

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: NNLFP, LLC Outdoor Kitchen/Pavilion			
Project Description: This project proposes a new detached structure that opens fully on two sides, includes a full kitchen, and a powder bathroom. The structure sits to the west of the main home and will provide an "outdoor" area for entertaining and dining. New walkways and patios will be created as shown.			
Project Address: 575 Lakeshore Blvd. Incline Village, NV 89451			
Project Area (acres or square feet): 2,000sf			
Project Location (with point of reference to major cross streets AND area locator): The site is located nearly equidistant between Tahoe Blvd. & Crystal Peak Rd. along Lakeshore Blvd. The neighborhood code is TALE.			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
122-100-26	3.88ac		
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner: NNLFP LLC		Professional Consultant: same as applicant	
Name: Dalton Boutte, Managing Member		Name:	
Address: 583 Rockrose Ct.		Address:	
Incline Village NV	Zip: 89451		Zip:
Phone: 713-416-2159	Fax:	Phone:	Fax:
Email: dalton.boutte@yahoo.com		Email:	
Cell:	Other:	Cell:	Other:
Contact Person:		Contact Person:	
Applicant/Developer: Elise Fett & Associates, Ltd.		Other Persons to be Contacted:	
Name: Julie Soules		Name: GLA Morris Construction Inc.	
Address: PO Box 5989		Address: 10330 Donner Pass Rd. Suite C	
Incline Village, NV	Zip: 89450	Truckee, CA	Zip: 96161
Phone: 775-833-3388	Fax:	Phone: 530-587-2711	Fax:
Email: julie@elisefett.com		Email: josh@gla-morris.com	
Cell: 775-315-3086	Other:	Cell: 775-450-9789	Other:
Contact Person:		Contact Person: Josh Beckwith	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

**Administrative Review Permit Application
for a Detached Accessory Dwelling
Supplemental Information**

(All required information may be separately attached)

1. What is the size (square footage) of the main dwelling or proposed main dwelling (exclude size of garage)?

12,679sf

2. What is the size of the proposed detached accessory dwelling (exclude size of garage)? If a manufactured or modular home is the secondary dwelling, list the age and size of the unit.

1,019sf (new detached outdoor kitchen pavilion)

3. How are you planning to integrate the main dwelling and secondary dwelling to provide architectural compatibility of the two structures?

All the finish, architectural, and structural details were designed to match the main home.

5. How many off-street parking spaces are available? Parking spaces must be shown on site plan. Are any new roadway, driveway, or access improvements be required?

7 spaces are available, there are no new access improvement requirements.

6. What will you do to minimize any potential negative impacts (e.g. increased lighting, removal of existing vegetation, etc.) your project may have on adjacent properties?

All existing vegetation between the new structure and neighboring structures is to remain. New landscaping will be installed to improve visual quality.

7. Is the subject property part of an active Home Owners Association (HOA) or Architectural Control Committee?

Yes No If yes, please list the HOA name.

8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit a detached accessory dwelling on your property?

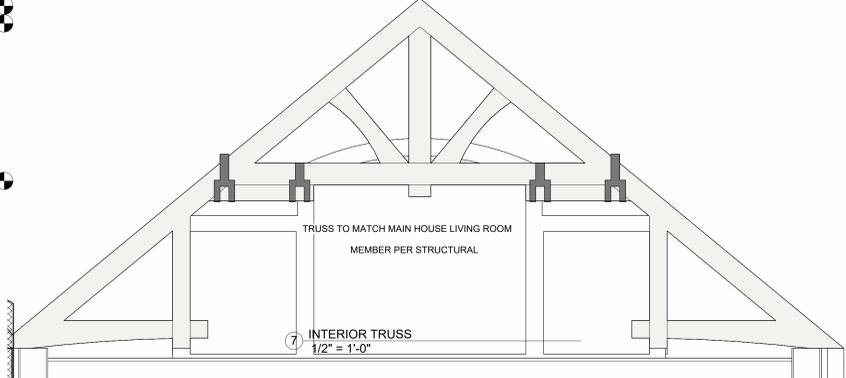
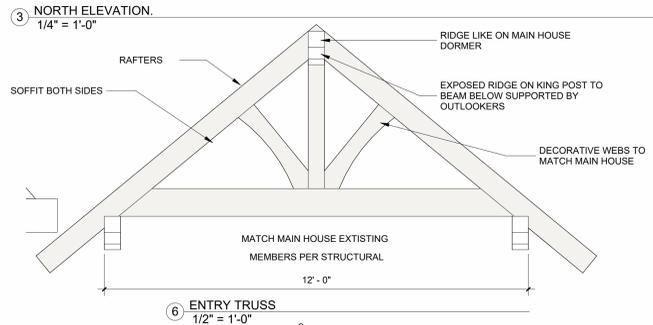
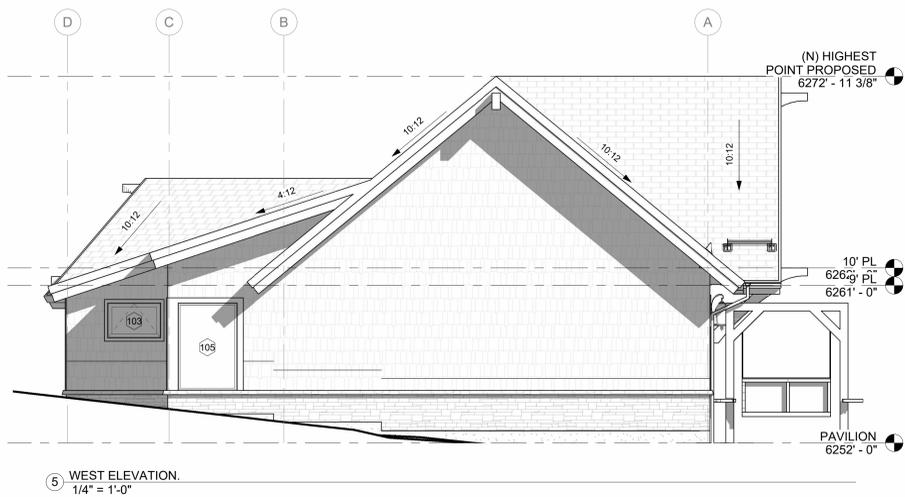
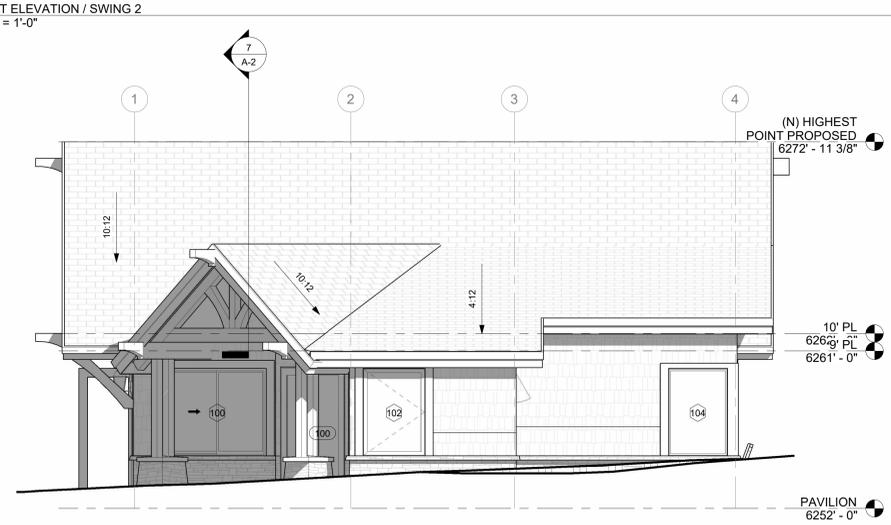
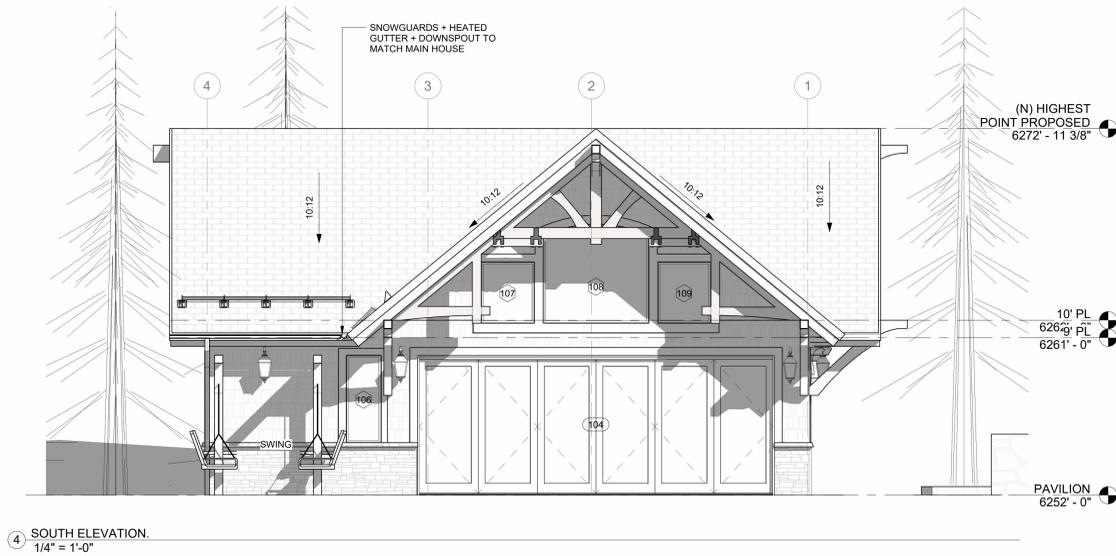
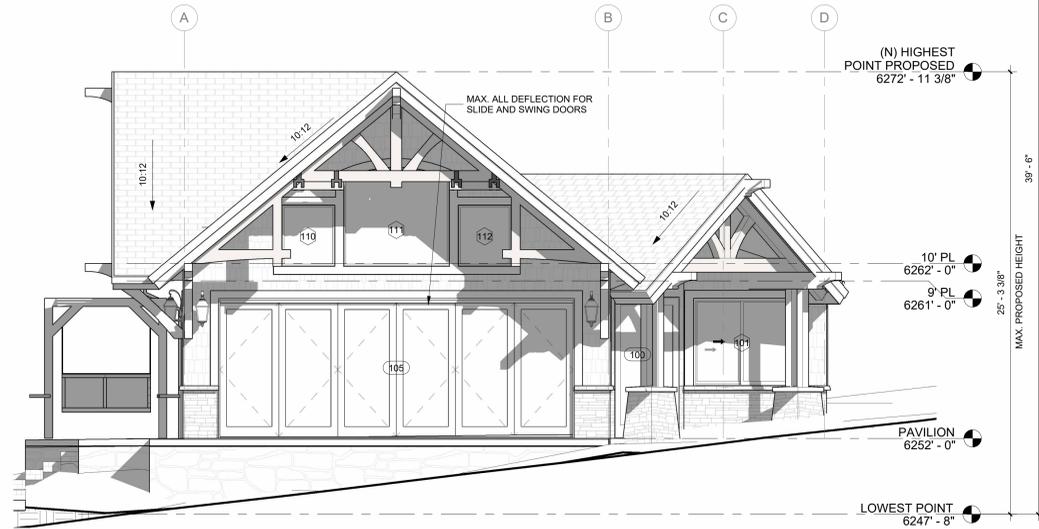
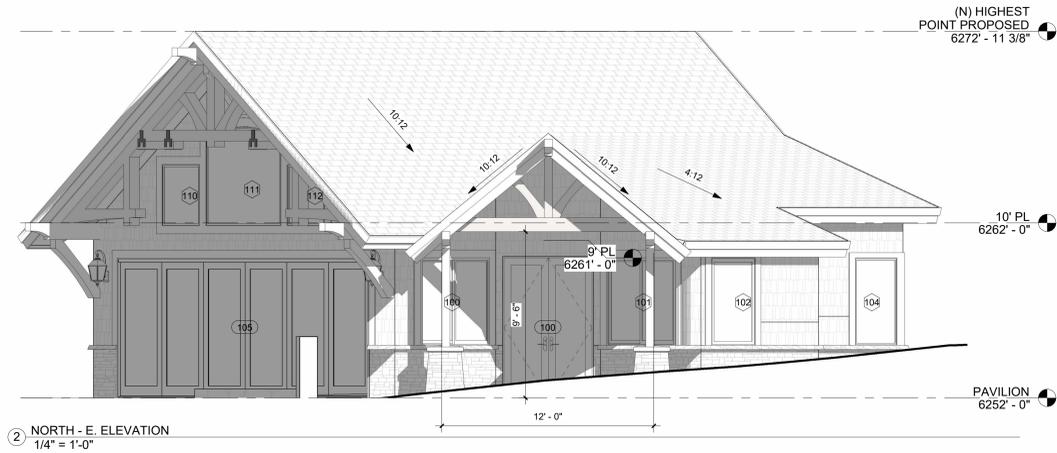
Yes No If yes, please attach a copy.

9. Only one accessory dwelling unit, whether attached or detached, is allowed per parcel. Is there a guest apartment, mother-in-law unit, next-gen addition with kitchen or any other type of secondary dwelling on the subject property?

Yes No If yes, please provide information on the secondary unit.

10. List who the service providers are for the main dwelling and accessory dwelling:

	Main Dwelling	Accessory Dwelling
Sewer Service	IVGID	IVGID
Electrical Service	NV Energy	NV Energy
Solid Waste Disposal Service	Waste Management	Waste Management
Water Service	IVGID	IVGID



EXTERIOR FINISHES / W.U.I. NOTES

- **ROOF:** COMPOSITE SHINGLES TO MATCH MAIN HOUSE. AS NOTED ON ELEVATIONS. CLASS 1" ASSEMBLY COMPATIBLE WITH THE SURROUNDINGS. SUBDUED COLORS IN EARTHSTONE AND WOODTONE RANGES SHALL BE USED FOR THE PRIMARY COLOR OF THE STRUCTURE. HUES SHALL BE WITHIN THE RANGE OF NATURAL COLORS THAT BLEND, RATHER THAN CONTRAST WITH THE EXISTING VEGETATION AND EARTH HUES. EARTHSTONE COLORS ARE CONSIDERED TO BE SHADES OF REDDISH BROWN, BROWN, TAN, OCHRE, AND UMBER.
- **EAVES (SOFFIT) FASCIA:** APPROVED 1-HOUR FIRE RESISTANT CONSTRUCTION. IGNITION RESISTANT MATERIAL. 2x LUMBER OR FIRE RETARDANT TREATED WOOD LABELED FOR EXTERIOR USE. NO EXPOSED TAILS UNLESS HEAVY TIMBER. 3/4" MINIMUM SOLID MATERIAL.
- **VENTS:** <144 SQUARE INCHES. <1/4" NON-COMBUSTIBLE CORROSION-RESISTANT MESH, VULCAN, BRANDGUARD, OR SIMILAR APPROVED VENTS
- **EXTERIOR WALLS:** LP FLAMEBLOCK SHEATHING OR SIMILAR UNDER WOOD SHINGLES TO MATCH MAIN HOUSE AND STONE TO MATCH MAIN HOUSE. AS SHOWN ON ELEVATIONS
- **EXTERIOR GLAZING:** DOUBLE PANE w/ONE TEMPERED PANE (MIN) SOLID CORE (1-3/4" MIN). MINIMUM 20 MINUTE RATING
- **EXTERIOR DOORS (EXCLUDING VEHICLE ACCESS DOORS):** APPROVED NON-COMBUSTIBLE CONSTRUCTION.
- **GUTTERS & DOWNSPOUTS:** GUTTERS AND DOWNSPOUTS TO MATCH MAIN HOUSE SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIAL. GUTTERS SHALL BE PROVIDED WITH AN APPROVED MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER.

