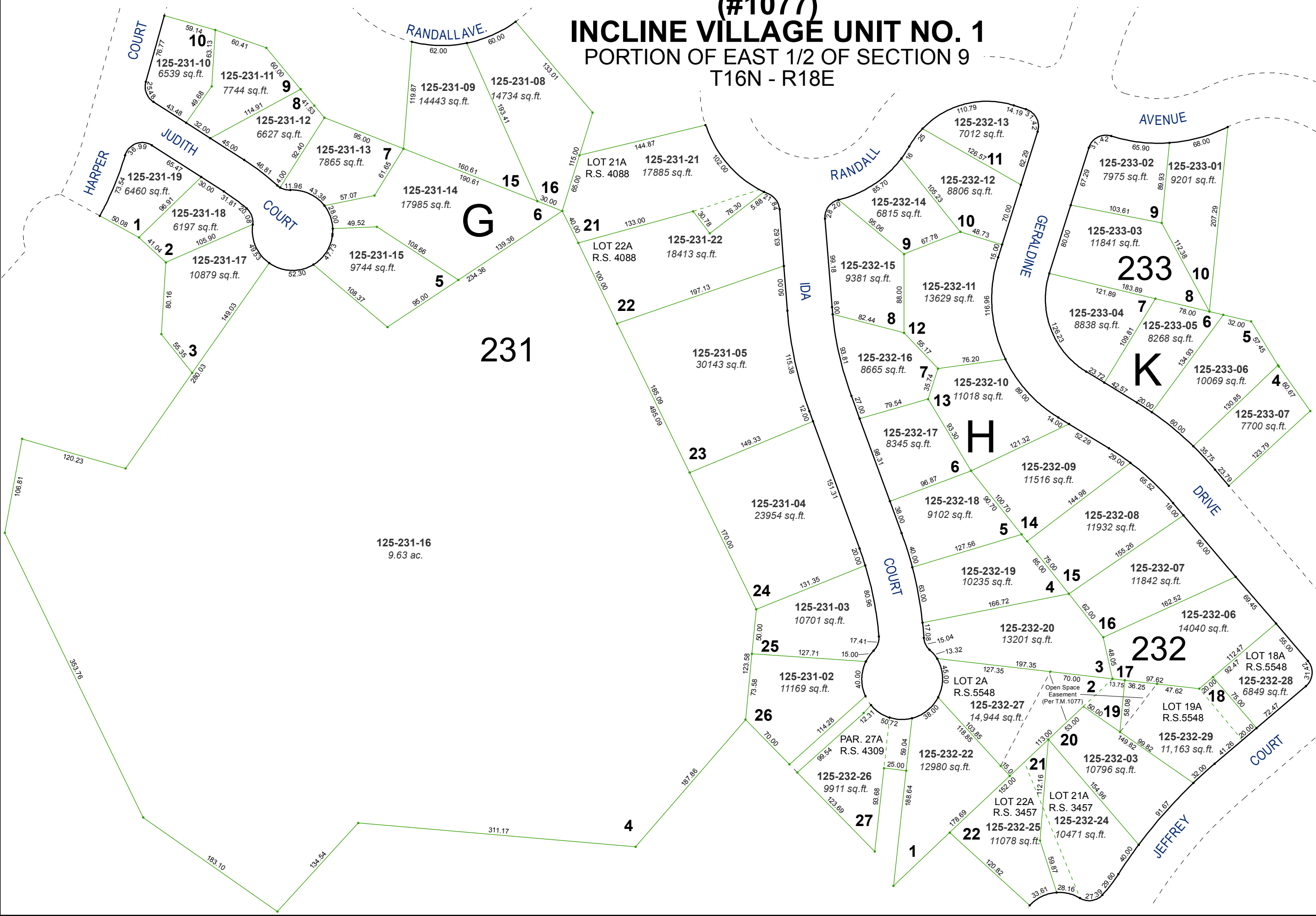
11. Only one accessory dwelling unit, whether attached or detached, is allowed per parcel. Is there a guest apartment, mother-in-law unit, next-gen addition with kitchen or any other type of secondary dwelling on the subject property?

☐ Yes	☒ No	If yes, please provide information on the secondary unit.
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12. List who the service providers are for the main dwelling and accessory dwelling:

	Main Dwelling	Accessory Dwelling
Sewer Service		
Electrical Service		
Solid Waste Disposal Service		
Water Service		

(#1077)
INCLINE VILLAGE UNIT NO. 1
PORTION OF EAST 1/2 OF SECTION 9
T16N - R18E

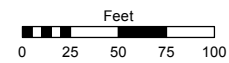


Assessor's Map Number

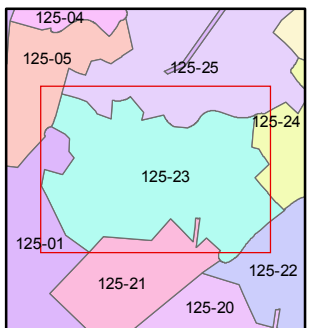
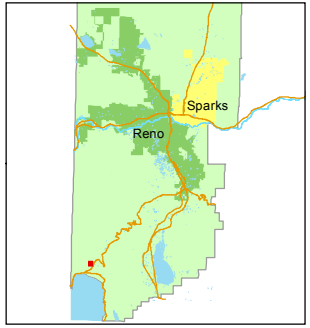
125-23

STATE OF NEVADA
WASHOE COUNTY
ASSESSOR'S OFFICE
Joshua G. Wilson, Assessor

1001 East Ninth Street
Building D
Reno, Nevada 89512
(775) 328-2231



1 inch = 100 feet



created by: CFB 05/06/2014

last updated:

area previously shown on map(s)

NOTE: This map was prepared for the use of the Washoe County Assessor for assessment and illustrative purposes only. It does not represent a survey of the premises. No liability is assumed as to the sufficiency or accuracy of the data delineated hereon.

AGENCY PERMITS DISCLAIMER

THIS MAP DEPICTS THE EXISTING TOPOGRAPHY AND IMPROVEMENTS OF THE SITE ON THE DATE OF SURVEY SHOWN HEREON. DETERMINING AGENCY PERMITS/CODES/REQUIREMENTS WERE NOT PART OF THIS SURVEY MAPPING AGREEMENT (NOT SHOWN ON THIS MAP).

LAND COVERAGE NOTE

THE PURPOSE OF THIS SURVEY AND MAP IS TO DEPICT THE TOPOGRAPHY, IMPROVEMENTS, AND LAND COVERAGE. OTHER THAN THE TYPICAL 3-TO-1 RAIN ANGLE REDUCTION FOR LAND COVERAGE, NO EXEMPTIONS, CREDITS, OR SPECIAL REDUCTIONS HAVE BEEN APPLIED TO THIS PROPERTY REGARDING LAND COVERAGE APPLYING TO NON-SENSITIVE LANDS WHICH HAVE COMPLETED THE B.M.P. PROCESS, AS CERTAIN DOCUMENTATION PERMITS AND VERIFICATIONS ARE REQUIRED BY T.R.P.A., WHICH IS BEYOND THE SCOPE OF THIS SURVEY MAP.

REFERENCES (ALL IN WASHOE COUNTY OFFICIAL RECORDS)

- GRANT, BARGAIN, SALE DEED; DOC. No. 5487881 DATED SEPTEMBER 30, 2024.
- RECORD OF SURVEY MAP 5548 RECORDED 20 FEB 2014, FILE No. 4328197.
- RECORD OF SURVEY MAP 3457 RECORDED 29 JUN 1998, FILE No. 2225324.
- TRACT MAP 1077 "INCLINE VILLAGE UNIT No. 1" RECORDED 09 SEP 1968, FILE No. 123993.

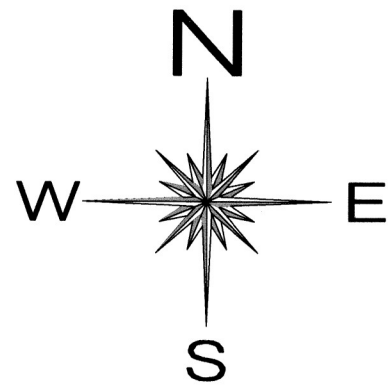
MAP DIMENSIONS NOTE

PARCEL BEARINGS SHOWN ARE FROM TRACT MAP 1077 "INCLINE VILLAGE UNIT No. 1" RECORDED 09 SEP 1968, FILE No. 123993 (BASIS OF BEARINGS).

EASEMENT NOTE

- UTILITIES EASEMENT NOTE PER TRACT MAP 1077 (INCLINE VILLAGE UNIT No. 1):
"THE SIERRA PACIFIC POWER COMPANY AND THE BELL TELEPHONE COMPANY OF NEVADA RESERVE THE RIGHT TO TRIM AND REMOVE TREES, TREE LIMBS AND BRUSH FROM THE FRONT TEN FEET OF ALL LOTS IN THIS SUBDIVISION, THAT TWO FEET ON BOTH SIDES OF ALL SIDE LOT LINES EXTENDING TWENTY FEET FROM THE FRONT LOT LINE OF ALL LOTS BE GRANTED AS A PUBLIC UTILITY EASEMENT FOR OVERHEAD GUYS AND UNDERGROUND ANCHORS."

SYMBOL LEGEND	
	Survey Control Point
	Tree: Dia. (in inches) & Species (Pine/Fir/Cedar)
	Found Monument As Noted
	Centerline
	Utilities Manhole
	Utility Lid/Vault, as noted
	Dead Tree



IMPERVIOUS SURFACE AREA (Coverage)

Building (Residence)	1,501 SQ. FT.
Decks, Stairs	683
A.C. Paving	206
Shed	9
TOTAL (3:1 Rain angle reduction applied)	2,399 SQ. FT.

OFFSITE COVERAGE

A.C. Paving	98 SQ. FT.
TOTAL OFFSITE COVERAGE	98 SQ. FT.

