

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: 460 Gonowable Variance			
Project Description: 460 Gonowable setback variance. For additional information please see attached submittal letter and packet.			
Project Address: 460 Gonowable			
Project Area (acres or square feet): 14,564			
Project Location (with point of reference to major cross streets AND area locator): Gonowable Road, approx. 1 mile south of CA/NV border			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
123-131-04	.33		
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: Gonowable Properties, LLC		Name: Midkiff & Associates, Inc.	
Address: P.O. Box 14001-174		Address: P.O. Box 12427, Zephyr Cove, NV	
Ketchum, ID	Zip: 83340		Zip: 89448
Phone: Contact Consultant		Phone: 588-1091	
Fax: Consultant		Fax: 588-1091	
Email: Consultant		Email: nick@midkiffandassoc.com	
Cell: Consultant	Other: Consultant	Cell: 775-240-9361	Other:
Contact Person: Contact Consultant		Contact Person: Nick Exline	
Applicant/Developer:		Other Persons to be Contacted:	
Name: Contact Consultant		Name: Contact Consultant	
Address:		Address:	
	Zip:		Zip:
Phone:	Fax:	Phone:	Fax:
Email:		Email:	
Cell:	Other:	Cell:	Other:
Contact Person:		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Property Owner Affidavit

Applicant Name: Gonowebic Properties, LLC - David Duffield

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF ^{Idaho} NEVADA)
COUNTY OF ^{Blaine} WASHOE)

I, David A. Duffield
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 123-131-04

Printed Name David A. Duffield

Signed [Signature]

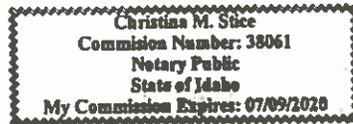
Address _____

Subscribed and sworn to before me this 15th day of November, 2019.

[Signature]
Notary Public in and for said county and state

My commission expires: 07-09-2020

(Notary Stamp)



*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

Variance Application Supplemental Information

(All required information may be separately attached)

1. What provisions of the Development Code (e.g. front yard setback, height, etc.) must be waived or varied to permit your request?

Front Yard Setback (110.406.05.1) MDS - 20' Front Yard Setback.

You must answer the following questions in detail. Failure to provide complete and accurate information will result in denial of the application.

2. What are the topographic conditions, extraordinary or exceptional circumstances, shape of the property or location of surroundings that are unique to your property and, therefore, prevent you from complying with the Development Code requirements?

Steep slope (33%+) and parcel configuration abutting road.

3. What steps will be taken to prevent substantial negative impacts (e.g. blocking views, reducing privacy, decreasing pedestrian or traffic safety, etc.) to other properties or uses in the area?

Garage closer to road will improve views - see submittal letter.

4. How will this variance enhance the scenic or environmental character of the neighborhood (e.g. eliminate encroachment onto slopes or wetlands, provide enclosed parking, eliminate clutter in view of neighbors, etc.)?

Scenic, community, health & safety, environment - see submittal letter.

5. What enjoyment or use of your property would be denied to you that is common to other properties in your neighborhood?

Enclosed garage require per Washoe County Code - see submittal letter.

6. Are there any restrictive covenants, recorded conditions or deed restrictions (CC&Rs) that apply to the area subject to the variance request?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please attach a copy.
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7. How is your current water provided?

IVGID

8. How is your current sewer provided?

IVGID

December 16, 2019

Washoe County Community Services (Planning)
1001 E. Ninth Street
Reno, NV 89512



GONOWABIE PROPERTIES, LLC – WASHOE COUNTY DEVELOPMENT APPLICATION (VARIANCE APPLICATION), 460 GONOWABIE RD., CRYSTAL BAY, NV, ASSESSOR'S PARCEL NUMBER (APN) 123-131-04.

Dear Washoe County Staff:

The Washoe County Development (Variance) application is being submitted by Midkiff & Associates, Inc. ("the Consultant") on behalf of Gonowabie Properties, LLC ("Property Owner") for the Subject Parcel.

Site Condition

As the attached photo packet represents, the Subject Parcel is a vacant and heavily vegetated with indigenous vegetation including, manzanita and pine. The Subject Parcel maintains a steep slope in excess of 33% and slopes from Gonowabie Road, toward the shoreline of Lake Tahoe. There are intermittent granite boulders onsite.