TRPA NOTES

- **ROOFS:** ROOFS SHALL BE COMPOSED OF NON-GLARE EARTHSTONE OR WOODTONE MATERIALS THAT MINIMIZE REFLECTIVITY.
- **FENCES:** WOODEN FENCES SHALL BE USED WHENEVER POSSIBLE. IF CYCLONE FENCE MUST BE USED, IT SHALL BE COATED WITH BROWN OR BLACK VINYL, INCLUDING FENCE POLES.
- **LIGHTING:** ALL EXTERIOR LIGHTING SHALL BE CONSISTENT WITH TRPA CODE OF ORDINANCES CHAPTER 36, SECTION 36.8. EXTERIOR LIGHTING STANDARDS AND TRPA DESIGN REVIEW GUIDELINES.
- **GLAZING:** ALL LAKE FACING GLAZING SHALL HAVE AN OUTWARD REFLECTIVITY OF 7-9%.
- **PROPOSED EXTERIOR FINISHES TO MATCH EXISTING HOME, SEE PHOTOGRAPH ON SHEET A-3 OF EXISTING FINISHES WITH MUNSELL CALL-OUTS.**

ALLOWABLE BUILDING HEIGHT CALCULATIONS

HOUSE SITE SLOPE	14%
>50% OF ROOF PITCH	10:12
MAX. ALLOWABLE BUILDING HEIGHT	39'-6"
MAX. PROPOSED HEIGHT	25'-3.4"

REFER TO ROOF PLAN FOR ROOF AREA CALCULATIONS

REVISIONS		
#	DATE	BY



ELISE FETT & ASSOCIATES, LTD.
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INCLINE VILLAGE
NEVADA 89450



NNLFP, LLC OUTDOOR KITCHEN/PAVILION
575 Lakeshore Blvd
Incline Village, NV 89451
APN: 122-100-26

SCALE: As indicated
JOB NO: DBBO
PRINT DATE: 4/24/2024 11:33:00 AM
SHEET

A-2

ELEVATIONS

W:\DBBO\DBBO 4-24-24 PAVILION REV.DWG ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT/ENGINEER AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE ARCHITECT/ENGINEER.

ELECTRIC AND LIGHTING SCHEDULE

- ⊕ DUPLEX OUTLET
- ⊕ 220 V DUPLEX OUTLET
- ⊕ FLOOR MOUNTED DUPLEX OUTLET
- ⊕ USB OUTLET
- ⊕ SURFACE MOUNT FIXTURE
- ⊕ LED CAN FIXTURE, FIXED
- ⊕ 4" RECESSED GIMBAL w/1000 LUMEN MIN DIMMABLE LED TRIM
- ⊕ JUNCTION BOX
- ⊕ DIRECTIONAL SPOT LIGHT
- ⊕ SCONCE
- ⊕ PENDANT
- ⊕ HALL LIGHT
- ⊕ FLOOD LIGHT
- ⊕ TRACK LIGHT
- ⊕ LED STRIP LIGHT / TRIM LIGHT TYP
- ⊕ MOTION SENSOR - PHOTOCELL CONTROL
- ⊕ THERMOSTAT - TBD FOR EACH ZONE BY MECHANICAL CODE
- ⊕ SMOKE DETECTOR - INTERCONNECTED
- ⊕ CARBON MONOXIDE DETECTOR
- ⊕ GARBAGE DISPOSAL
- ⊕ SINGLE POLE SWITCH
- ⊕ THREE WAY SWITCH
- ⊕ EXHAUST FAN TO OUTSIDE - ULTRA QUIET
- ⊕ SECURITY CAMERA
- ⊕ SPEAKERS
- ⊕ CEILING FAN
- ⊕ GARAGE DOOR OPENER
- ⊕ GARAGE DOOR OPENER BUTTON
- ⊕ CHIMES
- ⊕ DOORBELL
- ⊕ TELEVISION JACK
- ⊕ TELEPHONE OUTLET
- ⊕ HEAT LAMP
- ⊕ GFI GROUND FAULT INTERRUPTER
- ⊕ WATERPROOFED

ELECTRICAL NOTES:

- ALL LIGHTS TO HAVE DIMMERS U.N.O.
- REC. OUTLETS -5'-6" ABOVE FLOOR TO BE TAMPER RESISTANT
- ARC FAULT PROTECTION PER IRC E3902.12
- U.N.O. (E) RECEPTACLES TO REMAIN. IF (E) ROOM IS NOT UP TO CODE, ADD RECEPTACLES AS NEEDED
- ALL RECESSED LIGHTING TO BE "IC" RATED & SEALED OR GASKETED TO PREVENT AIR LEAKAGE
- 90% OF PERM. INSTALLED BULBS ON LIGHT FIXTURES TO BE HIGH EFFICACY
- ALL EXTERIOR LIGHTING SHALL BE DARK SKY COMPLIANT, CONSISTENT WITH TRPA CODE OF ORDINANCES CHAPTER 36, SECTION 36.8, EXTERIOR LIGHTING STANDARDS, AND TRPA DESIGN REVIEW GUIDELINES.
- EXACT LOCATION OF ALL SWITCHES, FIXTURES, AND OUTLETS TO BE CONFIRMED w/OWNER DURING WALK-THROUGH PRIOR TO INSTALLATION
- TRIM LIGHT ARE LOCATED UNDER GABLES AND EAVES
- INTERNET FOR TV + WEBINAR
- FINAL LOCATION OF SECURITY CAMERAS TBD

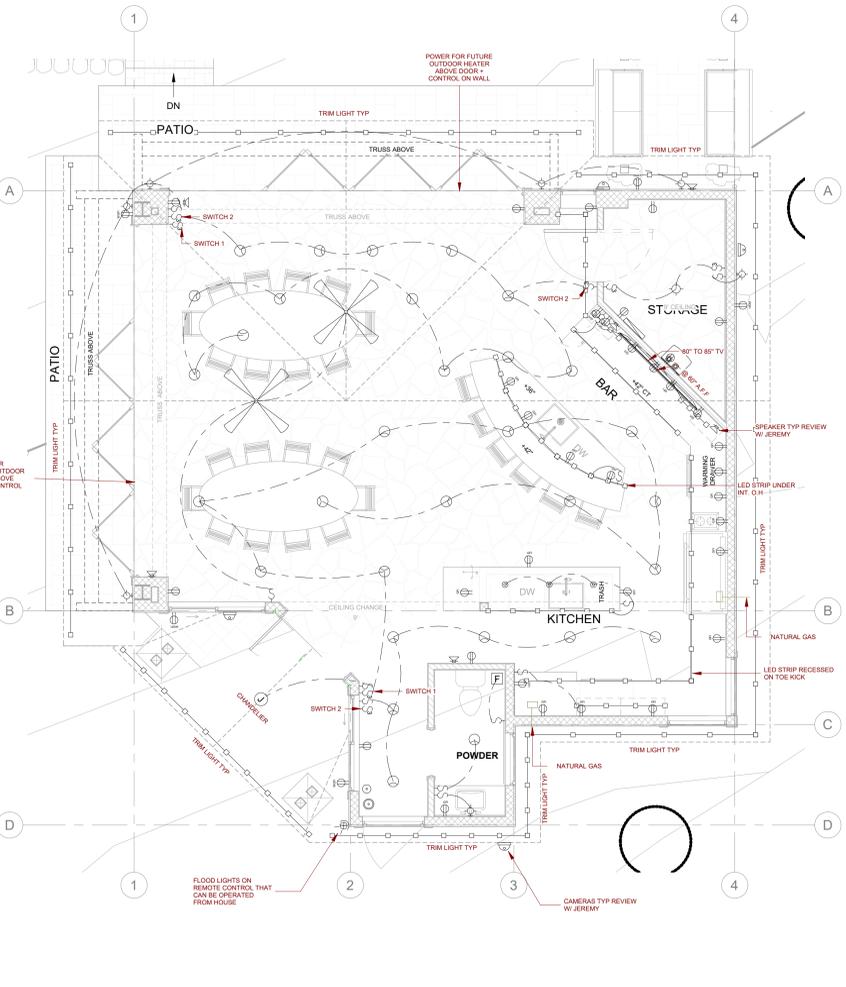


NEW SCONCES TO BE DARK SKY COMPLIANT AND COMPLIMENT EXISTING SCONCES

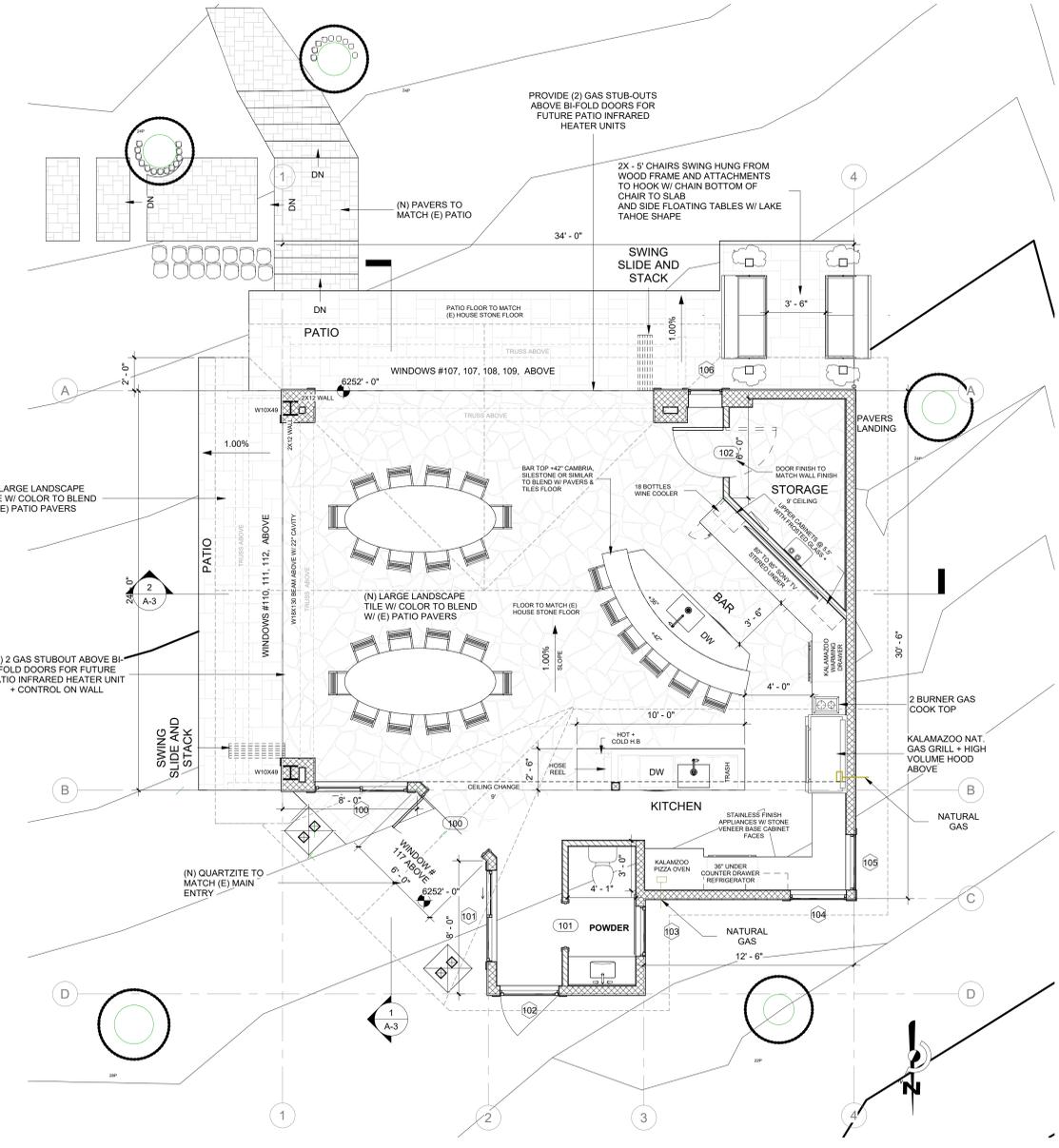


TRIM LIGHT VISION PICTURE

(N) PAVILION FLOOR AND PATIO TO MATCH MAIN HOUSE INTERIOR FLOOR WITH FINISH AS APPROPRIATE



2 PAVILION ELECTRICAL
1/4" = 1'-0"



1 PAVILION
1/4" = 1'-0"

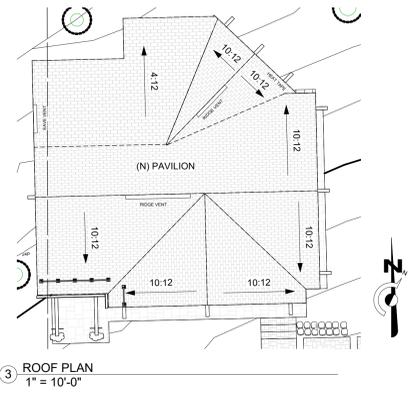
DOOR SCHEDULE

Mark	Family	Width	Height	Comments
100	Door-Exterior-Double-Full Glass-Wood Clad	5'-0"	8'-0"	
101	SINGLE 2-PANEL WOOD	2'-8"	8'-0"	
102	Door-Single-Flush_Panel_Double-Acting	3'-0"	8'-0"	INVISIBLE DOOR
104	SWING AND SLIDE FOLDING GLASS DOOR	20'-0"	8'-0"	
105	SWING AND SLIDE FOLDING GLASS DOOR	20'-0"	8'-0"	

WINDOW SCHEDULE

Mark	Family	Width	Height	Head Height	Comments
100	SLIDING - DOUBLE	66"	60"	8'-0"	
101	SLIDING - DOUBLE	66"	60"	8'-0"	
102	CASEMENT - SINGLE RIGHT	42"	60"	8'-0"	
103	AWNING - SINGLE	36"	24"	8'-0"	
104	FIXED	40"	60"	8'-0"	
105	FIXED	40"	60"	8'-0"	
106	FIXED	24"	60"	8'-0"	

- WINDOW & DOOR NOTES
- FOR ADDITIONAL WINDOW AND DOOR INFORMATION, PLEASE SEE THE ELEVATIONS.
 - ANY WINDOW AND DOOR GRIDS ARE PER THE ELEVATIONS.
 - SEE ENERGY REQUIREMENTS SHEET A-3 FOR MIN. GLASS REQUIREMENTS PRIOR TO ORDERING.
 - CONTRACTOR TO VERIFY ALL WINDOW AND DOOR SIZES WITH STRUCTURAL PLANS AND VERIFY ALL OPENINGS IN THE FIELD PRIOR TO ORDERING.
 - ALL GLASS DOORS TO BE SAFETY GLAZED
 - ALL WINDOWS WITH AN EXPOSED SINGLE PANE AREA OF 9SF OR MORE SHALL BE SAFETY GLAZED



ROOF SLOPE AREA

4:12	355 S.F.
10:12	1,122 S.F.

- WALL LEGEND
- NEW 2X6 WALLS
 - NEW 2X4 WALLS
 - EXISTING TO REMAIN
 - WALLS TO BE REMOVED

NOTE: DIMENSIONS ARE TO EDGE OF STUD (NEW CONSTRUCTION), FINISHED FACE OF WALL (INTERIOR OF EXISTING CONSTRUCTION) AND TO CENTERLINE OF DOORS AND WINDOWS.

REVISIONS

#	DATE	BY



- ARCHITECTURE
- ENGINEERING
- INTERIORS
- TRPA

ELISE FETT & ASSOCIATES, LTD.

AIA - RCE - CATT
PHONE: (775) 833-3388
FAX: (775) 833-2388
elise@elisefett.com
P.O. BOX 5989
INCLINE VILLAGE
NEVADA 89450



NLFP, LLC OUTDOOR KITCHEN/PAVILION

575 Lakeshore Blvd
Incline Village NV 89451
APN: 122-100-26

SCALE: As indicated
JOB NO: DBBO
PRINT DATE: 4/24/2024 11:32:43 AM
SHEET

A-1

PROPOSED PLANS

ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT/ENGINEER AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE ARCHITECT/ENGINEER. W:\DBBO\DBBO 4-24-24 PAVILION REV 1.DOT

ENTITY INFORMATION

NNLFP, LLC	Entity Name:
E18818152021-8	Entity Number:
Domestic Limited-Liability Company (86)	Entity Type:
Active	Entity Status:
11/09/2021	Formation Date:
NV20212275746	NV Business ID:
Perpetual	Termination Date:
11/30/2022	Annual Report Due Date:
<input type="checkbox"/>	Series LLC:
<input type="checkbox"/>	Restricted LLC:

REGISTERED AGENT INFORMATION

MAUPIN, COX & LEGOY, A PROFESSIONAL CORPORATION	Name of Individual or Legal Entity:
Active	Status:
Commercial Registered Agent	CRA Agent Entity Type:
	Registered Agent Type:

NV Business ID:

NV20131652935

Office or Position:

Jurisdiction:

NEVADA

Street Address:

4785 CAUGHLIN PARKWAY, Reno, NV, 89519, USA

Mailing Address:

Individual with Authority to Act:

PROCTER HUG

Fictitious Website or Domain Name:

OFFICER INFORMATION

VIEW HISTORICAL DATA

Title	Name	Address	Last Updated	Status
Manager	Dalton J. Boutte Jr.	583 Rockrose Court, Incline Village, NV, 89451, USA	11/09/2021	Active
Manager	Agnes Brenda Boutte	583 Rockrose Court, Incline Village, NV, 89451, USA	11/09/2021	Active

LAKESHORE BOULEVARD 80, WASHOE COUNTY RIGHT OF WAY

REVISIONS		
#	DATE	BY
1	4/19/24	EFA



- ARCHITECTURE
- ENGINEERING
- INTERIORS
- TRPA

ELISE FETT & ASSOCIATES, LTD.