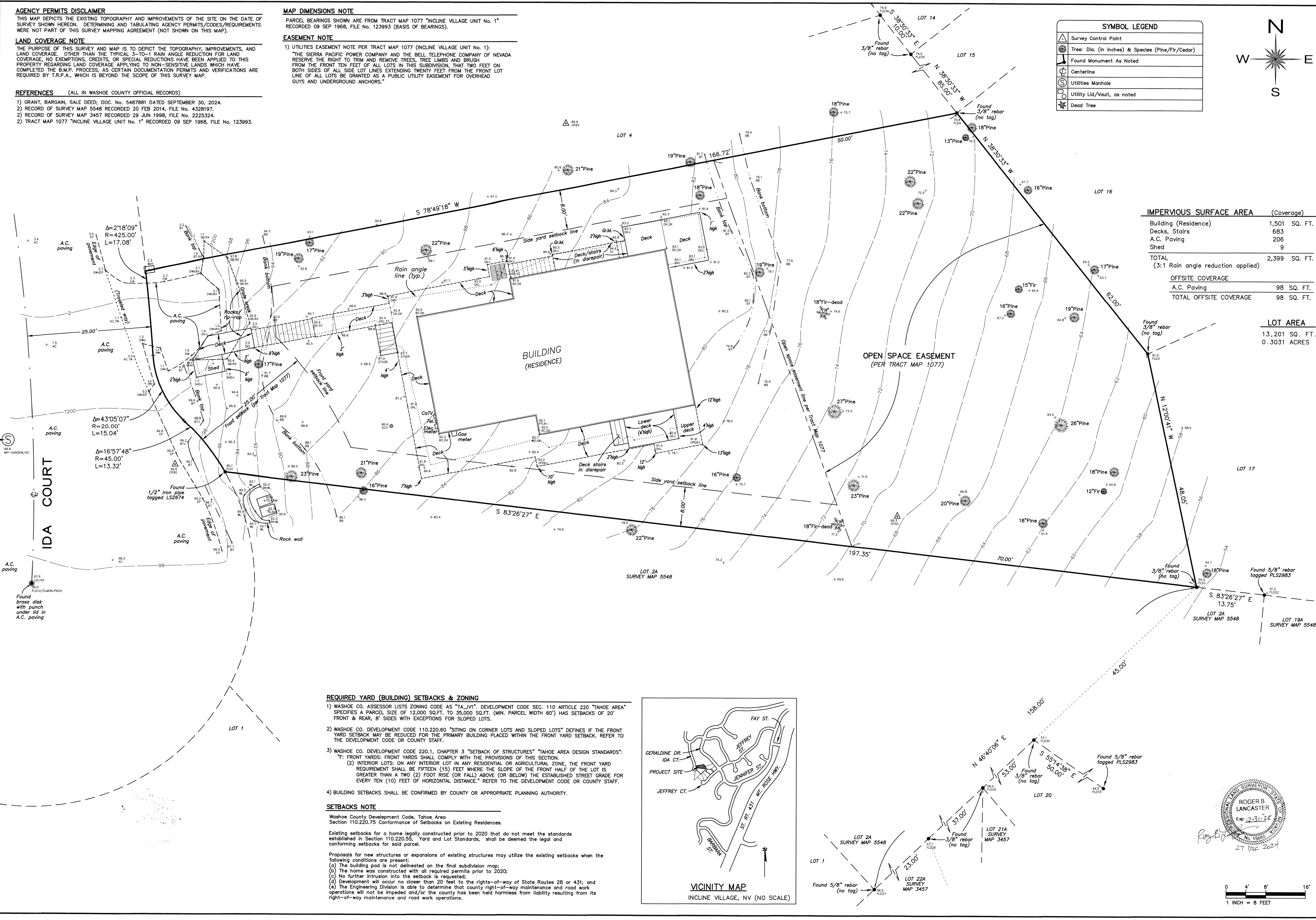
LOT AREA

13,201 SQ. FT.
0.3031 ACRES

DISCLAIMER
THIS DRAWING WAS PREPARED EXCLUSIVELY FOR PAUL CARMOLA AND ACCURATELY REPRESENTS, TO THE BEST OF MY KNOWLEDGE, INFORMATION, BELIEF AND PROFESSIONAL OPINION, THE MATTERS CONTAINED HEREIN AS OF THE DATE STATED HEREON. AN AGREEMENT TO HOLD THE SURVEYOR HARMLESS FROM AND AGAINST ALL SUCH CLAIMS, DAMAGES AND CONDITIONS CONTROL THE USE OF THIS DRAWING AND ELECTRONIC MEDIA.
Roger B. Lancaster
ROGER B. LANCASTER, LAND SURVEYOR
DATE: 27 Dec 2024
DATE OF SURVEY FIELD WORK: 11/12/15, 2024

Topographic As-Built Survey
Lot 3, Block 'H', INCLINE VILLAGE UNIT No. 1
A.P.N. 125-232-20 / Washoe County
790 Ida Court, Incline Village, Nevada
A Port. of Sec. 9, T10N, R10E, M20A

Job No. 241007
Scale 1" = 8'
Drawn RBL
15 NOV 2024
Sheet 1 of 1



REQUIRED YARD (BUILDING) SETBACKS & ZONING

- WASHOE CO. ASSESSOR LISTS ZONING CODE AS "TA-1V1", DEVELOPMENT CODE SEC. 110 ARTICLE 220 "TAHOE AREA" SPECIFIES A PARCEL SIZE OF 12,000 SQ.FT. TO 35,000 SQ.FT. (MIN. PARCEL WIDTH 60') HAS SETBACKS OF 20' FRONT & REAR, 8' SIDES WITH EXCEPTIONS FOR SLOPED LOTS.
- WASHOE CO. DEVELOPMENT CODE 110.220.60 "SITING ON CORNER LOTS AND SLOPED LOTS" DEFINES IF THE FRONT YARD SETBACK MAY BE REDUCED FOR THE PRIMARY BUILDING PLACED WITHIN THE FRONT YARD SETBACK. REFER TO THE DEVELOPMENT CODE OR COUNTY STAFF.
- WASHOE CO. DEVELOPMENT CODE 220.1, CHAPTER 3 "SETBACK OF STRUCTURES" "TAHOE AREA DESIGN STANDARDS":
"F: FRONT YARDS: FRONT YARDS SHALL COMPLY WITH THE PROVISIONS OF THIS SECTION.
(2) INTERIOR LOTS: ON ANY INTERIOR LOT IN ANY RESIDENTIAL OR AGRICULTURAL ZONE, THE FRONT YARD REQUIREMENT SHALL BE FIFTEEN (15) FEET WHERE THE SLOPE OF THE FRONT HALF OF THE LOT IS GREATER THAN A TWO (2) FOOT RISE (OR FALL) ABOVE (OR BELOW) THE ESTABLISHED STREET GRADE FOR EVERY TEN (10) FEET OF HORIZONTAL DISTANCE." REFER TO THE DEVELOPMENT CODE OR COUNTY STAFF.
- BUILDING SETBACKS SHALL BE CONFIRMED BY COUNTY OR APPROPRIATE PLANNING AUTHORITY.

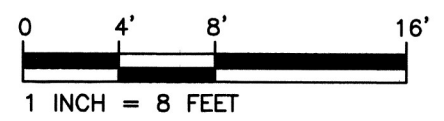
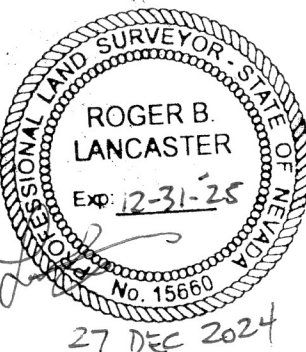
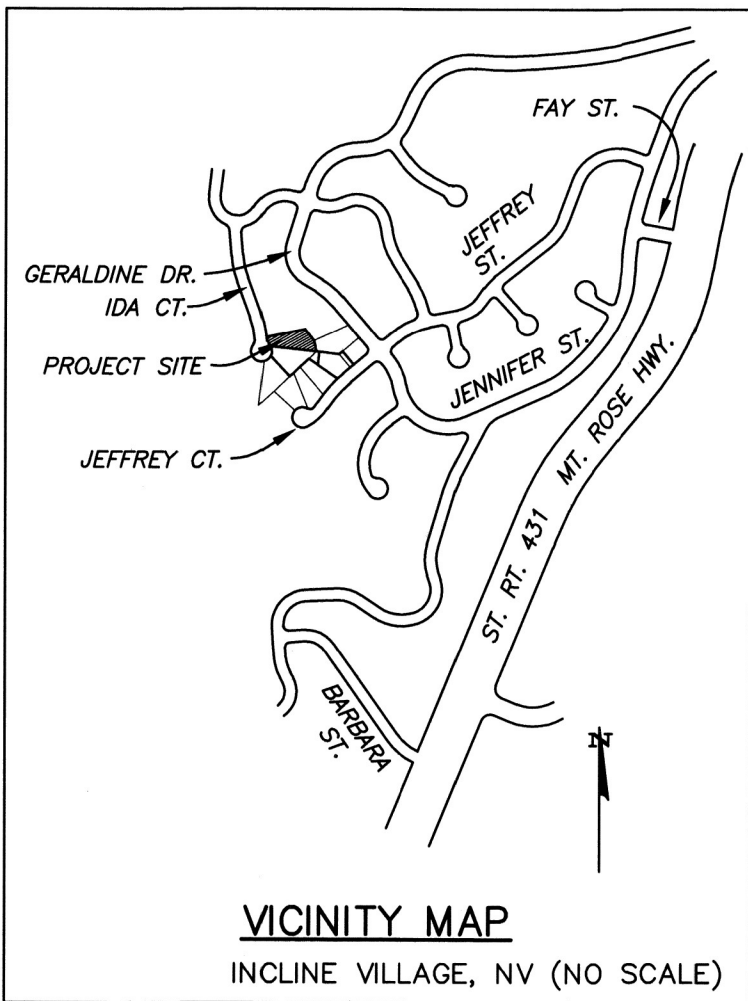
SETBACKS NOTE

Washoe County Development Code, Tahoe Area
Section 110.220.75 Conformance of Setbacks on Existing Residences.

Existing setbacks for a home legally constructed prior to 2020 that do not meet the standards established in Section 110.220.55, Yard and Lot Standards, shall be deemed the legal and conforming setbacks for said parcel.

Proposals for new structures or expansions of existing structures may utilize the existing setbacks when the following conditions are present:

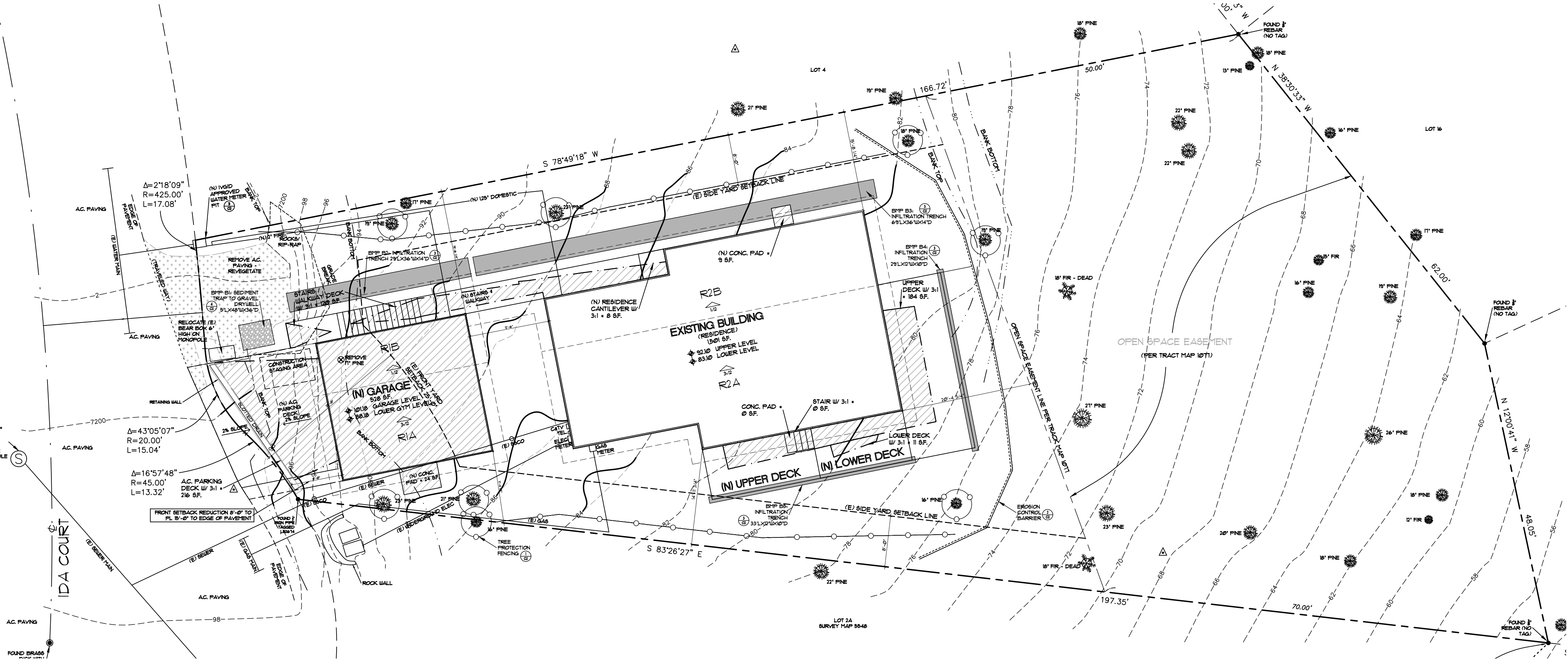
- The building pad is not delineated on the final subdivision map;
- The home was constructed with all required permits prior to 2020;
- No further intrusion into the setback is requested;
- Development will occur no closer than 20 feet to the right-of-way of State Routes 28 or 431; and
- The Engineering Division is able to determine that county right-of-way maintenance and road work operations will not be impeded and/or the county has been held harmless from liability resulting from its right-of-way maintenance and road work operations.