Project Description

The existing single-family residential parcel is currently zoned Medium Density Suburban (MDS). The Property Owner is seeing a variance to the front yard setback. Washoe County Development Code subsection 110.406.05.1 establishes the MDS front yard setback at 20'.

The Property Owner is proposing to reduce the front yard setback to 0' for the decking and 6.6' for the garage to allow for the construction of a two (2) car garage. It is important to note, that although the garage will be 6.6' from the property line, it will be 40' to 57' from Gonowabie Road. The garage will be attached to a new-single family residence on the Subject Parcel. The Tahoe Regional Planning Agency (TRPA) will review the new-single family dwelling application.

Hardship

As a result of the steep slope and irregular parcel configuration of the Subject Parcel a front setback variance is needed to construct an enclosed, two (2) car garage. Approving the variance and allowing for the construction of a two (2) car garage, will provide scenic, environmental and human health & safety benefits (discussed below).

Steep Slope

The Subject Parcel has slopes in excess of 33%. If the proposed garage adhered to the required 20' front yard setback it would push the proposed garage further down the slope. When factoring in TRPA height limitations, driveway (bridge) slope allowances, and other regulatory requirements, adhering to the 20' setback would not be possible with the development of a two (2) car garage.

Parcel Configuration

Unlike the other parcels abutting Gonowabie, the Subject Parcel has a triangle shaped gap that bisects the Subject Parcel from Gonowabie. This triangle shaped gap separates the Subject Parcel from Gonowabie Road by approximately 40' to 57' with the approved variance. When you include a 20' setback, the proposed garage would be approximately 60' to 87' from Gonowabie Road.

Variance Benefits

Scenic Benefits

The Subject Parcel is abutting an existing residence to the South and a proposed residence to the north. Both the northerly and southerly abutting parcels do not have the same parcel irregularities, which allowing their garages to be located closer to the road. Both the existing and proposed abutting residences view corridors are directed toward the lake. The further the proposed garage is pushed toward the lake, the more the garage will be located in the existing view corridors. Allowing for the variance, will allow the proposed garage to be located further up the slope and outside of existing view corridors of the abutting residences. As a result of grade difference between the lake and non-lake parcels, the existing residence located across the street view will not be impacted by the granting of the proposed variance.

Environmental Benefit

Allowing for the proposed garage and attached residence to be constructed closer to the road and further away from the Shoreline is a TRPA established environmental benefit.

Human Health & Safety Benefits

An enclosed garage on the Subject Parcel is not only required by Washoe County, but will also provide a human health & safety benefit to the residents. As previously stated, requiring the garage to adhere to a 20' setback would push the garage downslope, requiring a steep bridge access. Due to Tahoe's snowy conditions, steep slope driveways are not advisable and depending on degree of slope prohibited by Washoe County Code. The Variance will allow for a flat ingress/egress to the parcel. This flat ingress/egress to the residence constitutes a human health and safety benefit to the future residents.

Community Character

As a result of the topographic realities along Gonowabie, numerous residences have received setback variances to allow for their construction. It was even discussed during a Washoe County Area Plan meeting, that perhaps Gonowabie should be exempt from variances as a result of the inherent need and site realities. Nearly all residences on the lakeside of Gonowabie road maintain a very similar design to what the Applicants are proposing. The common design includes a bridge from Gonowabie accessing a garage at street level with internal access to the residence. The Applicants proposal mimics the design and parking configuration as utilized by nearly all residences along Gonowabie.

No negative impacts are anticipated as a result of the proposed variance. The parcels located directly across the street from the Subject Parcel are single-family residential parcels. As a result of the grade

change, the proposed variance will have no impact to the existing views from the residences located across the street.

The abutting parcels to the north (proposed) and south (existing) are single family dwellings. As the attached photo packet represents, the proposed variance will not impact the current enjoyed views by the neighbors. The view corridors for the abutting residence are focused away from the proposed garage and toward the lake. The approval of the variance will ensure that the proposed 460 residence does not block any existing view. If the Applicant was forced to adhere to required setbacks, it would push the garage further down the slope and this would impact the neighboring views. The granting of this variance will ensure that existing view corridors are maintained. In addition, the proposed variance will have no impact on the neighbors' privacy or have any impact on safety.