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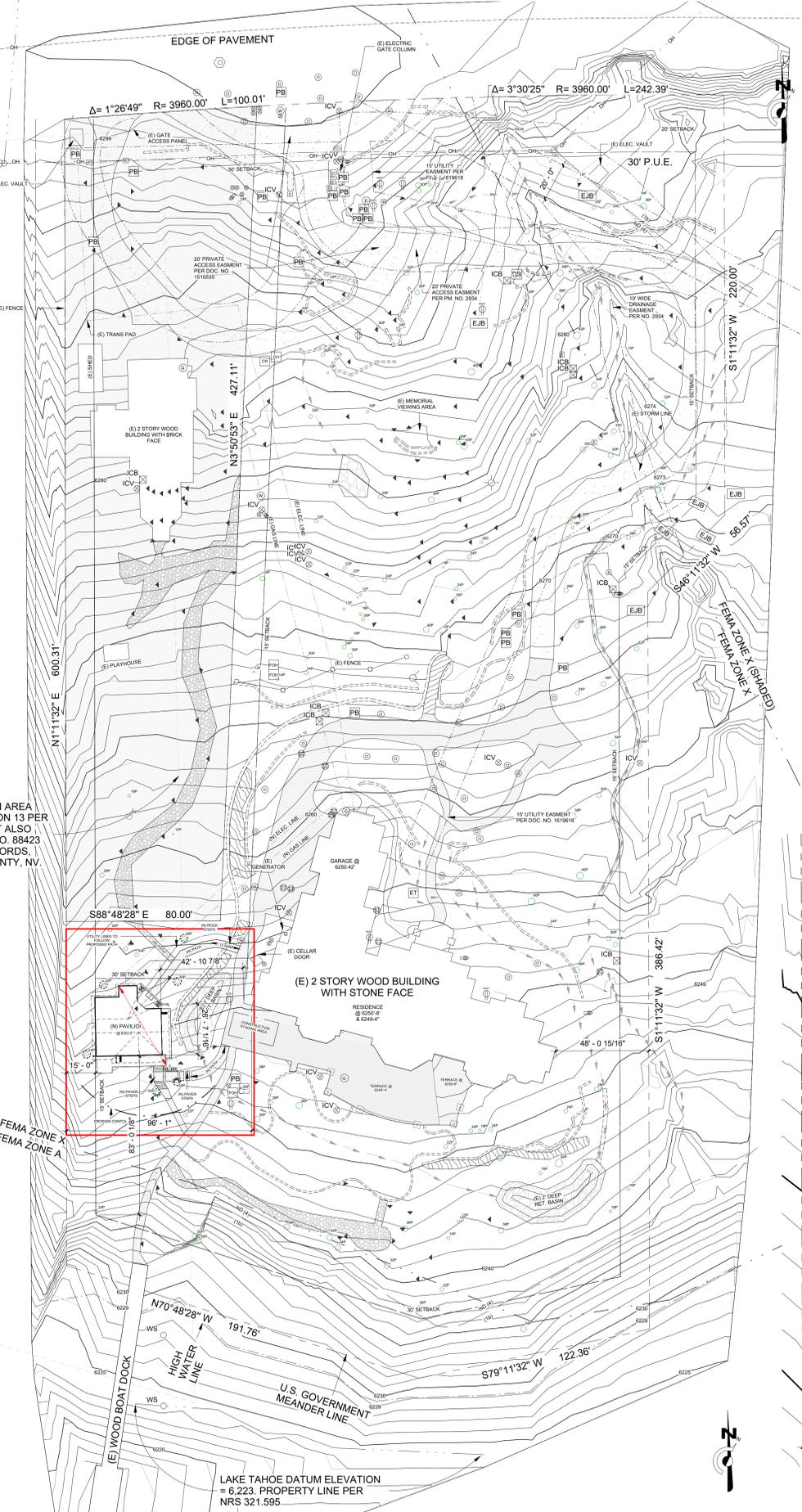
LAND AREA
 169,196 SQ. FT.
 3.88 acres
 (PER SURVEY)

EARTHWORK
 CUT = 75 CU YDS.
 FILL = 8 CU YDS.
 GROSS CUT/FILL = 83 CU YDS.
 NET FILL = 67 CU YDS.

NNLFP, LLC OUTDOOR KITCHEN/PAVILION
 575 Lakeshore Blvd.
 Incline Village, NV 89451
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SCALE: As indicated
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 11:32:38 AM
 SHEET

SP-1
 SITE / GRADING
 PROPOSED



TRPA NOTES

ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE REVEGETATED IN ACCORDANCE WITH THE TRPA HANDBOOK OF BEST MANAGEMENT PRACTICES AND LIVING WITH FIRE, LAKE TAHOE BASIN, SECOND EDITION.
 DUST CONTROL MEASURES SHALL BE IN PLACE DURING CONSTRUCTION. BROADCAST MULCH SHALL NOT BE PERMITTED AS A DUST CONTROL MEASURE WITHIN 35 FEET OF STRUCTURES.
 EXCAVATION EQUIPMENT SHALL BE LIMITED TO APPROVED CONSTRUCTION AREAS TO MINIMIZE SITE DISTURBANCE. NO GRADING OR EXCAVATION SHALL BE PERMITTED OUTSIDE OF THE APPROVED AREAS OF DISTURBANCE.
 ALL WASTE RESULTING FROM THE SAW-CUTTING OF PAVEMENT SHALL BE REMOVED USING A VACUUM (OR OTHER TRPA APPROVED METHOD) DURING THE CUTTING PROCESS OR IMMEDIATELY THEREAFTER. DISCHARGE OF WASTE MATERIAL TO SURFACE DRAINAGE FEATURES IS PROHIBITED AND CONSTITUTES A VIOLATION OF THIS PERMIT.
 THE PROPERTY HOLDS BMP CERTIFICATE #1560 DATED 12/4/2014 FOR EXISTING STRUCTURES. CONTRACTOR TO ENSURE THAT EXISTING BMP'S ARE IN PROPER WORKING ORDER PRIOR TO FINAL INSPECTION (REFER TO EXISTING BMP INSERT ON SHEET SP-3 FOR PREVIOUSLY INSTALLED BMP'S) AND OWNER TO MAINTAIN EXISTING AND NEW BMP'S IN PERPETUITY

WASHOE ENGINEERING NOTES

• ALL IMPROVEMENTS WITHIN THE COUNTY RIGHT-OF-WAY SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST COUNTY CODES AND THE LATEST COUNTY STANDARD SPECIFICATIONS AND DETAILS.
 • A STREET EXCAVATION PERMIT IS REQUIRED FOR ANY WORK TO BE PERFORMED WITHIN THE WASHOE COUNTY RIGHT-OF-WAY.
 • THE WASHOE COUNTY ROAD DEPARTMENT (318-2180) MUST APPROVE THE NEW DRIVEWAY APPROACH LOCATION PRIOR TO INSTALLATION.
 • THE WASHOE COUNTY ROAD DEPARTMENT (318-2180) MUST APPROVE THE NEW DRIVEWAY APPROACH INSTALLATION PRIOR TO PERMIT FINAL CERTIFICATE OF OCCUPANCY.
 • DRIVEWAY AND PEDESTRIAN ACCESS PAVING SHALL SLOPE DOWN FROM EXISTING EDGE OF PAVING A MINIMUM 4% GRADE FOR 4 FEET, THEN 1% MINIMUM THEREAFTER.
 • POSITIVE DRAINAGE AWAY FROM (N) AND (E) STRUCTURE TO BE MAINTAINED IN PERPETUITY AT 5% SLOPE FOR 10 MIN.

NLTFPD

• ADDRESS IDENTIFICATION NUMBERS MUST BE 6" IN HEIGHT MIN.
 • RESIDENTIAL FIRE SPRINKLERS SYSTEM REQUIRED
 • NFPA 72 FIRE ALARM SYSTEM MAY BE PROVIDED IN LIEU OF 110V INTERCONNECTED DETECTORS. THESE SYSTEMS REQUIRE A SEPARATE PERMIT (SEE DEFERRED SUBMITTALS FOR DETAILS)
 • A KNOX BOX SHALL BE PROVIDED IN ACCORDANCE WITH 2018 IFC CHAPTER 5
 • WHEN HOT WORK IS CONDUCTED WITHIN A WILDFIRE RISK AREA IN ACCORDANCE WITH 2018 IFC SECTION 105.8.23: HOT WORK OPERATIONS INCLUDING CUTTING, WELDING, THERMIT WELDING, BRAZING, SOLDERING, GRINDING, THERMAL SPRAYING, THAWING PIPE, INSTALLATION OF TORCH-APPLIED ROOF SYSTEMS OR ANY OTHER SIMILAR ACTIVITIES REQUIRE A PERMIT FROM THE NORTH LAKE TAHOE FIRE PROTECTION DISTRICT 775-831-0381
 • AN OPERATIONAL PERMIT, ISSUED BY NLTFPD, IS REQUIRED FOR NATURAL GAS OR LPG FUELED RECREATIONAL FIRE FEATURES WITHIN THE NORTH LAKE TAHOE FIRE PROTECTION DISTRICT. NOTE: IN ADDITION TO THE PERMIT, ALL FEATURES SHALL BE UL LISTED AND CONFORM TO MANUFACTURER CLEARANCE REQUIREMENTS. PERMIT MAY BE OBTAINED BY CALLING 775-833-8107
 • THE OWNER OR GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE DEVELOPMENT, IMPLEMENTATION, AND MAINTENANCE OF A WRITTEN PLAN ESTABLISHING A FIRE PREVENTION PROGRAM AT THE PROJECT SITE APPLICABLE THROUGHOUT ALL PHASES OF THE CONSTRUCTION, REPAIR, ALTERATION, OR DEMOLITION WORK. THE PLAN SHALL ADDRESS THE REQUIREMENTS OF IFC 3308.1 AND OTHER APPLICABLE PORTIONS OF THE IFC CODE, THE DUTIES OF STAFF, AND STAFF TRAINING REQUIREMENTS. THE PLAN SHALL BE SUBMITTED TO NLTFPD FOR PERMIT PER REVIEW BY THE FIRE CODE OFFICIAL UPON REQUEST.

DEFERRED SUBMITTALS

• A SEPARATE PLAN/PERMIT FOR REQUIRED FIRE SPRINKLER SYSTEMS SHALL BE SUBMITTED TO NLTFPD FOR PERMIT PER RESOLUTION 16-1
 • A SEPARATE PLAN WILL BE REQUIRED IF OWNER ELECTS TO GO WITH A NFPA 72 FIRE MONITORED ALARM SYSTEM IN LIEU OF 110V INTERCONNECTED DETECTORS AND THE PLAN SHALL BE SUBMITTED TO NLTFPD FOR PERMIT PER RESOLUTION 16-1.

SITE NOTES:

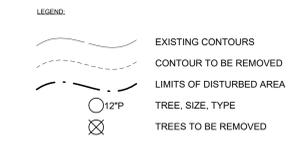
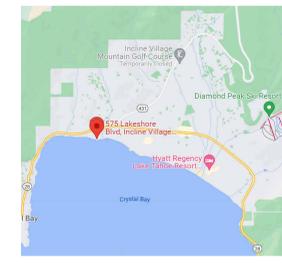
• EXISTING SURVEY & SITE PLAN PROVIDED BY K2 ENGINEERING AND STRUCTURAL DESIGN - 2011, & NONHARD CONSULTING LTD. - 2021
 • ALL PERFORATED DRAINAGE PIPE OUTLETS TO BE KEPT CLEAR AND MARKED, ESPECIALLY FROM BEHIND RETAINING WALLS. WITH A MINIMUM 3" LONG METAL STRIKE, PLACED A MINIMUM 1" INTO THE GROUND AND PAINTED RED ON TOP. INSTALL 1/4" SCREENMESH AT OUTLETS TO PREVENT RODENTS FROM ENTERING DRAINAGE PIPES

SHEET INDEX

- SP-1 SITE / GRADING PROPOSED
- SP-2 TRPA COVERAGE
- SP-3 TRPA BMP'S
- SP-4 DEFENSIBLE SPACE PLAN
- A-1 PROPOSED PLANS
- A-2 ELEVATIONS
- A-3 SECTIONS & DETAILS
- A-4 SCENIC VISUAL ASSESSMENT
- A-5 3D EXTERIOR
- A-6 3D INTERIOR
- CS ENGINEERING COVERSHEET
- S0.1 GENERAL NOTES & DETAILS
- S0.2 DETAILS
- S0.3 DETAILS
- S0.4 DETAILS
- S0.5 DETAILS
- S1.1 FOUNDATION PLAN & SPECIAL INSPECTIONS
- S1.2 ROOF FRAMING & SHEAR PLAN

PLEASE REFER TO ENCLOSED 8.5X11 ARCHITECTURAL PROJECT GUIDELINES FOR ADDITIONAL DETAILS AND PROJECT REQUIREMENTS. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO ENSURE THAT ALL SUBS RECEIVE A COPY OF AND ADHERE TO THESE GUIDELINES. IF ADDITIONAL COPIES (ELECTRONIC OR PAPER) ARE NEEDED, PLEASE CONTACT ELISE FETT & ASSOCIATES, LTD.