CUT FILL	68 CY CY	NUMBER OF TREES FOR REMOVAL	(1)
SITE NOTES			
1. CALL UNDERGROUND SERVICE ALERT OF NORTHERN CALIFORNIA AND NEVADA (800-271-2600) PRIOR TO ANY DIGGING.			
2. TOPOGRAPHICAL INFORMATION IS BASED ON TRPA APPROVED SITE INSPECTION AND LETTER DATED 01/24/24 BY WEBB LAND SURVEYING, INC. 9314-09/21/23			
3. ALL BARREN AND DISTURBED AREAS TO BE REVEGETATED PER TRPA/BMP STANDARDS.			
4. ALL SLOPES GREATER THAN 2:1 & ROAD SIDE DITCHES AND BANKS SHALL BE MECHANICALLY STABILIZED WITH EITHER ROCK PROTECTION OR VEGETATION.			
5. REMOVE TREES AS INDICATED. REMOVE DEAD TREES & BRANCHES PER THE FOREST MANAGEMENT AND DEFENSIBLE SPACE RECOMMENDATIONS.			
6. CONTRACTOR SHALL INSURE PROPER PLACEMENT OF ADDITION WITHIN THE REQUIRED SETBACKS PER SITE PLAN.			
7. CONTRACTOR TO VERIFY LOCATIONS & CONNECTIONS OF WATER / SEWER / GAS / ELECTRIC / TELEVISION / TELEPHONE UTILITIES WITH APPROPRIATE SERVICE PROVIDERS PRIOR TO DIGGING. INSTALL ALL UTILITIES IN AN APPROVED TRENCH & IN ACCORDANCE WITH ALL APPLICABLE CODES & ORDINANCES.			
8. ALL IMPROVEMENTS WITHIN WASHOE CO. RIGHT OF WAY SHALL BE CONSTRUCTED WITH THE LATEST COUNTY CODES AND COUNTY STANDARD SPECIFICATIONS AND DETAILS.			
9. AN ENCROACHMENT, STREET CUT AND EXCAVATION PERMIT SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO STARTING WORK WITHIN COUNTY RIGHT-OF-WAY. A REVOCABLE ENCROACHMENT PERMIT IS REQUIRED FOR ANY IMPROVEMENTS (PAVERS, CONCRETE, LANDSCAPING, WALLS, ETC.) IN THE COUNTY RIGHT-OF-WAY.			
10. FINISH GRADE AROUND RESIDENCE SHALL SLOPE AWAY FROM STRUCTURE & 5% MIN FOR 10' TYPICAL.			
11. BMP CONTRIBUTING SURFACES AND TREATMENTS ARE LABELED IN THE ATTACHED DOCUMENT 'BMP AREAS'.			
12. ALL BEST MANAGEMENT PRACTICES (BMPs) SHALL BE MAINTAINED IN PERPETUITY TO ENSURE EFFECTIVENESS WHICH MAY REQUIRE BMPs TO BE PERIODICALLY REINSTALLED OR REPLACED.			
13. TEMPORARY AND PERMANENT BMPs MAY BE FIELD FIT BY THE ENVIRONMENTAL COMPLIANCE INSPECTOR WHERE APPROPRIATE.			
14. EXISTING NATURAL FEATURES OUTSIDE OF THE BUILDING SITE SHALL BE RETAINED AND INCORPORATED INTO THE SITE DESIGN TO THE GREATEST EXTENT FEASIBLE. THE SITE SHALL BE DESIGNED TO AVOID DISTURBANCE TO ROCK OUTCROPS AND TO MINIMIZE VEGETATION REMOVAL AND MAINTAIN THE NATURAL SLOPE OF THE PROJECT SITE.			
15. ALL EXTERIOR LIGHTING TO BE DARK SKY COMPLIANT AND APPROVED BY TRPA PRIOR TO USE ON PROJECT.			
16. CONTRACTOR SHALL UTILIZE AN APPROVED DISPOSAL LOCATION FOR ALL MATERIAL EXPORTED FROM SITE.			
17. SHOULD ANY CAIRN OR GRAVE OF A NATIVE AMERICAN BE DISCOVERED DURING SITE DEVELOPMENT WORK SHALL TEMPORARILY BE HALTED AT THE SPECIFIC SITE AND THE SHERIFFS OFFICE AS WELL AS THE STATE HISTORIC PRESERVATION OFFICE OF THE DEPARTMENT OF CONSERVATION AND NATURAL RESOURCES SHALL BE IMMEDIATELY NOTIFIED PER NRS 363.110.			
18. CONSTRUCTION ACTIVITIES SHALL BE LIMITED TO THE HOURS BETWEEN 7AM TO 7PM, MONDAY THROUGH SATURDAY ONLY. ANY CONSTRUCTION MACHINERY ACTIVITY OR ANY NOISE ASSOCIATED WITH THE CONSTRUCTION ACTIVITY ARE ALSO LIMITED TO THESE HOURS.			
19. ALL PROPERTIES REGARDLESS OF IF THEY ARE LOCATED WITHIN OR OUTSIDE A FEMA DESIGNATED FLOOD ZONE, MAY BE SUBJECT TO FLOODING. THE PROPERTY OWNER IS REQUIRED TO MAINTAIN ALL DRAINAGE EASEMENTS AND NATURAL DRAINAGES AND NOT PERFORM OR ALLOW UNPERMITTED AND UNAPPROVED MODIFICATIONS TO THE PROPERTY THAT MAY HAVE DETRIMENTAL IMPACTS TO SURROUNDING PROPERTIES.			
20. NO STAGING OF CONSTRUCTION MATERIALS OR OTHER DISTURBANCE IS ALLOWED WITHIN THE OPEN SPACE EASEMENT.			

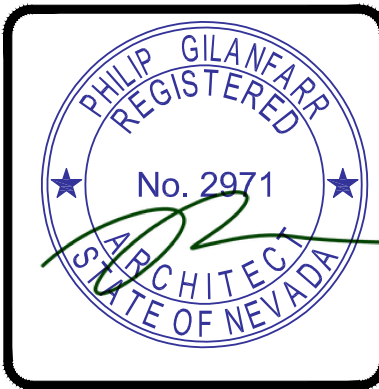
FIRE NOTES	
1. INSTALL AN NFPA13R FIRE SPRINKLER SYSTEM IN GARAGE PER NLTFRD AND 2018 IBC 602.1. FIRE RISER SHALL BE LOCATED IN THE GARAGE AT THE FRONT-LEFT CORNER.	
2. INSTALL NLTFRD APPROVED KNOX BOX ADJACENT TO ENTRY. KNOX BOX LOCATED AT THE LEFT OF GARAGE DOOR, BETWEEN THE GARAGE AND ENTRY AREA.	
3. PROVIDE 6" MIN TALL STREET ADDRESS NUMBERS CLEARLY VISIBLE, CONTRASTING FROM THE TRAVELED WAY.	
4. A HOT WORK OPERATIONS PERMIT IS REQUIRED WHEN OPERATIONS INCLUDE CUTTING, WELDING, THERMIT WELDING, BRAZING, SOLDERING, GRINDING, THERMAL SPRAYING, THAWING PIPES, INSTALLATION OF TORCH-APPLIED ROOF SYSTEMS OR ANY OTHER SIMILAR ACTIVITY. PERMITS SHALL BE OBTAINED THROUGH NLTFRD.	
5. ESTABLISH AND MAINTAIN DEFENSIBLE SPACE SURROUNDING STRUCTURES IN ACCORDANCE WITH THE 2018 INTERNATIONAL WILDLAND URBAN INTERFACE CODE (IUIUC) WITH AMENDMENTS IN NLTFRD RESOLUTIONS 18-1 AND 18-2. A DEFENSIBLE SPACE INSPECTION IS REQUIRED TO PROVIDE FOR SAFE SEPARATION BETWEEN STRUCTURES AND WILDLAND VEGETATION. ALL ITEMS NOTED DURING THE INSPECTION MUST BE CORRECT PRIOR TO PERMIT CLOSEOUT. DEFENSIBLE SIGN OFF REQUIRED. CONTACT RYAN DOVINGUEZ, FUELS PREVENTION SPECIALIST. EMAIL: RD@DOVINGUEZ.NLTFRD.NET, OFFICE: 775.943.9350 CELL: 775.943.5662.	
6. THIS SITE SPECIFIC DATA INDICATES THE FIRE CATEGORY AS EXTREME WITH CONFORMING WATER WHICH PLACES THIS PROPERTY IN A WUI IGNITION-RESISTANT CONSTRUCTION TYPE IRI CLASS DEPENDANT ON DEFENSIBLE SPACE DETERMINATION BY THE NLTFRD. CLASS 1 IGNITION-RESISTANT CONSTRUCTION SHALL BE IN ACCORDANCE WITH SECTIONS 504.2 THROUGH 504.11.	
SEPARATE PERMIT REQUIRED FOR FIRE SPRINKLER SYSTEM. PERMIT WILL BE DEFERRED.	

