

## Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

<b>Project Information</b>		Staff Assigned Case No.: _____	
Project Name: <b>NNLFP, LLC Outdoor Kitchen/Pavilion</b>			
Project Description: This project proposes a new detached structure that opens fully on two sides, includes a full kitchen, and a powder bathroom. The structure sits to the west of the main home and will provide an "outdoor" area for entertaining and dining. New walkways and patios will be created as shown.			
Project Address: 575 Lakeshore Blvd. Incline Village, NV 89451			
Project Area (acres or square feet): 2,000sf			
Project Location (with point of reference to major cross streets AND area locator): The site is located nearly equidistant between Tahoe Blvd. & Crystal Peak Rd. along Lakeshore Blvd. The neighborhood code is TALE.			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
122-100-26	3.88ac		
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
<b>Applicant Information</b> (attach additional sheets if necessary)			
<b>Property Owner:</b> NNLFP LLC		<b>Professional Consultant:</b> same as applicant	
Name: Dalton Boutte, Managing Member		Name:	
Address: 583 Rockrose Ct.		Address:	
Incline Village NV	Zip: 89451	Zip:	
Phone: 713-416-2159	Fax:	Phone:	Fax:
Email: dalton.boutte@yahoo.com		Email:	
Cell:	Other:	Cell:	Other:
Contact Person:		Contact Person:	
<b>Applicant/Developer:</b> Elise Fett & Associates, Ltd.		<b>Other Persons to be Contacted:</b>	
Name: Julie Soules		Name: GLA Morris Construction Inc.	
Address: PO Box 5989		Address: 10330 Donner Pass Rd. Suite C	
Incline Village, NV	Zip: 89450	Truckee, CA	Zip: 96161
Phone: 775-833-3388	Fax:	Phone: 530-587-2711	Fax:
Email: julie@elisefett.com		Email: josh@gla-morris.com	
Cell: 775-315-3086	Other:	Cell: 775-450-9789	Other:
Contact Person:		Contact Person: Josh Beckwith	
<b>For Office Use Only</b>			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	



**Administrative Review Permit Application  
for a Detached Accessory Dwelling  
Supplemental Information**

(All required information may be separately attached)

1. What is the size (square footage) of the main dwelling or proposed main dwelling (exclude size of garage)?

12,679sf

2. What is the size of the proposed detached accessory dwelling (exclude size of garage)? If a manufactured or modular home is the secondary dwelling, list the age and size of the unit.

1,019sf (new detached outdoor kitchen pavilion)

3. How are you planning to integrate the main dwelling and secondary dwelling to provide architectural compatibility of the two structures?

All the finish, architectural, and structural details were designed to match the main home.

5. How many off-street parking spaces are available? Parking spaces must be shown on site plan. Are any new roadway, driveway, or access improvements be required?

7 spaces are available, there are no new access improvement requirements.

6. What will you do to minimize any potential negative impacts (e.g. increased lighting, removal of existing vegetation, etc.) your project may have on adjacent properties?

All existing vegetation between the new structure and neighboring structures is to remain. New landscaping will be installed to improve visual quality.

7. Is the subject property part of an active Home Owners Association (HOA) or Architectural Control Committee?

☐ Yes ☒ No If yes, please list the HOA name.

8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit a detached accessory dwelling on your property?

☐ Yes ☒ No If yes, please attach a copy.

9. Only one accessory dwelling unit, whether attached or detached, is allowed per parcel. Is there a guest apartment, mother-in-law unit, next-gen addition with kitchen or any other type of secondary dwelling on the subject property?

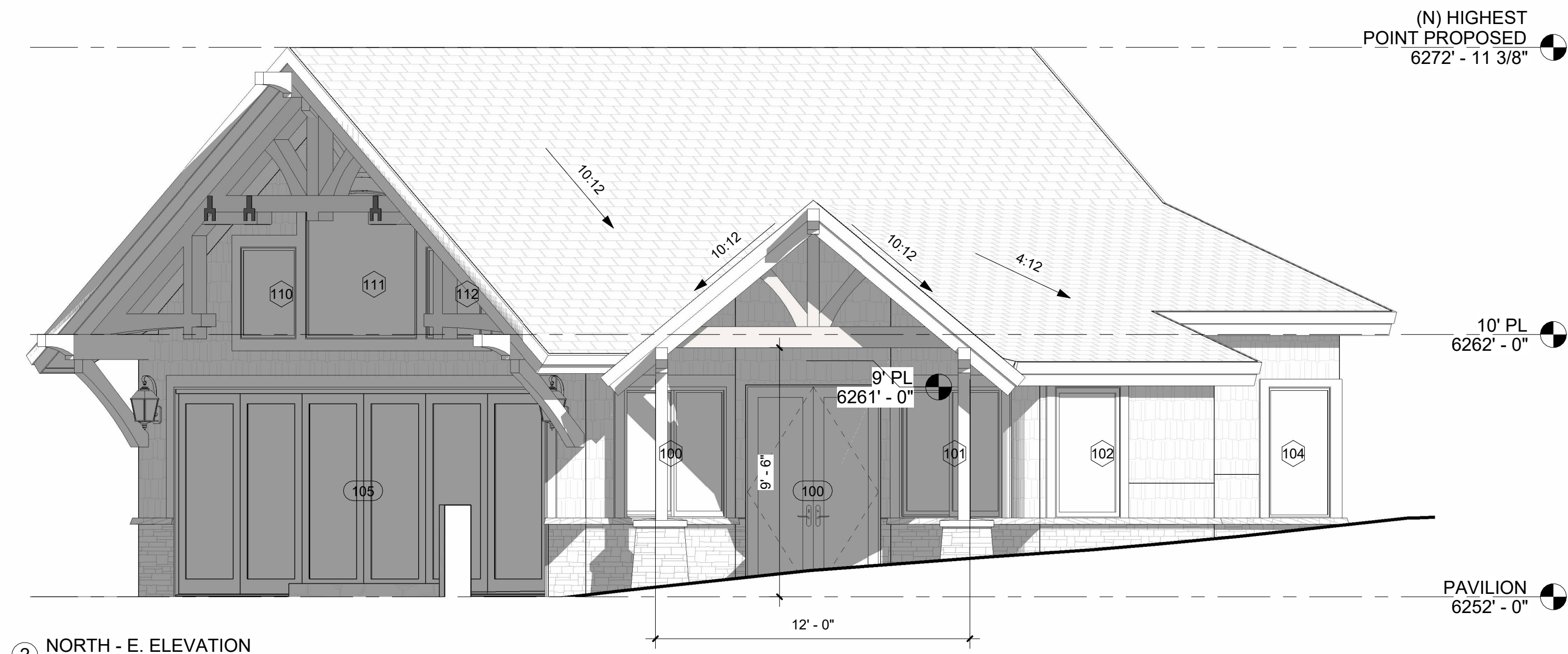
☐ Yes ☒ No If yes, please provide information on the secondary unit.



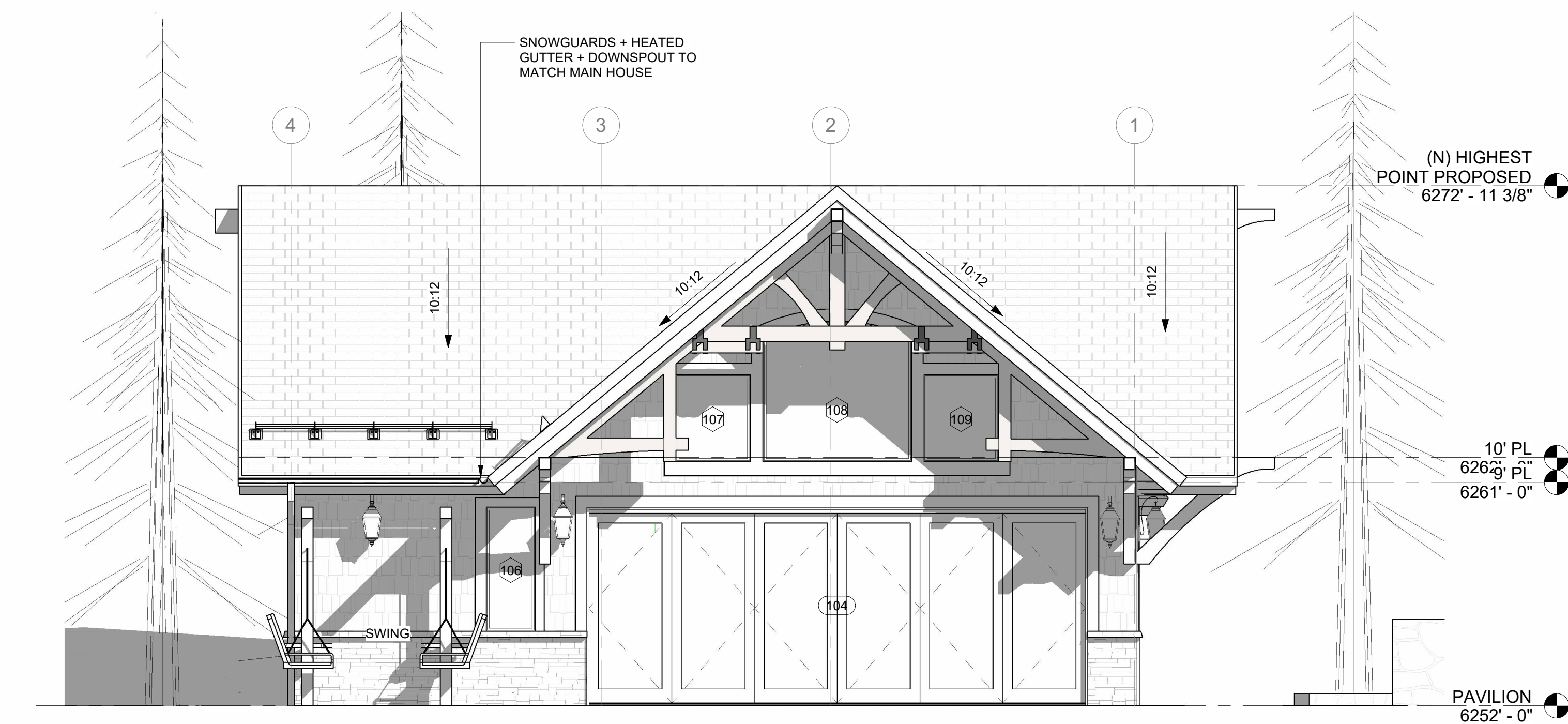
10. List who the service providers are for the main dwelling and accessory dwelling:

	Main Dwelling	Accessory Dwelling
Sewer Service	IVGID	IVGID
Electrical Service	NV Energy	NV Energy
Solid Waste Disposal Service	Waste Management	Waste Management
Water Service	IVGID	IVGID

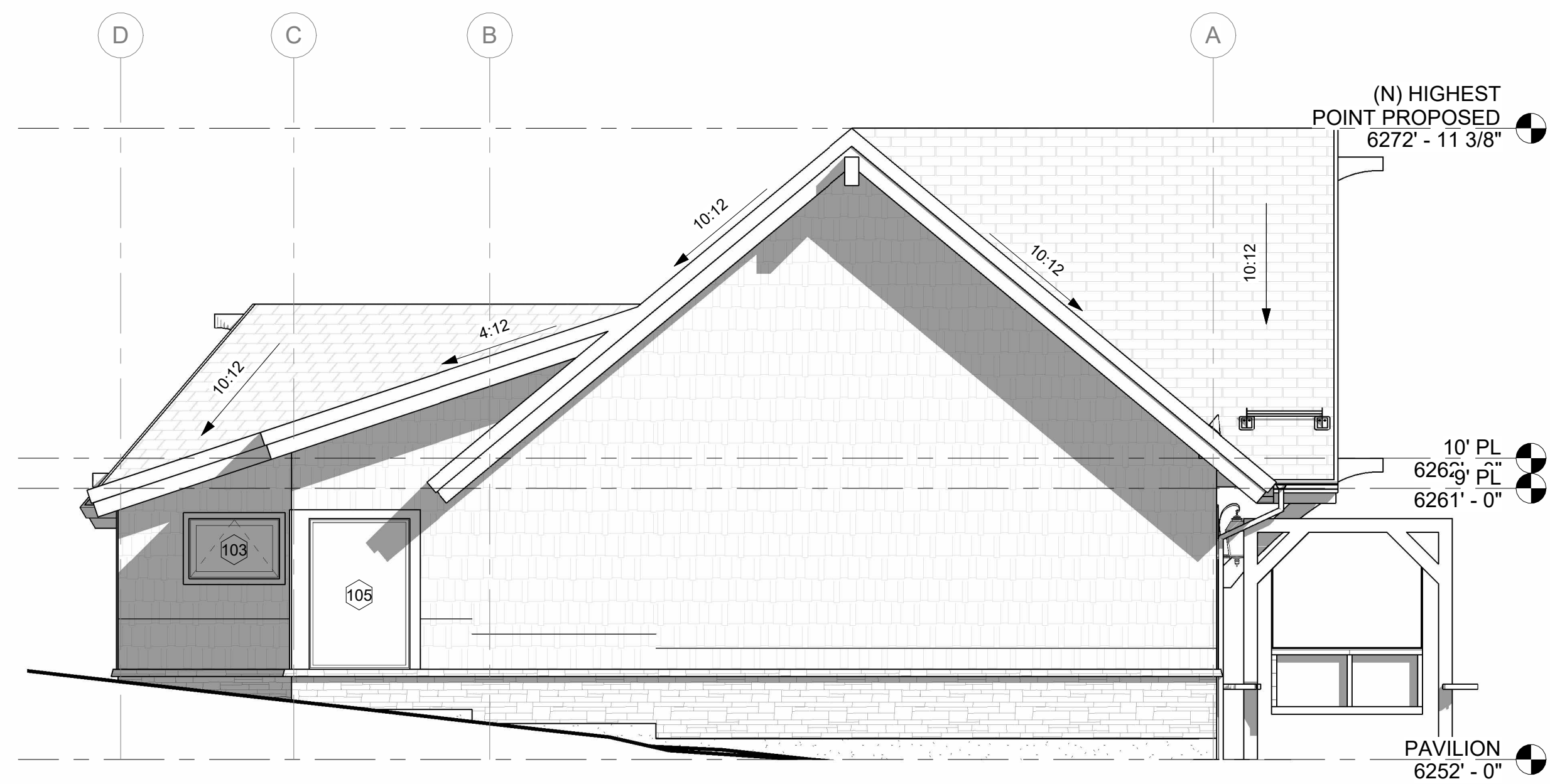




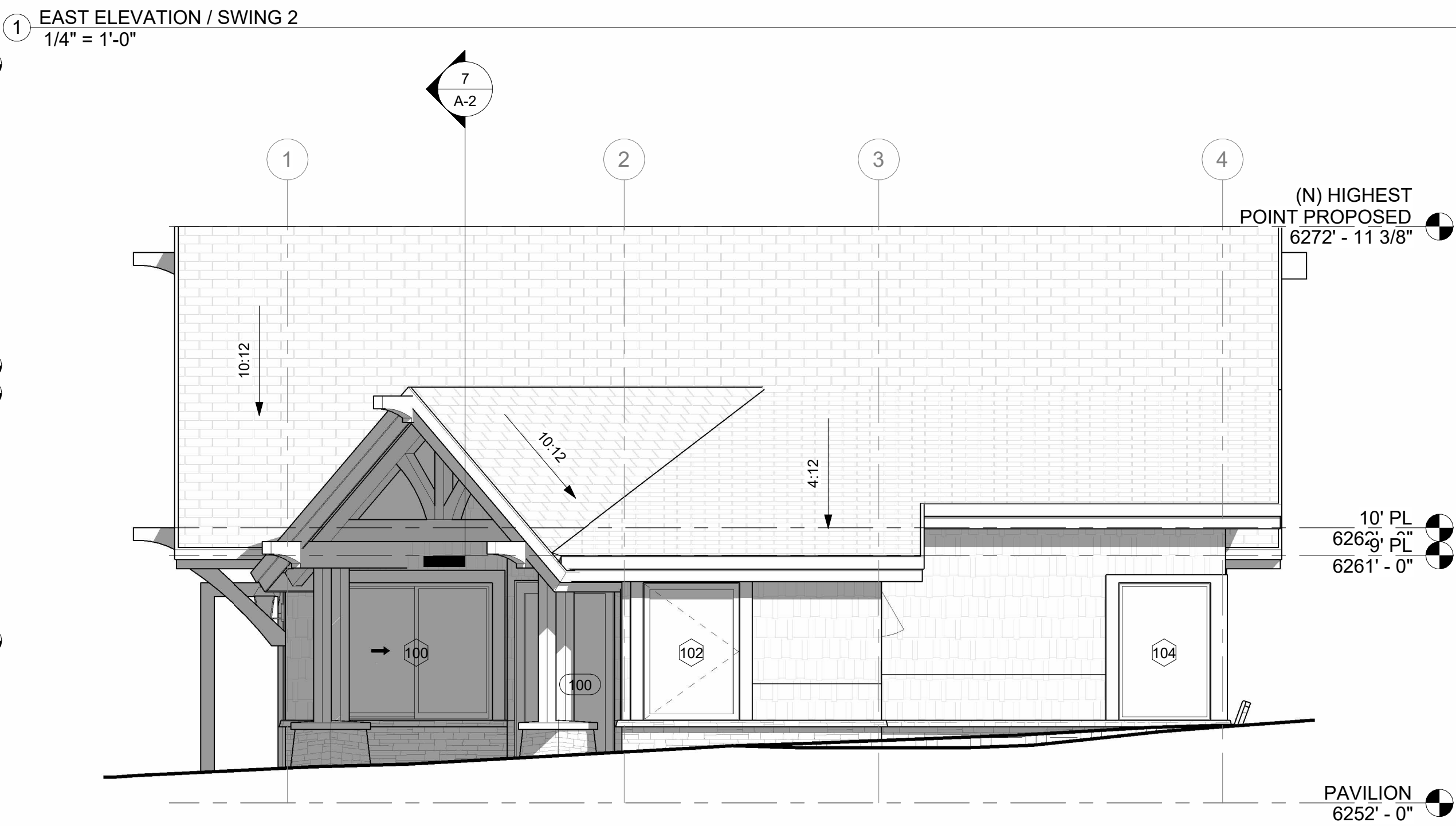
② NORTH - E. ELEVATION  
1/4" = 1'-0"