Conclusion

As discussed throughout this document, the Subject Parcel maintains a hardship as a result of the steep slope of the parcel and unique parcel configuration. The proposed design of the garage is consistent with nearly all residence along Gonowabie Road and will bring the existing residence more into conformance with the character of the area. The proposed variance will ensure that the garage will not be pushed down the slope of the parcel, blocking existing view corridors and will instead maintain the existing view corridors for the abutting parcels

The granting of the proposed variance will Allow for the proposed garage and attached residence to be constructed closer to the road and further away from the Shoreline, which is a TRPA established environmental benefit. The flat ingress/egress that would be achievable by the granting of the variance would provide safer ingress/egress to the residence. Finally, numerous parcels along Gonowabie have obtained variances due to the unique nature of the Road. The granting of this variance would align and be consistent with other variance approval on Gonowabie. Utilizing this rationale, we would request that Washoe County staff recommend approval of the proposed variance.

I trust the above (and attached) is acceptable. If you require any additional information, or have any further questions/comments, please do not hesitate to contact me.

Sincerely,



Nicholas D. Exline
Senior Planner, AICP

Enc.

Amount	Document
1	Original Owner Affidavit
2	Copies Owner Affidavit
1	Original Application
2	Application Copies
1	Submittal Fee (\$1,546)
1	Title Report
3	Proof of Tax Payment
3	Plan Set (24" - 36")
3	Plan Set (8.5" - 11")
3	Photo Packet

Washoe County Treasurer
Tammil Davis

Washoe County Treasurer
P.O. Box 30039, Reno, NV 89520-3039
Ph: (775) 328-2510 fax: (775) 328-2500
Email: tax@washocounty.us

Bill Detail

[Back to Account Detail](#)

[Change of Address](#)

[Print this Page](#)

Washoe County Parcel Information

Parcel ID	Status	Last Update
12313104	Active	12/9/2019 2:07:59 AM

Current Owner:
GONOWABIE PROPERTIES LLC
PO BOX 14001-174
KETCHUM, ID 83340

SITUS:
460 GONOWABIE RD
CRYSTAL BAY NV

Taxing District
5200

Geo CD:

Legal Description

Lot 5 Block 13 Range 18 SubdivisionName_UNSPECIFIED Township 16 Section 19

Installments

Period	Due Date	Tax Year	Tax	Penalty/Fee	Interest	Total Due
INST 1	8/19/2019	2019	\$0.00	\$0.00	\$0.00	\$0.00
INST 2	10/7/2019	2019	\$0.00	\$0.00	\$0.00	\$0.00
INST 3	1/6/2020	2019	\$1,500.70	\$0.00	\$0.00	\$1,500.70
INST 4	3/2/2020	2019	\$1,500.70	\$0.00	\$0.00	\$1,500.70
Total Due:			\$3,001.40	\$0.00	\$0.00	\$3,001.40

Pay By Check

Please make checks payable to:
WASHOE COUNTY TREASURER

Mailing Address:
P.O. Box 30039
Reno, NV 89520-3039

Overnight Address:
1001 E. Ninth St., Ste D140
Reno, NV 89512-2845

Change of Address

All requests for a mailing address change must be submitted in writing, including a signature (unless using the online form).

To submit your address change online [click here](#)