DEFENSIBLE SPACE NOTES	
1.	ALL DEAD VEGETATION, INCLUDING TREES, BRUSH AND OTHER VEGETATION MUST BE REMOVED.
2.	ALL RESIDUAL TREES WILL BE LIMBED TO A HEIGHT OF TEN FEET (10') ABOVE THE GROUND ON THE HIGH SIDE. REMOVAL OF LOWER BRANCHES SHOULD NOT EXCEED ONE-THIRD OF THE TOTAL TREE HEIGHT. IF MORE THAN ONE-THIRD OF THE LIVE CROWN MUST BE REMOVED TO ACCOMPLISH THIS CLIMBING, THEN USE THE HORIZONTAL SPACING GUIDELINES LISTED FOR BRUSH UNDER ITEM 6 BELOW.
3.	ALL RESIDUAL TREES WILL BE LIMBED TO ACHIEVE A TEN-FOOT (10') CLEARANCE FROM ANY PART OF THE HOUSE TO THE BRANCHES OF THE TREE. IF LESS THAN 60% OF THE LIVE CROWN WOULD BE LEFT AFTER CLIMBING, THE TREE SHOULD BE REMOVED.
4.	ALL BRUSH, TREES, AND FLAMMABLE MATERIALS MUST BE REMOVED FROM UNDER THE DRIP LINE OF RESIDUAL TREES OR TREE GROUPINGS.
5.	WITHIN FIVE-FOOT (5') OF THE FOUNDATION OR SUPPORT POSTS OF ANY PART OF THE STRUCTURE OR AN OUTBUILDING, REMOVE ALL FLAMMABLE VEGETATION AND MATERIALS.
6.	WITHIN THE FIVE-FOOT (5') TO THIRTY-FOOT (30') ZONE, TREE CANOPIES WILL BE SPACED AT LEAST 10- FEET (10') APART. IF TREES ARE GROUPED CLOSE ENOUGH TOGETHER AS TO ACT AS ONE UNIT, THEN ALL OTHER REQUIREMENTS MUST BE MET. WITHIN THE THIRTY (30') TO ONE-HUNDRED-FOOT (100') ZONE, STANDS OF LARGE TREES DO NOT HAVE TO BE REMOVED SO LONG AS THE VEGETATION UNDERNEATH THEM IS REMOVED. PLEASE SEE SPACING GUIDELINES BELOW FOR STEEPER SLOPES.
7.	WITHIN THE FIVE-FOOT (5') TO THIRTY-FOOT (30') ZONE, BRUSH FIELDS MUST BE SPACED HORIZONTALLY AT A MINIMUM DISTANCE EQUAL TO OR GREATER THAN TWICE THE HEIGHT OF THE BRUSH. INDIVIDUAL BRUSH PLANTS CANNOT EXCEED 100-SQUARE FEET (100') IN AREA AND THREE (3') IN HEIGHT.
FOR SLOPING PROPERTIES, USE THE FOLLOWING STANDARDS FOR THE ABOVE REQUIREMENTS:	
TREES	SLOPE 0 - 20% 10- FEET BETWEEN EDGES OF CROWNS 20 - 40% 20- FEET BETWEEN EDGES OF CROWNS ABV 40% 30- FEET BETWEEN EDGES OF CROWNS
BRUSH	0 - 20% 2 TIMES THE HEIGHT OF RESIDUAL BRUSH 20 - 40% 4 TIMES THE HEIGHT OF RESIDUAL BRUSH ABV 40% 6 TIMES THE HEIGHT OF RESIDUAL BRUSH



PROPOSED SITE PLAN
SCALE: 3/32" = 1'-0"

COVERAGE CALCULATIONS		
AREA OF LOT LAND CAPABILITY	13201 SF. / 0.3031 ACRES CLASS 3	
ALLOWABLE COVERAGE		
AREA OF LOT ALLOWABLE COVERAGE	CLASS 3	TOTAL
	13201 SF. 660 SF. / 5%	13201 SF. 660 SF.
EXISTING COVERAGE (CLASS 3)		
RESIDENCE	1501 SF.	
DECKS / STAIRS	683 SF.	
A.C. PAVING	206 SF.	
SHED	9 SF.	
TOTAL	2399 SF.	
OFFSITE COVERAGE		
A.C. PAVING	98 SF.	
TOTAL	98 SF.	
PROPOSED COVERAGE (CLASS 3)		
RESIDENCE W/ 3:1	1509 SF.	
DETACHED GARAGE	528 SF.	
DECKS / STAIRS W/ 3:1	315 SF.	
A.C. PAVING PARKING DECK W/ 3:1	216 SF.	
CONCRETE	33 SF.	
TOTAL	2601 SF.	
TRANSFERRED LAND COVERAGE (400 SF. MAX) PER TRPA SECTION 304.2.4. = 202 SF		
OFFSITE COVERAGE		
A.C. PAVING PARKING DECK	98 SF.	
TOTAL	98 SF.	



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SUITE 3
P.O. BOX 6987
INCLINE VILLAGE, NV 89451
VOICE: (775-831-8001)

GILANFARRARCHITECTURE.COM

PROPOSED SITE PLAN
CUSTOM REMODEL FOR:
PAUL CARMOLA
790 IDA COURT, INCLINE VILLAGE, NV 89451
LOT 1, BLK 3, INCLINE VILLAGE, WASHOE COUNTY, NEVADA
APN: 025-232-120

REVISIONS	

FILE: 790 IDA CT

DATE: 1111

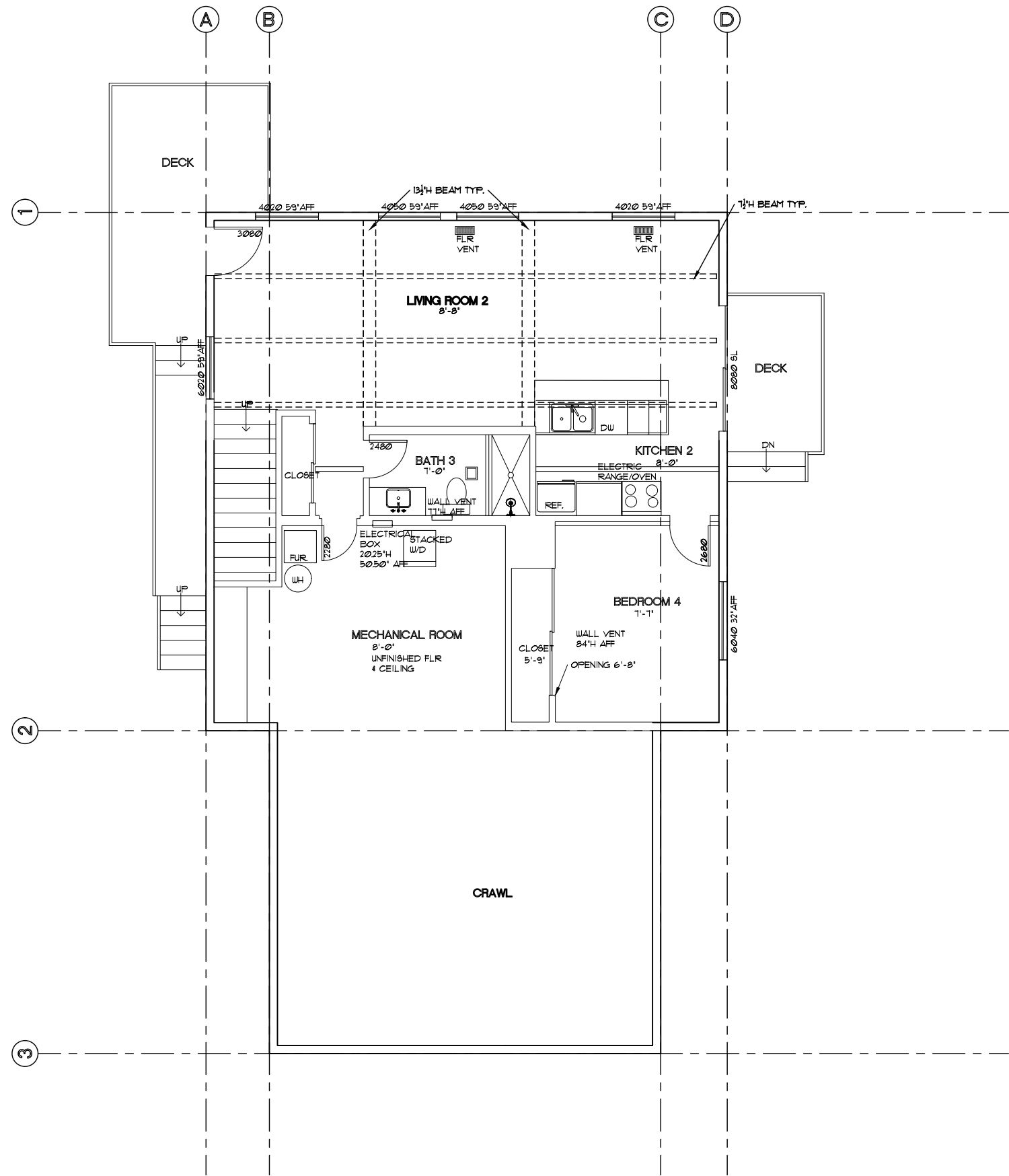
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SHEET: 11

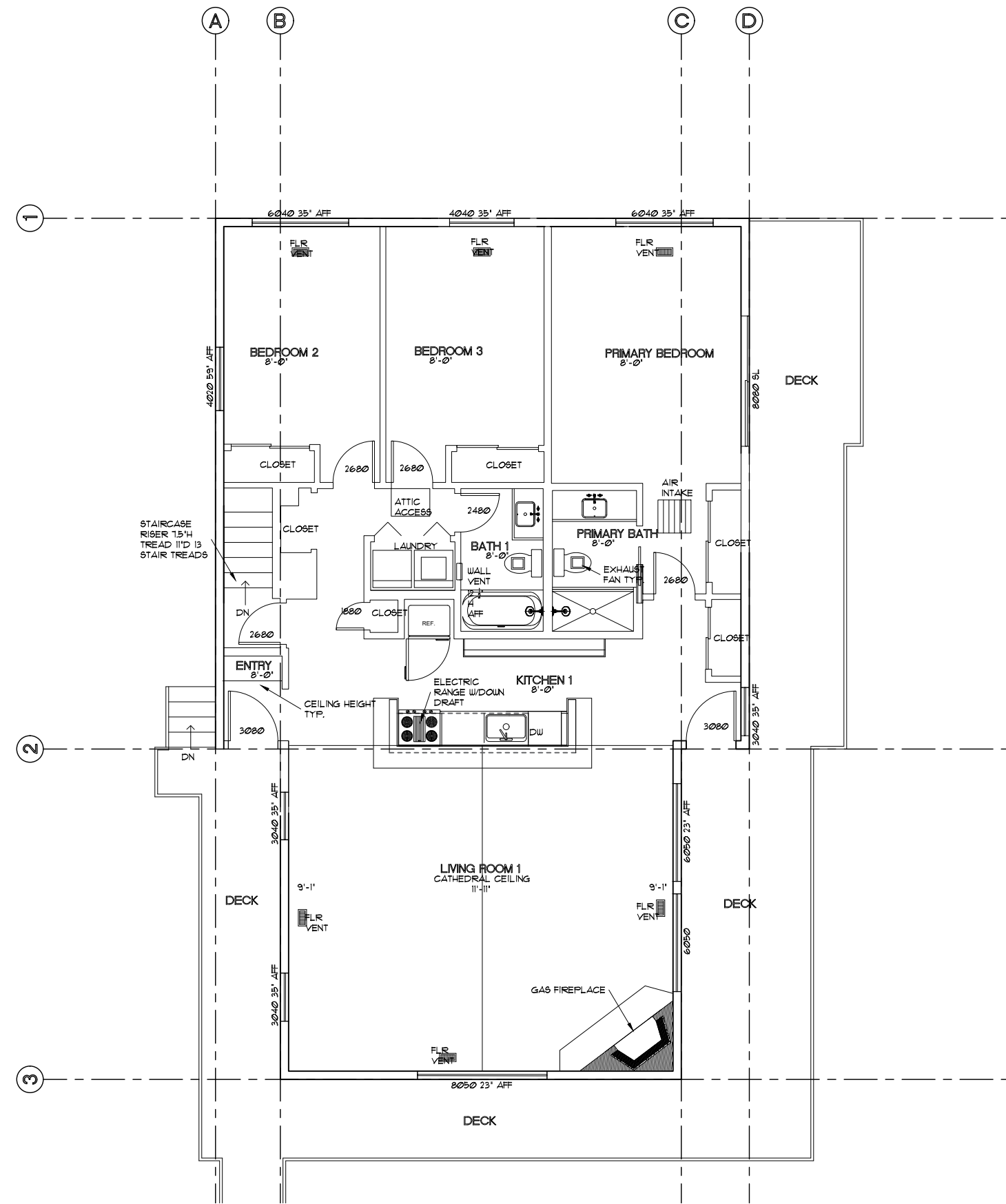
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OF 11 SHEETS



EXISTING LOWER LEVEL

SCALE: 1/8" = 1' - 0"



EXISTING MAIN LEVEL

SCALE: 1/8" = 1' - 0"