VICINITY MAP:

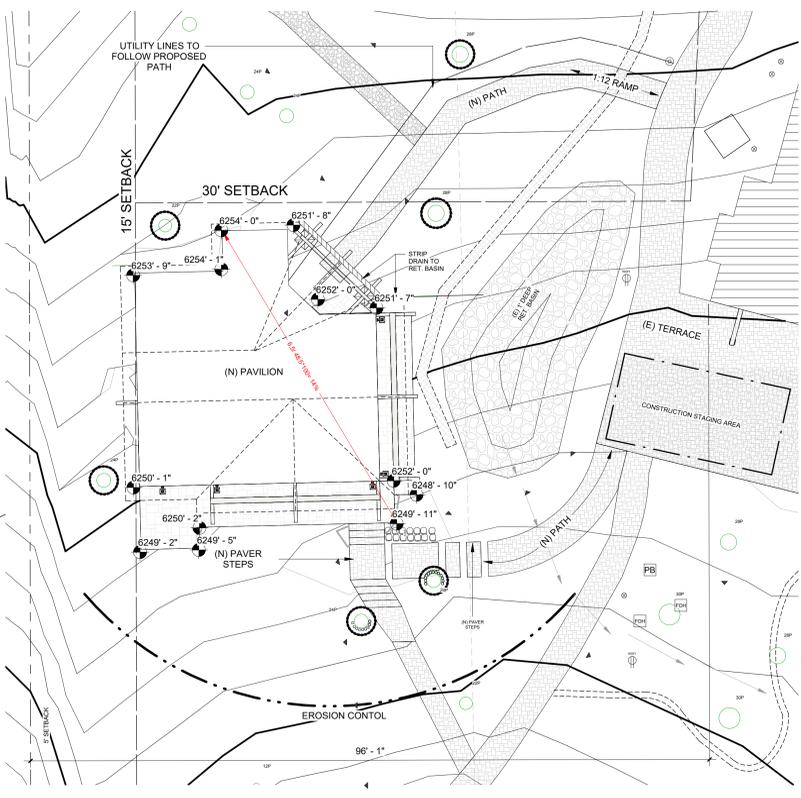


IVGID FIXTURE COUNT:

	Count	Water Value	Sewer Value	Water Count	Sewer Count
Kitchen Sink	2	1.5	2	3	4
Bar Sink	6	1	1	6	6
Dishwasher	5	1.5	2	7.5	10
Tub/Shower	1	4	2	4	2
Water Closet	9	2.5	3	22.5	27
Bidet	0	1	1	0	0
Lav sink	9	1	1	9	9
Shower head	6	2	2	12	12
Washer	2	4	3	8	6
Laundry sink	2	1.5	2	3	4
Ice sink	0	1.5	3	0	0
Hose bib (1st)	1	2.5	n/a	2.5	0
Additional Hose Bibs	4	1	n/a	4	0
Totals				81.5	80

IVGID NOTES

- (E) HOME AND PROPOSED PAVILION TO HAVE FAU HEAT
- (E) 6" FIRE LINE TO REMAIN
- (N) PAVILION TO HAVE FIRE SPRINKLERS
- (E) 2" WATER SERVICE, METER, AND SUPPLY LINE TO REMAIN
- (N) PAVILION TO BE ON SAME SERVICE/METER AS MAIN HOME
- SEWER LINE MUST BE AIR TESTED TO THE CURRENT UPC AND IVGID REQUIREMENTS
- SEWER LIFT STATION TO BE TESTED TO THE CURRENT UPC AND IVGID REQUIREMENTS



RESERVATION AREA SEE EXCEPTION 13 PER TITLE REPORT ALSO BEING DOC. NO. 88423 OFFICIAL RECORDS, WASHOE COUNTY, NV

LAKE TAHOE DATUM ELEVATION = 6,223. PROPERTY LINE PER NRS 321.595

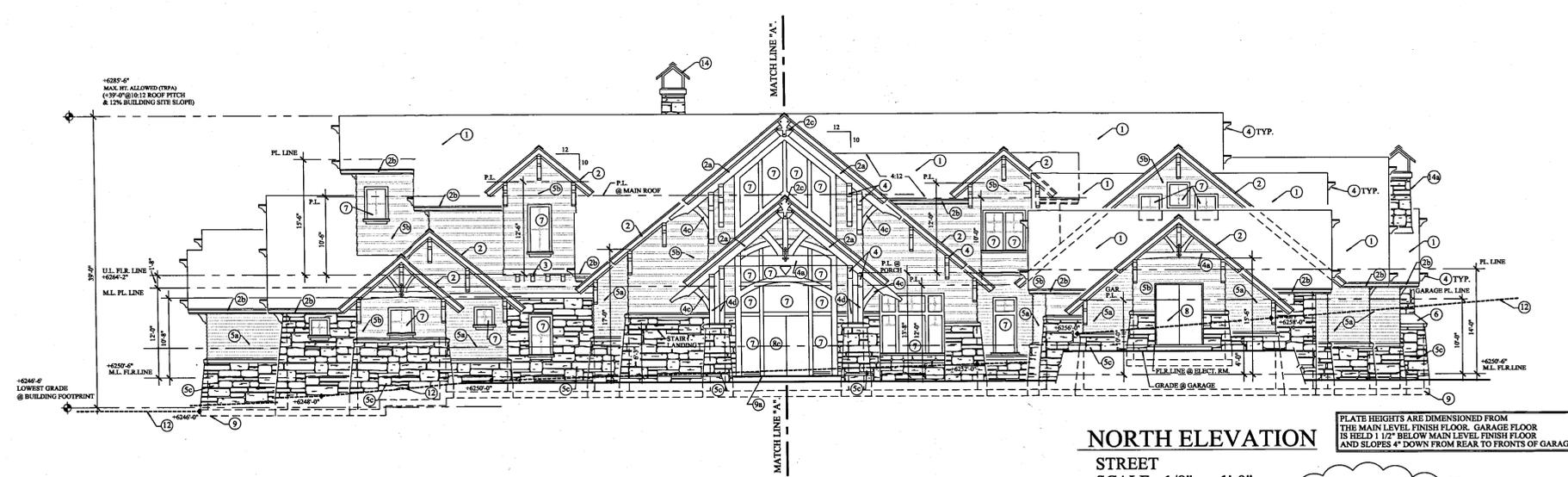
LAKE TAHOE

1 SITE / GRADING
 1" = 30'-0"

2 SITE / GRADING CLOSE UP
 1" = 10'-0"

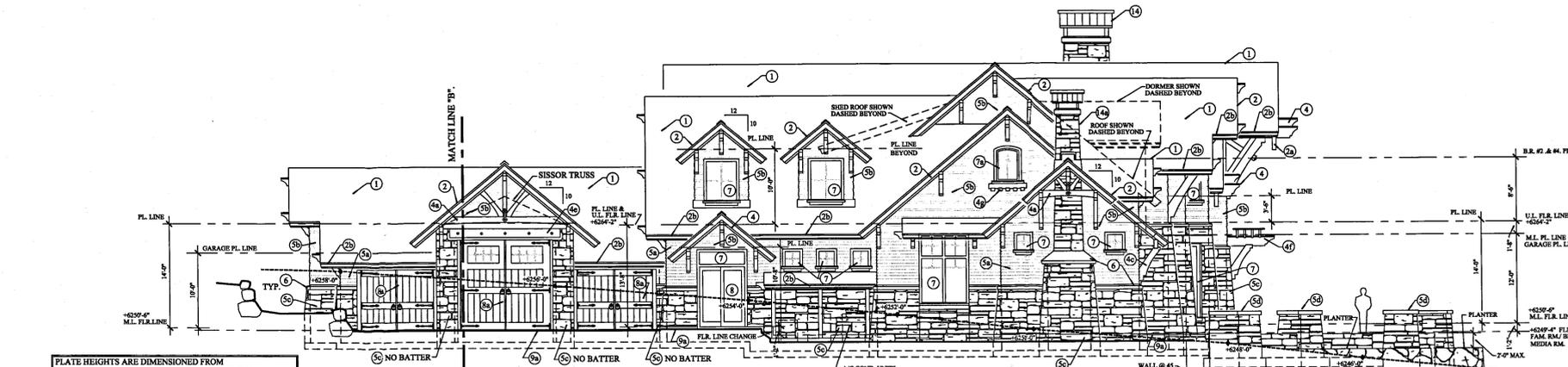
ALL DRAWINGS AND WRITTEN MATERIAL APPEARING HEREIN CONSTITUTE ORIGINAL AND UNPUBLISHED WORK OF THE ARCHITECT/ENGINEER AND MAY NOT BE DUPLICATED, USED OR DISCLOSED WITHOUT WRITTEN CONSENT OF THE ARCHITECT/ENGINEER.

REVISIONS	
△	03.29.11
△	04.27.11 TRPA
△	



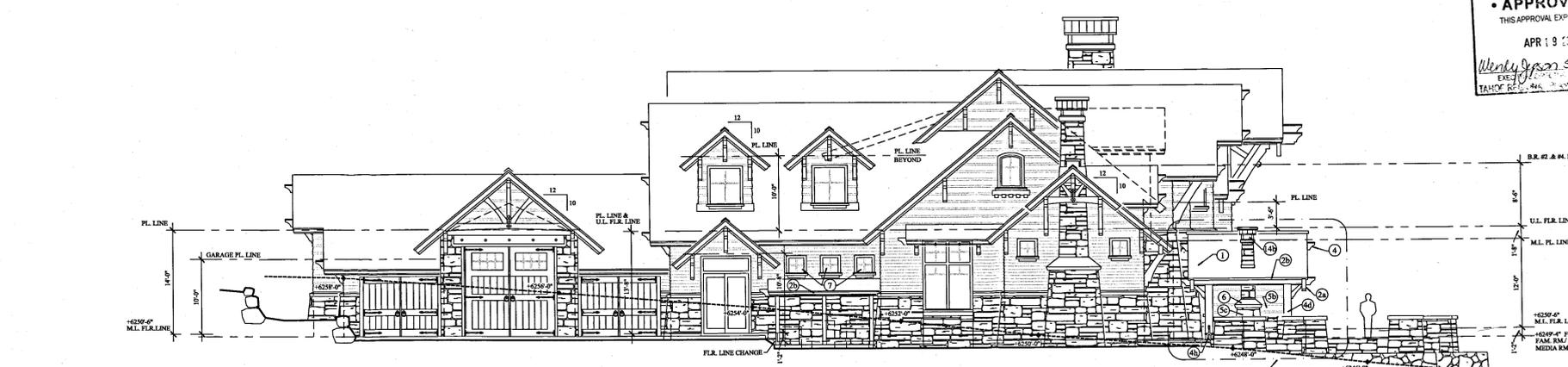
NORTH ELEVATION
STREET
SCALE: 1/8" = 1'-0"

WALL SHINGLES
CLASS B FIRE RATED
"CERTI-GUARD" PRESSURE IMPREGNATED
FIRE-RETARDANT TREATED NUMBER 1 GRADE
REBUTTED AND REJOINED (R. & R.) WESTERN
CEDAR SHINGLES
9" EXPOSURE ALTERNATED W/ 3" EXPOSURE
TYVEK "HOMEWRAP" UNDERLAY.
INSTALL IN ACCORDANCE WITH THE 2006 I.R.C.
AND THE C.S.&S. RECOMMENDATIONS.



WEST ELEVATION
RIGHT
SCALE: 1/8" = 1'-0"

PLATE HEIGHTS ARE DIMENSIONED FROM THE MAIN LEVEL FINISH FLOOR. GARAGE FLOOR IS HELD 1 1/2" BELOW MAIN LEVEL FINISH FLOOR AND SLOPES 4" DOWN FROM REAR TO FRONTS OF GARAGES



WEST ELEVATION SHOWING BBQ PAVILION
RIGHT
SCALE: 1/8" = 1'-0"

BBQ PAVILION

ELEVATION KEY NOTES:

- COMP. SHINGLE. PAINT EXPOSED G.I. SHEET METAL & PLUMBING VENTS TO MATCH ROOFING. DIRECT VENTS BEHIND RIDGE WHEN POSSIBLE. PROVIDE COPPER VENT SNOW GUARDS AT ALL VENTS.
- 4x12 BARGE W/ 1/4" SHINGLE MOULD. - PAINT TRIM COLOR
 - 8x12 BARGE W/ 1/4" SHINGLE MOULD. - PAINT TRIM COLOR
 - 2x FASCIA W/ 1/4" SHINGLE MOULD. - PAINT TRIM COLOR
 - BARGE GUSSET PLATE. DECORATIVE W.I. HARDWARE
- PROFILED 6x DECORATIVE TRUSS OUTRIGGERS @ 24" O.C. - PAINT TRIM COLOR
- 8x OUTRIGGERS W/ COPPER CAPS. AND SHAPED
 - KNEE BRACES - PAINT TRIM COLOR
 - SHAPED 8x VERT. KING POST, HORIZ. COLLAR TIE AND PENDANT W/ DECORATIVE W.I. HARDWARE
 - OUTRIGGER ONLY
 - SHAPED KNEE BRACES ONLY
 - BUILT UP WD. COLUMNS
 - DECORATIVE WOOD LINTEL BEAM W/ BLACK IRON HARDWARE.
 - WALL TRELLIS. VERIFY SIZE AND SHAPE W/ ARCHITECT. SEE STRUCT. FOR ATTACHM. ENGR. DESIGN.
 - DECORATIVE WD. CORBELS
 - DECORATIVE W.I. POST BASES
- EXTERIOR WALL:
 - HORIZONTAL LAP SIDING - COLOR AS SCHEDULED
 - CEDAR SHINGLES - SEE DETAIL FOR COURSE PATTERN - COLOR AS SCHEDULED
 - STONE VENEER 1:12 BATTER. U.N.O. I.R.C. SECTION R703.7.4.1
 - C.M.U. PEDESTALS W/ STONE VENEER 1:12 BATTER. SLOPED STONE CAP.
- PRECAST SILL, MOLDINGS, WATERABLE AND CAPS.
- WINDOWS. VINYL OR VINYL CLAD WINDOWS W/ DUAL GLAZING PER 2006 I.R.C. W/ PRECAST OR STONE SILL.
 - BLACKED-OUT WINDOWS AT FALSE BAYS, DORMERS OR DEAD ATTIC SPACE. SIZE AS NOTED
- EXTERIOR DOORS: SOLID CORE, ATRIUM TYPE, SLIDER, OR FRENCH. SEE FLOOR PLAN
 - SECTIONAL OVERHEAD GARAGE DOORS. DECORATIVE CARRIAGE HOUSE STYLE.
 - WOOD PLANK DOOR W/ I. DECORATIVE HARDWARE
 - ENTRY DOOR UNIT W/ DECORATIVE HARDWARE
 - FIXED GLASS DOOR
- CONCRETE FOUNDATION: BOTTOM OF FOOTING 2'-0" MIN. BELOW FINISH GRADE. SEE STRUCT. FOR STEPPED FOOTING LOCATIONS. PAINT EXPOSED STEM WALLS TO MATCH SIDING.
 - WALKS AND TERRACES TO BE DRY SET CONC. PAVERS - VERIFY WITH OWNER & LANDSCAPE CONTRACTOR
- PAVER STOOP (SEE LANDSCAPE DWGS)
- FINISH GRADE - SLOPE AWAY FROM STRUCTURE
- EXISTING GRADE
- HAND STACKED ROCKERY WALL. SEE GRADING PLAN
- COPPER CHIMNEY CAP/ SPARK ARRESTER
 - AGA RATED GAS APPLIANCE FIREPLACE FALSE CHIMNEY W/ STONE VENEER
 - FALSE CHIMNEY FOR BBQ HOOD VENT W/ STONE VENEER

NOTES:

- SEE SHEETS SP-1 & SP-2 PROJECT SPECIFICATIONS FOR INFORMATION PERTINENT TO THE CONSTRUCTION OF THIS PROJECT.
- PLATE ELEVATIONS ABOVE MAIN HOUSE FINISH FLOOR (A.F.F.) (TOP OF GYPCRETE) FOR CONTRACTORS CONVENIENCE ONLY. BLENDED ROOF PL. HTS. ARE APPROX. GENERAL CONTRACTOR TO VERIFY EXACT ELEVATIONS REQUIRED ON STRUCTURAL DRAWINGS AND ROOF TRUSS LAYOUT DRAWINGS. REPORT ANY DISCREPANCIES TO ARCHITECT.
- ATTIC AND CRAWL SPACE ARE NOT VENTED AND ARE TO BE A CLOSED SYSTEM WITH SPRAY APPLIED POLYURETHANE FOAM INSULATION. "SELECTION 500" BY FOAM INSULATION SYSTEMS. INSTALL AIR EXCHANGERS AS REQUIRED.
- PAINT EXPOSED G.I. SHEET METAL AND PLUMBING VENTS TO MATCH ROOFING. DIRECT VENTS BEHIND RIDGE WHERE POSSIBLE.
-
- VENT TERMINATIONS TO MEET MANUFACTURER AND U.M.C. REQUIREMENTS.
- SOME AREAS MAY HAVE SCISSOR TRUSSES TO ALLOW FOR FIELD FRAMED COFFERED CEILINGS AND HIGH GABLE END WINDOWS.
- FOOTINGS ARE TO BEAR ON EXISTING GRADE AND BELOW CLAY OR ANY UNSUITABLE SUBSTRATE. AT CONTRACTOR'S OPTION, FOOTINGS MAY BEAR ON ENGINEERED FILL. CONTRACTOR TO PROVIDE REQUIRED ENGINEERING AND COMPACTION.
- ALL STRUCTURAL HARDWARE AND CONNECTORS AT PORCHES, TRELLIS, ETC. TO BE CONCEALED U.N.O. VERIFY W/ ARCHITECT.

STONE VENEER

- SEE DETAIL SECTION (D-1) FOR BATTERED VENEER DETAIL. SEE EXTER. ELEVATIONS FOR LOCATION.
- I.R.C. SECTION R703.7.4.1 VENEER TIES, STRAND WIRE, SHALL NOT BE LESS IN THICKNESS THAN No. 9 U.S. GAGE WIRE AND SHALL HAVE A HOOK EMBEDDED IN THE MORTAR JOINT, OR IF SHEET METAL, SHALL BE NOT LESS THAN No. 22 U.S. GAGE BY 7/8" INCH CORRUGATED. EACH TIE SHALL BE SPACED NOT MORE THAN 24 INCHES (610mm) ON CENTER HORIZONTALLY AND VERTICALLY AND SHALL SUPPORT NOT MORE THAN 2.67 SQUARE FEET OF WALL AREA.