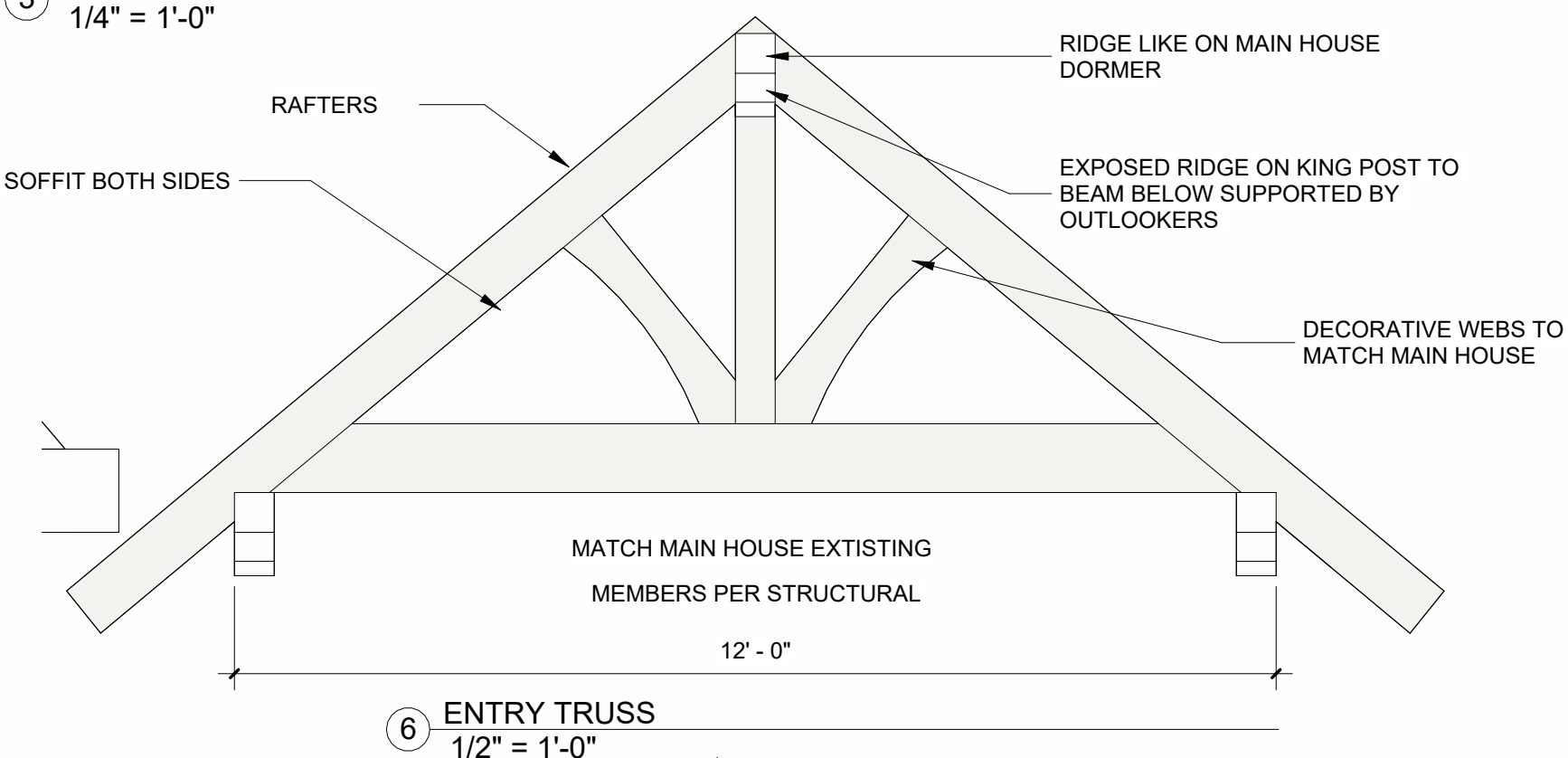
④ SOUTH ELEVATION.  
1/4" = 1'-0"



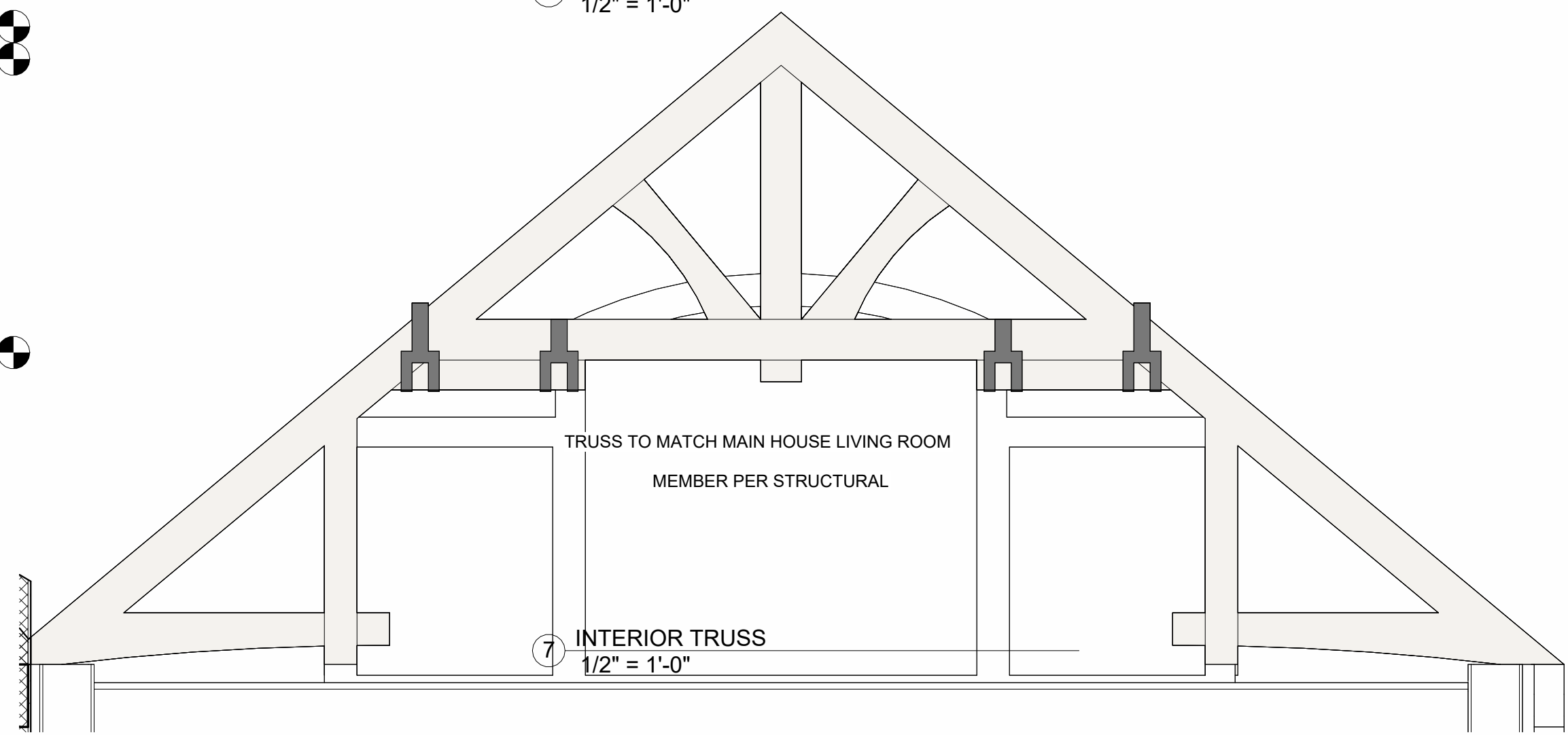
⑤ WEST ELEVATION.  
1/4" = 1'-0"



③ NORTH ELEVATION.  
1/4" = 1'-0"



⑥ ENTRY TRUSS  
1/2" = 1'-0"



⑦ INTERIOR TRUSS  
1/2" = 1'-0"

MAX. ALLOWABLE  
HT.  
6287' - 2"

#### ALLOWABLE BUILDING HEIGHT CALCULATIONS

HOUSE SITE SLOPE	14%
>50% OF ROOF PITCH	10:12
MAX. ALLOWABLE BUILDING HEIGHT	39'-6"
MAX. PROPOSED HEIGHT	25'-3.4"

REFER TO ROOF PLAN FOR ROOF  
AREA CALCULATIONS

MAX. ALLOWABLE HEIGHT  
39' - 6"  
MAX. PROPOSED HEIGHT  
25' - 3.38"

#### EXTERIOR FINISHES / W.U.I NOTES

- **ROOF:** COMPOSITE SHINGLES TO MATCH MAIN HOUSE, AS NOTED ON ELEVATIONS. CLASS "A" ASSEMBLY
- **EAVES (SOFFIT) FASCIA:** APPROVED 1-HOUR FIRE RESISTANT CONSTRUCTION, IGNITION RESISTANT MATERIAL. 2x LUMBER OR FIRE RETARDANT TREATED WOOD LABELED FOR EXTERIOR USE. NO EXPOSED TAILS UNLESS HEAVY TIMBER. 3/4" MINIMUM SOLID MATERIAL.
- **VENTS:** <144 SQUARE INCHES. <1/4" NON-COMBUSTIBLE CORROSION-RESISTANT MESH, VULCAN, BRANDGUARD, OR SIMILAR APPROVED VENTS
- **EXTERIOR WALLS:** LP FLAMEBLOCK SHEATHING OR SIMILAR UNDER WOOD SHINGLES TO MATCH MAIN HOUSE AND STONE TO MATCH MAIN HOUSE, AS SHOWN ON ELEVATIONS
- **EXTERIOR GLAZING:** DOUBLE PANE w/ONE TEMPERED PANE (MIN)
- **EXTERIOR DOORS (EXCLUDING VEHICLE ACCESS DOORS):** APPROVED NON-COMBUSTIBLE CONSTRUCTION. SOLID CORE (1-3/4" MIN). MINIMUM 20 MINUTE RATING
- **GUTTERS & DOWNSPOUTS:** GUTTERS AND DOWNSPOUTS TO MATCH MAIN HOUSE SHALL BE CONSTRUCTED OF NONCOMBUSTIBLE MATERIAL. GUTTERS SHALL BE PROVIDED WITH AN APPROVED MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER.

#### TRPA NOTES

**COLOR:** THE COLOR OF THIS STRUCTURE, INCLUDING ANY FENCES ON THE PROPERTY, SHALL BE COMPATIBLE WITH THE SURROUNDINGS. SUBDUED COLORS IN EARTHTONE AND WOODTONE RANGES SHALL BE USED FOR THE PRIMARY COLOR OF THE STRUCTURE. HUES SHALL BE WITHIN THE RANGE OF NATURAL COLORS THAT BLEND, RATHER THAN CONTRAST WITH THE EXISTING VEGETATION AND EARTH HUES. EARTHTONE COLORS ARE CONSIDERED TO BE SHADES OF REDDISH BROWN, BROWN, TAN, OCHRE, AND UMBER.

**ROOFS:** ROOFS SHALL BE COMPOSED OF NON-GLARE EARTHTONE OR WOODTONE MATERIALS THAT MINIMIZE REFLECTIVITY.

**FENCES:** WOODEN FENCES SHALL BE USED WHENEVER POSSIBLE. IF CYCLONE FENCE MUST BE USED, IT SHALL BE COATED WITH BROWN OR BLACK VINYL, INCLUDING FENCE POLES.

**LIGHTING:** ALL EXTERIOR LIGHTING SHALL BE CONSISTENT WITH TRPA CODE OF ORDINANCES CHAPTER 36, SECTION 36.8. EXTERIOR LIGHTING STANDARDS AND TRPA DESIGN REVIEW GUIDELINES.

**GLAZING:** ALL LAKE FACING GLAZING SHALL HAVE AN OUTWARD REFLECTIVITY OF 7-9%.

**PROPOSED EXTERIOR FINISHES TO MATCH EXISTING HOME, SEE PHOTOGRAPH ON SHEET A-3 OF EXISTING FINISHES WITH MUNSELL CALL-OUTS.**

REVISIONS		
#	DATE	BY



**ELISE FETT  
& ASSOCIATES, LTD.**

AIA - RCE - CATT

PHONE: (775) 833-3388  
FAX: (775) 833-2388  
elise@elisegett.com

P.O. BOX 5989  
INCLINE VILLAGE  
NEVADA 89450



**NNLFP, LLC OUTDOOR KITCHEN/PAVILION**

575 Lakeshore Blvd.  
Incline Village NV 89451  
APN: 122-100-26

SCALE: As indicated

JOB NO: DBBO

PRINT DATE: 4/24/2024 11:33:00 AM

SHEET

**A-2**

ELEVATIONS



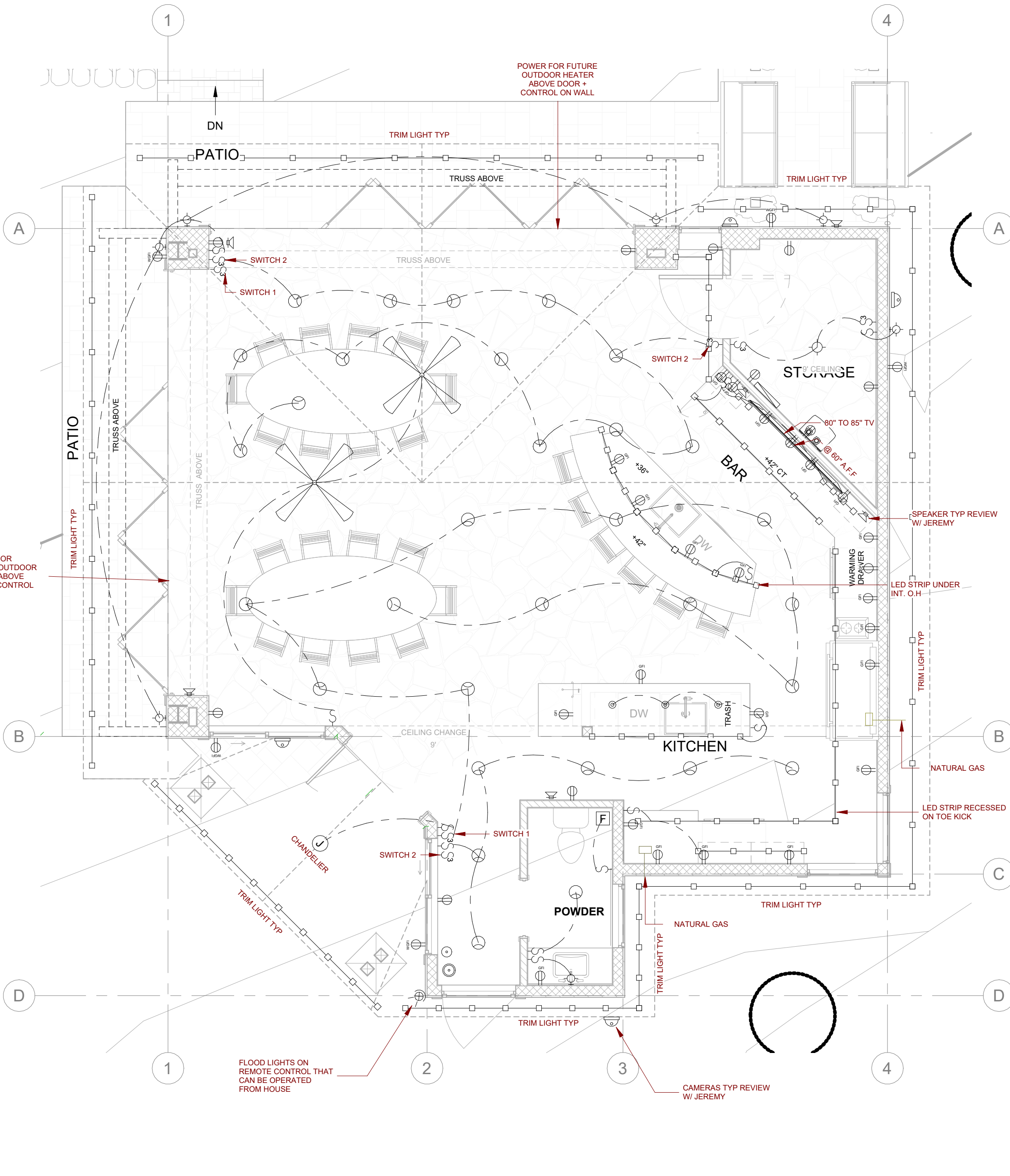
ELECTRIC AND LIGHTING SCHEDULE			
DUPLEX OUTLET	TRACK LIGHT		
220 V DUPLEX OUTLET	LED STRIP LIGHT / TRIM LIGHT TYP		
FLOOR MOUNTED DUPLEX OUTLET	MOTION SENSOR - PHOTOCCELL CONTROL		
USB OUTLET	THERMOSTAT - TBD FOR EACH ZONE BY MECHANICAL CODE		
SURFACE MOUNT FIXTURE	SMOKE DETECTOR - INTERCONNECTED	GDO	GARAGE DOOR OPENER
LED CAN FIXTURE, FIXED	CARBON MONOXIDE DETECTOR		GARAGE DOOR OPENER BUTTON
			CHIMES
			DOORBELL
			TELEVISION JACK
			TELEPHONE OUTLET
			HALL LAMP
			GFI GROUND FAULT INTERRUPTER
			WP WATERPROOFED
<b>ELECTRICAL NOTES:</b>			
• ALL LIGHTS TO HAVE DIMMERS U.N.O.			
• REC. OUTLETS <5\"/>			
• ARC FAULT PROTECTION PER IRC E3902.12			
• U.N.O. (E) RECEPTAILES TO REMAIN. IF (E) ROOM IS NOT UP TO CODE, ADD RECEPTACLES AS NEEDED			
• ALL RECESSED LIGHTING TO BE "IC" RATED & SEALED OR GASKETED TO PREVENT AIR LEAKAGE			
• 90% OF PERM. INSTALLED BULBS ON LIGHT FIXTURES TO BE HIGH EFFICACY			
• ALL EXTERIOR LIGHTING SHALL BE DARK SKY COMPLIANT, CONSISTENT WITH TRPA CODE OF ORDINANCES CHAPTER 36, SECTION 36.8, EXTERIOR LIGHTING STANDARDS, AND TRPA DESIGN REVIEW GUIDELINES.			
• EXACT LOCATION OF ALL SWITCHES, FIXTURES, AND OUTLETS TO BE CONFIRMED w/OWNER DURING WALK-THROUGH PRIOR TO INSTALLATION			
• TRIM/LIGHT ARE LOCATED UNDER GABLES AND EAVES			
• INTERNET FOR TV + WEBINAR			
• FINAL LOCATION OF SECURITY CAMERAS TBD			