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TITLE: EXISTING PLANS

CUSTOM REMODEL FOR:
PAUL CARMOLA
790 IDA COURT, INCLINE VILLAGE, NV 89451
LT 1, BLK 3, INCLINE VILLAGE 1, WASHOE COUNTY, NEVADA
APN: 025-132-120

REVISIONS		

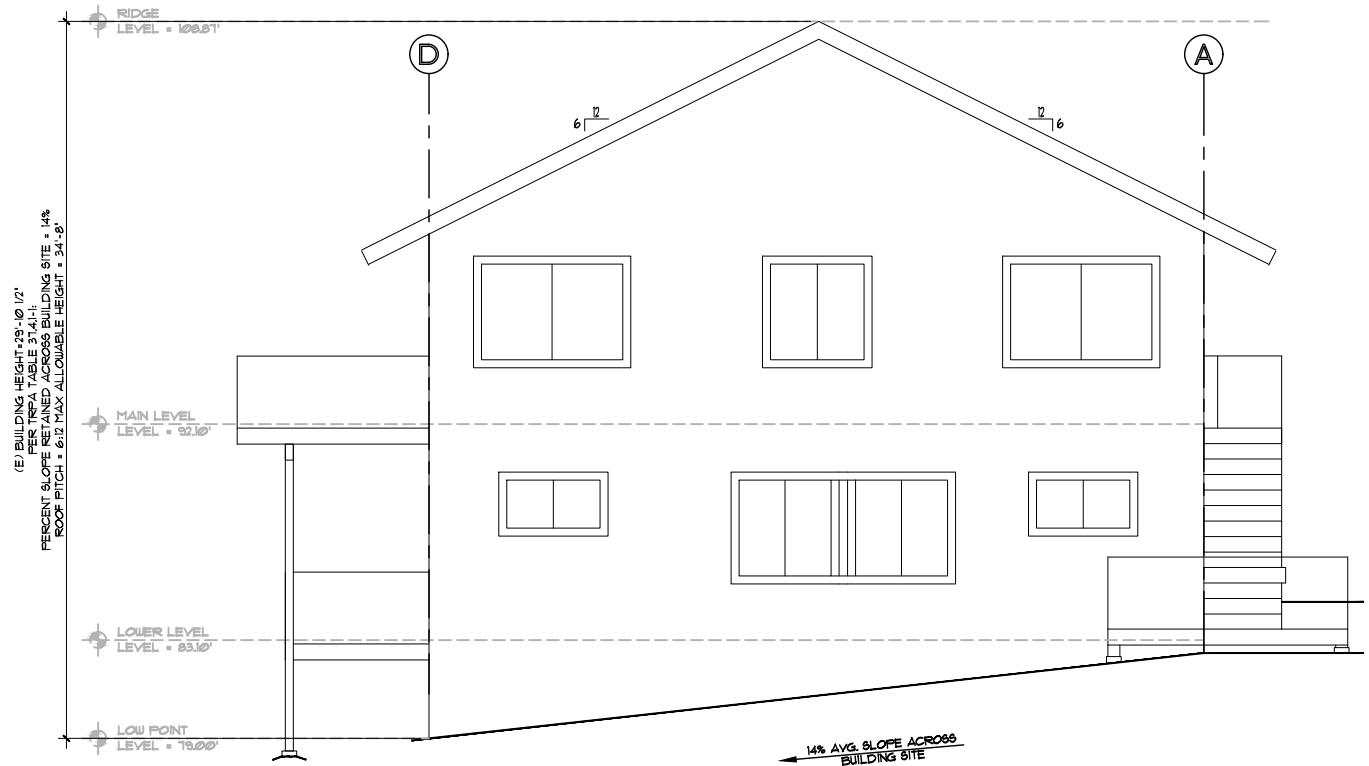
FILE: 790 IDA CT

DATE: ????

SCALE: 1/4" = 1' - 0"

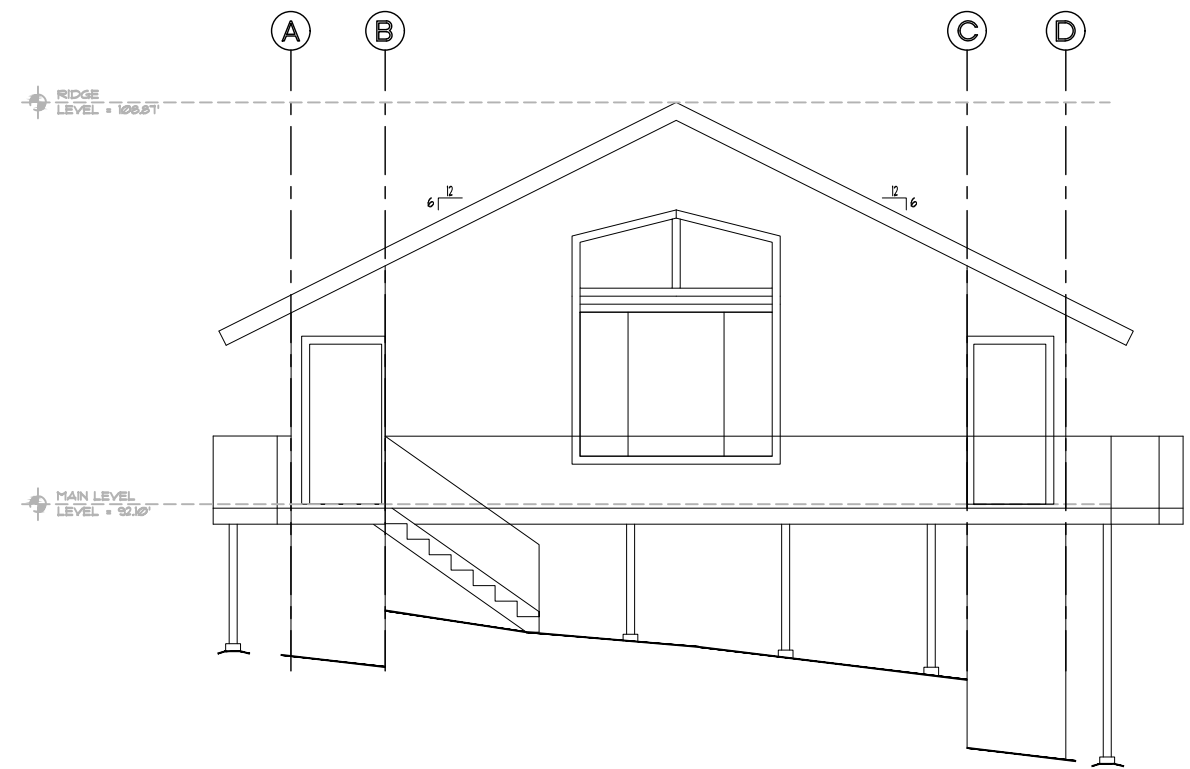
DRAWN: ???

SHEET:
E1.0
OF ?? SHEETS



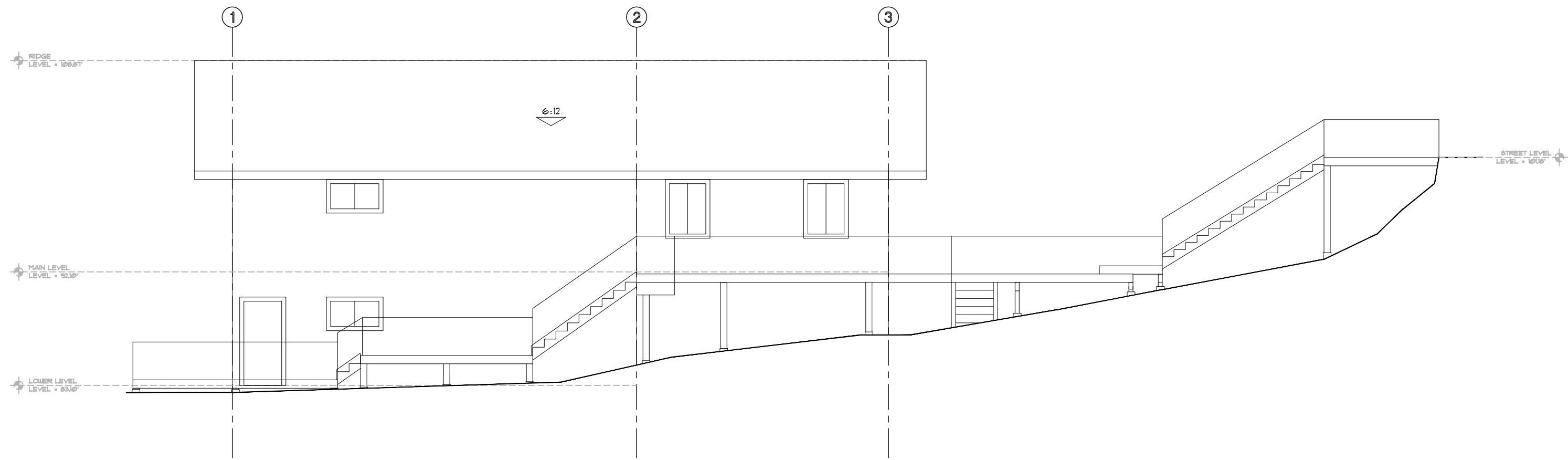
EXISTING WEST ELEVATION

SCALE: 1/8" = 1' - 0"



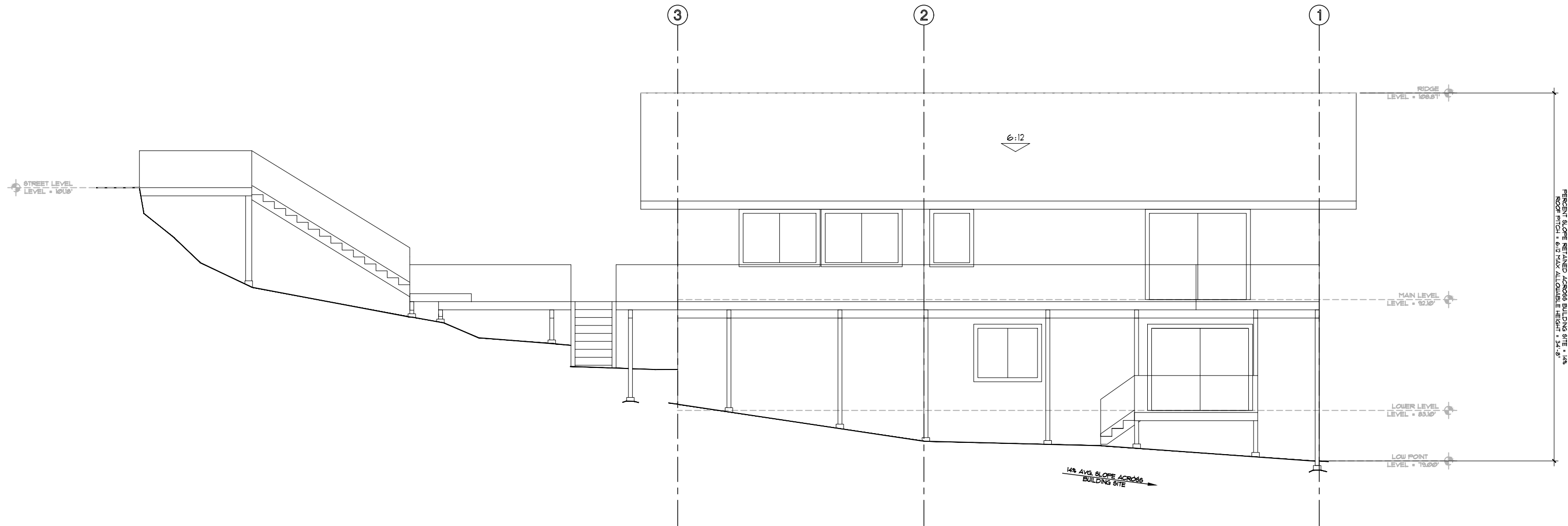
EXISTING EAST ELEVATION

SCALE: 1/8" = 1' - 0"



EXISTING SOUTH ELEVATION

SCALE: 1/8" = 1' - 0"



EXISTING NORTH ELEVATION

SCALE: 1/8" = 1' - 0"



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INCLINE VILLAGE, NV 89451
VOICE: (775-831-8001)

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TITLE: EXISTING ELEVATIONS
CUSTOM REMODEL FOR:
PAUL CARMOLA
790 IDA COURT, INCLINE VILLAGE, NV 89451
LT 1, BLK 3, INCLINE VILLAGE 1, WASHOE COUNTY, NEVADA
APN: 025-132-120

REVISIONS	

FILE: 790 IDA CT

DATE: ????