Approx. 33% Slope

Gonowabie Properties, LLC
460 Gonowabie Road
APN: 123-131-04



Gonowabie Properties, LLC
460 Gonowabie Road
APN: 123-131-04



Gonowabie Properties, LLC
460 Gonowabie Road
APN: 123-131-04



Parcel Irregularity

Gonowabie Properties, LLC
460 Gonowabie Road
APN: 123-131-04

470 Gonowabie



Gonowabie Properties, LLC
460 Gonowabie Road
APN: 123-131-04

Located below existing View corridor Across the Street



Gonowabie Properties, LLC
460 Gonowabie Road
APN: 123-131-04



Gonowabie Properties, LLC
460 Gonowabie Road
APN: 123-131-04



Gonowabie Properties, LLC
460 Gonowabie Road
APN: 123-131-04

COVERAGE ANALYSIS

PROPOSED PERVIOUS DRIVEWAY [25SF X 25% REDUCTION]	= 14 SF
BUILDING FOOTPRINT	= 3,053 SF
MASTER CANTILEVER [W/ 3% COVERAGE REDUCTION]	= 51 SF
GARAGE CANTILEVER [W/ 3% COVERAGE REDUCTION = 159F]	= 15 SF
ENTRY CANTILEVER [W/ 3% COVERAGE REDUCTION = 45F]	= 4 SF
NOOK CANTILEVER [W/ 3% COVERAGE REDUCTION = 25F]	= 0 SF
SPA	= 0 SF
WALKWAY TO PIER [W/ 3% COVERAGE REDUCTION = 05F]	= 0 SF
WALKWAY STRUCTURAL PIERS	= 4 SF
DRIVEWAY DECK [W/ 3% COVERAGE REDUCTION = 200SF]	= 0 SF
ENTRY DECK [W/ 3% COVERAGE REDUCTION = 94F]	= 0 SF
LAKEVIEW DECK [W/ 3% COVERAGE REDUCTION = 155SF]	= 0 SF
SPA DECK [60 SF W/ 0 SF COVERAGE REMAINING AFTER EXEMPTIONS]	= 0 SF
TOTAL PROPOSED COVERAGE	= 3,364 SF
TOTAL ALLOWABLE COVERAGE	= 3,361 SF
MAXIMUM ALLOWABLE EXEMPTIONS	= 1,456 SF

PROPOSED PERVIOUS DECK EXEMPTIONS	= 531 SF
FIRST 500SF 100% EXEMPTION [500SF - 500SF = 345F]	= 345 SF
NEXT 125SF 80% EXEMPT [DRSF X 80% = 315F]	= 252 SF
TOTAL PROPOSED PERVIOUS DECK EXEMPTIONS	= 531 SF

PROPOSED EXEMPTION SUMMARY	= 6 SF
PROPOSED PERVIOUS PAVEMENT EXEMPTION 25SF = 18SF + 6SF]	= 6 SF
PERVIOUS DECK EXEMPTIONS	= 531 SF
TOTAL PROPOSED COVERAGE EXEMPTIONS	= 531 SF

CLASS 1b COVERAGE REQUIRED FOR PIER	= 102 SF
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SLOPE CALCULATION

Δ	= 15'-0" [6266.00' - 6271.00' = 15'-0"]
L	= 56'-4"
SLOPE	= 25.6% [5/20.5]