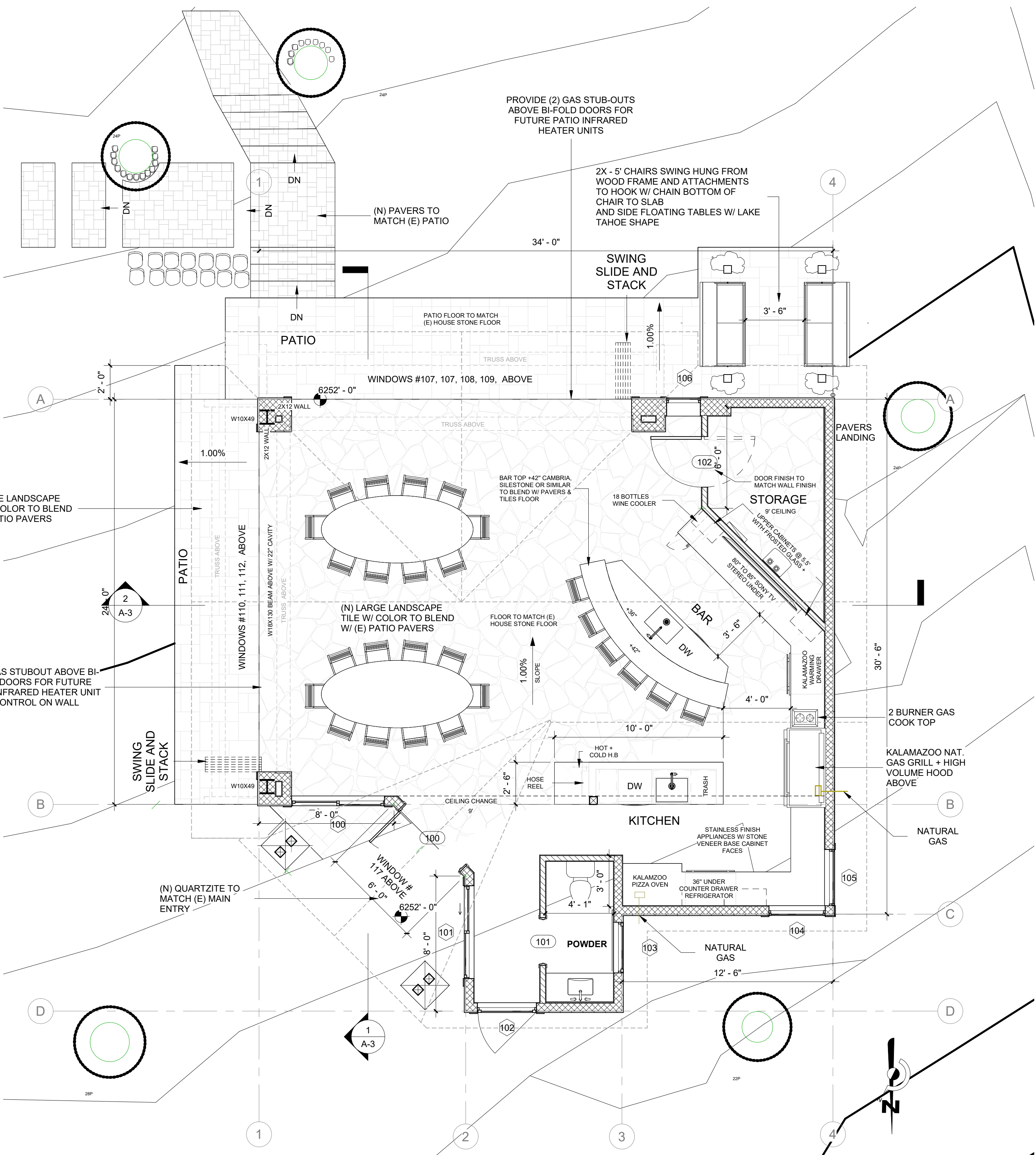
NEW SCONCES TO BE DARK SKY COMPLIANT AND COMPLIMENT EXISTING SCONCES



TRIM LIGHT VISION PICTURE



2 PAVILION ELECTRICAL  
1/4" = 1'-0"



1 PAVILION  
1/4" = 1'-0"

(N) PAVILION FLOOR AND PATIO TO MATCH MAIN HOUSE INTERIOR FLOOR WITH FINISH AS APPROPRIATE

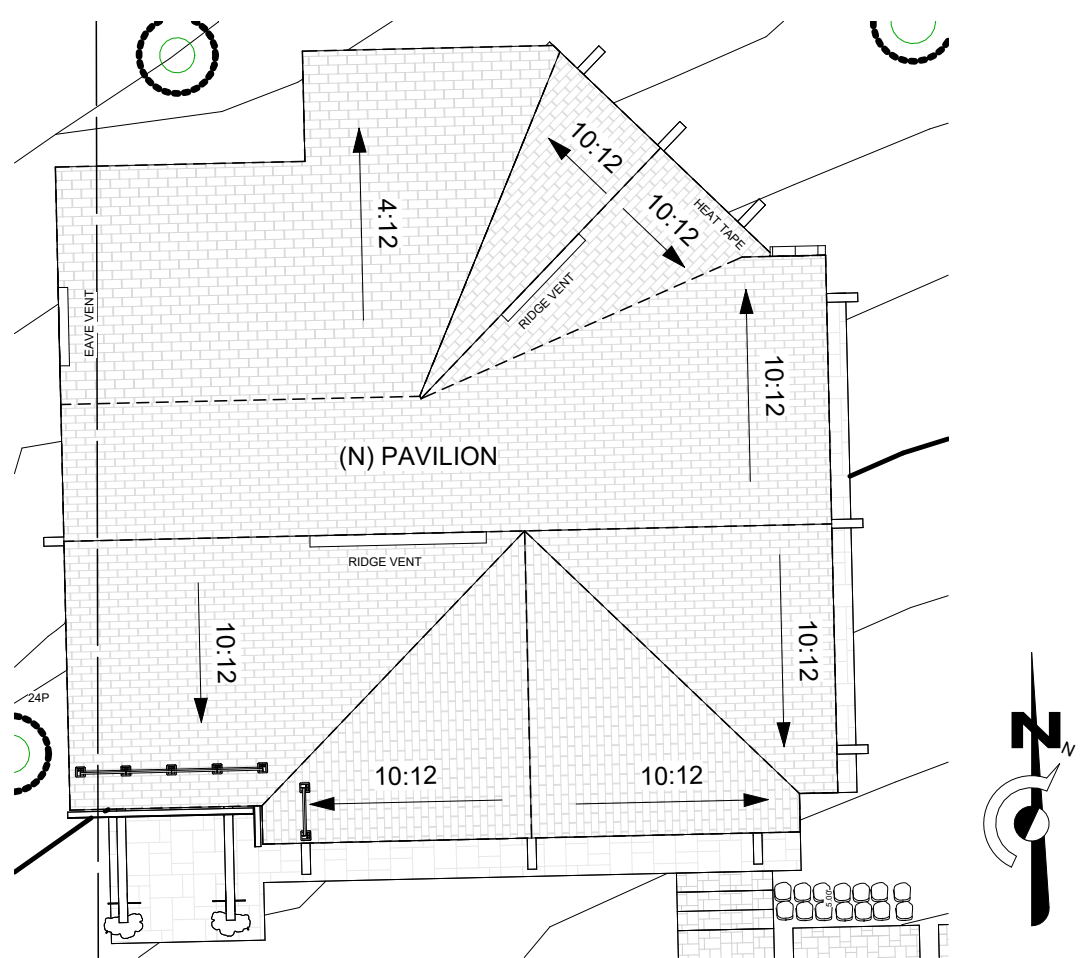


Mark	Family	Width	Height	Comments
100	Door-Exterior-Double-Full	5' - 0"	8' - 0"	
101	SINGLE 2-PANEL WOOD	2' - 8"	8' - 0"	
102	Door-Single-Flush_Panel_Double-Acting	3' - 0"	8' - 0"	INVISIBLE DOOR
104	SWING AND SLIDE FOLDING GLASS DOOR	20' - 0"	8' - 0"	
105	SWING AND SLIDE FOLDING GLASS DOOR	20' - 0"	8' - 0"	

Mark	Family	Width	Height	Head Height	Comments
100	SLIDING - DOUBLE	66"	60"	8' - 0"	
101	SLIDING - DOUBLE	66"	60"	8' - 0"	
102	CASEMENT - SINGLE RIGHT	42"	60"	8' - 0"	
103	AWNING - SINGLE	36"	24"	8' - 0"	
104	FIXED	40"	60"	8' - 0"	
105	FIXED	40"	60"	8' - 0"	
106	FIXED	24"	60"	8' - 0"	

WINDOW & DOOR NOTES

- FOR ADDITIONAL WINDOW AND DOOR INFORMATION, PLEASE SEE THE ELEVATIONS.
- ANY WINDOW AND DOOR GRIDS ARE PER THE ELEVATIONS.
- SEE ENERGY REQUIREMENTS SHEET A-3 FOR MIN. GLASS REQUIREMENTS PRIOR TO ORDERING.
- CONTRACTOR TO VERIFY ALL WINDOW AND DOOR SIZES WITH STRUCTURAL PLANS AND VERIFY ALL OPENINGS IN THE FIELD PRIOR TO ORDERING.
- ALL GLASS DOORS TO BE SAFETY GLAZED
- ALL WINDOWS WITH AN EXPOSED SINGLE PANE AREA OF 9SF OR MORE SHALL BE SAFETY GLAZED



3 ROOF PLAN  
1" = 10'-0"

ROOF SLOPE AREA	
4:12	355 S.F.
10:12	1,122 S.F.

WALL LEGEND	
	NEW 2X6 WALLS
	NEW 2X4 WALLS
	EXISTING TO REMAIN
	WALLS TO BE REMOVED

NOTE: DIMENSIONS ARE TO EDGE OF STUD (NEW CONSTRUCTION). FINISHED FACE OF WALL (INTERIOR OF EXISTING CONSTRUCTION) AND TO CENTERLINE OF DOORS AND WINDOWS.

REVISIONS		
#	DATE	BY

**EFA**

- ARCHITECTURE
- ENGINEERING
- INTERIORS
- TRPA

**ELISE FETT & ASSOCIATES, LTD.**

AIA - RCE - CATT

PHONE: (775) 833-3388

FAX: (775) 833-2388

elise@elisefett.com

P.O. BOX 5989

INCLINE VILLAGE

NEVADA 89450



**NNLFP, LLC OUTDOOR KITCHEN/PAVILION**

575 Lakeshore Blvd.  
Incline Village NV 89451

APN: 122-100-26

SCALE: As indicated

JOB NO: DBBO

PRINT DATE: 4/24/2024

SHEET

**A-1**

PROPOSED PLANS

W:\DBBO\DBBO 4-24-24 Pavilion REV 1.dwt

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT/ENGINEER AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE ARCHITECT/ENGINEER.



## ENTITY INFORMATION

NNLFP, LLC	Entity Name:
E18818152021-8	Entity Number:
Domestic Limited-Liability Company (86)	Entity Type:
Active	Entity Status:
11/09/2021	Formation Date:
NV20212275746	NV Business ID:
Perpetual	Termination Date:
11/30/2022	Annual Report Due Date:
<input type="checkbox"/>	Series LLC:
<input type="checkbox"/>	Restricted LLC:

## REGISTERED AGENT INFORMATION

MAUPIN, COX & LEGOY, A PROFESSIONAL CORPORATION	Name of Individual or Legal Entity:
Active	Status:
Commercial Registered Agent	CRA Agent Entity Type:
	Registered Agent Type:



NV20131652935	<b>NV Business ID:</b>
	<b>Office or Position:</b>
NEVADA	<b>Jurisdiction:</b>
4785 CAUGHLIN PARKWAY, Reno, NV, 89519, USA	<b>Street Address:</b>
	<b>Mailing Address:</b>
PROCTER HUG	<b>Individual with Authority to Act:</b>
	<b>Fictitious Website or Domain Name:</b>

**OFFICER INFORMATION**

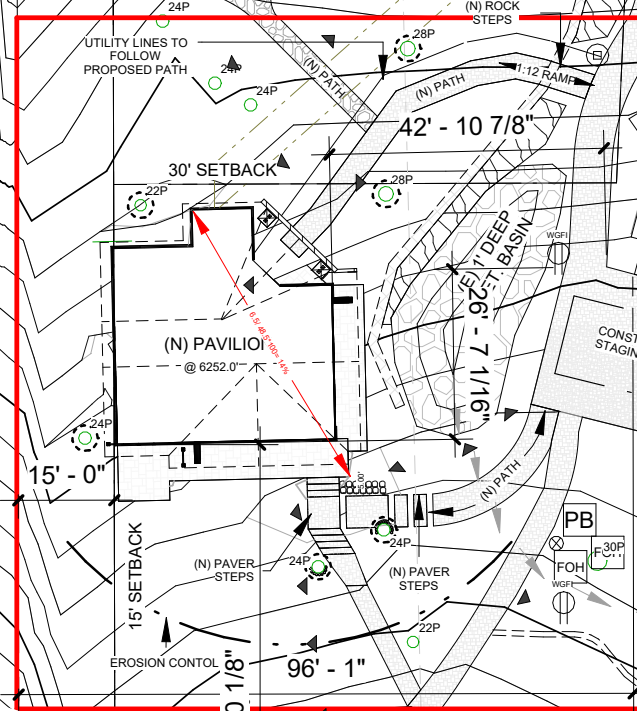
☐ **VIEW HISTORICAL DATA**

Title	Name	Address	Last Updated	Status
Manager	Dalton J. Boutte Jr.	583 Rockrose Court, Incline Village, NV, 89451, USA	11/09/2021	Active
Manager	Agnes Brenda Boutte	583 Rockrose Court, Incline Village, NV, 89451, USA	11/09/2021	Active



# LAKESHORE BOULEVARD 80, WASHOE COUNTY RIGHT OF WAY

RESERVATION AREA  
SEE EXCEPTION 13 PER  
TITLE REPORT ALSO  
BEING DOC. NO. 88423  
OFFICIAL RECORDS,  
WASHOE COUNTY, NV



LAKE TAHOE

1 SITE / GRADING  
1" = 30'-0"

2 SITE / GRADING CLOSE UP  
1" = 10'-0"

	GAS METER
	CABLE HANDHOLE
	DRAIN
	ELEC. METER
	ELEC. PEDESTAL / BOX
	ELEC. TRANSFORMER
	FIBER OPTIC
	FIRE HYDRANT AUX. VALVE
	GAS VALVE
	GROUND EXT. LIGHT
	IRRIGATION CONTROL VALVE
	IRRIGATION CONTROL BOX
	LIGHT STANDARD
	STORM MANHOLE
	VALVE BOX
	WATER METER
	WATER SPIGOT
	EXT. OUTLET
	SANITARY MANHOLE
	WATER SERVICE POST
	CREEK FLOWLINE
	RIP-RAP
	GRAVEL PATH
	DIRT PATH
	BUILDINGS
	PAVING
	RET. WALL
	EASEMENT
	OVER HEAD LINES
	CONC. CURB
	CONC. CURB & GUTTER

## TRPA NOTES

ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE REVEGETATED IN ACCORDANCE WITH THE TRPA HANDBOOK OF BEST MANAGEMENT PRACTICES AND LIVING WITH FIRE, LAKE TAHOE BASIN, SECOND EDITION.  
BROADCAST MULCH SHALL NOT BE PERMITTED AS A DUST CONTROL MEASURE WITHIN 35 FEET OF STRUCTURES.  
EXCAVATION EQUIPMENT SHALL BE LIMITED TO APPROVED CONSTRUCTION AREAS TO MINIMIZE SITE DISTURBANCE. NO GRADING OR EXCAVATION SHALL BE PERMITTED OUTSIDE OF THE APPROVED AREAS OF DISTURBANCE.

ALL WASTE RESULTING FROM THE SAW-CUTTING OF PAVEMENT SHALL BE REMOVED USING A VACUUM (OR OTHER TRPA APPROVED METHOD) DURING THE CUTTING PROCESS OR IMMEDIATELY THEREAFTER. DISCHARGE OF WASTE MATERIAL TO SURFACE DRAINAGE FEATURES IS PROHIBITED AND CONSTITUTES A VIOLATION OF THIS PERMIT.

THE PROPERTY HOLDS BMP CERTIFICATE #1560 DATED 12/4/2014 FOR EXISTING STRUCTURES. CONTRACTOR TO ENSURE THAT EXISTING BMP'S ARE IN PROPER WORKING ORDER PRIOR TO FINAL INSPECTION (REFER TO EXISTING BMP INSERT ON SHEET SP-3 FOR PREVIOUSLY INSTALLED BMP'S) AND OWNER TO MAINTAIN EXISTING AND NEW BMP'S IN PERPETUITY

## WASHOE ENGINEERING NOTES

- ALL IMPROVEMENTS WITHIN THE COUNTY RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST COUNTY CODES AND THE LATEST COUNTY STANDARD SPECIFICATIONS AND DETAILS.
- A STREET EXCAVATION PERMIT IS REQUIRED FOR ANY WORK TO BE PERFORMED WITHIN THE WASHOE COUNTY RIGHT-OF-WAY.
- THE WASHOE COUNTY ROAD DEPARTMENT (318-2180) MUST APPROVE THE NEW DRIVEWAY APPROACH LOCATION PRIOR TO INSTALLATION.
- THE WASHOE COUNTY ROAD DEPARTMENT (318-2180) MUST APPROVE THE NEW DRIVEWAY APPROACH INSTALLATION PRIOR TO PERMIT FINAL CERTIFICATE OF OCCUPANCY.
- DRIVEWAY AND PEDESTRIAN ACCESS PAVING SHALL SLOPE DOWN FROM EXISTING EDGE OF PAVING A MINIMUM 4% GRADE FOR 4 FEET, THEN 1% MINIMUM THEREAFTER.
- POSITIVE DRAINAGE AWAY FROM (N) AND (E) STRUCTURE TO BE MAINTAINED IN PERPETUITY AT 5% SLOPE FOR 10 MIN.