APPROVED
THIS APPROVAL EXPIRES ON
APR 19 2014
Wentley, Jason S 570-11
EX-101

Description of Materials
Colors

- Exterior Stone: 80% Natural Gray Granite 20% Natural Brown Granite
- Windows: Window wood windows with exterior metal clad in cinnamon color
- Roofing: Colores Presidential composition roofing in Bark Brown
- Roof and flashing material all to be copper to weather
- Exterior Wood: All fascia, siding, shingles, truss, beams and corbels to be cedar stained natural cedar color.

These plans have been reviewed and approved by the TARC Regional Planning Agency under Title 24, Chapter 24A, NRS. The Agency's review is limited to the information provided and does not constitute a warranty or endorsement of the materials, methods, or construction shown on these plans. The Agency is not responsible for any errors or omissions on these plans. The Agency is not responsible for any violations of applicable laws, codes, or regulations. The Agency is not responsible for any damages or injuries resulting from the use of these plans. The Agency is not responsible for any changes or modifications to these plans. The Agency is not responsible for any costs or expenses incurred by the owner or contractor in connection with the use of these plans. The Agency is not responsible for any other matters not specifically mentioned in these terms and conditions.

TARC REGIONAL PLANNING AGENCY

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GAIL RICHIE ARCHITECT, L.L.C.
1100 CAUGHLIN CROSSING
RENO, NEVADA 89519
TELEPHONE (775) 746-2230
FAX (775) 746-2239

O'NEAL RESIDENCE
EXTERIOR ELEVATION

GAIL NORMAN FRIEDMAN
REGISTERED ARCHITECT
No. 21
STATE OF NEVADA

DATE:	02.17.11
DRAWN:	
OR	
CHECKED:	
OR	
FILE NAME:	
SHEET:	A-7

REVISIONS	
1	03.29.11
2	04.27.11 TRPA

DESIGNED BY GAIL RICHIE ARCHITECT, L.L.C.
 ARCHITECT
 1100 CALIFORNIA CROSSING
 RENO, NEVADA 89519
 TELEPHONE (775) 746-2229
 FAX (775) 746-2229

GAIL RICHIE ARCHITECT, L.L.C.

O'NEAL RESIDENCE
 EXTERIOR ELEVATION

REGISTERED ARCHITECT
 No. 821
 STATE OF NEVADA

DATE:	02.17.11
DRAWN:	
GR	
CHECKED:	
GR	
FILE NAME:	
SHEET:	A-7.1

- ELEVATION KEY NOTES:**
- COMP. SHINGLE. PAINT EXPOSED G.I. SHEET METAL & PLUMBING VENTS TO MATCH ROOFING. DIRECT VENTS BEHIND RIDGE WHEN POSSIBLE. PROVIDE COPPER VENT SNOW GUARDS AT ALL VENTS.
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 - HORIZONTAL LAP SIDING - COLOR AS SCHEDULED
 - CEDAR SHINGLES - SEE DETAIL FOR COURSE PATTERN - COLOR AS SCHEDULED
 - STONE VENEER 1:12 BATTER U.N.O. I.R.C. SECTION R703.7.1
 - C.M.U. PEDESTALS W/ STONE VENEER 1:12 BATTER. SLOPED STONE CAP.
 - PRECAST SILL, MOLDINGS, WATERTABLE AND CAPS.
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 - FIXED GLASS DOOR
 - CONCRETE FOUNDATION: BOTTOM OF FOOTING 2'-0" MIN. BELOW FINISH GRADE. SEE STRUCT. FOR STEPPED FOOTING LOCATIONS. PAINT EXPOSED STEMWALLS TO MATCH SIDING.
 - WALKS AND TERRACES TO BE DRY SET CONC. PAVERS - VERIFY WITH OWNER & LANDSCAPE CONTRACTOR
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 - AGA RATED GAS APPLIANCE FIREPLACE FALSE CHIMNEY W/ STONE VENEER
 - FALSE CHIMNEY FOR BBQ HOOD VENT W/ STONE VENEER

- NOTES:**
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 - ALL STRUCTURAL HARDWARE AND CONNECTORS AT PORCHES, TRELIS, ETC. TO BE CONCEALED U.N.O. VERIFY W/ ARCHITECT.

STONE VENEER

SEE DETAIL SECTION (D-1) FOR BATTERED VENEER DETAIL. SEE EXTER. ELEVATIONS FOR LOCATION.

I.R.C. SECTION R703.7.1
 VENEER TIES, STRAND WIRE, SHALL NOT BE LESS IN THICKNESS THAN No. 9 U.S. GAGE WIRE AND SHALL HAVE A HOOK EMBEDDED IN THE MORTAR JOINT, OR IF SHEET METAL, SHALL BE NOT LESS THAN No. 22 U.S. GAGE BY 7/8 INCH CORRUGATED. EACH TIE SHALL BE SPACED NOT MORE THAN 24 INCHES (610mm) ON CENTER HORIZONTALLY AND VERTICALLY AND SHALL SUPPORT NOT MORE THAN 2.67 SQUARE FEET OF WALL AREA.

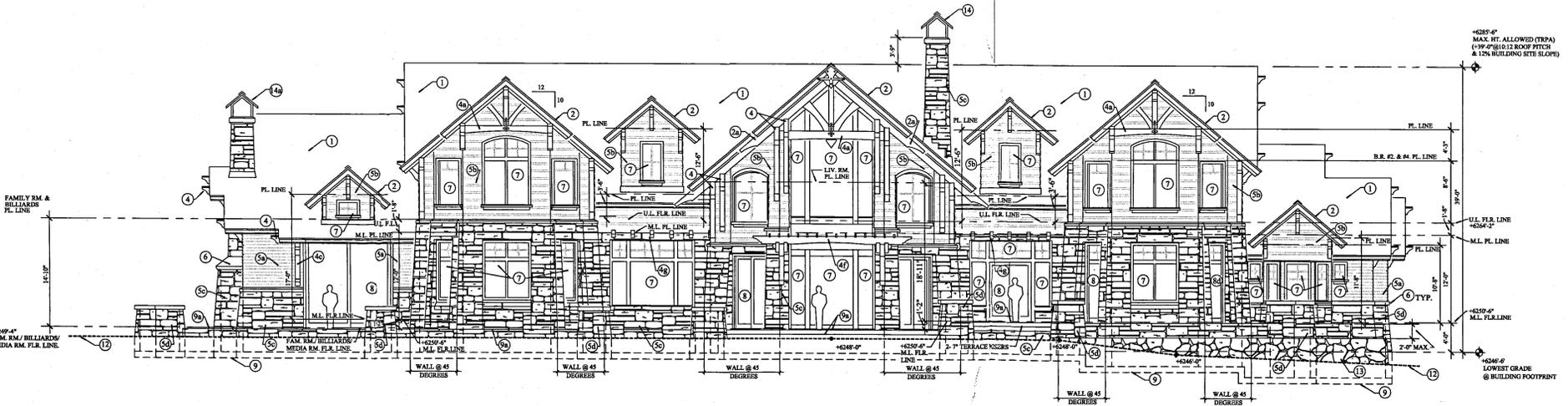
These plans have been reviewed and approved as required under 169A NRS, Facades and Glazing only. TRPA has not reviewed and shall not be responsible for any elements contained in these plans, i.e. structural, electrical, mechanical, plumbing, etc. which are not specifically noted on these plans.

TAHOE REGIONAL PLANNING AGENCY

Description of Materials

- Exterior Stone: 80% Natural Gray Granite 20% Natural Brown Granite Colors
- Windows: Windsor wood windows with exterior metal clad in cinnamon color
- Roofing: Celestex Presidential composition roofing in Dark Brown
- Roof and flashing material all to be copper to weather
- Exterior Wood: All fascia, siding, shingles, truss, beams and corbels to be cedar stained natural cedar color.

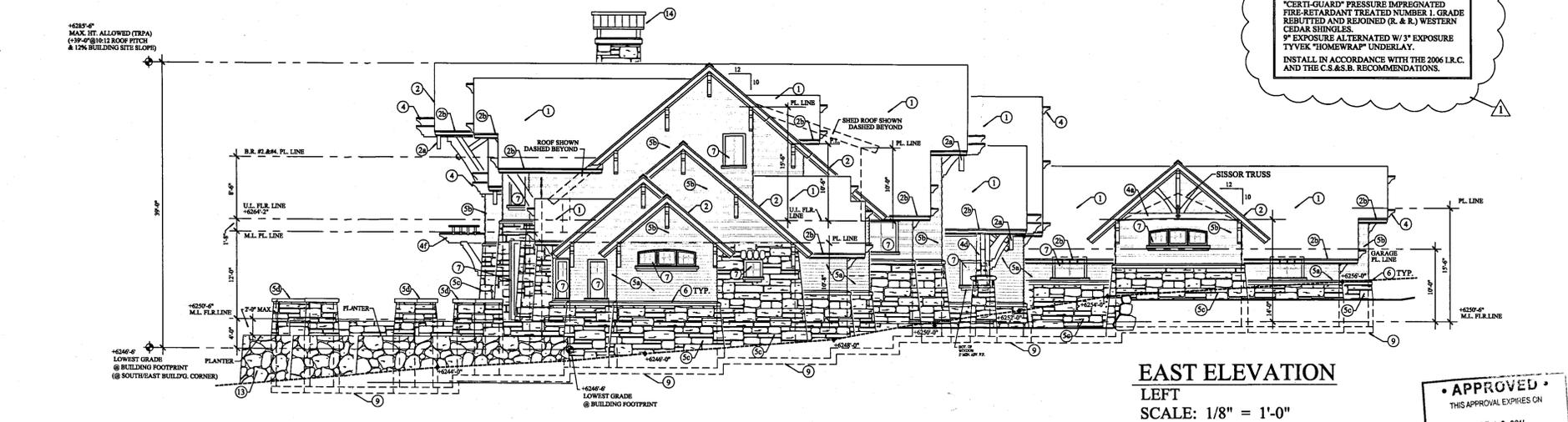
(6) A note stating that the visual assessment for the proposed project was evaluated under and complies with Level 5, Option 2 of the Visual Magnitude System (Section 30.15.C.5(b)) of the TRPA Code of Ordinances. The total square feet of visible area allowed for this project per code is 4,689 square feet. The approved visible area for this project is 2,560 square feet.



SOUTH ELEVATION LAKE
 SCALE: 1/8" = 1'-0"

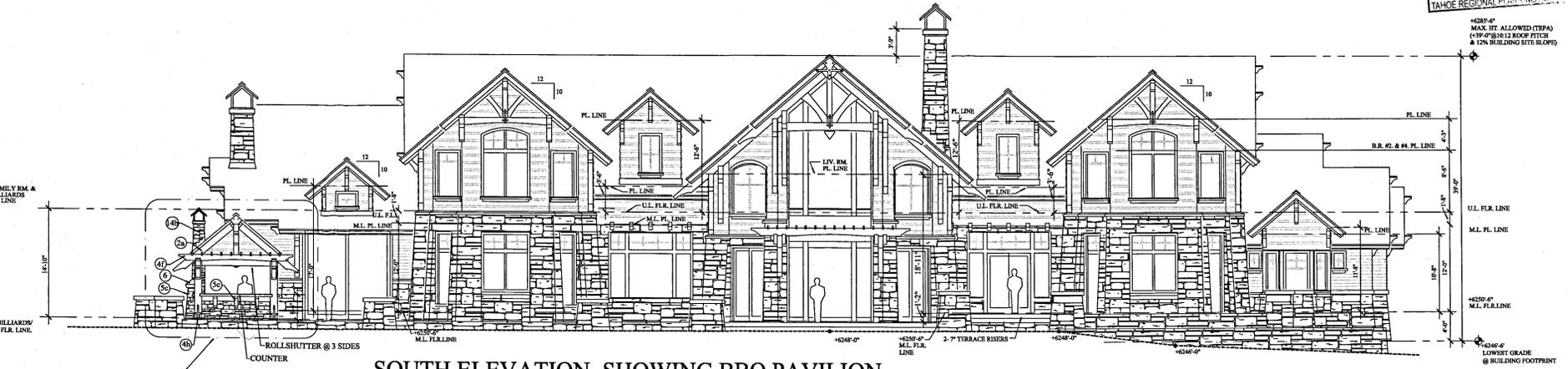
WALL SHINGLES

CLASS B FIRE RATED
 'CERTI-GUARD' PRESSURE IMPREGNATED
 FIRE-RETARDANT TREATED NUMBER 1, GRADE
 REBUTED AND REJOINED (R. & R.) WESTERN
 CEDAR SHINGLES.
 9" EXPOSURE ALTERNATED W/ 3" EXPOSURE
 TYPE 'TONGUE & GROOVE' UNDERLAY.
 INSTALL IN ACCORDANCE WITH THE 2006 I.R.C.
 AND THE C.S.&S.B. RECOMMENDATIONS.

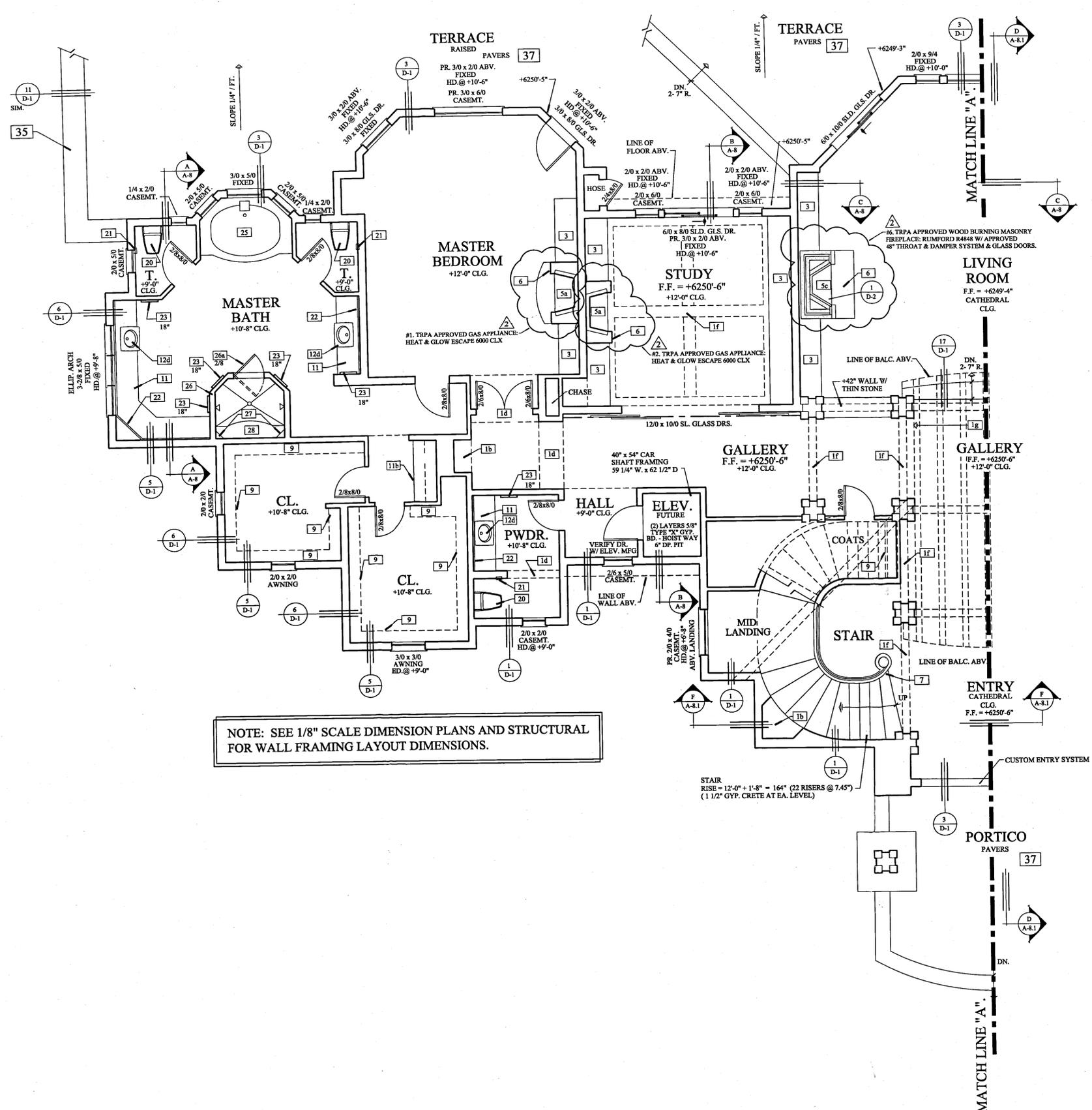


EAST ELEVATION LEFT
 SCALE: 1/8" = 1'-0"

APPROVED
 THIS APPROVAL EXPIRES ON
 APR 19 2014
 Wendy Simon S-1811
 EXECUTIVE DIRECTOR - DESIGN & PERMITS
 TAHOE REGIONAL PLANNING AGENCY



SOUTH ELEVATION SHOWING BBQ PAVILION LAKE
 SCALE: 1/8" = 1'-0"



NOTE: SEE 1/8" SCALE DIMENSION PLANS AND STRUCTURAL FOR WALL FRAMING LAYOUT DIMENSIONS.