NOTES

- SURVEY INFORMATION PROVIDED BY LICENSED LAND SURVEYOR.
- BUILDING SHALL BE SITED BY A REGISTERED CIVIL ENGINEER. EXACT LOCATION TO BE VERIFIED IN FIELD. NOTIFY DESIGNER/ENGINEER OF ANY CONFLICTS PRIOR TO PROCEEDING WITH WORK.
- ALL ELEVATIONS ARE BASED ON EXISTING SITE INFORMATION PROVIDED BY A LICENSED LAND SURVEYOR. THE CONTRACTOR SHALL CONFIRM GRADING, SITE DRAINAGE, AND BUILDING FINISH FLOOR ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE DRAINAGE SYSTEMS. A DRAINAGE SHALE SHALL BE PROVIDED AT THE PERIMETER OF BUILDING TO INSURE POSITIVE DRAINAGE AWAY FROM THE BUILDING AT A MINIMUM 6 INCH FALL WITHIN TEN FEET [5% SLOPE] MEASURED PERPENDICULAR TO THE FACE OF THE WALL. EXCEPTION: WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 6 INCHES OF FALL WITHIN 10 FEET, DRAINING OR SHALE SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM THE BUILDING. IRC 403.8 ALL DRIP LINE TRENCHES SHALL BE CONNECTED TO SUBSURFACE DRAINPIPE AND DRYWELLS]. CONTRACTOR SHALL NOTIFY DESIGNER/ENGINEER OF ANY DRAINAGE RELATED ISSUES IMMEDIATELY.
- CONTRACTOR SHALL FIELD VERIFY ROUTING OF ALL PROPOSED UTILITIES AND UTILITY TRENCHES TO AVOID DAMAGE TO ANY TREES OR EXISTING ESTABLISHED VEGETATION. CONTRACTOR SHALL PROVIDE THE REQUIRED FENCING AROUND THE JOINT TRENCH CONNECTION TO THE RESIDENCE.
- CONTRACTOR SHALL INSTALL ALL UTILITIES PER HASKOE COUNTY REQUIREMENTS. VERIFY THE REQUIRED CLEARANCES WITH THE APPROPRIATE SERVING UTILITIES.
- WATER SUPPLY PIPING SHALL BE PROTECTED FROM FREEZING BY A 36" MINIMUM EARTH COVERING. WATER SUPPLY PIPING SHALL BE PROVIDED WITH AN APPROVED BACK FLOW PREVENTION DEVICE. WATER SERVICE SHALL BE INSTALLED 24" BELOW GRADE AT A LOCATION INSIDE THE FOUNDATION PERIMETER. EQUIPPED WITH A STOP AND DRAIN VALVE, AND FITTED WITH A HANDLE THAT IS READILY ACCESSIBLE. ALL WATER PIPING SHALL BE GRADED TO DRAIN. WATERLINE SHALL BE INSPECTED BEFORE COVERING. PE PIPE IS PROHIBITED IF MORE THAN 5 FEET INSIDE THE FOUNDATION.
- CONTRACTOR SHALL INSTALL AND MAINTAIN TEMPORARY UTILITIES AND SERVICES IN ACCORDANCE WITH LOCAL CODES AND REGULATIONS. TEMPORARY UTILITIES SHALL NOT INTERFERE WITH NATURAL SITE FEATURES SUCH AS TREES OR OTHER EXISTING ESTABLISHED VEGETATION. TEMPORARY HOOKUPS MUST BE PROVIDED WITH THEIR OWN MEANS OF SUPPORT.
- CONTRACTOR SHALL PROTECT ALL EXISTING ESTABLISHED VEGETATION WHETHER INSIDE OR OUTSIDE OF THE CONSTRUCTION ACTIVITY ZONE. CONTRACTOR SHALL HAND-DIG WITHIN THE DRIP LINE OF ALL EXISTING TREES.
- EROSION CONTROL DEVICES SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF ANY GRADING ACTIVITY ON PROPERTY. STRAIN RODS SHALL BE REQUIRED ON THE DOWNHILL SIDE OF ALL DISTURBED AREAS. AN AGGREGATE BASE FOR THE ENTIRE LENGTH OF THE DRIVEWAY SUCH AS 1/2" ROCK SHALL BE IN PLACE. ALL ERODABLE PILES SHALL BE COVERED WITH TARPS AND HELD DOWN WITH BOLDS. THE INSTALLATION OF THESE MEASURES WILL BE REQUIRED AT SUB-GRADE INSPECTION. PRIOR TO REQUESTING AN OCCUPANCY/FINAL INSPECTION, VERIFY THAT THE FINAL EROSION PROTECTION, SUCH AS PINE NEEDLES, ETC., HAS BEEN INSTALLED.
- CONTRACTOR SHALL NOT ATTACH ANYTHING TO EXISTING TREES OR ESTABLISHED VEGETATION. CONTRACTOR SHALL PROTECT ALL TREES MARKED TO BE PROTECTED AND SHALL FOLLOW ALL TREE PROTECTION SPECIFICATIONS SET FORTH IN REFERENCED DETAILS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SURVEY MARKERS. SURVEY MARKERS DAMAGED OR DESTROYED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
- ALL SITE MATERIAL NOT SUITABLE FOR FILL OR RE-VEGETATION SHALL BE REMOVED AND LEGALLY DISPOSED OF BY THE CONTRACTOR.