## NLTFPD

- ADDRESS IDENTIFICATION NUMBERS MUST BE 6" IN HEIGHT MIN.
- RESIDENTIAL FIRE SPRINKLERS SYSTEM REQUIRED
- NFPA 72 FIRE ALARM SYSTEM MAY BE PROVIDED IN LIEU OF 110V INTERCONNECTED DETECTORS. THESE SYSTEMS REQUIRE A SEPARATE PERMIT (SEE DEFERRED SUBMITTALS FOR DETAILS)
- A KNOX BOX SHALL BE PROVIDED IN ACCORDANCE WITH 2018 IFC CHAPTER 5
- WHEN HOT WORK IS CONDUCTED WITHIN A WILDFIRE RISK AREA IN ACCORDANCE WITH 2018 IFC, SECTION 105.8.23: HOT WORK OPERATIONS INCLUDING CUTTING, WELDING, THERMIT WELDING, BRAZING, SOLDERING, GRINDING, THERMAL SPRAYING, THAWING PIPE, INSTALLATION OF TORCH-APPLIED ROOF SYSTEMS OR ANY OTHER SIMILAR ACTIVITIES REQUIRE A PERMIT FROM THE NORTH LAKE TAHOE FIRE PROTECTION DISTRICT 775-831-0381.
- AN OPERATIONAL PERMIT, ISSUED BY NLTFPD, IS REQUIRED FOR NATURAL GAS OR LPG FUELED RECREATIONAL FIRE FEATURES WITHIN THE NORTH LAKE TAHOE FIRE PROTECTION DISTRICT. NOTE: IN ADDITION TO THE PERMIT, ALL FEATURES SHALL BE UL LISTED AND CONFORM TO MANUFACTURER CLEARANCE REQUIREMENTS. PERMIT MAY BE OBTAINED BY CALLING 775-833-8107.
- THE OWNER OR GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEVELOPMENT, IMPLEMENTATION, AND MAINTENANCE OF A WRITTEN PLAN ESTABLISHING A FIRE PREVENTION PROGRAM AT THE PROJECT SITE APPLICABLE THROUGHOUT ALL PHASES OF THE CONSTRUCTION, REPAIR, ALTERATION, OR DEMOLITION WORK. THE PLAN SHALL ADDRESS THE REQUIREMENTS OF IFC 3308.1 AND OTHER APPLICABLE PORTIONS OF THE IFC CODE, THE DUTIES OF STAFF, AND STAFF TRAINING REQUIREMENTS. THE PLAN SHALL BE MADE AVAILABLE FOR REVIEW BY THE FIRE CODE OFFICIAL UPON REQUEST.

## DEFERRED SUBMITTALS

- A SEPARATE PLAN/PERMIT FOR REQUIRED FIRE SPRINKLER SYSTEMS SHALL BE SUBMITTED TO NLTFPD FOR PERMIT PER RESOLUTION 16-1
- A SEPARATE PLAN WILL BE REQUIRED IF OWNER ELECTS TO GO WITH A NFPA 72 FIRE MONITORED ALARM SYSTEM IN LIEU OF 110V INTERCONNECTED DETECTORS AND THE PLAN SHALL BE SUBMITTED TO NLTFPD FOR PERMIT PER RESOLUTION 16-1.

## SITE NOTES:

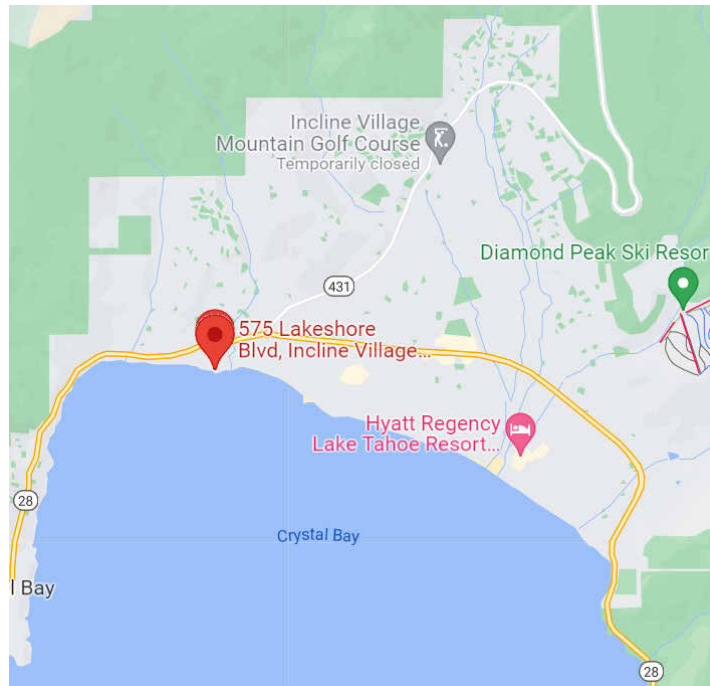
- EXISTING SURVEY & SITE PLAN PROVIDED BY K2 ENGINEERING AND STRUCTURAL DESIGN -2011, & MONHARD CONSULTING LTD - 2021
- ALL PERFORATED DRAINAGE PIPE OUTLETS TO BE KEPT CLEAR AND MARKED, ESPECIALLY FROM BEHIND RETAINING WALLS, WITH A MINIMUM 3" LONG METAL STAKE, PLACED A MINIMUM 1" INTO THE GROUND AND PAINTED RED ON TOP. INSTALL 1/4" SCREENS/MESH AT OUTLETS TO PREVENT RODENTS FROM ENTERING DRAINAGE PIPES

## SHEET INDEX

SP-1	SITE / GRADING PROPOSED
SP-2	TRPA COVERAGE
SP-3	TRPA BMP'S
SP-4	DEFENSIBLE SPACE PLAN
A-1	PROPOSED PLANS
A-2	ELEVATIONS
A-3	SECTIONS & DETAILS
A-4	SCENIC VISUAL ASSESSMENT
A-5	3D EXTERIOR
A-6	3D INTERIOR
CS	ENGINEERING COVERSHEET
S0.1	GENERAL NOTES & DETAILS
S0.2	DETAILS
S0.3	DETAILS
S0.4	DETAILS
S0.5	DETAILS
S1.1	FOUNDATION PLAN & SPECIAL INSPECTIONS
S1.2	ROOF FRAMING & SHEAR PLAN

PLEASE REFER TO ENCLOSED 8.5X11 ARCHITECTURAL PROJECT GUIDELINES FOR ADDITIONAL DETAILS AND PROJECT REQUIREMENTS. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT ALL SUBS RECEIVE A COPY OF AND ADHERE TO THESE GUIDELINES. IF ADDITIONAL COPIES (ELECTRONIC OR PAPER) ARE NEEDED, PLEASE CONTACT ELISE FETT & ASSOCIATES, LTD.

## VICINITY MAP:



CUT	=	75 CU YDS.
FILL	=	8 CU YDS.
GROSS CUT/FILL	=	83 CU YDS.
NET FILL	=	67 CU YDS.

## IVGID FIXTURE COUNT:

	Count	Water Value	Sewer Value	Water Count	Sewer Count
Kitchen Sink	2	1.5	2	3	4
Bar Sink	6	1	1	6	6
Dishwasher	5	1.5	2	7.5	10
Tub/Shower	1	4	2	4	2
Water Closet	9	2.5	3	22.5	27
Bidet	0	1	1	0	0
Lav sink	9	1	1	9	9
Shower head	6	2	2	12	12
Washer	2	4	3	8	6
Laundry sink	2	1.5	2	3	4
Moist sink	0	1.5	3	0	0
Hose bib (1st)	1	2.5	n/a	2.5	0
Additional Hose Bibs	4	1	n/a	4	0
<b>Totals</b>				<b>81.5</b>	<b>80</b>

## IVGID NOTES

- (E) HOME AND PROPOSED PAVILION TO HAVE FAU HEAT
- (E) 6" FIRE LINE TO REMAIN
- (N) PAVILION TO HAVE FIRE SPRINKLERS
- (E) 2" WATER SERVICE, METER, AND SUPPLY LINE TO REMAIN
- (N) PAVILION TO BE ON SAME SERVICE METER AS MAIN HOME
- SEWER LINE MUST BE AIR TESTED TO THE CURRENT UPC AND IVGID REQUIREMENTS
- SEWER LIFT STATION TO BE TESTED TO THE CURRENT UPC AND IVGID REQUIREMENTS

## OWNER

NNLFP LLC  
583 ROCKROSE COURT  
INCLINE VILLAGE, NV 89451

## PROPERTY

575 LAKESHORE BLVD.  
INCLINE VILLAGE, NV 89451  
WASHOE COUNTY, NEVADA  
PM 2934 LT 2  
APN: 122-100-26

## CONTACT PERSON

ELISE FETT & ASSOCIATES, LTD.  
P.O. BOX 5989  
INCLINE VILLAGE, NV 89450  
(775) 833-3388

## CODE ANALYSIS

CODE EDITION - I.R.C. 2018  
OCCUPANCY GROUP - R-3  
TYPE OF CONSTRUCTION - V-B  
2018 IFC & IWUC  
2018 FIRE AMENDMENTS INCLUDING  
RESOLUTIONS 18-1 & 18-2  
IR1 CONSTRUCTION REQUIRED

## SQUARE FOOTAGE

(E) RESIDENCE TO REMAIN	12,679 SQ. FT.
(E) GARAGE TO REMAIN	1,314 SQ. FT.
(N) DETACHED PAVILION	1,019 SQ. FT.
(N) PATIO	342 SQ. FT.

## SCOPE OF WORK

NEW PAVILION THAT OFFERS AN INDOOR - OUTDOOR RECREATIONAL AREA THAT INCLUDES A KITCHEN, BAR, POWDER BATH, SEATING AREA, AND STORAGE. THERE WILL BE NEW PATIOS OUTSIDE THE PROPOSED FOLDING DOORS AND NEW PATHS OF TRAVEL BETWEEN THE DETACHED STRUCTURE AND THE MAIN HOUSE AS SHOWN. A PORTION OF THE EXISTING DRIVEWAY WILL BE CONVERTED TO PAVEMENT PAVING (AS SHOWN IN THE COVERAGE PLAN, SHEET SP-2).

## LAND AREA

169,196 SQ. FT.  
3.88 acres  
(PER SURVEY)

## EARTHWORK

CUT = 75 CU YDS.  
FILL = 8 CU YDS.  
GROSS CUT/FILL = 83 CU YDS.  
NET FILL = 67 CU YDS.

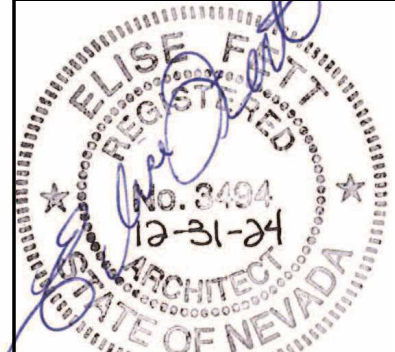
#	DATE	BY
1	4/19/24	EFA

**EFA**

- ARCHITECTURE
- ENGINEERING
- INTERIORS
- TRPA

**ELISE FETT & ASSOCIATES, LTD.**

AIA - RCE - CATT  
PHONE: (775) 833-3388  
FAX: (775) 833-2388  
elise@elifett.com  
P.O. BOX 5989  
INCLINE VILLAGE  
NEVADA 89450



4/24/24

NNLFP, LLC OUTDOOR KITCHEN/PAVILION

575 Lakeshore Blvd.  
Incline Village NV 89451  
APN: 122-100-26

SCALE: As indicated

JOB NO: DBBO

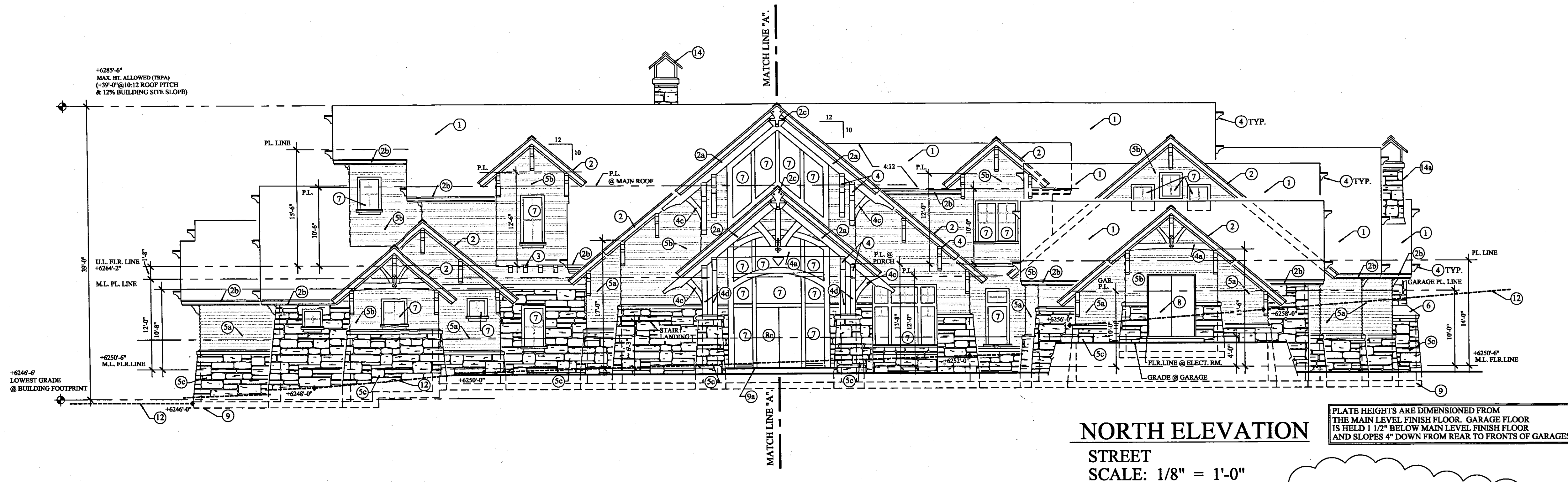
PRINT DATE: 4/24/2024  
11:32:38 AM

SHEET

**SP-1**

SITE / GRADING  
PROPOSED





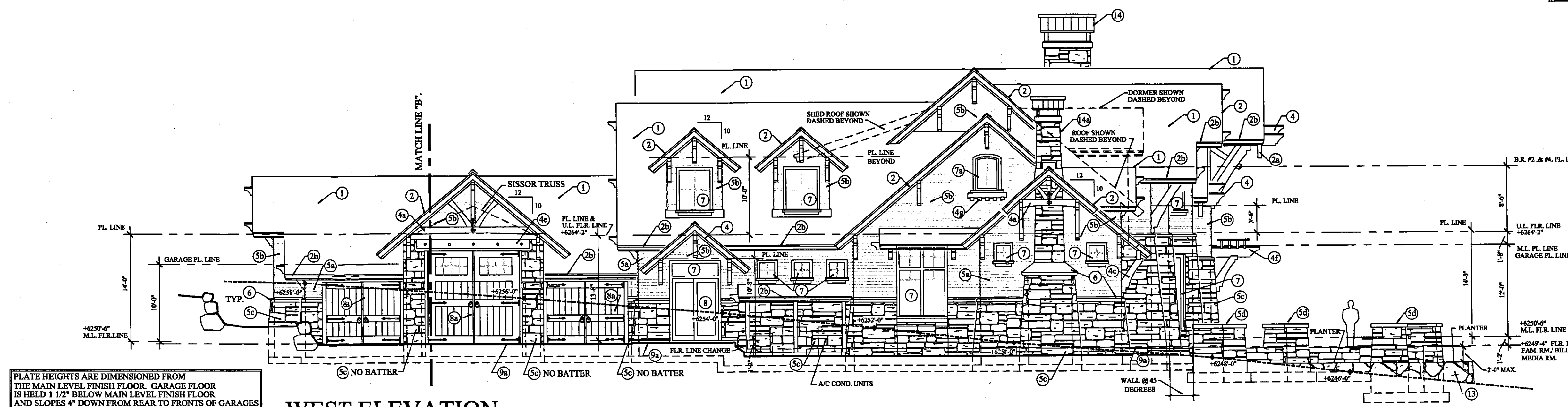
**NORTH ELEVATION**

STREET  
SCALE: 1/8" = 1'-0"

PLATE HEIGHTS ARE DIMENSIONED FROM THE MAIN LEVEL FINISH FLOOR. GARAGE FLOOR IS HELD 1 1/2' BELOW MAIN LEVEL FINISH FLOOR AND SLOPES 4" DOWN FROM REAR TO FRONTS OF GARAGES

**WALL SHINGLES**

CLASS B FIRE RATED  
"CERTI-GUARD" PRESSURE IMPREGNATED  
FIRE-RETARDANT TREATED NUMBER 1 GRADE  
REBUTTED AND REJOINED (R. & R.) WESTERN  
CEDAR SHINGLES  
7" EXPOSURE ALTERNATED W/ 3" EXPOSURE  
TYVEK "HOMEWRAP" UNDERLAY.  
INSTALL IN ACCORDANCE WITH THE 2006 I.R.C.  
AND THE C.S.A.S.S. RECOMMENDATIONS.