FLOOR PLAN KEY NOTES

- NOTE: ALL ITEMS LISTED MAY NOT OCCUR ON THIS PROJECT
- SOFFIT - HT. PER PLAN
 - POT SHELF - HT. AS NOTED
 - RECESSED ART NICHE
 - RECESSED TV NICHE
 - ARCHED SOFFIT - SEE RECOM.
 - RECESSED TOWEL NICHE
 - FALSE DECORATIVE CEILING BEAMS
 - EXPOSED STRUCTURAL CEILING BEAM
 - PASS-THROUGH OPENING, VERIFY SIZE
 - FURRED WALL - DIM. PER PLANS
 - STRUCTURAL POST FURRED OR PADDED TO 8"
 - PEDESTAL - HT. PER PLAN
 - COURTYARD WALL - HT. AS NOTED ON ELEVATIONS
 - BUILT IN CABINETRY
 - WINE RACK
 - BOOK CASE
 - CHINA CABINETRY
 - BUFFET SIDEBOARD
 - PANTRY SHELVING
 - DISPLAY CASE, HEIGHT AS SHOWN.
 - FACE FRAMED CABINETRY
 - LINEN CLOS./MEDICINE CABINET
 - BROOM CLOSET
 - CONCEALED IRONING BOARD
 - ENTERTAINMENT CENTER/AV ENCLOSURE
 - FACE FRAMED PANTRY
 - ILLUMINATIONS ELECTRIC FIREPLACE BY FIREPLACE EXTENDING/DIR
 - AGA RATED GAS APPLIANCE FIREPLACE
 - EXTERIOR RATED GAS APPL.
 - WOOD BURNING RUMFORD FIREPLACE, SEE DETAIL.
 - DECORATIVE MANTEL, HEARTH, & SURROUND
 - HANDRAIL - 34" - 38" ABV. STAIR NOSING
 - 4x2" PEDESTAL
 - 3x2" WALL MOUNTED HANDRAIL
 - 3x3" W.I. RAILING
 - OPEN STRINGER STAIR W/ W.I. RAILING
 - BENCHSEAT 20" A.F.F. U.N.O.
 - W/ COAT HANGER PEGS ABV.
 - W/ SHELVING ABV.
 - BUILT IN DRESSER
 - LAUNDRY HANGING ROD
 - IRONING CENTER
 - ISLAND W/ BASE CABINETRY
 - SIZE & SHAPE PER OWNER, HT. AS NOTED
 - 36" COUNTER W/ BASE CABINETS
 - 30" COUNTER W/ KNEE SPACE BLW.
 - 36" COUNTER W/ WALL MTD. CABINETRY ABV.
 - WALL MTD. CABINETRY ONLY
 - 30" COMPUTER DESK
 - STORAGE CABINET
 - 14" DEEP WALL MTD. CABINETRY
 - 36" COUNTER 27" DP. W/ 14" DP. WALL MTD. CABINETRY ABV.
 - SHELVING
 - SINK
 - PEDESTAL SINK
 - DOUBLE SINK
 - BAR OR PEEL SINK
 - LAV. SINK
 - LAUNDRY/UTILITY SINK
 - REC. COUNTER SINK
 - PET SHOWER
 - OVEN
 - COOK TOP
 - 48" RANGE W/ 60" DEC. HOOD
 - 30" DBL. OVEN

GENERAL NOTES:

- SEE SHT. SP-1 & SP-2 PROJECT SPECIFICATIONS FOR INFORMATION PERTINENT TO THE CONSTRUCTION OF THIS PROJECT.
- SOME ROOMS MAY HAVE SCISSOR TRUSSES TO ALLOW FOR FIELD FRAMED COFFERED CEILINGS AND HIGH GABLE END WINDOWS.
- INTERIOR WALLS: 2x4 STUDS @ 16" O.C. U.N.O.
- CONTRACTOR TO VERIFY OVERHEAD GARAGE DOOR CLEARANCE IN RAISED POSITION.
- ALL WALL MOUNTED ITEMS SUCH AS, BUT NOT LIMITED TO, CABINETS, APPLIANCES, GRAB BARS, & TOWEL BARS TO HAVE SOLID BLOCKING IN WALLS BEHIND ITEMS.
- PROVIDE SAFETY GLAZING IN HAZARDOUS LOCATIONS PER I.R.C. SECTION R308.
- SOUND INSULATE ALL INTERIOR PLUMBING WALLS (BATH ROOMS) AND WALL AREAS W/ DRAIN LINES FROM ABOVE. SELECTION 500 SPRAY FOAM INSULATION WALL SYSTEM.
- TRIPLE MANTEL AND SURROUND TO BE VERIFIED W/ ARCHITECT AND OWNER PRIOR TO CONSTRUCTION.
- PROVIDE ATTIC ACCESS PER I.R.C. SECTION R807.
- PROVIDE CRAWL SPACE ACCESS AND CLEARANCES PER I.R.C.
- SLEEPING ROOMS WITHOUT DIRECT EGRESS DOORS SHALL HAVE AT LEAST ONE WINDOW THAT COMPLIES WITH I.R.C. SECTION R310.1.
- PROVIDE WATER-RESISTANT GYPSUM BOARD AT LOCATIONS REQUIRED PER I.R.C. SECTIONS R702.3 AND R702.4.
- DO NOT INSTALL HYDRONIC LINES AT BED LOCATIONS.
- HANDRAIL COMPLY W/ 2006 IRC SEC. R312.
- SEE EXTERIOR ELEV. FOR EXTENT OF STONE VENEER.
- AT ALL AREAS WHERE PAVERS ABUT EXTER. WALL, INSTALL 6" WIDE TRENCH DRAIN W/ DECORATIVE CAST IRON GRATE BY IRON AGE DESIGNS. GRATE TO BE LOCUST 6" STYLE, ADA ACCESSIBLE. DRAIN CHANNEL BY NDS OR EQ. INSTALL HEAT TAPE AS REQ'D.

- MICROWAVE OVEN
 - WARMING DRAWER
 - COFFEE STATION
 - MICROWAVE DRAWER
 - 48" BBQ W/ 15" SIDE BURNER. HOOD INSERT ABV.
- REFRIGERATOR-STUB WATER FOR ICE MAKER
 - UNDER COUNTER WINE REF.
 - UNDER COUNTER BEV. REF.
 - BREEZ TAP
 - FREEZER
 - UNDER COUNTER ICE MAKER
 - WINE REFRIGERATOR (FULL HT.)
- UNDER COUNTER DISH WASHER
 - DISH WASHER DRAWER
 - TRASH COMPACTOR
- IN-SINK GARBAGE DISPOSAL
- WASHER
- DRYER - VENT TO EXTERIOR
- TOILET PROVIDE 12" CLEAR @ EA. SIDE
- TOILET PAPER HOLDER
- MIRROR
- 24" U.N.O. TOWEL BAR
- RECESSED MEDICINE CABINET
- SURFACE MOUNTED MEDICINE CABINET
- BATH TUB
 - JETTED TUB - PROVIDE ACCESS PANEL FOR TUB JET MAINTENANCE
- SHOWER ENCLOSURE
 - FULL HT. CERAMIC TILE INT. FINISH ON 1/2" CEMENT BOARD
 - SHOWER HEADS @ +6'-6"
 - TEMP. GL. DOOR ON 4" CURB - SIZE AS NOTED
 - RAIN HEAD SHOWER HEAD
 - STEAM SHOWER UNIT & ACCESS PANEL
 - NOTE: IN STEAM SHOWER SLOPE CEILING TOWARD REAR OF ENCLOSURE @ 1/4"=12"
- SHAMPOO NICHE
- TILED SHOWER/TUB SEAT
 - INTEGRAL W/ TUB DECK
- HOT WATER TANK W/ SEISMIC STRAPS, EXPANSION TANK W/ POP-OFF TO EXTERIOR, AND REIRC. SYSTEM
 - W/ DRAIN PAN IN AREAS ABV. LIVING SPACE
- FORKED AIR UNIT
 - MAINTAIN 3" CLEARANCE BETWEEN UNIT & WALLS
 - BOILER
- +18" MIN. RAISED MECHANICAL PLATFORM
 - 3" DIA. PIPE BOLLARD
- CRAWL SPACE ACCESS
- ATTIC ACCESS
- C.M.U. PEDESTALS W/ STONE VENEER 1:12 BATTER, SLOPED STONE CAP.
- HAND STACKED ROCKERY WALL. SEE GRADING PLAN
- BUILT IN STONE BENCH W/ W.I. BACK
- WALKS AND TERRACES TO BE DRY SET CONC. PAVERS - VERIFY WITH OWNER & LANDSCAPE CONTRACTOR

APPROVED
THIS APPROVAL EXPIRES ON
APR 19 2014
Wendy Gannon 5-13-11
EXECUTIVE DIRECTOR, DESIGNER
TAHOE REGIONAL PLANNING AGENCY

ATTIC AND CRAWL SPACE ARE NOT VENTED AND ARE TO BE A CLOSED SYSTEM WITH SPRAY APPLIED POLYURETHANE FOAM INSULATION, "SELECTION 500" BY FOAM INSULATION SOLUTIONS OR APPROVED EQUAL.
INSTALL AIR EXCHANGERS AS REQUIRED.

M.L. LIVING SPACE = 7,756 +/- S.F.
U.L. LIVING SPACE = 3,787 +/- S.F.
TOTAL FINISHED LIVING SPACE = 11,543 +/- S.F.
UNFINISHED BONUS RM. = 1,029 +/- S.F.
GARAGE = 1,324 +/- S.F.
B.B.Q. PAVILION = 109 +/- S.F.
TOTAL STRUCTURE = 14,005 +/- S.F.
TERRACE = 4,426 +/- S.F.
ENTRY PORCH = 389 +/- S.F.

MAIN LEVEL PLAN-EAST

SCALE 1/4" = 1'-0"

REVISIONS
04.27.11
TRPA

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FAX (775) 746-2229

O'NEAL RESIDENCE
FLOOR PLAN MAIN LEVEL-EAST

GAIL NORMAN RICHIE
REGISTERED ARCHITECT
#21
ARCHITECT
STATE OF NEVADA

DATE: 02.17.11
DRAWN:
OR CHECKED:
OR FILE NAME:
SHEET: A-3

REVISIONS	
03.29.11	
04.27.11	
TRPA	

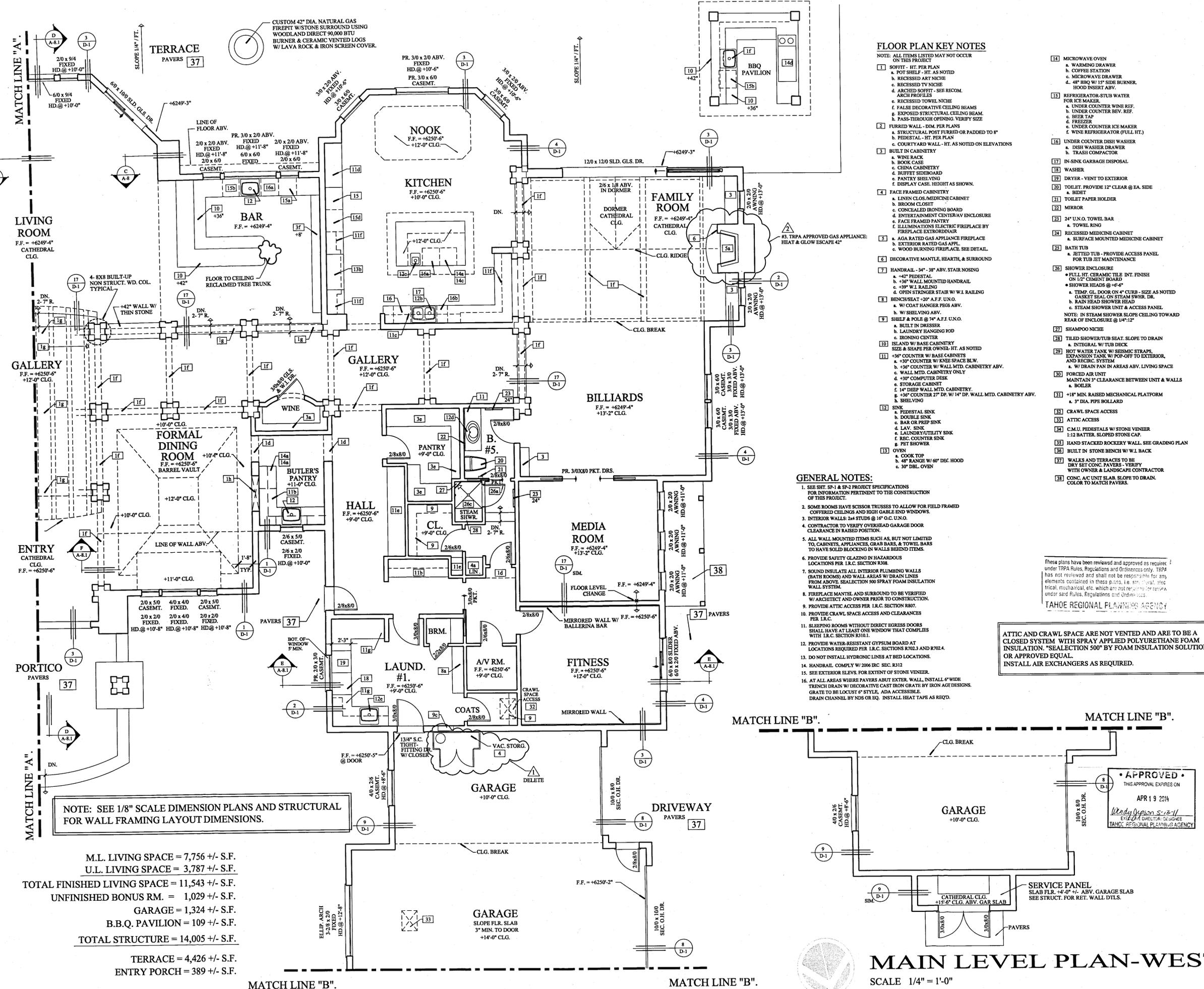
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 1100 CAULFIELD CROSSING
 RENO, NEVADA 89519
 TEL: (775) 785-2229
 FAX: (775) 785-2229