SCALE: 1/4" = 1' - 0"

DRAWN: ???

SHEET:
E2.0
OF ?? SHEETS

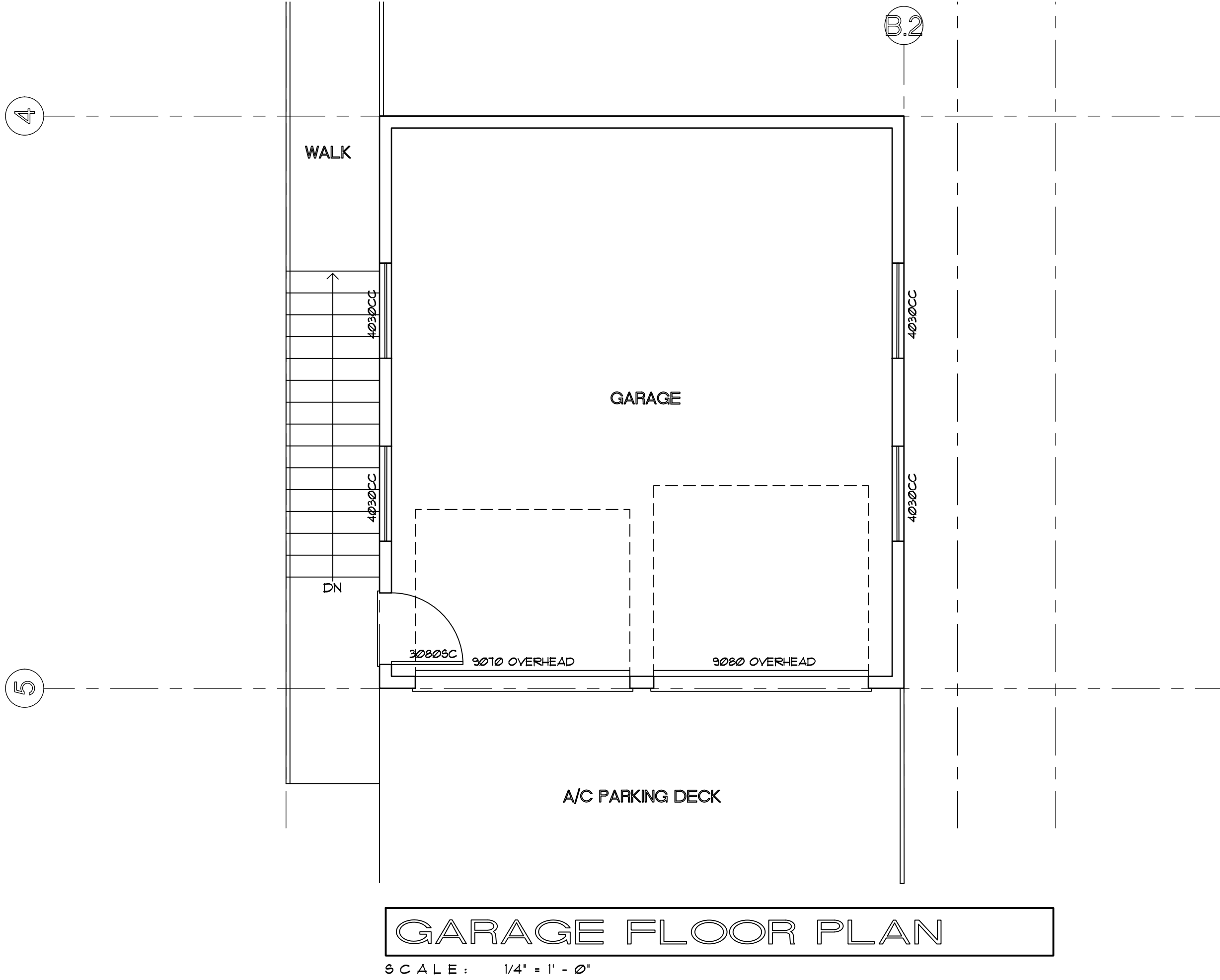
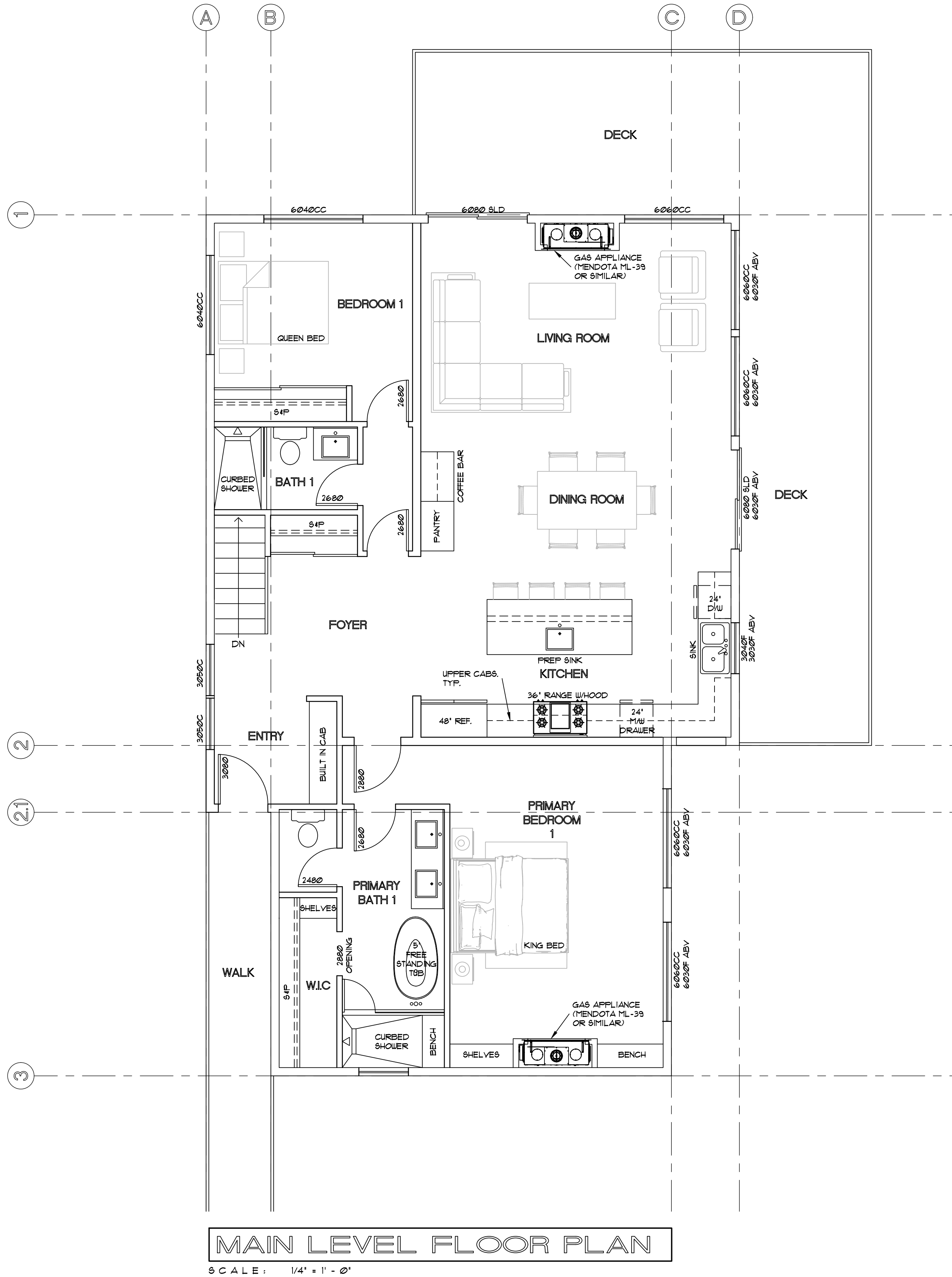


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FILE: 790 IDA CT

SCALE: $1/4" = 1'-0"$

SHEET:



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SUITE 3
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INCLINE VILLAGE, NV 89451
VOICE: (775-831-8001)
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TITLE: MAIN LEVEL & GARAGE FLOOR PLAN

CUSTOM REMODEL FOR:

PAUL CARMOLA

790 IDA COURT, INCLINE VILLAGE, NV 89451
LT 1, BLK 3, INCLINE VILLAGE 1, WASHOE COUNTY, NEVADA
APN: 025-132-120

REVISIONS	

FILE: 790 IDA CT

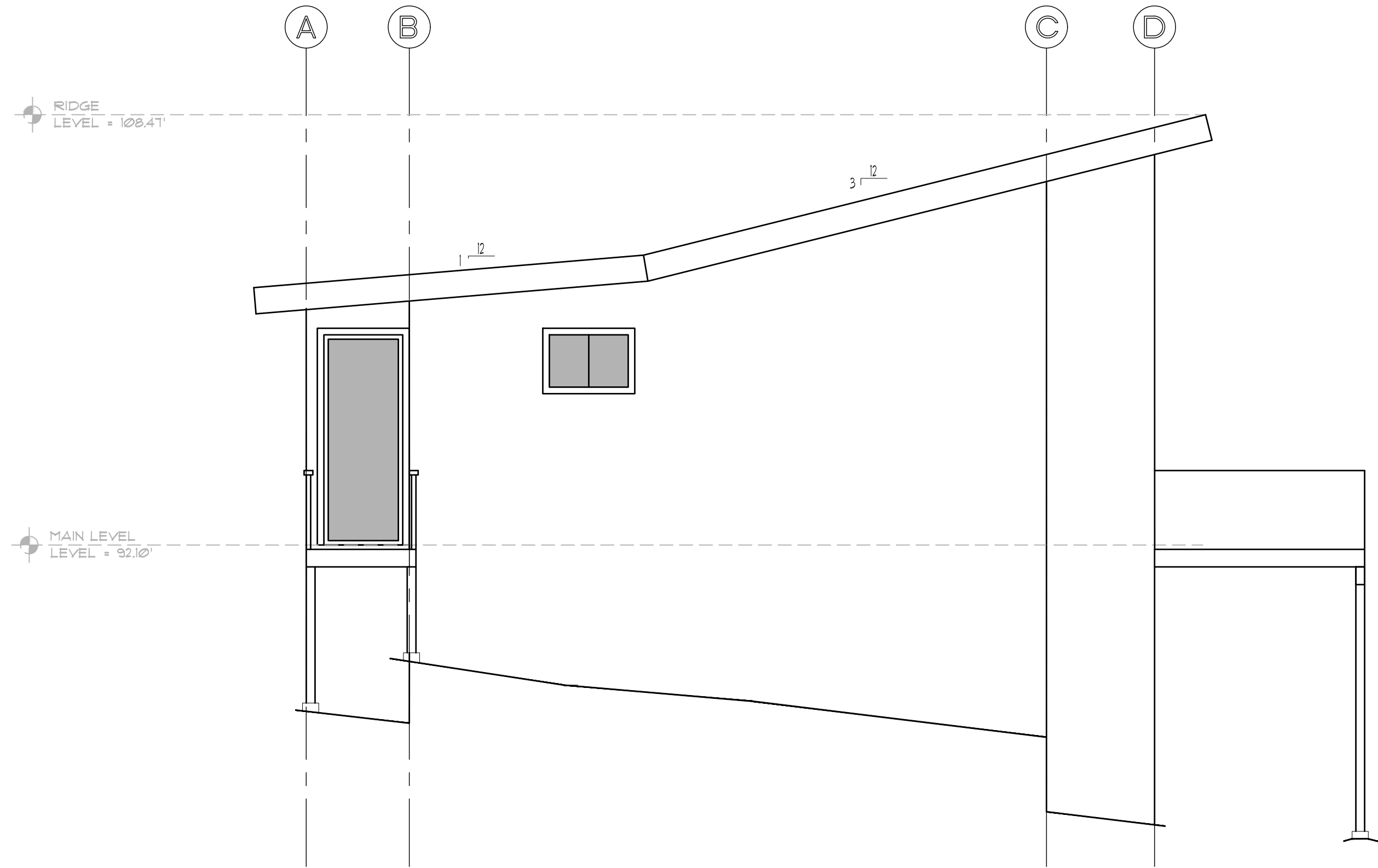
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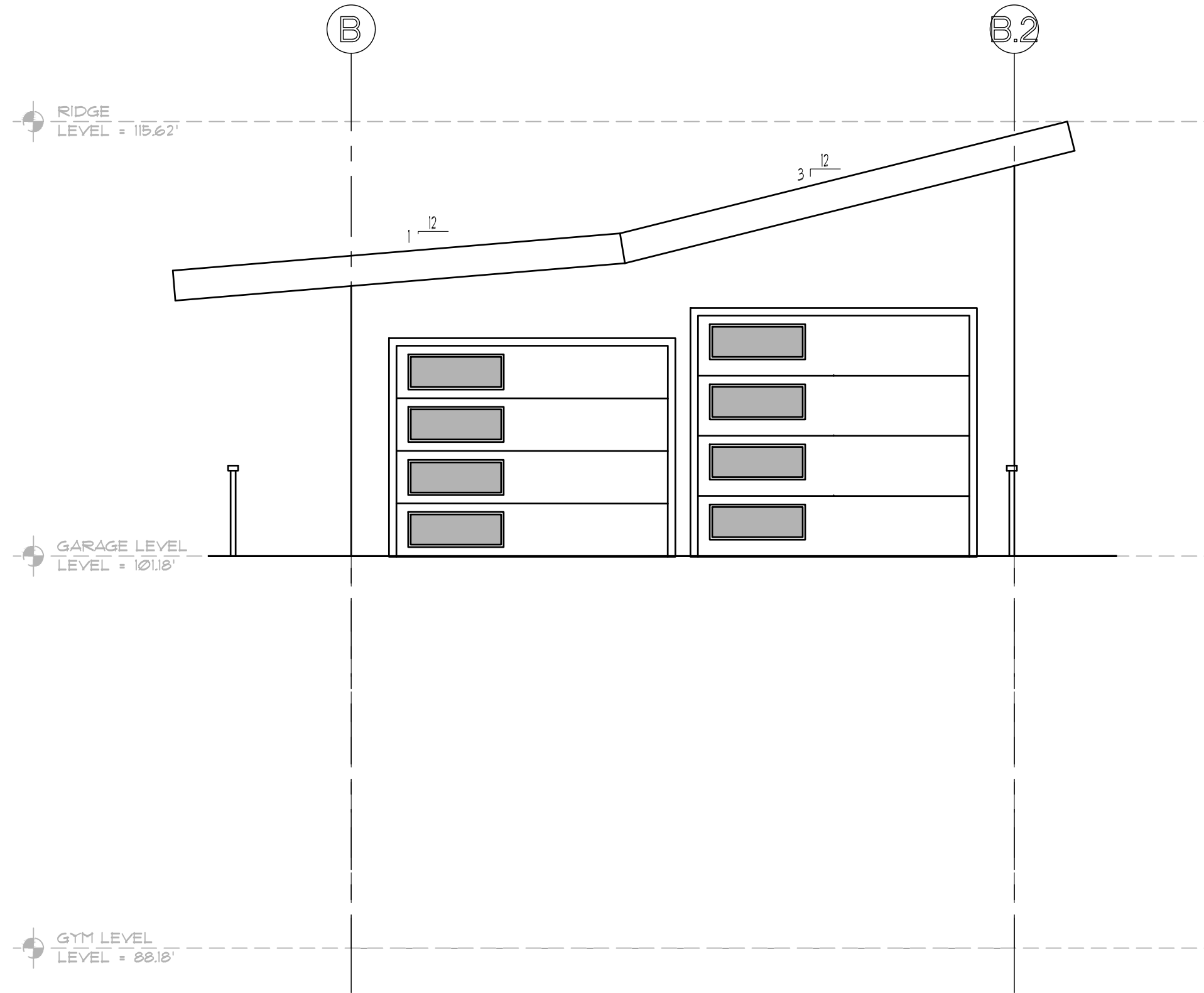
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Jan 09, 2025 - 2:12pm
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EAST ELEVATION

SCALE: 1/4" = 1' - 0"



EAST GARAGE ELEVATION

SCALE: 1/4" = 1' - 0"

TRPA EXTERIOR NOTES

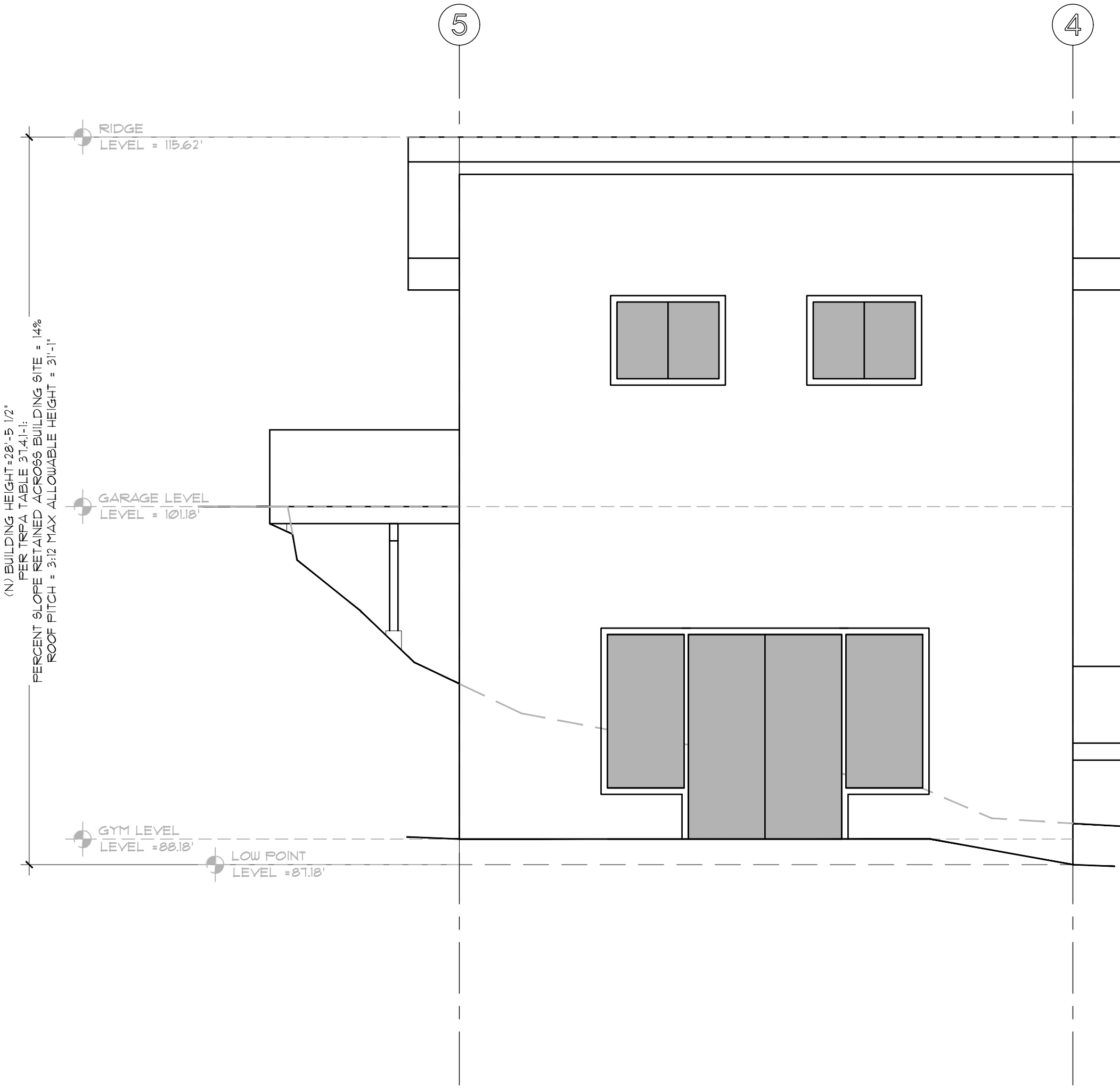
COLOR: THE COLOR OF THIS STRUCTURE INCLUDING ANY FENCES ON THE PROPERTY SHALL BE COMPATIBLE WITH THE SURROUNDINGS.

SUBDUED COLORS IN THE EARTHTONE AND WOODTONE RANGE SHALL BE USED FOR THE PRIMARY COLOR OF THE STRUCTURE. HUES SHALL BE WITHIN THE RANGE OF NATURAL COLORS THAT BLEND, RATHER THAN CONTRAST, WITH THE EXISTING VEGETATION AND EARTH HUES. EARTHTONE COLORS ARE CONSIDERED TO BE SHADES OF REDDISH BROWN, BROWN, TAN, OCCHRE, AND UMBER.

ROOFS: ROOFS SHALL BE COMPOSED OF NONE-GLARE EARTHTONE OR WOODTONE MATERIALS THAT MINIMIZE REFLECTIVITY.