**WEST ELEVATION**

RIGHT  
SCALE: 1/8" = 1'-0"

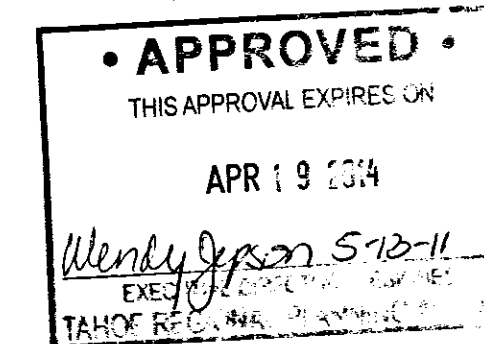
PLATE HEIGHTS ARE DIMENSIONED FROM THE MAIN LEVEL FINISH FLOOR. GARAGE FLOOR IS HELD 1 1/2' BELOW MAIN LEVEL FINISH FLOOR AND SLOPES 4" DOWN FROM REAR TO FRONTS OF GARAGES



**WEST ELEVATION SHOWING BBQ PAVILION**

RIGHT  
SCALE: 1/8" = 1'-0"

BBQ PAVILION



**ELEVATION  
KEY NOTES:**

- COMP. SHINGLE. PAINT EXPOSED G.I. SHEET METAL & PLUMBING VENTS TO MATCH ROOFING. DIRECT VENTS BEHIND RIDGE WHEN POSSIBLE. PROVIDE COPPER VENT SNOW GUARDS AT ALL VENTS.
- 4x12 BARGE W/ 1/4 SHINGLE MOULD. - PAINT TRIM COLOR
  - 8x12 BARGE W/ 1/4 SHINGLE MOULD. - PAINT TRIM COLOR
  - 2x FASCIA W/ 1/4 SHINGLE MOULD. - PAINT TRIM COLOR
  - BARGE GUSSET PLATE. DECORATIVE W.I. HARDWARE
- PROFILED 6x DECORATIVE TRUSS OUTRIGGERS @ 24" O.C. - PAINT TRIM COLOR
- 8x OUTRIGGERS W/ COPPER CAPS. - AND SHAPED
  - KNEE BRACES - PAINT TRIM COLOR
  - SHAPED 8x VERT. KING POST, HORIZ. COLLAR TIE AND PENDANT W/ DECORATIVE W.I. HARDWARE
  - OUTRIGGER ONLY
  - SHAPED KNEE BRACES ONLY
  - BUILT UP WD. COLUMNS
  - DECORATIVE WOOD LINTEL BEAM W/ BLACK IRON HARDWARE
  - WALL TRELLIS. VERIFY SIZE AND SHAPE W/ ARCHITECT. SEE STRUCT. FOR ATTACHMENT. ENGR. DESIGN.
  - DECORATIVE WD. CORBELS
  - DECORATIVE W.I. POST BASES
- EXTERIOR WALL:
  - HORIZONTAL LAP SIDING - COLOR AS SCHEDULED
  - CEDAR SHINGLES - SEE DETAIL FOR COURSE PATTERN - COLOR AS SCHEDULED
  - STONE VENEER 1:12 BATTER. U.N.O. I.R.C. SECTION R703.7.4.1
  - C.M.U. PEDESTALS W/ STONE VENEER 1:12 BATTER. SLOPED STONE CAP.
- PRECAST SILL, MOLDINGS, WATERTABLE AND CAPS.
- WINDOWS. VINYL OR VINYL CLAD WINDOWS W/ DUAL GLAZING PER 2006 I.R.C. W/ PRECAST OR STONE SILL
  - BLACKED-OUT WINDOWS AT FALSE BAYS, DORMERS OR DEAD ATTIC SPACE SIZE AS NOTED
- EXTERIOR DOORS. SOLID CORE, ATRIUM TYPE, SLIDER, OR FRENCH. SEE FLOOR PLAN
  - SECTIONAL OVERHEAD GARAGE DOORS. DECORATIVE CARRIAGE HOUSE STYLE.
  - WOOD PLANK DOOR W/ W.I. DECORATIVE HARDWARE
  - ENTRY DOOR UNIT W/ DECORATIVE HARDWARE
  - FIXED GLASS DOOR
- CONCRETE FOUNDATION: BOTTOM OF FOOTING 2'-0" MIN. BELOW FINISH GRADE. SEE STRUCT. FOR STEPPED FOOTING LOCATIONS. PAINT EXPOSED STEMWALLS TO MATCH SIDING.
  - WALKS AND TERRACES TO BE DRY SET CONC. PAVERS - VERIFY WITH OWNER & LANDSCAPE CONTRACTOR
- PAVER STOOP (SEE LANDSCAPE DWGS.)
- FINISH GRADE - SLOPE AWAY FROM STRUCTURE
- EXISTING GRADE
- HAND STACKED ROCKERY WALL. SEE GRADING PLAN
- COPPER CHIMNEY CAP/ SPARK ARRESTER
  - AGA RATED GAS APPLIANCE FIREPLACE FALSE CHIMNEY W/ STONE VENEER
  - FALSE CHIMNEY FOR BBQ HOOD VENT W/ STONE VENEER

**NOTES:**

- SEE SHEETS SP-1 & SP-2 PROJECT SPECIFICATIONS FOR INFORMATION PERTINENT TO THE CONSTRUCTION OF THIS PROJECT.
- PLATE ELEVATIONS ABOVE MAIN HOUSE FINISH FLOOR (A.F.F.) (TOP OF GYPCRETE) FOR CONTRACTORS CONVENIENCE ONLY. BLENDED ROOF PL. HTS. ARE APPROX. GENERAL CONTRACTOR TO VERIFY EXACT ELEVATIONS REQUIRED ON STRUCTURAL DRAWINGS AND ROOF TRUSS LAYOUT DRAWINGS. REPORT ANY DISCREPANCIES TO ARCHITECT.
- ATTIC AND CRAWL SPACE ARE NOT VENTED AND ARE TO BE A CLOSED SYSTEM WITH SPRAY APPLIED POLYURETHANE FOAM INSULATION. "SEAL-ECTON 500" BY FOAM INSULATION SOLUTIONS. INSTALL AIR EXCHANGERS AS REQUIRED.
- PAINT EXPOSED G.I. SHEET METAL AND PLUMBING VENTS TO MATCH ROOFING. DIRECT VENTS BEHIND RIDGE WHERE POSSIBLE.
- 
- VENT TERMINATIONS TO MEET MANUFACTURER AND U.M.C. REQUIREMENTS.
- SOME AREAS MAY HAVE SCISSOR TRUSSES TO ALLOW FOR FIELD FRAMED COFFERED CEILINGS AND HIGH GABLE END WINDOWS.
- FOOTINGS ARE TO BEAR ON EXISTING GRADE AND BELOW CLAY OR ANY UNSUITABLE SUBSTRATE. AT CONTRACTOR'S OPTION, FOOTINGS MAY BEAR ON ENGINEERED FILL. CONTRACTOR TO PROVIDE REQUIRED ENGINEERING AND COMPACTION.
- ALL STRUCTURAL HARDWARE AND CONNECTORS AT PORCHES, TRELLIS, ETC. TO BE CONCEALED U.N.O. VERIFY W/ ARCHITECT.

**STONE VENEER**

- SEE DETAIL SECTION (D-1) FOR BATTERED VENEER DETAIL. SEE EXTER. ELEVATIONS FOR LOCATION.
- I.R.C. SECTION R703.7.4.1 VENEER TIES, STRAND WIRE, SHALL NOT BE LESS IN THICKNESS THAN No. 9 U.S. GAGE WIRE AND SHALL HAVE A HOOK EMBEDDED IN THE MORTAR JOINT, OR IF SHEET METAL, SHALL BE NOT LESS THAN No. 22 U.S. GAGE BY 7/8 INCH CORRUGATED. EACH TIE SHALL BE SPACED NOT MORE THAN 24 INCHES (610mm) ON CENTER HORIZONTALLY AND VERTICALLY AND SHALL SUPPORT NOT MORE THAN 2.67 SQUARE FEET OF WALL AREA.

- Description of Materials Colors
- Exterior Stone: 80% Natural Gray Granite 20% Natural Brown Granite
  - Windows: Windsor wood windows with exterior metal clad in cinnamon color
  - Roofing: Coloten Presidential composition roofing in Dark Brown
  - Roof and flashing material all to be copper to weather
  - Exterior Wood: All fascia, siding, shingles, truss, beams and corbels to be cedar stained natural cedar color.

These plans have been reviewed and approved as a final set under the Nevada Building Code. The reviewer is not responsible for any elements contained in the plans that are not shown or for any errors, omissions, or other errors that may occur. The reviewer is not responsible for any errors, omissions, or other errors that may occur. The reviewer is not responsible for any errors, omissions, or other errors that may occur.

REVISIONS
03.29.11
04.27.11 TRPA

**GAIL RICHIE  
ARCHITECT, L.L.C.**  
1100 CAUGHLIN CROSSING  
RENO, NEVADA 89519  
TELEPHONE (775) 746-2230  
FAX (775) 746-2239

**O'NEAL RESIDENCE  
EXTERIOR ELEVATION**



DATE:	02.17.11
DRAWN:	
CHECKED:	
FILE NAME:	
SHEET:	A-7



REVISIONS	
1	03.29.11
2	04.27.11
3	TRPA

© 2011 BY GAIL RICHIE ARCHITECT, L.L.C.  
 ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM GAIL RICHIE ARCHITECT, L.L.C.  
 1100 CAUGHLIN CROSSING  
 RENO, NEVADA 89519  
 TEL: (775) 746-2220  
 FAX: (775) 746-2229

**GAIL RICHIE ARCHITECT, L.L.C.**

**O'NEAL RESIDENCE**  
 EXTERIOR ELEVATION

**GAIL NORMAN FICHER**  
 REGISTERED ARCHITECT  
 STATE OF NEVADA  
 No. 821

DATE:	02.17.11
DRAWN:	GR
CHECKED:	GR
FILE NAME:	
SHEET:	A-7.1

**ELEVATION KEY NOTES:**

- COMP. SHINGLE. PAINT EXPOSED G.I. SHEET METAL & PLUMBING VENTS TO MATCH ROOFING. DIRECT VENTS BEHIND RIDGE WHEN POSSIBLE. PROVIDE COPPER VENT SNOW GUARDS AT ALL VENTS.
- 4x12 BARGE W/ 1x6 SHINGLE MOULD. - PAINT TRIM COLOR  
 a. 8x12 BARGE W/ 1x6 SHINGLE MOULD. - PAINT TRIM COLOR  
 b. 2x FASCIA W/ 1x6 SHINGLE MOULD. - PAINT TRIM COLOR  
 c. BARGE GUSSET PLATE. DECORATIVE W.I. HARDWARE
- PROFILED 6x DECORATIVE TRUSS OUTRIGGERS @ 24" O.C. - PAINT TRIM COLOR
- 8x OUTRIGGERS W/ COPPER CAPS. AND SHAPED 8x KNEE BRACES - PAINT TRIM COLOR  
 a. SHAPED 8x VERT. KING POST, HORIZ. COLLAR TIE AND PENDANT W/ DECORATIVE W.I. HARDWARE  
 b. OUTRIGGER ONLY  
 c. SHAPED KNEE BRACES ONLY  
 d. BUILT UP WD. COLUMNS  
 e. DECORATIVE WOOD INTEL BEAM W/ SHAPED W.I. HARDWARE.  
 f. WALL TRELLIS. VERIFY SIZE AND SHAPE W/ ARCHITECT. SEE STRUCT. FOR ATTACHMT. ENGR. DESIGN.  
 g. DECORATIVE WD. CORBELS  
 h. DECORATIVE W.I. POST BASES
- EXTERIOR WALL:  
 a. HORIZONTAL LAP SIDING - COLOR AS SCHEDULED  
 b. CEDAR SHINGLES - SEE DETAIL FOR COURSE PATTERN - COLOR AS SCHEDULED  
 c. STONE VENEER 1:12 BATTER. U.N.O. I.R.C. SECTION R703.7.4.1  
 d. C.M.U. PEDESTALS W/ STONE VENEER 1:12 BATTER. SLOPED STONE CAP.
- PRECAST SILL, MOLDINGS, WATERTABLE AND CAPS.
- WINDOWS: VINYL OR VINYL CLAD WINDOWS W/ DUAL GLAZING PER 2006 I.R.C. W/ PRECAST OR STONE SILL  
 a. BLACKED-OUT WINDOWS AT FALSE BAYS, DORMERS OR DEAD ATTIC SPACE SIZE AS NOTED
- EXTERIOR DOORS: SOLID CORE, ATRIUM TYPE, SLIDER, OR FRENCH. SEE FLOOR PLAN  
 a. SECTIONAL OVERHEAD GARAGE DOORS. DECORATIVE CARRIAGE HOUSE STYLE.  
 b. WOOD PLANK DOOR W/ W.I. DECORATIVE HARDWARE  
 c. ENTRY DOOR UNIT W/ DECORATIVE HARDWARE  
 d. FIXED GLASS DOOR
- CONCRETE FOUNDATION: BOTTOM OF FOOTING 2'-0" MIN. BELOW FINISH GRADE. SEE STRUCT. FOR STEPPED FOOTING LOCATIONS. PAINT EXPOSED STEM WALLS TO MATCH SIDING.  
 a. WALKS AND TERRACES TO BE DRY SET CONC. PAVERS - VERIFY WITH OWNER & LANDSCAPE CONTRACTOR
- PAVER STOOP (SEE LANDSCAPE DWGS.)
- FINISH GRADE - SLOPE AWAY FROM STRUCTURE
- EXISTING GRADE
- HAND STACKED ROCKERY WALL. SEE GRADING PLAN
- COPPER CHIMNEY CAP/ SPARK ARRESTER  
 a. A.G.A. RATED GAS APPLIANCE FIREPLACE FALSE CHIMNEY W/ STONE VENEER  
 b. FALSE CHIMNEY FOR BBQ HOOD VENT W/ STONE VENEER

**NOTES:**

- SEE SHEETS SP-1 & SP-2 PROJECT SPECIFICATIONS FOR INFORMATION PERTINENT TO THE CONSTRUCTION OF THIS PROJECT.
- PLATE ELEVATIONS ABOVE MAIN HOUSE FINISH FLOOR (A.F.F.) (TOP OF GYPCRETE) FOR CONTRACTORS CONVENIENCE ONLY. BLENDED ROOF PL. HTS. ARE APPROX. GENERAL CONTRACTOR TO VERIFY EXACT ELEVATIONS REQUIRED ON STRUCTURAL DRAWINGS AND ROOF TRUSS LAYOUT DRAWINGS. REPORT ANY DISCREPANCIES TO ARCHITECT.
- ATTIC AND CRAWL SPACE ARE NOT VENTED AND ARE TO BE A CLOSED SYSTEM WITH SPRAY APPLIED POLYURETHANE FOAM INSULATION. "SEAL-LOCK 500" BY FOAM INSULATION SOLUTIONS. INSTALL AIR EXCHANGERS AS REQUIRED.
- PAINT EXPOSED G.I. SHEET METAL AND PLUMBING VENTS TO MATCH ROOFING. DIRECT VENTS BEHIND RIDGE WHERE POSSIBLE.
- VENT TERMINATIONS TO MEET MANUFACTURER AND U.M.C. REQUIREMENTS.
- SOME AREAS MAY HAVE SCAISSOR TRUSSES TO ALLOW FOR FIELD FRAMED COFFERED CEILINGS AND HIGH GABLE END WINDOWS.
- FOOTINGS ARE TO BEAR ON EXISTING GRADE AND BELOW CLAY OR ANY UNSUITABLE SUBSTRATE. AT CONTRACTOR'S OPTION, FOOTINGS MAY BEAR ON ENGINEERED FILL - CONTRACTOR TO PROVIDE REQUIRED ENGINEERING AND COMPACTION.
- ALL STRUCTURAL HARDWARE AND CONNECTORS AT PORCHES, TRELLIS, ETC. TO BE CONCEALED U.N.O. VERIFY W/ ARCHITECT.

**STONE VENEER**

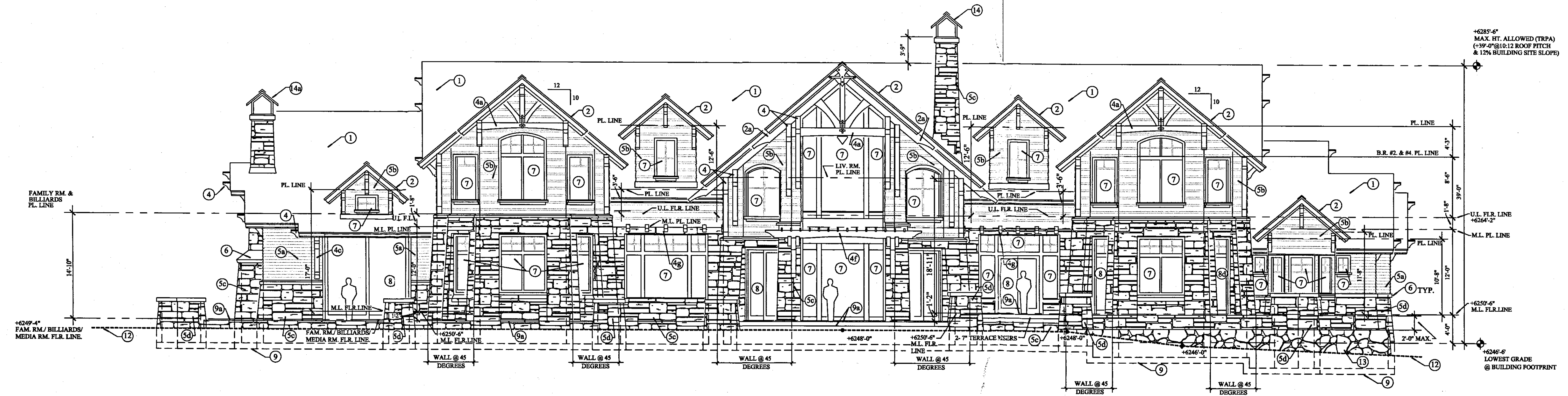
SEE DETAIL SECTION (D-1) FOR BATTERED VENEER DETAIL. SEE EXTER. ELEVATIONS FOR LOCATION.  
 I.R.C. SECTION R703.7.4.1  
 VENEER TIES, STRAND WIRE, SHALL NOT BE LESS IN THICKNESS THAN No. 9 U.S. GAGE WIRE AND SHALL HAVE A HOOK EMBEDDED IN THE MORTAR JOINT, OR IF SHEET METAL, SHALL BE NOT LESS THAN No. 22 U.S. GAGE BY 7/8 INCH CORRUGATED. EACH TIE SHALL BE SPACED NOT MORE THAN 24 INCHES (610mm) ON CENTER HORIZONTALLY AND VERTICALLY AND SHALL SUPPORT NOT MORE THAN 2.67 SQUARE FEET OF WALL AREA.