O'NEAL RESIDENCE
 FLOOR PLAN MAIN LEVEL - WEST

GAIL NORMAN RICHIE
 REGISTERED ARCHITECT
 #21
 STATE OF NEVADA
 5/7/11

DATE:	02.17.11
DRAWN:	
GR CHECKED:	
GR FILE NAME:	
SHEET:	A-3.1



FLOOR PLAN KEY NOTES

- NOTE: ALL ITEMS LISTED MAY NOT OCCUR ON THIS PROJECT
- SOFFIT - HT. PER PLAN
 - POT SHELF - HT. AS NOTED
 - RECESSED ART NICHE
 - RECESSED TV NICHE
 - ARCHED SOFFIT - SEE RECOM. ARCH PROFILES
 - RECESSED TOWEL NICHE
 - FALSE DECORATIVE CEILING BEAMS
 - EXPOSED STRUCTURAL CEILING BEAM
 - PASS-THROUGH OPENING. VERIFY SIZE
 - FURRED WALL - DIM. PER PLANS
 - STRUCTURAL POST FURRED OR PADDED TO 8"
 - PEDESTAL - HT. PER PLAN
 - COURTYARD WALL - HT. AS NOTED ON ELEVATIONS
 - BUILT IN CABINETS
 - WINE RACK
 - BOOK CASE
 - CHINA CABINETRY
 - BUFFET SIDEBOARD
 - PANTRY SHELVING
 - DISPLAY CASE. HEIGHT AS SHOWN.
 - FACE FRAMED CABINETS
 - LINEN CLOS./MEDICINE CABINET
 - BROOM CLOSET
 - CONCEALED HANGING BOARD
 - ENTERTAINMENT CENTER/AV ENCLOSURE
 - FACE FRAMED PANTRY
 - ILLUMINATION. ELECTRIC FIREPLACE BY FIREPLACE EXTERIOR/IN
 - AGA RATED GAS APPLIANCE FIREPLACE
 - EXTERIOR RATED GAS APPL.
 - WOOD BURNING FIREPLACE. SEE DETAIL.
 - DECORATIVE MANTLE, HEARTH, & SURROUND
 - HANDRAIL - 34" - 38" ABV. STAIR NOSING
 - 42" FRIEZE
 - 36" WALL MOUNTED HANDRAIL
 - 39" W.I. RAILING
 - OPEN STRINGER STAIR W/ W.I. RAILING
 - BENCH/SEAT - 20" A.F.F. U.N.O.
 - W/ COAT HANGER PEGS ABV.
 - W/ SHELVING ABV.
 - BUILT IN DRESSER
 - EXTERIOR RATED GAS APPL.
 - LAUNDRY HANGING ROD
 - IRONING CENTER
 - ISLAND W/ BASE CABINETS
 - SIZE & SHAPES. SEE SCHEDULE. HT. AS NOTED
 - 36" COUNTER W/ BASE CABINETS
 - 30" COUNTER W/ KNEE SPACE BLW.
 - 36" COUNTER W/ WALL MTD. CABINETS ABV.
 - WALL MTD. CABINETS ONLY
 - 30" COMPUTER DESK
 - STORAGE CABINET
 - 1" DEEP WALL MTD. CABINETS
 - 36" COUNTER 27" DP. W/ 14" DP. WALL MTD. CABINETS ABV.
 - SHELVING
 - SINK
 - PEDESTAL SINK
 - DOUBLE SINK
 - BAR OR PREP SINK
 - LAV. SINK
 - LAUNDRY/UTILITY SINK
 - RIC. COUNTER SINK
 - PET SHOWER
 - OVEN
 - COOK TOP
 - 48" RANGE W/ 60" DEC. HOOD
 - 30" DBL. OVEN
 - MICROWAVE OVEN
 - WASHING DRAWER
 - COFFEE STATION
 - MICROWAVE DRAWER
 - 48" BIK W/ 15" SIDE BURNER
 - HOOD INSERT ABV.
 - REFRIGERATOR-STUB WATER FOR ICE MAKER
 - UNDER COUNTER WINE REF.
 - UNDER COUNTER BEV. REF.
 - BEER TAP
 - FREEZER
 - UNDER COUNTER ICE MAKER
 - WINE REFRIGERATOR (FULL HT.)
 - UNDER COUNTER DISH WASHER
 - DISH WASHER DRAWER
 - TRASH COMPACTOR
 - IN-SINK GARBAGE DISPOSAL
 - WASHER
 - DRYER - VENT TO EXTERIOR
 - TOILET. PROVIDE 12" CLEAR @ EA. SIDE
 - BIDET
 - TOILET PAPER HOLDER
 - MIRROR
 - 24" U.N.O. TOWEL BAR
 - TOWEL RING
 - RECESSED MEDICINE CABINET
 - SURFACE MOUNTED MEDICINE CABINET
 - BATH TUB
 - BETTED TUB - PROVIDE ACCESS PANEL FOR TUB REPAIR MAINTENANCE
 - SHOWER ENCLOSURE
 - FULL HT. CERAMIC TILE INT. FINISH ON 1/2" CEMENT BOARD
 - SHOWER HEADS @ 6'-0"
 - TEMP. CL. DOOR @ 4" CURB - SEZ AS NOTED
 - GASKET SEAL ON STEAM SWER. DR.
 - RAIN HEAD SHOWER HEAD
 - STEAM SHOWER UNIT & ACCESS PANEL
 - NOTE: IN STEAM SHOWER SLOPE CEILING TOWARD REAR OF ENCLOSURE @ 1/4":12"
 - SHAMPOO NICHE
 - TILED SHOWER/TUB SEAT. SLOPE TO DRAIN
 - INTEGRAL W/ TUB DECK
 - HOT WATER TANK W/ SEISMIC STRAPS. EXPANSION TANK W/ POP-OFF TO EXTERIOR. AND REIRC. SYSTEM
 - W/ DRAIN PAN IN AREAS ABV. LIVING SPACE
 - FORGEIR UNIT
 - MAINTAIN 3" CLEARANCE BETWEEN UNIT & WALLS
 - BOILER
 - 18" MIN. RAISED MECHANICAL PLATFORM
 - 3" DIA. PIPE BOLLARD
 - CRAWL SPACE ACCESS
 - ATTIC ACCESS
 - C.M.U. PEDESTALS W/ STONE VENEER 1:12 BATTER. SLOPED STONE CAP.
 - HAND STACKED ROCKERY WALL. SEE GRADING PLAN
 - BUILT IN STONE BENCH W/ W.I. BACK
 - WALKS AND TERRACES TO BE DRY SET CONC. PAVERS - VERIFY WITH OWNER & LANDSCAPE CONTRACTOR
 - CONC. AC UNIT SLAB. SLOPE TO DRAIN. COLOR TO MATCH PAVERS.

GENERAL NOTES:

- SEE SHT. SP-1 & SP-2 PROJECT SPECIFICATIONS FOR INFORMATION PERTINENT TO THE CONSTRUCTION OF THIS PROJECT.
- SOME ROOMS HAVE SCISSOR TRUSSES TO ALLOW FOR FIELD FRAMED COFFERED CEILINGS AND HIGH GABLE END WINDOWS.
- INTERIOR WALLS: 2x4 STUDS @ 16" O.C. U.N.O.
- CONTRACTOR TO VERIFY OVERHEAD GARAGE DOOR CLEARANCE IN REAR POSITION.
- ALL WALL MOUNTED ITEMS SUCH AS, BUT NOT LIMITED TO, CABINETS, APPLIANCES, GRAB BARS, & TOWEL BARS TO HAVE SLD BLOCKING IN WALLS BEHIND ITEMS.
- PROVIDE SAFETY GLAZING IN HAZARDOUS LOCATIONS PER I.R.C. SECTION R308.
- SOUND INSULATE ALL INTERIOR PLUMBING WALLS (BATH ROOMS AND WALL AREAS W/ DRAIN LINES FROM ABOVE. SEAL/SECTION 500 SPRAY FOAM INSULATION WALL SYSTEM.
- FIREPLACE MANTEL AND SURROUND TO BE VENTED W/ ARCHITECT AND OWNER PRIOR TO CONSTRUCTION.
- PROVIDE ATTIC ACCESS PER I.R.C. SECTION R807.
- PROVIDE CRAWL SPACE ACCESS AND CLEARANCES PER I.R.C.
- SLEEPING ROOMS WITHOUT DIRECT EGRESS DOORS SHALL HAVE AT LEAST ONE WINDOW THAT COMPLIES WITH I.R.C. SECTION R310.1.
- PROVIDE WATER-RESISTANT GYPSUM BOARD AT LOCATIONS REQUIRED PER I.R.C. SECTIONS R703 AND R702.4.
- DO NOT INSTALL HYDRONIC LINES AT BED LOCATIONS.
- HANDRAIL. COMPLY W/ 206 IBC SEC. R312.
- SEE EXTERIOR ELEV. FOR EXTENT OF STONE VENEER.
- AT ALL AREAS WHERE PAVERS ABUT EXTER. WALL, INSTALL 6" WIDE TRENCH DRAIN W/ DECORATIVE CAST IRON GRATE BY IRON AGE DESIGNS. GRATE TO BE LOCUST 6" STYLE, ADA ACCESSIBLE. DRAIN CHANNEL BY NDS OR EQ. INSTALL HEAT TAPE AS REQ'D.

These plans have been reviewed and approved as required under TRPA Rules, Regulations and Ordinances only. TRPA has not reviewed and shall not be responsible for any elements contained in these plans, i.e. structural, electrical, mechanical, etc. which are not required for review under said Rules, Regulations and Ordinances.

TAHOE REGIONAL PLANNING AGENCY

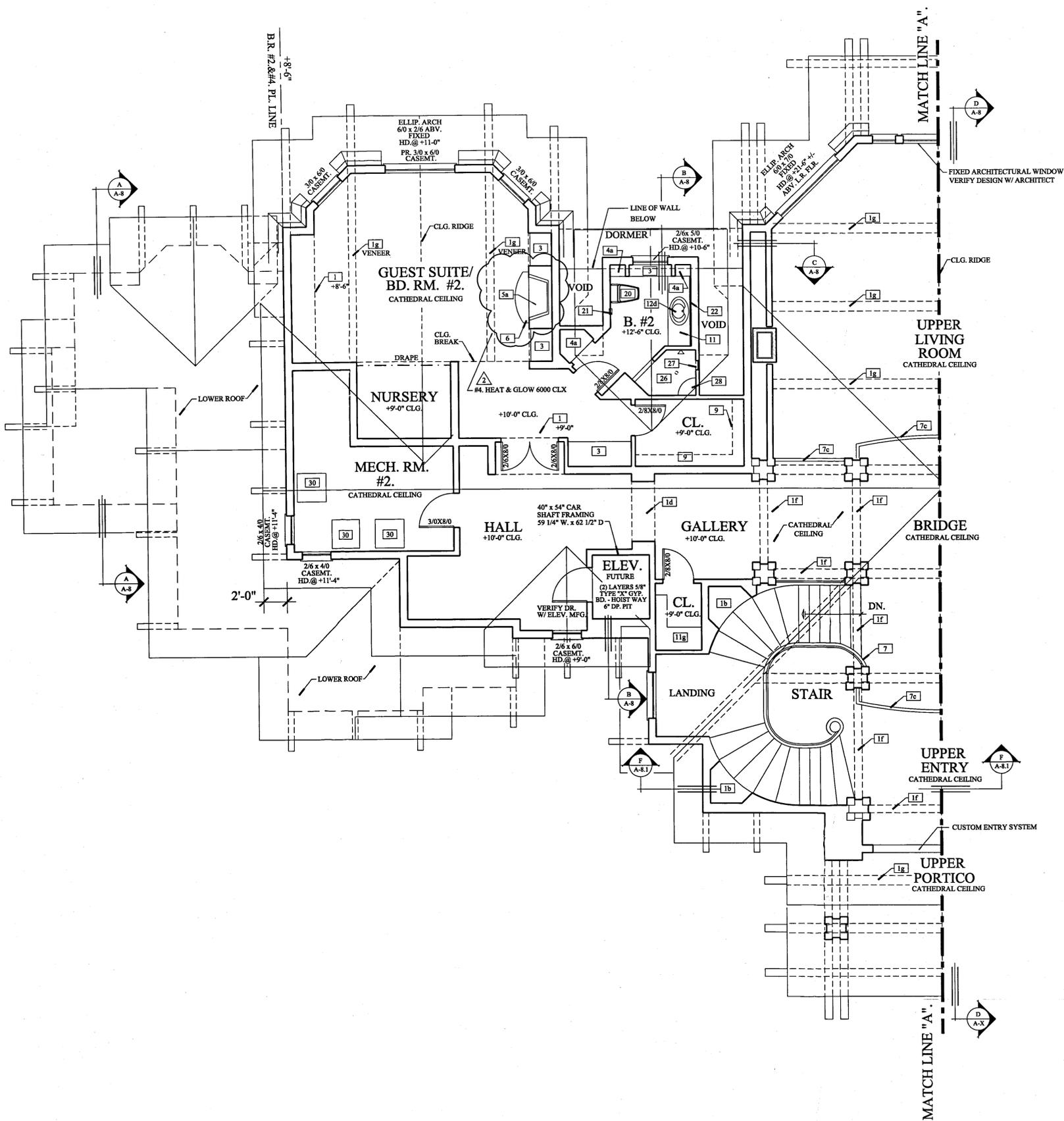
ATTIC AND CRAWL SPACE ARE NOT VENTED AND ARE TO BE A CLOSED SYSTEM WITH 5/8" ABV. APPLIED POLYURETHANE FOAM INSULATION. SEAL/SECTION 500" BY FOAM INSULATION SOLUTIONS OR APPROVED EQUAL. INSTALL AIR EXCHANGERS AS REQUIRED.

NOTE: SEE 1/8" SCALE DIMENSION PLANS AND STRUCTURAL FOR WALL FRAMING LAYOUT DIMENSIONS.

M.L. LIVING SPACE = 7,756 +/- S.F.
 U.L. LIVING SPACE = 3,787 +/- S.F.
 TOTAL FINISHED LIVING SPACE = 11,543 +/- S.F.
 UNFINISHED BONUS RM. = 1,029 +/- S.F.
 GARAGE = 1,324 +/- S.F.
 B.B.Q. PAVILION = 109 +/- S.F.
 TOTAL STRUCTURE = 14,005 +/- S.F.
 TERRACE = 4,426 +/- S.F.
 ENTRY PORCH = 389 +/- S.F.

MAIN LEVEL PLAN-WEST
 SCALE 1/4" = 1'-0"

APPROVED
 THIS APPROVAL EXPIRES ON
 APR 19 2014
 Wendy Johnson, S-21-11
 REGISTERED ARCHITECT
 TAHOE REGIONAL PLANNING AGENCY