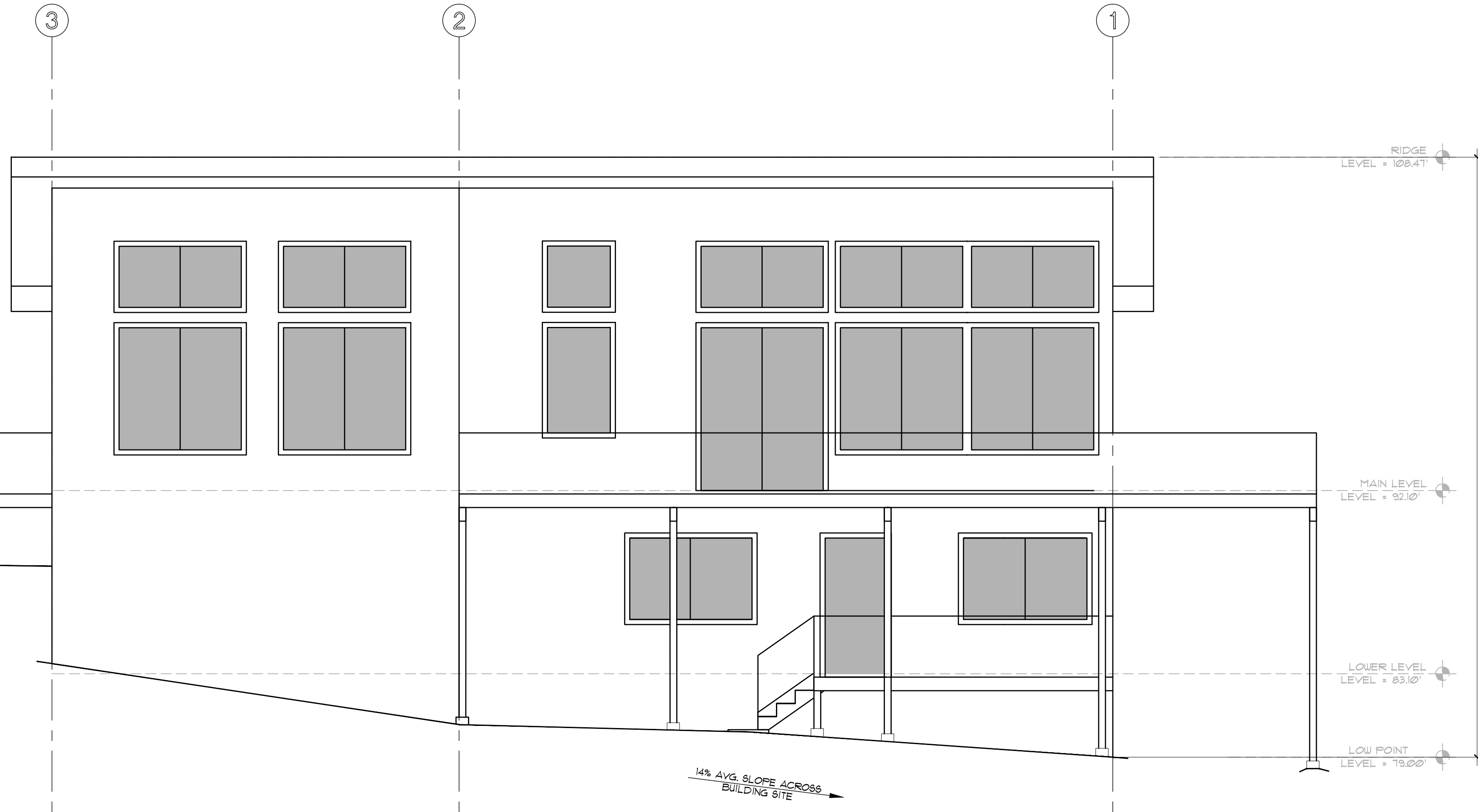
FENCES: WOOD FENCES SHALL BE USED WHEREVER POSSIBLE. IF CYCLONE FENCE MUST BE USED, IT SHALL BE COATED WITH BROWN OR BLACK VINYL, INCLUDING FENCE POLES.

EXTERIOR LIGHTING: ALL EXTERIOR LIGHTING SHALL BE CONSISTENT WITH TRPA CODE OF ORDINANCES, SECTION 36.8: EXTERIOR LIGHTING STANDARDS. SPECIFICALLY, ALL EXTERIOR LIGHTING SHALL BE FULLY SHIELDED AND DIRECTED DOWNWARD SO AS TO NOT PRODUCE OBTRUSIVE GLARE ONTO ADJOINING PROPERTIES. ILLUMINATION FOR AESTHETIC OR DRAMATIC PURPOSES OF ANY BUILDING OR SURROUNDING LANDSCAPE UTILIZING EXTERIOR LIGHT FIXTURES PROJECTED ABOVE THE ABOVE THE HORIZONTAL IS PROHIBITED.



NORTH ELEVATION

SCALE: 1/4" = 1' - 0"



TITLE: EXTERIOR ELEVATIONS

CUSTOM REMODEL FOR:
PAUL CARMOLA
790 IDA COURT, INCLINE VILLAGE, NV 89451
LT 1, BLK 3, INCLINE VILLAGE 1, WASHOE COUNTY, NEVADA
APN: 025-232-120

REVISIONS	

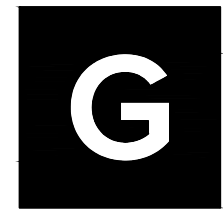
FILE: 790 IDA CT

DATE: ????

SCALE: 1/4" = 1' - 0"

DRAWN: ???

SHEET:
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OF 11 SHEETS

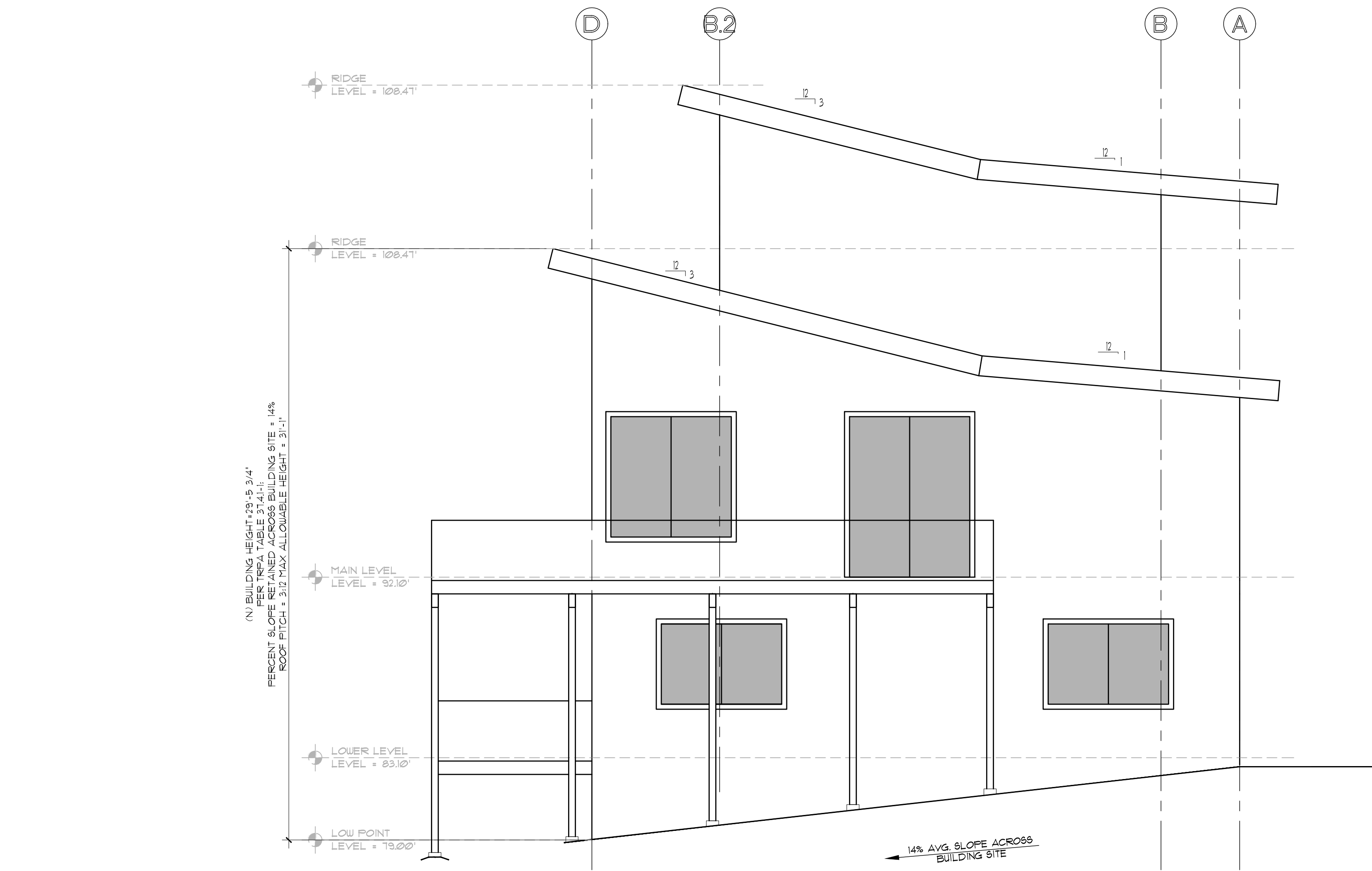


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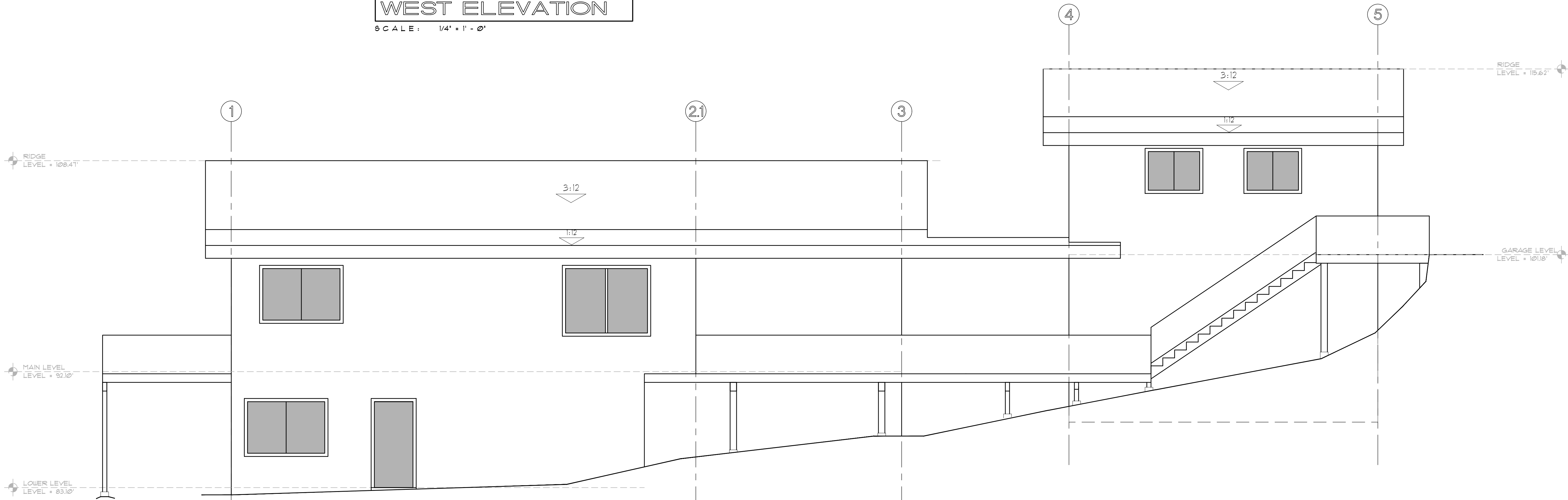
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WEST ELEVATION

SCALE: 1/4" = 1' - 0"



SOUTH ELEVATION

SCALE: 1/4" = 1' - 0"



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TITLE: EXTERIOR ELEVATIONS

CUSTOM REMODEL FOR:

PAUL CARMOLA

790 IDA COURT, INCLINE VILLAGE, NV 89451

LT 1, BLK 3, INCLINE VILLAGE, WASHOE COUNTY, NEVADA

APN: 025-232-120

REVISIONS	

FILE: 790 IDA CT

DATE: ????

SCALE: 1/4" = 1' - 0"

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OF 11 SHEETS

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