Every plan has been reviewed and approved as required under 100A Nevada Regulations and Ordinances only. TRPA has not reviewed and shall not be responsible for any elements contained in these plans, i.e. structural, electrical, mechanical, etc. which require review and approval by the appropriate regulatory agencies.

**TAHOE REGIONAL PLANNING AGENCY**

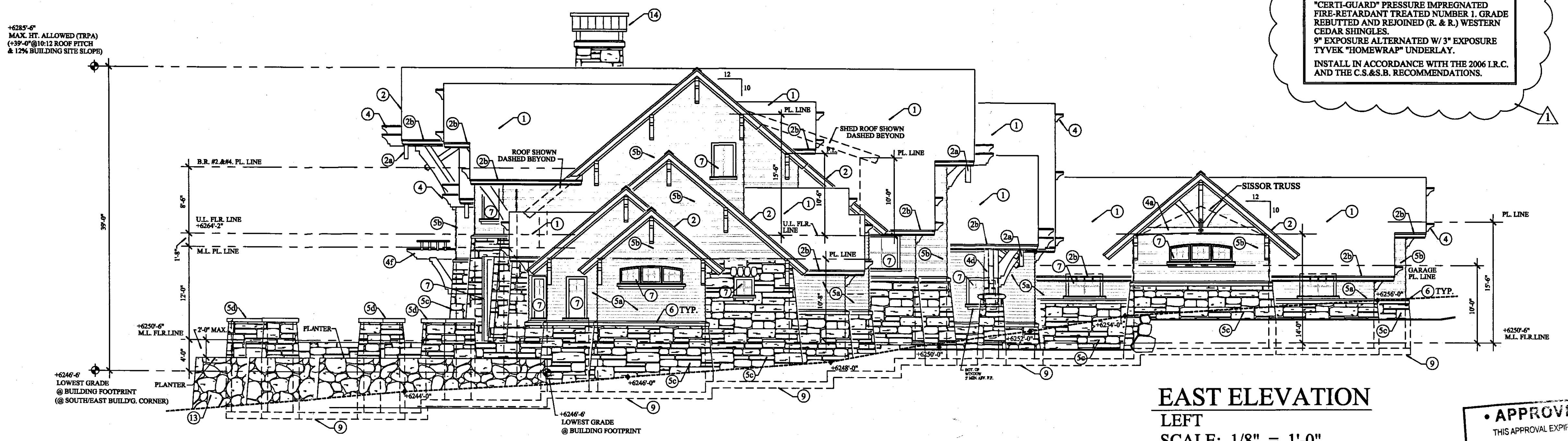
Description of Materials  
 Colors  
 1. Exterior Stone: 80% Natural Gray Granite 20% Natural Brown Granite  
 2. Windows: Windsor wood windows with exterior metal clad in cinnamon color  
 3. Roofing: Celecox Presidential composition roofing in Dark Brown  
 4. Roof and flashing material all to be copper to weather  
 5. Exterior Wood: All fascia, siding, shingles, truss, beams and corbels to be cedar stained natural cedar color.

(6) A note stating that the visual assessment for the proposed project was evaluated under and complies with Level 5, Option 2 of the Visual Magnitude System (Section 30.15.C.5(b) of the TRPA Code of Ordinances). The total square feet of visible area allowed for this project per code is 4,689 square feet. The approved visible area for this project is 2,560 square feet.



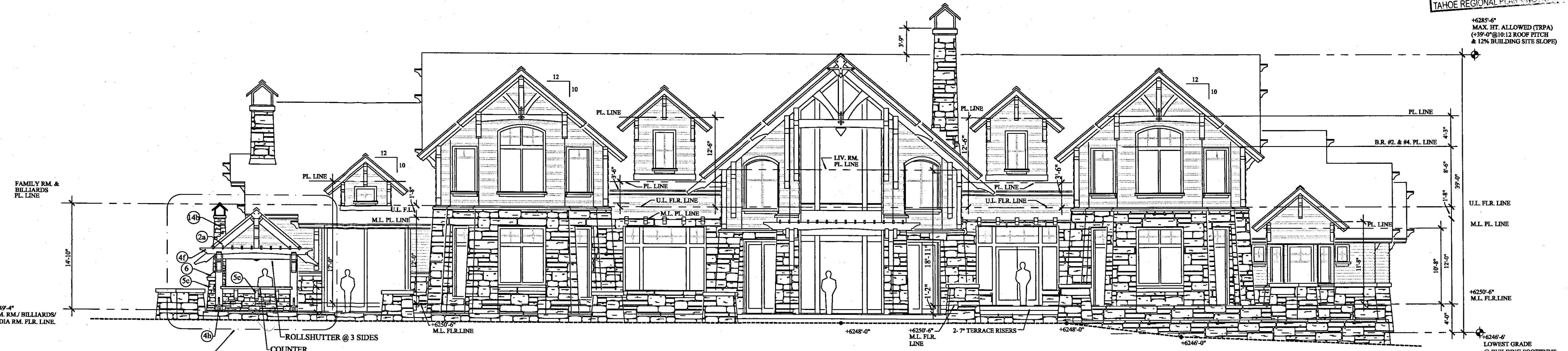
**SOUTH ELEVATION**  
 LAKE  
 SCALE: 1/8" = 1'-0"

**WALL SHINGLES**  
 CLASS B FIRE RATED  
 "CERTI-GUARD" PRESSURE IMPREGNATED  
 FIRE-RETARDANT TREATED NUMBER 1, GRADE  
 REBUTED AND REJOINED (R. & R.) WESTERN  
 CEDAR SHINGLES.  
 9" EXPOSURE ALTERNATED W/ 3" EXPOSURE  
 TYPE "STONEWAX" UNDERLAY.  
 INSTALL IN ACCORDANCE WITH THE 2006 I.R.C.  
 AND THE C.S.&S.B. RECOMMENDATIONS.



**EAST ELEVATION**  
 LEFT  
 SCALE: 1/8" = 1'-0"

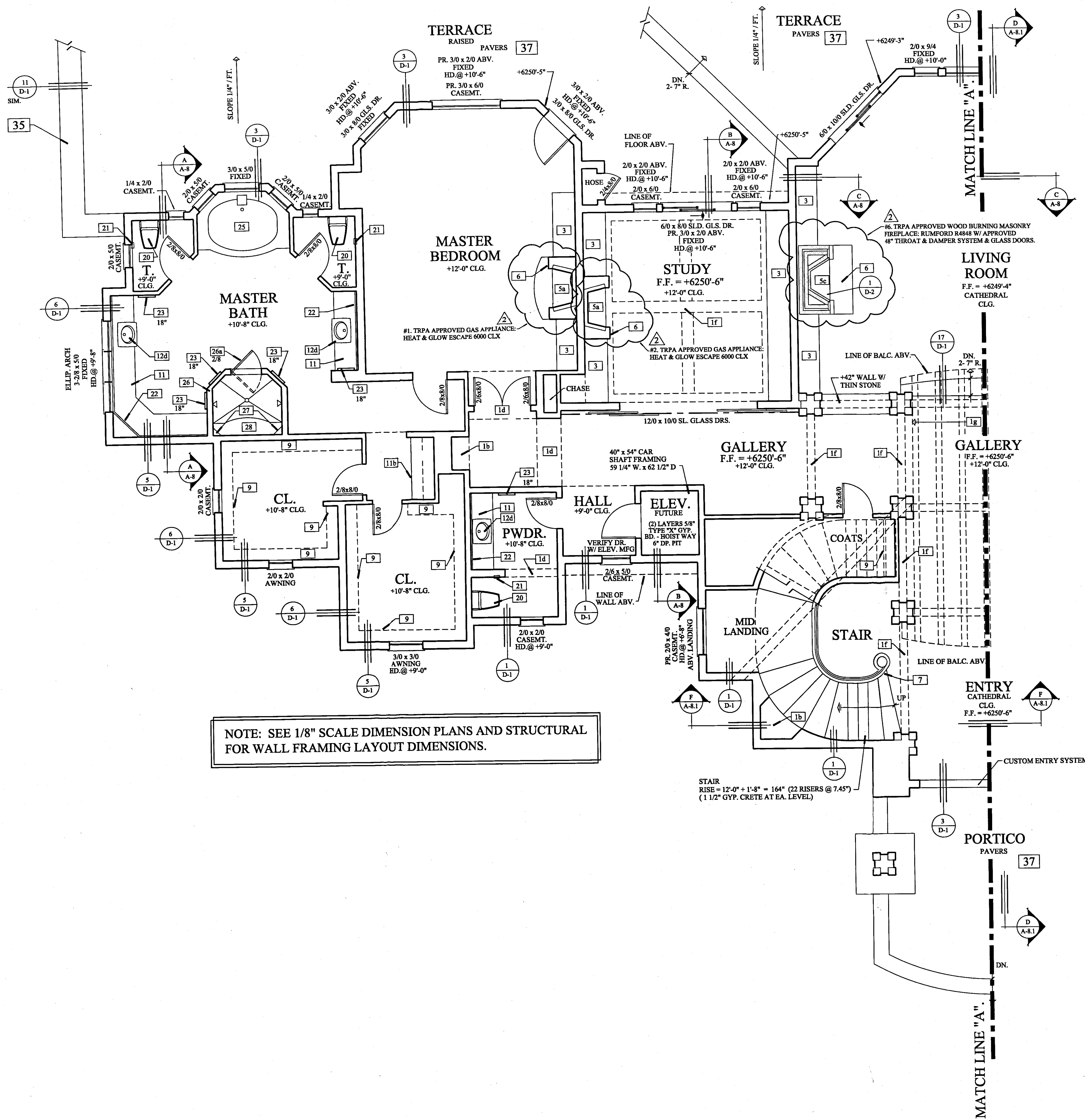
**APPROVED**  
 THIS APPROVAL EXPIRES ON  
 APR 19 2014  
*Wesley Gordon*  
 EXECUTIVE DIRECTOR  
 TAHOE REGIONAL PLANNING AGENCY



**SOUTH ELEVATION SHOWING BBQ PAVILION**  
 LAKE  
 SCALE: 1/8" = 1'-0"

**BBQ PAVILION**





# FLOOR PLAN KEY NOTES

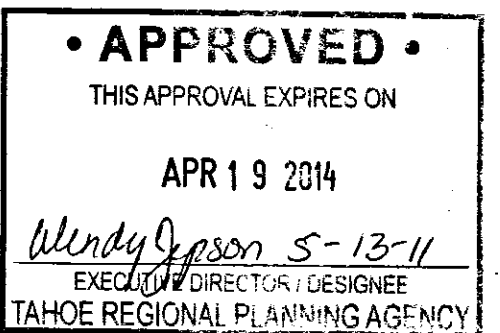
NOTE: ALL ITEMS LISTED MAY NOT OCCUR ON THIS PROJECT

- SOFFIT - HT. PER PLAN
- POT SHELF - HT. AS NOTED
- RECESSED ART NICHE
- RECESSED TV NICHE
- ARCHED SOFFIT - SEE RECOM. ARCH PROFILES
- RECESSED TOWEL NICHE
- FALSE DECORATIVE CEILING BEAMS
- EXPOSED STRUCTURAL CEILING BEAM
- PASS THROUGH OPENING, VERIFY SIZE
- FURRED WALL - DIM. PER PLANS
- STRUCTURAL POST FURRED OR PADDED TO 8"
- PEDESTAL - HT. PER PLAN
- COURTYARD WALL - HT. AS NOTED ON ELEVATIONS
- BUILT IN CABINETRY
  - WINE RACK
  - BOOK CASE
  - CHINA CABINETRY
  - BUFFET SIDEBOARD
  - PANTRY SHELVING
  - DISPLAY CASE, HEIGHT AS SHOWN.
- FACE FRAMED CABINETRY
  - LINEN CLOS./MEDICINE CABINET
  - BROOM CLOSET
  - CONCEALED IRONING BOARD
  - ENTERTAINMENT CENTER/ENCLOSURE
  - FACE FRAMED PANTRY
  - ILLUMINATIONS ELECTRIC FIREPLACE BY FIREPLACE EXTENDING
- AGA RATED GAS APPLIANCE FIREPLACE
  - EXTERIOR RATED GAS APPL.
  - WOOD BURNING RUMFORD FIREPLACE, SEE DETAIL.
- DECORATIVE MANTLE, HEARTH, & SURROUND
- HANDRAIL - 34" - 38" ABV. STAIR NOSING
  - 42" PIEDestal
  - 32" WALL MOUNTED HANDRAIL
  - 32" W.I. RAILING
  - OPEN STRINGER STAIR W/ W.I. RAILING
- BENCHSEAT - 20" A.F.F. UNO.
  - W/ COAT HANGER PEGS ABV.
  - W/ SHELVING ABV.
- BUILT IN DRESSER
- LAUNDRY HANGING ROD
- IRONING CENTER
- ISLAND W/ BASE CABINETRY
  - SIZE & SHAPE PER OWNER, HT. AS NOTED
- 36" COUNTER W/ BASE CABINETS
  - 30" COUNTER W/ KNEE SPACE BLW.
  - 36" COUNTER W/ WALL MTD. CABINETRY ABV.
  - WALL MTD. CABINETRY ONLY
  - 30" COMPUTER DESK
  - STORAGE CABINET
  - 14" DEEP WALL MTD. CABINETRY
  - 36" COUNTER 27" DP. W/ 14" DP. WALL MTD. CABINETRY ABV.
  - SHELVING
- SINK
  - PEDESTAL SINK
  - DOUBLE SINK
  - BAR OR PREP SINK
  - LAV. SINK
  - LAUNDRY/UTILITY SINK
  - REC. COUNTER SINK
  - PET SHOWER
- OVEN
  - COOK TOP
  - 48" RANGE W/ 60" DEC. HOOD
  - 30" DBL. OVEN

## GENERAL NOTES:

- SEE SHT. SP-1 & SP-2 PROJECT SPECIFICATIONS FOR INFORMATION PERTINENT TO THE CONSTRUCTION OF THIS PROJECT.
- SOME ROOMS MAY HAVE SCISSOR TRUSSES TO ALLOW FOR FIELD FRAMED COFFERED CEILINGS AND HIGH GABLE END WINDOWS.
- INTERIOR WALLS: 2x4 STUDS @ 16" O.C. UNO.
- CONTRACTOR TO VERIFY OVERHEAD GARAGE DOOR CLEARANCE IN RAISED POSITION.
- ALL WALL MOUNTED ITEMS SUCH AS, BUT NOT LIMITED TO, CABINETS, APPLIANCES, GRAB BARS, & TOWEL BARS TO HAVE SOLID BLOCKING IN WALLS BEHIND ITEMS.
- PROVIDE SAFETY GLAZING IN HAZARDOUS LOCATIONS PER I.R.C. SECTION R308.
- SOUND INSULATE ALL INTERIOR PLUMBING WALLS (BATH ROOMS) AND WALL AREAS W/ DRAIN LINES FROM ABOVE. SELECTION 500 SPRAY FOAM INSULATION WALL SYSTEM.
- FIREPLACE MANTEL AND SURROUND TO BE VERIFIED W/ ARCHITECT AND OWNER PRIOR TO CONSTRUCTION.
- PROVIDE ATTIC ACCESS PER I.R.C. SECTION R807.
- PROVIDE CRAWL SPACE ACCESS AND CLEARANCES PER I.R.C.
- SLEEPING ROOMS WITHOUT DIRECT EGRESS DOORS SHALL HAVE AT LEAST ONE WINDOW THAT COMPLIES WITH I.R.C. SECTION R310.1.
- PROVIDE WATER-RESISTANT GYPSUM BOARD AT LOCATIONS REQUIRED PER I.R.C. SECTIONS R702.3 AND R702.4.
- DO NOT INSTALL HYDRONIC LINES AT BED LOCATIONS.
- HANDRAIL COMPLY W/ 2006 IRC SEC. R312
- SEE EXTERIOR ELEV. FOR EXTENT OF STONE VENEER.
- AT ALL AREAS WHERE PAVERS ABUT EXTER. WALL, INSTALL 6" WIDE TRENCH DRAIN W/ DECORATIVE CAST IRON GRATE BY IRON AGE DESIGNS. GRATE TO BE LOCUST 6" STYLE, ADA ACCESSIBLE. DRAIN CHANNEL BY NDS OR EQ. INSTALL HEAT TAPE AS REQ'D.

ATTIC AND CRAWL SPACE ARE NOT VENTED AND ARE TO BE A CLOSED SYSTEM WITH SPRAY APPLIED POLYURETHANE FOAM INSULATION, "SELECTION 500" BY FOAM INSULATION SOLUTIONS OR APPROVED EQUAL. INSTALL AIR EXCHANGERS AS REQUIRED.



M.L. LIVING SPACE = 7,756 +/- S.F.  
 U.L. LIVING SPACE = 3,787 +/- S.F.  
 TOTAL FINISHED LIVING SPACE = 11,543 +/- S.F.  
 UNFINISHED BONUS RM. = 1,029 +/- S.F.  
 GARAGE = 1,324 +/- S.F.  
 B.B.Q. PAVILION = 109 +/- S.F.  
 TOTAL STRUCTURE = 14,005 +/- S.F.  
 TERRACE = 4,426 +/- S.F.  
 ENTRY PORCH = 389 +/- S.F.

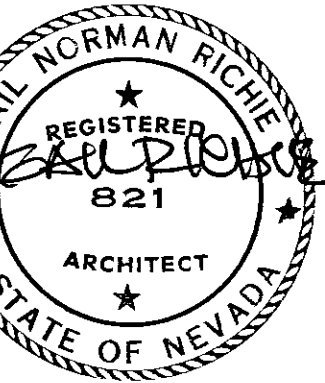
## MAIN LEVEL PLAN-EAST

SCALE 1/4" = 1'-0"

REVISIONS	
04.27.11	TRPA

GAIL RICHIE  
 ARCHITECT, L.L.C.  
 1100 CAULFIELD CROSSING  
 RENO, NEVADA 89519  
 TELEPHONE (775) 746-2220  
 FAX (775) 746-2229

O'NEAL RESIDENCE  
 FLOOR PLAN MAIN LEVEL-EAST



DATE:	02.17.11
DRAWN:	GR
CHECKED:	GR
FILE NAME:	
SHEET:	A-3



REVISIONS	
03.29.11	TRPA
04.27.11	TRPA

THIS PLAN AND ALL OTHERS ARE THE PROPERTY OF GAIL RICHIE ARCHITECT, L.L.C. AND ARE NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF GAIL RICHIE ARCHITECT, L.L.C. ANY VIOLATION OF THIS AGREEMENT SHALL BE SUBJECT TO LEGAL ACTION.