FLOOR PLAN KEY NOTES

NOTE: ALL ITEMS LISTED MAY NOT OCCUR ON THIS PROJECT

- 1. SOFFIT - HT. PER PLAN
 - a. POT SHELF - HT. AS NOTED
 - b. RECESSED ART NICHE
 - c. RECESSED TV NICHE
 - d. ARCHED SOFFIT - SEE RECOM. ARCH. PROFILES
 - e. RECESSED TOWEL NICHE
 - f. FALSE DECORATIVE CEILING BEAMS
 - g. EXPOSED STRUCTURAL CEILING BEAM
 - h. PASS-THROUGH OPENING. VERIFY SIZE
- 2. FURRED WALL - DIM. PER PLANS
 - a. STRUCTURAL POST FURRED OR PADDED TO 8"
 - b. PEDESTAL - HT. PER PLAN
 - c. COURTYARD WALL - HT. AS NOTED ON ELEVATIONS
- 3. BUILT IN CABINERY
 - a. WINE RACK
 - b. BOOK CASE
 - c. CHINA CABINERY
 - d. BUFFET SIDEBOARD
 - e. PANTRY SHELVEING
 - f. DISPLAY CASE, HEIGHT AS SHOWN
- 4. FACE FRAMED CABINERY
 - a. LINEN CLOS./MEDICINE CABINET
 - b. BROOM CLOSET
 - c. CONCEALED IRONING BOARD
 - d. ENTERTAINMENT CENTER/AV ENCLOSURE
 - e. FACE FRAMED PANTRY
 - f. ILLUMINATIONS ELECTRIC FIREPLACE BY FIREPLACE EXTERRORDNAIR
- 5. AGA RATED GAS APPLIANCE FIREPLACE
 - a. EXTERIOR RATED GAS APPL.
 - b. WOOD BURNING FIREPLACE. SEE DETAIL.
- 6. DECORATIVE MANTLE, HEARTH, & SURROUND
- 7. HANDRAIL - 34" - 38" ABV. STAIR NOSING
 - a. +42" PEDESTAL
 - b. +36" WALL MOUNTED HANDRAIL
 - c. +39" W.I. RAILING
 - d. OPEN STRINGER STAIR W/ W.I. RAILING
- 8. BENCH/SEAT +20" A.F.F. U.N.O.
 - a. W/ COAT HANGER PEGS ABV.
 - b. W/ SHELVEING ABV.
 - c. SHELF & POLE @ 9" A.F.F. U.N.O.
- 9. BUILT IN DRESSER
 - a. LAUNDRY HANGING ROD
 - b. IRONING CENTER
- 10. ISLAND W/ BASE CABINERY
 - a. SIZE & SHAPE PER OWNER - HT. AS NOTED
- 11. +36" COUNTER W/ BASE CABINETS
 - a. +30" COUNTER W/ KNEE SPACE BLW.
 - b. +36" COUNTER W/ WALL MTD. CABINERY ABV.
 - c. WALL MTD. CABINERY ONLY
 - d. +30" COMPUTER DESK
 - e. STORAGE CABINET
 - f. 14" DEEP WALL MTD. CABINERY.
 - g. +36" COUNTER 27" DP. W/ 14" DP. WALL MTD. CABINERY ABV.
 - h. SHELVEING
- 12. SINK
 - a. PEDESTAL SINK
 - b. DOUBLE SINK
 - c. BAR OR PERI SINK
 - d. LAV. SINK
 - e. LAUNDRY/UTILITY SINK
 - f. REC. COUNTER SINK
 - g. PET SHOWER
- 13. OVEN
 - a. COOK TOP
 - b. 48" RANGE W/ 60" DEC. HOOD
 - c. 30" DBL. OVEN
- 14. MICROWAVE OVEN
 - a. WARMING DRAWER
 - b. COFFEE STATION
 - c. MICROWAVE DRAWER
 - d. 48" BBQ W/ 15" SIDE BURNER. HOOD INSERT ABV.
- 15. REFRIGERATOR-STUB WATER FOR ICE MAKER.
 - a. UNDER COUNTER WINE REF.
 - b. UNDER COUNTER BUV. REF.
 - c. BEER TAP
 - d. FREEZER
 - e. UNDER COUNTER ICE MAKER
 - f. WINE REFRIGERATOR (FULL HT.)
- 16. UNDER COUNTER DISH WASHER
 - a. DISH WASHER DRAWER
 - b. TRASH COMPACTOR
- 17. IN-SINK GARBAGE DISPOSAL
- 18. WASHER
- 19. DRYER - VENT TO EXTERIOR
- 20. TOILET - PROVIDE 12" CLEAR @ EA. SIDE
- 21. BIDET
- 22. TOILET PAPER HOLDER
- 23. MIRROR
- 24. 24" U.N.O. TOWEL BAR
 - a. TOWEL RING
- 25. RECESSED MEDICINE CABINET
 - a. SURFACE MOUNTED MEDICINE CABINET
- 26. BATH TUB
 - a. JETTED TUB - PROVIDE ACCESS PANEL FOR TUB JET MAINTENANCE
- 27. SHOWER ENCLOSURE
 - a. FULL HT. CERAMIC TILE INT. FINISH ON 1/2" CEMENT BOARD
 - b. SHOWER HEADS @ 6'-0"
 - c. TEMP. GL. DOOR ON 4" CURB - SIZE AS NOTED
 - d. RAIN HEAD SHOWER HEAD
 - e. STEAM SHOWER UNIT & ACCESS PANEL
- 28. SHAMPOO NICHE
 - a. INTEGRAL W/ TUB SEAT
- 29. HOT WATER TANK W/ SEISMIC STRAPS, EXPANSION TANK W/ POP-OFF TO EXTERIOR, AND REIRC. SYSTEM
 - a. W/ DRAIN PAN IN AREAS ABV. LIVING SPACE
- 30. FORCED AIR UNIT
 - a. MAINTAIN 3" CLEARANCE BETWEEN UNIT & WALLS
 - b. BOILER
- 31. +18" MIN. RAISED MECHANICAL PLATFORM
 - a. 3" DIA. PIPE BOLLARD
- 32. CRAWL SPACE ACCESS
- 33. ATTIC ACCESS
- 34. C.M.U. PEDESTALS W/ STONE VENEER 1:12 BATTER. SLOPED STONE CAP.
- 35. HAND STACKED ROCKERY WALL. SEE GRADING PLAN
- 36. BUILT IN STONE BENCH W/ W.I. BACK
- 37. WALKS AND TERRACES TO BE DRY SET CONC. PAVERS - VERIFY WITH OWNER & LANDSCAPE CONTRACTOR

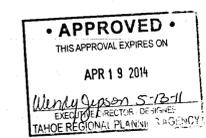
GENERAL NOTES:

1. SEE SHT. SP-1 & SP-2 PROJECT SPECIFICATIONS FOR INFORMATION PERTINENT TO THE CONSTRUCTION OF THIS PROJECT.
2. SOME ROOMS HAVE SCISSOR TRUSSES TO ALLOW FOR FIELD FRAMED COFFERED CEILINGS AND HIGH GABLE END WINDOWS.
3. INTERIOR WALLS 2x4 STUDS @ 16" O.C. U.N.O.
4. CONTRACTOR TO VERIFY OVERHEAD GARAGE DOOR CLEARANCE IN BED POSITION.
5. ALL WALL MOUNTED ITEMS SUCH AS, BUT NOT LIMITED TO, CABINETS, APPLIANCES, GRAB BARS, & TOWEL BARS TO HAVE SOLID BLOCKING IN WALLS BEHIND ITEMS.
6. PROVIDE SAFETY GLAZING IN HAZARDOUS LOCATIONS PER I.R.C. SECTION R308.
7. SOUND INSULATE ALL INTERIOR PLUMBING WALLS (BATH ROOMS) AND WALL AREAS W/ DRAIN LINES FROM ABOVE. SELECTION 500 SPRAY FOAM INSULATION WALL SYSTEM.
8. FIREPLACE MANTEL AND SURROUND TO BE VERIFIED W/ ARCHITECT AND OWNER PRIOR TO CONSTRUCTION.
9. PROVIDE ATTIC ACCESS PER I.R.C. SECTION R907.
10. PROVIDE CRAWLSPACE ACCESS AND CLEARANCES PER I.R.C.
11. SLEEPING ROOMS WITHOUT DIRECT EGRESS DOORS SHALL HAVE AT LEAST ONE WINDOW THAT COMPLIES WITH I.R.C. SECTION R310.1.
12. PROVIDE WATER-RESISTANT GYPSUM BOARD AT LOCATIONS REQUIRED PER I.R.C. SECTIONS R702.3 AND R702.4.
13. DO NOT INSTALL HYDRONIC LINES AT BED LOCATIONS.
14. HANDRAIL COMPLY W/ 2006 IRC SEC. R312
15. SEE EXTERIOR ELEV. FOR EXTENT OF STONE VENEER.

ATTIC AND CRAWL SPACE ARE NOT VENTED AND ARE TO BE A CLOSED SYSTEM WITH SPRAY APPLIED POLYURETHANE FOAM INSULATION. "SELECTION 500" BY FOAM INSULATION SOLUTIONS OR APPROVED EQUAL. INSTALL AIR EXCHANGERS AS REQUIRED.

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 B.B.Q. PAVILION = 109 +/- S.F.
 TOTAL STRUCTURE = 14,005 +/- S.F.

TERRACE = 4,426 +/- S.F.
 ENTRY PORCH = 389 +/- S.F.



UPPER LEVEL PLAN-EAST
 SCALE 1/4" = 1'-0"

REVISIONS	DATE	BY
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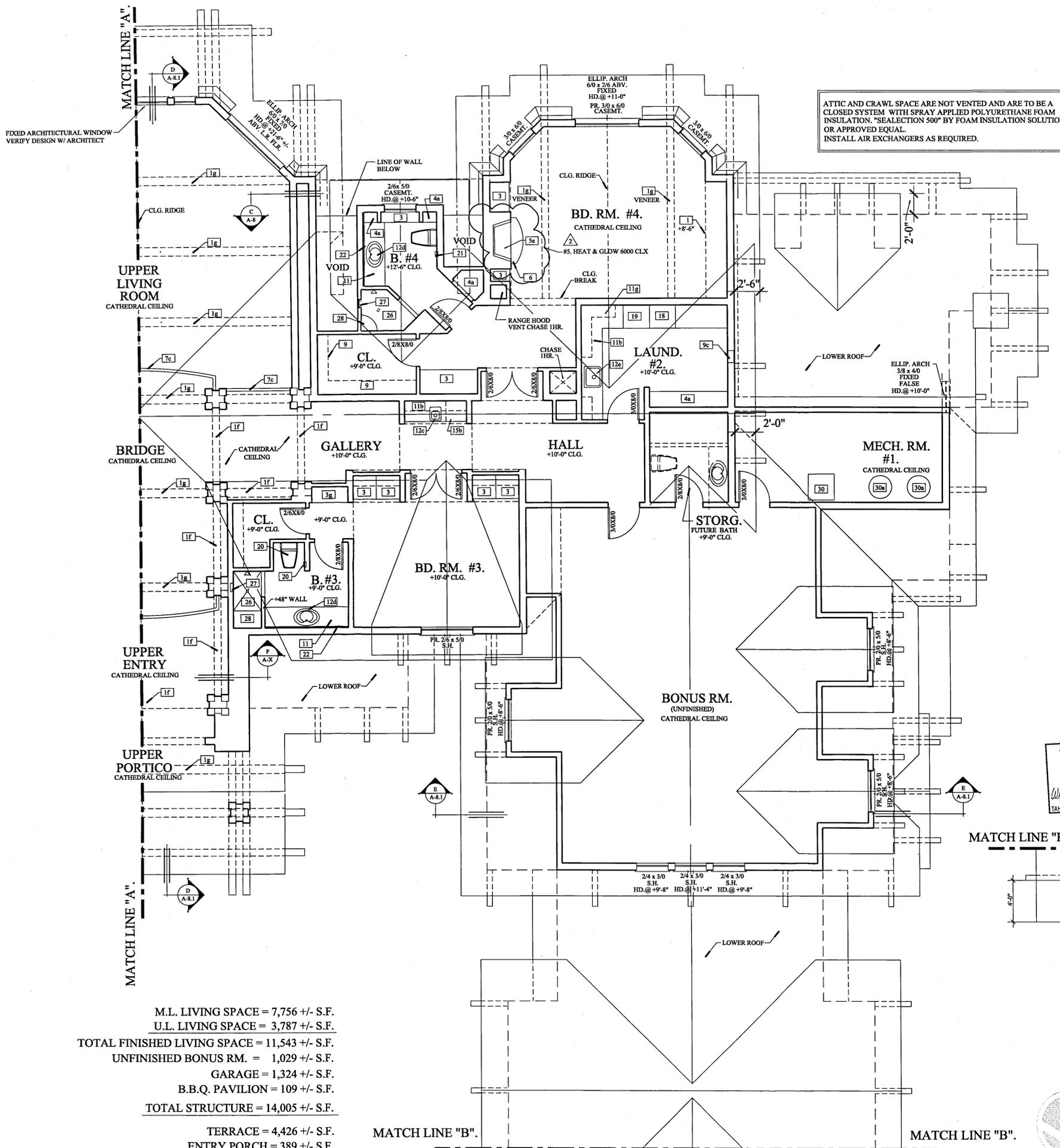
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GAIL RICHIE ARCHITECT, L.L.C.
 ARCHITECT

O'NEAL RESIDENCE
 FLOOR PLAN UPPER LEVEL-EAST



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M.L. LIVING SPACE = 7,756 +/- S.F.
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FLOOR PLAN KEY NOTES

- NOTE: ALL ITEMS LISTED MAY NOT OCCUR ON THIS PROJECT.
- SOFFIT - HT. PER PLAN
 - POT SHELF - HT. AS NOTED
 - RECESSED TV NICHE
 - ARCHED SOFFIT - SEE RECOM. ARCH PROFILES
 - RECESSED TOWEL NICHE
 - FALSE DECORATIVE CEILING BEAMS
 - EXPOSED STRUCTURAL CEILING BEAM
 - PASS-THROUGH OPENING. VERIFY SIZE
 - FURRED WALL - DIM. PER PLANS
 - STRUCTURAL POST FURRED OR PADDED TO 8"
 - PEDESTAL - HT. PER PLAN
 - COURTYARD WALL - HT. AS NOTED ON ELEVATIONS
 - BUILT IN CABINERY
 - WINE RACK
 - BOOK CASE
 - CHINA CABINERY
 - BUFFET SIDEBORD
 - PANTRY SHELVING
 - DISPLAY CASE. HEIGHT AS SHOWN.
 - FACE FRAMED CABINERY
 - LINEN CLOS. MEDICINE CABINET
 - BROOM CLOSET
 - CONCEALED IRONING BOARD
 - ENTERTAINMENT CENTER/AV ENCLOSURE
 - FACE FRAMED PANTRY
 - ILLUMINATIONS ELECTRIC FIREPLACE BY FIREPLACE EXTENDING
 - AGA RATED GAS APPLANCE FIREPLACE
 - EXTERIOR RATED GAS APPL.
 - WOOD BURNING FIREPLACE. SEE DETAIL.
 - DECORATIVE MANTLE, HEARTH, & SURROUND
 - HANDRAIL - 34" ABV. STAIR NOSING
 - 42" PEDESTAL
 - 34" WALL MOUNTED HANDRAIL
 - 33" W/RAILING
 - OPEN STRINGER STAIR W/ W.I. RAILING
 - BENCH SEAT +20" A.F.F. U.N.O.
 - W/ COAT HANGER HOOKS ABV.
 - W/ SHELVING ABV.
 - SHelf & Pcle @ 74" A.F.F. U.N.O.
 - BUILT IN DRESSER
 - LAUNDRY HANGING ROD
 - BROWNING CENTER
 - ISLAND W/BASE CABINERY
 - SIZE & SHAPE PER OWNER. HT. AS NOTED
 - 36" COUNTER W/ BASE CABINETS
 - 39" COUNTER W/ KNEE SPACE BLW.
 - 36" COUNTER W/ WALL MTD. CABINERY ABV.
 - WALL MTD. CABINERY ONLY
 - 30" COMPUTER DESK
 - STORAGE CABINET
 - 14" DEEP WALL MTD. CABINERY
 - 30" COUNTER 27" DP. W/ 14" DP. WALL MTD. CABINERY ABV.
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 - OVEN
 - COOK TOP
 - 48" RANGE W/ 60" DEC. HOOD
 - 30" DBL. OVEN
- GENERAL NOTES:**
- SEE SHT. SP-1 & SP-2 PROJECT SPECIFICATIONS FOR INFORMATION PERTINENT TO THE CONSTRUCTION OF THIS PROJECT.
 - SOME ROOMS HAVE SCISSOR TRUSSES TO ALLOW FOR FIELD FRAMED COFFERED CEILINGS AND HIGH GABLE END WINDOWS.
 - INTERIOR WALLS 2x4 STUDS @ 16" O.C. U.N.O.
 - CONTRACTOR TO VERIFY OVERHEAD GARAGE DOOR CLEARANCE IN RAISED POSITION.
 - ALL WALL MOUNTED ITEMS SUCH AS, BUT NOT LIMITED TO, CABINETS, APPLIANCES, GRAB BARS, & TOWEL BARS TO HAVE SOLID BLOCKING IN WALLS BEHIND ITEMS.
 - PROVIDE SAFETY GLAZING IN HAZARDOUS LOCATIONS PER I.R.C. SECTION R308.
 - SOUND INSULATE ALL INTERIOR PLUMBING WALLS (BATH ROOMS) AND WALL AREAS W/ DRAIN LINES FROM ABOVE. SELECTION 500 SPRAY FOAM INSULATION WALL SYSTEM.
 - FIREPLACE MANTLE AND SURROUND TO BE VERIFIED W/ ARCHITECT AND OWNER PRIOR TO CONSTRUCTION.
 - PROVIDE ATTIC ACCESS PER I.R.C. SECTION R807.
 - PROVIDE CRAWL SPACE ACCESS AND CLEARANCES PER I.R.C.
 - SLEEPING ROOMS WITHOUT DIRECT EGRESS DOORS SHALL HAVE AT LEAST ONE WINDOW THAT COMPLES WITH I.R.C. SECTION R310.1.
 - PROVIDE WATER-RESISTANT GYPSUM BOARD AT LOCATIONS REQUIRED PER I.R.C. SECTIONS R703 AND R702.4.
 - DO NOT INSTALL HYDRONIC LINES AT BED LOCATIONS.
 - HANDRAIL COMPLY W/ 2006 IRC SEC. R312.
 - SEE EXTERIOR ELEVS. FOR EXTENT OF STONE VENEER.

APPROVED
 THIS APPROVAL EXPIRES ON
 APR 19 2014
 Wendy Sporn S13-11
 EXECUTIVE DIRECTOR DESIGNER
 TAHOE REGIONAL PLANNING AGENCY

REVISIONS

04.27.11	TRPA
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O'NEAL RESIDENCE
 FLOOR PLAN UPPER LEVEL - WEST



DATE:	02.17.11
DRAWN:	
GR CHECKED:	
OR FILE NAME:	
SHEET:	A-4.1

UPPER LEVEL PLAN-WEST
 SCALE 1/4" = 1'-0"