GAIL RICHIE ARCHITECT, L.L.C.  
1100 CAULFIELD CROSSING  
RENO, NEVADA 89519  
TELEPHONE (775) 746-2230  
FAX (775) 746-2235

O'NEAL RESIDENCE  
FLOOR PLAN MAIN LEVEL- WEST

DATE: 02.17.11  
DRAWN: GR  
CHECKED: GR  
FILE NAME: A-3.1

DATE: 02.17.11  
DRAWN: GR  
CHECKED: GR  
FILE NAME: A-3.1

DATE: 02.17.11  
DRAWN: GR  
CHECKED: GR  
FILE NAME: A-3.1

DATE: 02.17.11  
DRAWN: GR  
CHECKED: GR  
FILE NAME: A-3.1

DATE: 02.17.11  
DRAWN: GR  
CHECKED: GR  
FILE NAME: A-3.1

DATE: 02.17.11  
DRAWN: GR  
CHECKED: GR  
FILE NAME: A-3.1

DATE: 02.17.11  
DRAWN: GR  
CHECKED: GR  
FILE NAME: A-3.1

DATE: 02.17.11  
DRAWN: GR  
CHECKED: GR  
FILE NAME: A-3.1

DATE: 02.17.11  
DRAWN: GR  
CHECKED: GR  
FILE NAME: A-3.1

DATE: 02.17.11  
DRAWN: GR  
CHECKED: GR  
FILE NAME: A-3.1

DATE: 02.17.11  
DRAWN: GR  
CHECKED: GR  
FILE NAME: A-3.1

DATE: 02.17.11  
DRAWN: GR  
CHECKED: GR  
FILE NAME: A-3.1

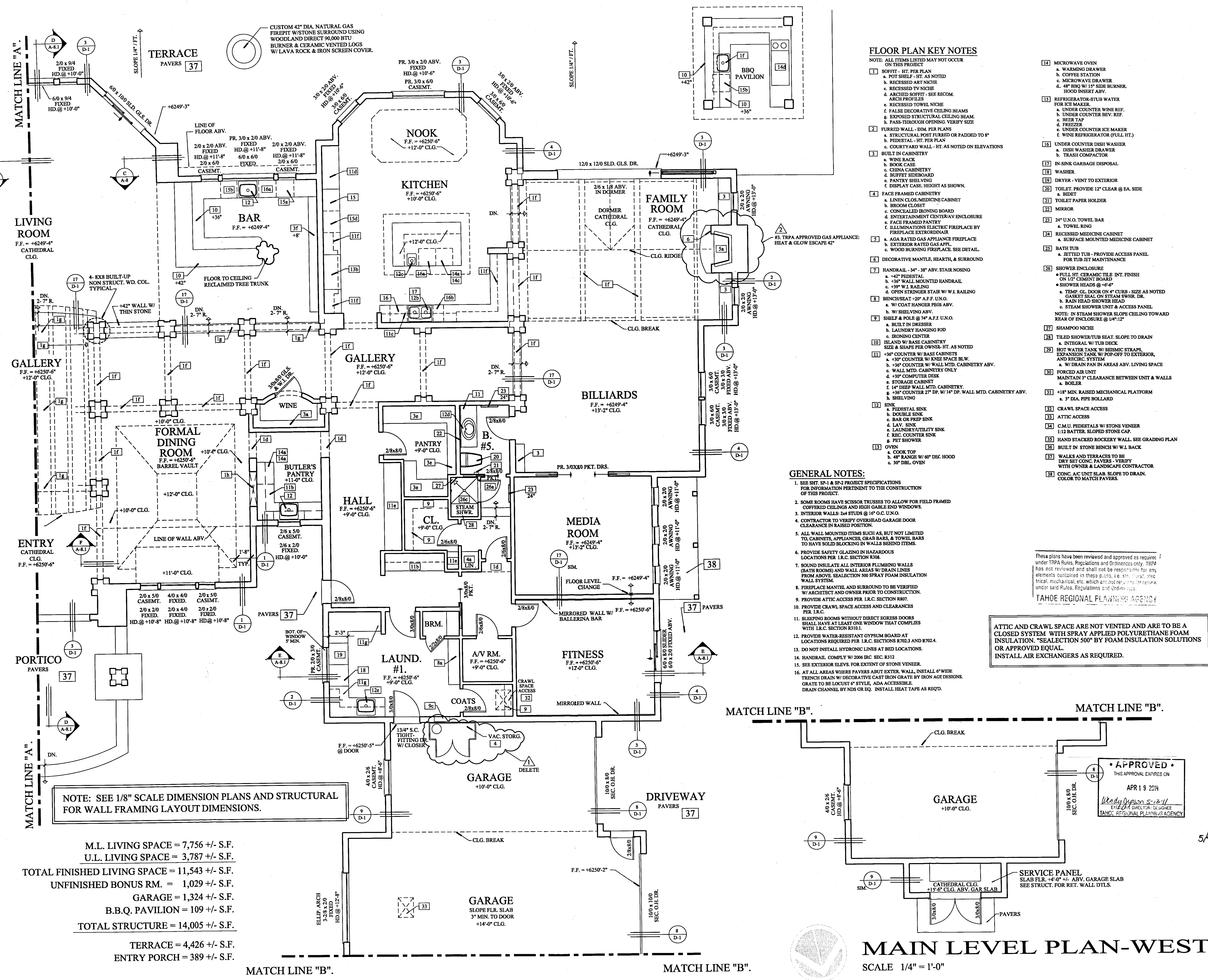
DATE: 02.17.11  
DRAWN: GR  
CHECKED: GR  
FILE NAME: A-3.1

DATE: 02.17.11  
DRAWN: GR  
CHECKED: GR  
FILE NAME: A-3.1

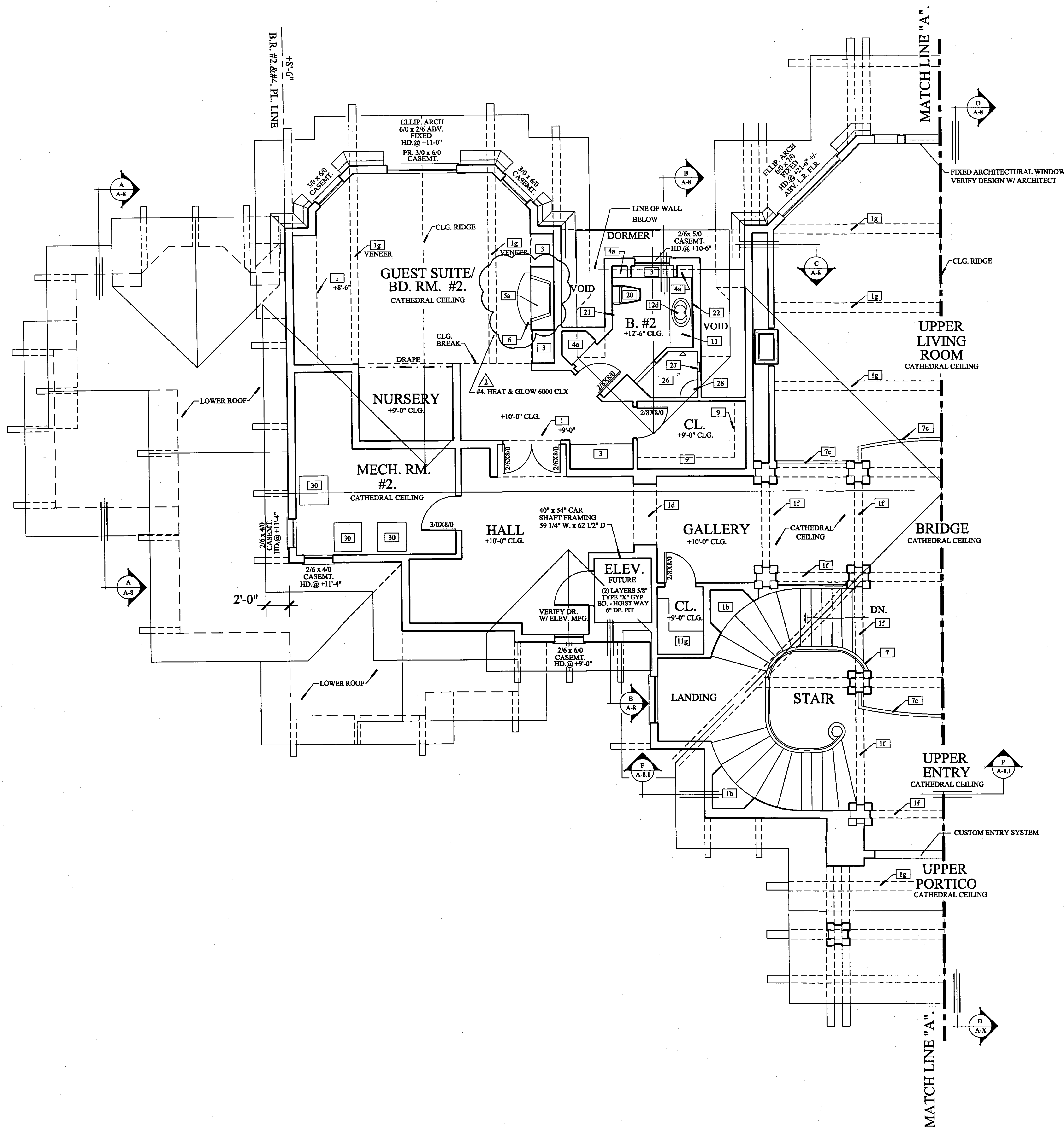
DATE: 02.17.11  
DRAWN: GR  
CHECKED: GR  
FILE NAME: A-3.1

DATE: 02.17.11  
DRAWN: GR  
CHECKED: GR  
FILE NAME: A-3.1

DATE: 02.17.11  
DRAWN: GR  
CHECKED: GR  
FILE NAME: A-3.1







# FLOOR PLAN KEY NOTES

NOTE: ALL ITEMS LISTED MAY NOT OCCUR ON THIS PROJECT

1. SOFFIT - HT. PER PLAN
  - a. POT SHELF - HT. AS NOTED
  - b. RECESSED ART NICHE
  - c. RECESSED TV NICHE
  - d. ARCHED SOFFIT - SEE RECOM.
  - e. ARCH PROFILES
  - f. RECESSED TOWEL NICHE
  - g. FALSE DECORATIVE CEILING BEAMS
  - h. EXPOSED STRUCTURAL CEILING BEAM
  - i. PASS-THROUGH OPENING. VERIFY SIZE
2. FURRED WALL - DIM. PER PLANS
  - a. STRUCTURAL POST FURRED OR PADDED TO 8"
  - b. PEDESTAL - HT. PER PLAN
  - c. COURTYARD WALL - HT. AS NOTED ON ELEVATIONS
3. BUILT IN CABINETRY
  - a. WINE RACK
  - b. BOOK CASE
  - c. CHINA CABINETRY
  - d. BUFFET SIDEBOARD
  - e. PANTRY SHELVEING
  - f. DISPLAY CASE. HEIGHT AS SHOWN.
4. FACE FRAMED CABINETRY
  - a. LINEN CLOS./MEDICINE CABINET
  - b. BROOM CLOSET
  - c. CONCEALED IRONING BOARD
  - d. ENTERTAINMENT CENTER/AV ENCLOSURE
  - e. FACE FRAMED PANTRY
  - f. ILLUMINATIONS ELECTRIC FIREPLACE BY FIREPLACE EXTRAORDINAIR
  - g. AGA RATED GAS APPLANCE FIREPLACE
  - h. EXTERIOR RATED GAS APPL.
  - i. WOOD BURNING FIREPLACE. SEE DETAIL.
5. DECORATIVE MANTLE, HEARTH, & SURROUND
6. HANDRAIL - 34" - 38" ABV. STAIR NOSING
  - a. +42" PEDESTAL
  - b. +36" WALL MOUNTED HANDRAIL
  - c. +39" W.I. RAILING
  - d. OPEN STRINGER STAIR W/ W.I. RAILING
7. BENCH/SEAT +20" A.F.F. U.N.O.
  - a. W/ COAT HANGER PEGS ABV.
  - b. W/ SHELVEING ABV.
  - c. SHELF & POLE @ 9" A.F.F. U.N.O.
8. BUILT IN DRESSER
  - a. LAUNDRY HANGING ROD
  - b. IRONING CENTER
9. ISLAND W/ BASE CABINETRY
  - a. SIZE & SHAPE PER OWNER - HT. AS NOTED
  - b. +36" COUNTER W/ BASE CABINETS
  - c. +30" COUNTER W/ KNEE SPACE BLW.
  - d. +36" COUNTER W/ WALL MTD. CABINETRY ABV.
  - e. WALL MTD. CABINETRY ONLY
  - f. +30" COMPUTER DESK
  - g. STORAGE CABINET
  - h. 14" DEEP WALL MTD. CABINETRY.
  - i. +36" COUNTER 27" DP. W/ 14" DP. WALL MTD. CABINETRY ABV.
  - j. SHELVEING
10. SINK
  - a. PEDESTAL SINK
  - b. DOUBLE SINK
  - c. BAR OR PREP SINK
  - d. LAV. SINK
  - e. LAUNDRY/UTILITY SINK
  - f. REC. COUNTER SINK
  - g. PET SHOWER
11. OVEN
  - a. COOK TOP
  - b. 48" RANGE W/ 60" DEC. HOOD
  - c. 30" DBL. OVEN
12. MICROWAVE OVEN
  - a. WARMING DRAWER
  - b. COFFEE STATION
  - c. MICROWAVE DRAWER
  - d. 48" BBQ W/ 15" SIDE BURNER.
  - e. HOOD INSERT ABV.
13. REFRIGERATOR-STUB WATER FOR ICE MAKER.
  - a. UNDER COUNTER WINE REF.
  - b. UNDER COUNTER BEV. REF.
  - c. BEER TAP
  - d. FREEZER
  - e. UNDER COUNTER ICE MAKER
  - f. WINE REFRIGERATOR (FULL HT.)
14. UNDER COUNTER DISH WASHER
  - a. DISH WASHER DRAWER
  - b. TRASH COMPACTOR
15. IN-SINK GARBAGE DISPOSAL
16. WASHER
17. DRYER - VENT TO EXTERIOR
18. TOILET. PROVIDE 12" CLEAR @ EA. SIDE
  - a. BIDET
  - b. TOILET PAPER HOLDER
  - c. MIRROR
19. 24" U.N.O. TOWEL BAR
  - a. TOWEL RING
20. RECESSED MEDICINE CABINET
  - a. SURFACE MOUNTED MEDICINE CABINET
21. BATH TUB
  - a. JETTED TUB - PROVIDE ACCESS PANEL FOR TUB JET MAINTENANCE
22. SHOWER ENCLOSURE
  - a. FULL HT. CERAMIC TILE INT. FINISH ON 1/2" CEMENT BOARD
  - b. SHOWER HEADS @ 6'-0"
  - c. TEMP. GL. DOOR ON 4" CURB - SIZE AS NOTED
  - d. RAIN HEAD SHOWER HEAD
  - e. STEAM SHOWER UNIT & ACCESS PANEL
23. NOTE: IN STEAM SHOWER SLOPE CEILING TOWARD REAR OF ENCLOSURE @ 1/4"=1'
24. SHAMPOO NICHE
25. TILED SHOWER/TUB SEAT
  - a. INTEGRAL W/ TUB DECK
26. HOT WATER TANK W/ SEISMIC STRAPS. EXPANSION TANK W/ POP-OFF TO EXTERIOR, AND REIRC. SYSTEM
  - a. W/ DRAIN PAN IN AREAS ABV. LIVING SPACE
27. FORCED AIR UNIT
  - a. MAINTAIN 3" CLEARANCE BETWEEN UNIT & WALLS
  - b. BOILER
28. +18" MIN. RAISED MECHANICAL PLATFORM
  - a. 3" DIA. PIPE BOLLARD
29. CRAWL SPACE ACCESS
30. ATTIC ACCESS
31. C.M.U. PEDESTALS W/ STONE VENEER 1:12 BATTER. SLOPED STONE CAP.
32. HAND STACKED ROCKERY WALL. SEE GRADING PLAN
33. BUILT IN STONE BENCH W/ W.I. BACK
34. WALKS AND TERRACES TO BE DRY SET CONC. PAVERS - VERIFY WITH OWNER & LANDSCAPE CONTRACTOR

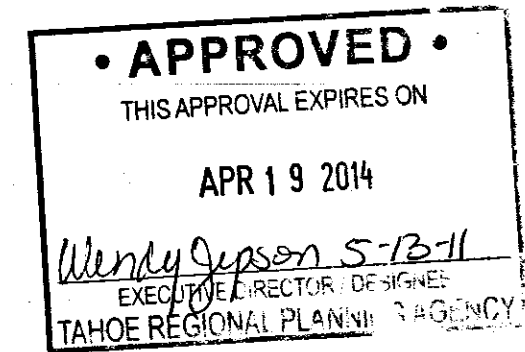
## GENERAL NOTES:

1. SEE SHT. SP-1 & SP-2 PROJECT SPECIFICATIONS FOR INFORMATION PERTINENT TO THE CONSTRUCTION OF THIS PROJECT.
2. SOME ROOMS HAVE SCISSOR TRUSSES TO ALLOW FOR FIELD FRAMED COFFERED CEILINGS AND HIGH GABLE END WINDOWS.
3. INTERIOR WALLS 2x4 STUDS @ 16" O.C. U.N.O.
4. CONTRACTOR TO VERIFY OVERHEAD GARAGE DOOR CLEARANCE IN RAISED POSITION.
5. ALL WALL MOUNTED ITEMS SUCH AS, BUT NOT LIMITED TO, CABINETS, APPLIANCES, GRAB BARS, & TOWEL BARS TO HAVE SOLID BLOCKING IN WALLS BEHIND ITEMS.
6. PROVIDE SAFETY GLAZING IN HAZARDOUS LOCATIONS PER I.R.C. SECTION R308.
7. SOUND INSULATE ALL INTERIOR PLUMBING WALLS (BATH ROOMS) AND WALL AREAS W/ DRAIN LINES FROM ABOVE. SELECTION 500 SPRAY FOAM INSULATION WALL SYSTEM.
8. FIREPLACE MANTLE AND SURROUND TO BE VERIFIED W/ ARCHITECT AND OWNER PRIOR TO CONSTRUCTION.
9. PROVIDE ATTIC ACCESS PER I.R.C. SECTION R607.
10. PROVIDE CRAWLSPACE ACCESS AND CLEARANCES PER I.R.C.
11. SLEEPING ROOMS WITHOUT DIRECT EGRESS DOORS SHALL HAVE AT LEAST ONE WINDOW THAT COMPLIES WITH I.R.C. SECTION R310.1.
12. PROVIDE WATER-RESISTANT GYPSUM BOARD AT LOCATIONS REQUIRED PER I.R.C. SECTIONS R702.3 AND R702.4.
13. DO NOT INSTALL HYDRONIC LINES AT BED LOCATIONS.
14. HANDRAIL COMPLY W/ 2006 IRC SEC. R312
15. SEE EXTERIOR ELEV. FOR EXTENT OF STONE VENEER.

These plans have been reviewed and approved as required under TRPA Rules, Regulations and Ordinances only. TRPA has not reviewed and shall not be responsible for any elements contained in these plans, i.e. structural, electrical, mechanical, etc. which are not required for review under said Rules, Regulations and Ordinances.

TAHOE REGIONAL PLANNING AGENCY

ATTIC AND CRAWL SPACE ARE NOT VENTED AND ARE TO BE A CLOSED SYSTEM WITH SPRAY APPLIED POLYURETHANE FOAM INSULATION. "SELECTION 500" BY FOAM INSULATION SOLUTIONS OR APPROVED EQUAL. INSTALL AIR EXCHANGERS AS REQUIRED.



M.L. LIVING SPACE = 7,756 +/- S.F.  
 U.L. LIVING SPACE = 3,787 +/- S.F.  
 TOTAL FINISHED LIVING SPACE = 11,543 +/- S.F.  
 UNFINISHED BONUS RM. = 1,029 +/- S.F.  
 GARAGE = 1,324 +/- S.F.  
 B.B.Q. PAVILION = 109 +/- S.F.  
 TOTAL STRUCTURE = 14,005 +/- S.F.

TERRACE = 4,426 +/- S.F.  
 ENTRY PORCH = 389 +/- S.F.

## UPPER LEVEL PLAN-EAST

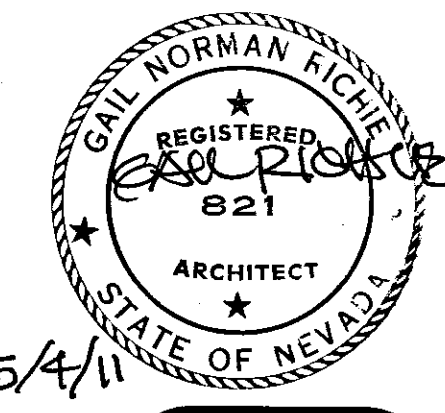
SCALE 1/4" = 1'-0"

REVISIONS	
1	04.27.11 TRPA
2	
3	

© 2011 BY GAIL RICHIE ARCHITECT, L.L.C.  
 THIS DOCUMENT IS THE PROPERTY OF GAIL RICHIE ARCHITECT, L.L.C. AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF GAIL RICHIE ARCHITECT, L.L.C. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION OF THIS DOCUMENT IS PROHIBITED AND WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.

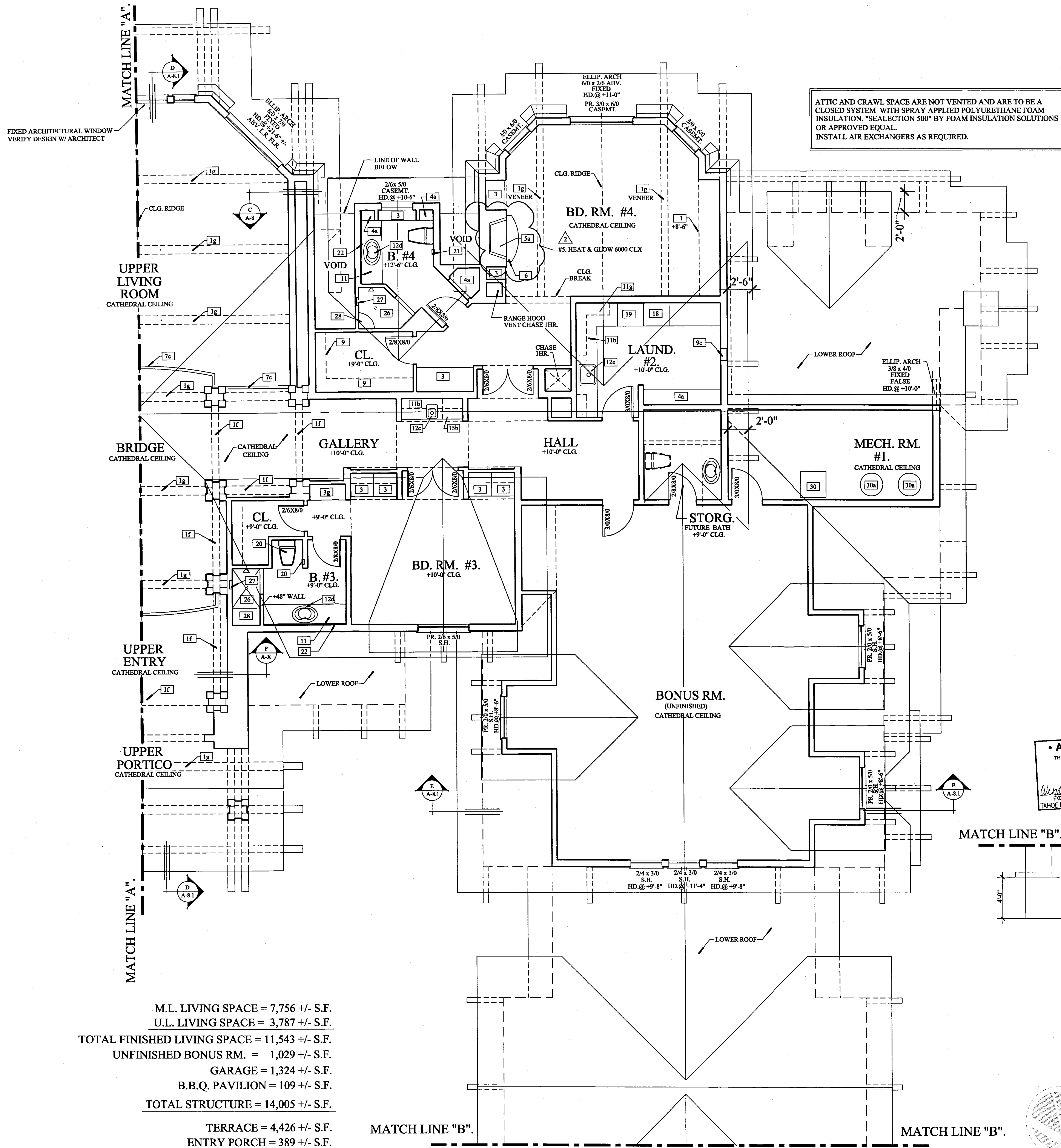
GAIL RICHIE  
 ARCHITECT, L.L.C.  
 1100 CAUGHLIN CROSSING  
 RENO, NEVADA 89519  
 TELEPHONE (775) 746-2220  
 FAX (775) 746-2229

O'NEAL RESIDENCE  
 FLOOR PLAN UPPER LEVEL- EAST



DATE:	02.17.11
DRAWN:	
OR CHECKED:	
OR FILE NAME:	
SHEET:	A-4





M.L. LIVING SPACE = 7,756 +/- S.F.  
 U.L. LIVING SPACE = 3,787 +/- S.F.  
 TOTAL FINISHED LIVING SPACE = 11,543 +/- S.F.  
 UNFINISHED BONUS RM. = 1,029 +/- S.F.  
 GARAGE = 1,324 +/- S.F.  
 B.B.Q. PAVILION = 109 +/- S.F.  
 TOTAL STRUCTURE = 14,005 +/- S.F.  
 TERRACE = 4,426 +/- S.F.  
 ENTRY PORCH = 389 +/- S.F.

# FLOOR PLAN KEY NOTES

- NOTE: ALL ITEMS LISTED MAY NOT OCCUR ON THIS PROJECT.
- SOFFIT - HT. PER PLAN
  - POT SHELF - HT. AS NOTED
  - RECESSED TV NICHE
  - ARCHED SOFFIT - SEE RECOM.
  - RECESSED TOWEL NICHE
  - FALSE INCORPORATIVE CEILING BEAMS
  - EXPOSED STRUCTURAL CEILING BEAM
  - PASS-THROUGH OPENING. VERIFY SIZE
  - FURRED WALL - DIM. PER PLANS
  - STRUCTURAL POST FURRED OR PADDED TO 8"
  - PEDESTAL - HT. PER PLAN
  - COURTYARD WALL - HT. AS NOTED ON ELEVATIONS
  - BUILT IN CABINETRY
  - WINE RACK
  - BOOK CASE
  - CHINA CABINETRY
  - RUFFET SIDEBORD
  - PANTRY SHELVING
  - DISPLAY CASE. HEIGHT AS SHOWN.
  - FACE FRAMED CABINETRY
  - LINER CLOS. MEDICINE CABINET
  - BROOM CLOSET
  - CONCEALED IRONING BOARD
  - ENTERTAINMENT CENTER/AV ENCLOSURE
  - FACE FRAMED PANTRY
  - ILLUMINATIONS ELECTRIC FIREPLACE BY FIREPLACE EXTENDING
  - AGA RATED GAS APPLANCE FIREPLACE
  - EXTERIOR RATED GAS APPL.
  - WOOD BURNING FIREPLACE. SEE DETAIL.
  - DECORATIVE MANTLE, HEARTH, & SURROUND
  - HANDRAIL - 34" - 38" ABV. STAIR NOSING
  - 42" PEDESTAL
  - 36" WALL MOUNTED HANDRAIL
  - 39" W/ RAILING
  - OPEN STRINGER STAIR W/ W.I. RAILING
  - BENCH/SEAT 20" A.F.F. U.N.O.
  - W/ COAT HANGER PEGS ABV.
  - W/ SHELVING ABV.
  - SHELF & POLE @ 74" A.F.F. U.N.O.
  - BUILT IN DRESSER
  - LAUNDRY HANGING ROD
  - BROWNING CENTER
  - ISLAND W/BASE CABINETRY
  - SIZE & SHAPE PER OWNER. HT. AS NOTED
  - 36" COUNTER W/BASE CABINETS
  - 39" COUNTER W/ KNEE SPACE BLW.
  - 36" COUNTER W/ WALL MTD. CABINETRY ABV.
  - WALL MTD. CABINETRY ONLY
  - 30" COMPUTER DESK
  - STORAGE CABINET
  - 14" DEEP WALL MTD. CABINETRY
  - 30" COUNTER 27" DP. W/ 14" DP. WALL MTD. CABINETRY ABV.
  - SHELVING
  - SINK
  - PEDESTAL SINK
  - DOUBLE SINK
  - BAR OR PREP SINK
  - LAV. SINK
  - LAUNDRY/UTILITY SINK
  - REC. COUNTER SINK
  - PET SINK
  - OVEN
  - COOK TOP
  - 48" RANGE W/ 60" DEC. HOOD
  - 30" DBL. OVEN

## GENERAL NOTES:

- SEE SHT. SP-1 & SP-2 PROJECT SPECIFICATIONS FOR INFORMATION PERTINENT TO THE CONSTRUCTION OF THIS PROJECT.
- SOME ROOMS HAVE SCISSOR TRUSSES TO ALLOW FOR FIELD FRAMED COFFERED CEILINGS AND HIGH GABLE END WINDOWS.
- INTERIOR WALLS 24" STUDS @ 16" O.C. U.N.O.
- CONTRACTOR TO VERIFY OVERHEAD GARAGE DOOR CLEARANCE IN RAISED POSITION.
- ALL WALL MOUNTED ITEMS SUCH AS, BUT NOT LIMITED TO, CABINETS, APPLIANCES, GRAB BARS, & TOWEL BARS TO HAVE SOLID BLOCKING IN WALLS BEHIND ITEMS.
- PROVIDE SAFETY GLAZING IN HAZARDOUS LOCATIONS PER I.R.C. SECTION R308.
- SOUND INSULATE ALL INTERIOR PLUMBING WALLS (BATH ROOMS) AND WALL AREAS W/ DRAIN LINES FROM ABOVE. SELECTION 500 SPRAY FOAM INSULATION WALL SYSTEM.
- FIREPLACE MANTLE AND SURROUND TO BE VERIFIED W/ ARCHITECT AND OWNER PRIOR TO CONSTRUCTION.
- PROVIDE ATTIC ACCESS PER I.R.C. SECTION R807.
- PROVIDE CRAWL SPACE ACCESS AND CLEARANCES PER I.R.C.
- SLEEPING ROOMS WITHOUT DIRECT EGRESS DOORS SHALL HAVE AT LEAST ONE WINDOW THAT COMPLIES WITH I.R.C. SECTION R310.1.
- PROVIDE WATER-RESISTANT GYPSUM BOARD AT LOCATIONS REQUIRED PER I.R.C. SECTIONS R702.3 AND R702.4.
- DO NOT INSTALL HYDRONIC LINES AT BED LOCATIONS.
- HANDRAIL COMPLY W/ 2006 IRC SEC. R312
- SEE EXTERIOR ELEV. FOR EXTENT OF STONE VENEER.

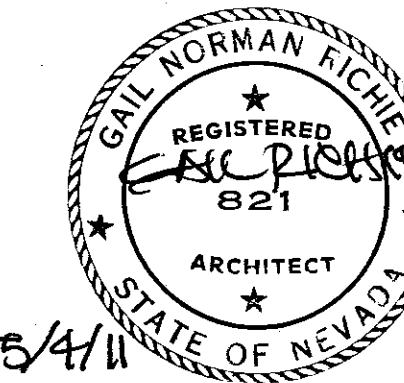
- MICROWAVE OVEN
- WARMING DRAWER
- COFFEE STATION
- MICROWAVE DRAWER
- 48" BBQ W/ 15" SIDE BURNER
- HOOD INSERT ABV.
- REFRIGERATOR-STUB WATER FOR ICE MAKER
- UNDER COUNTER WINE REF.
- UNDER COUNTER BEV. REF.
- BEER TAP
- FREEZER
- UNDER COUNTER ICE MAKER
- WINE REFRIGERATOR (FULL HT.)
- UNDER COUNTER DISH WASHER
- DISH WASHER DRAWER
- TRASH COMPACTOR
- IN-SINK GARBAGE DISPOSAL
- WASHER
- DRYER - VENT TO EXTERIOR
- TOILET. PROVIDE 12" CLEAR @ EA. SIDE
- BIDET
- TOILET PAPER HOLDER
- MIRROR
- 24" U.N.O. TOWEL BAR
- TOWEL RING
- RECESSED MEDICINE CABINET
- SURFACE MOUNTED MEDICINE CABINET
- BATH TUB
- JETTED TUB - PROVIDE ACCESS PANEL FOR TUB JET MAINTENANCE
- SHOWER ENCLOSURE
- FULL HT. CERAMIC TILE INT. FINISH ON 12" CEMENT BOARD
- SHOWER HEADS @ 4'-6"
- TEMP. GL. DOOR ON 4" CURB - SIZE AS NOTED
- RAIN HEAD SHOWER HEAD
- STEAM SHOWER UNIT & ACCESS PANEL
- NOTE: IN STEAM SHOWER SLOPE CEILING TOWARD REAR OF ENCLOSURE @ 1/4"=12"
- SHAMPOO NICHE
- TILED SHOWER/TUB SEAT
- INTEGRAL W/ TUB DECK
- HOT WATER TANK W/ SEISMIC STRAPS, EXPANSION TANK W/ POP-OFF TO EXTERIOR, AND REPAIR SYSTEM
- W/ DRAIN PAN IN AREAS ABV. LIVING SPACE
- FORCED AIR UNIT
- MAINTAIN 3" CLEARANCE BETWEEN UNIT & WALLS
- BOILER
- 18" MIN. RAISED MECHANICAL PLATFORM
- 3" DIA. PIPE BOLLARD
- CRAWL SPACE ACCESS
- ATTIC ACCESS
- C.M.U. PEDESTALS W/ STONE VENEER
- 112 BATTER. SLOPED STONE CAP
- HAND STACKED ROCKERY WALL. SEE GRADING PLAN
- BUILT IN STONE BENCH W/ W.I. BACK
- WALKS AND TERRACES TO BE DRY SET CONC. PAVERS - VERIFY WITH OWNER & LANDSCAPE CONTRACTOR

REVISIONS	
04.27.11	TRPA

THIS PLAN IS AN INSTRUMENT OF SERVICE AND IS THE PROPERTY OF GAIL RICHIE ARCHITECT, L.L.C. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF GAIL RICHIE ARCHITECT, L.L.C. ANY VIOLATION OF THIS NOTICE SHALL BE SUBJECT TO LEGAL ACTION.

GAIL RICHIE ARCHITECT, L.L.C.  
 1100 CAULFIELD CROSSING  
 RENO, NEVADA 89515  
 PHONE: (775) 746-2229  
 FAX: (775) 746-2229

O'NEAL RESIDENCE  
 FLOOR PLAN UPPER LEVEL- WEST



DATE:	02.17.11
DRAWN:	GR
CHECKED:	GR
FILE NAME:	
SHEET:	A-4.1

## UPPER LEVEL PLAN-WEST

SCALE 1/4" = 1'-0"