- CONTRACTOR SHALL PROVIDE 6 INCH ADDRESS NUMBERS ON RESIDENCE AS SPECIFIED BY OWNER AND DESIGNER/ENGINEER.
- DRIVEWAY CUT AND FILL SIDE SLOPES SHALL NOT EXCEED A SLOPE OF 2:1 IF EARTH FACED AND 1:1 IF ROCK FACED (HORIZONTAL/VERTICAL). THE TOP OF A CUT SLOPE SHALL HAVE A MINIMUM SEPARATION DISTANCE FROM A SIDE PROPERTY LINE EQUAL TO ONE FIFTH OF THE VERTICAL HEIGHT OF THE CUT WITH A MINIMUM OF 2 FEET AND A MAXIMUM OF 10 FEET. THE TOP OF A FILL SLOPE SHALL HAVE A SEPARATION DISTANCE FROM A PROPERTY SIDE EQUAL TO ONE HALF OF THE VERTICAL HEIGHT OF THE FILL WITH A MINIMUM OF 2 FEET AND A MAXIMUM OF 20 FEET.
- PORTA-POTTI REQUIRED ON JOB SITE AT TIME OF FIRST INSPECTION.
- CONSTRUCTION ACTIVITY ZONE FENCING SHALL BE 45 IN MINIMUM HEIGHT AND SHALL BE CONSTRUCTED OF METAL POSTS AND ORANGE CONSTRUCTION FENCING OR METAL MESH FENCING.
- FOR DESIGNATED PUMP OR FORCED MAIN LOTS:
 - PUMP AND HOLDING TANK SHALL BE INSTALLED IN A LOCATION SUCH AS TO BE REASONABLY ACCESSIBLE FOR INSPECTION AND MAINTENANCE.
 - PUMP SYSTEM SHALL MEET LOCAL SANITARY DISTRICT CODE REQUIREMENTS AND MANUFACTURERS SPECIFICATIONS.
 - A PRE-CONSTRUCTION MEETING WITH THE CONTRACTOR AND AN INSPECTOR IS REQUIRED PRIOR TO START OF CONSTRUCTION TO DISCUSS PUMP SYSTEM DESIGN.
 - A PUMP UNIT WITH A SEALED LID IS REQUIRED.
 - IF THE HOLDING TANK IS LOCATED OUTSIDE OF THE BUILDING FOUNDATION IT SHALL NOT BE LOCATED WITHIN 5 FEET OF ANY BUILDING USED AS A DWELLING OR WITHIN 10 FEET OF ANY PROPERTY LINE.
- SEWER CLEANOUT: A ONE-WAY CLEANOUT IS REQUIRED WITHIN 5 FEET OF WHERE THE LATERAL EXITS THE STRUCTURE FOUNDATION. CLEANOUT BOXES SHALL BE SET TO GRADE. LIDS SHALL HAVE "SEWER" OR EQUIVALENT IMPRINTED ON THE LID. CLEANOUT MUST REMAIN ACCESSIBLE AND MAY NOT BE COVERED BY PERMANENT TILES, ROCK, ECT. ALL SEWER FACILITIES MUST MEET LOCAL SANITARY DISTRICT CODE REQUIREMENTS.
- FIREKIT SHALL BE PLUMBED FOR GAS AND A FIREKIT KIT SHALL BE INSTALLED. A TIMER TO REGULATE MAXIMUM OPERATING TIME TO 3 HOURS MAX SHALL BE INSTALLED.
- ASTM LISTED SAFETY COVER IS REQUIRED FOR ALL SELF-CONTAINED SPAS.
- ESTABLISH AND MAINTAIN DEFENSIBLE SPACE SURROUNDING STRUCTURES IN ACCORDANCE WITH THE 2012 INTERNATIONAL WILDLAND URBAN INTERFACE CODE (IWUIC) WITH AMENDMENTS IN NLTFFD REGULATIONS 13-1 AND 13-2. A DEFENSIBLE SPACE INSPECTION IS REQUIRED TO PROVIDE FOR SAFE SEPARATION BETWEEN STRUCTURES AND MIDLAND VEGETATION. ALL ITEMS NOTED DURING THE INSPECTION MUST BE CORRECTED PRIOR TO PERMIT CLOSEOUT. CONTACT AN NLTFFD INSPECTOR AT (775) 831-0291 EXT. 818 TO SCHEDULE AN APPOINTMENT.
- ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE RE-VEGETATED IN ACCORDANCE WITH THE TRPA HANDBOOK ON BEST MANAGEMENT PRACTICES AND LIVING WITH THE LAKE TAHOE FIRE PROTECTION DISTRICT.
- NO BOLDERS OR ROCK OUTCROPS SHALL BE MOVED OR MODIFIED.
- THE VISUAL ASSESSMENT FOR THE PROPOSED PROJECT HAS BEEN REVIEWED AS A LEVEL 3, OPTION 2 OF SECTION 66.33 OF THE TRPA CODE OF ORDINANCES. SCENIC QUALITY REVIEW OF THE SHORELAND. THIS PROJECT HAS BEEN IDENTIFIED AS HAVING A SCORE OF 21 WITH A 126 FOOT LINEAR LAKE FRONTAGE WHICH ALLOWS FOR A TOTAL 1,018 SQUARE FEET OF VISIBLE AREA. THIS PROJECT PROPOSES 1,561 SQUARE FEET OF VISIBLE AREA, WHICH DOES NOT EXCEED 151% POSSIBLE ALLOWED VISIBLE SQUARE FEET.
- EXCAVATION SHALL NOT EXCEED 5 FEET BELOW GROUND SURFACE. ALL EXCAVATION WITHIN THE DRIP LINE OF TREES TO BE RETAINED SHALL BE PERFORMED BY HAND-DIGGING ONLY SO AS TO MINIMIZE ROOT DAMAGE.
- TREE AND STUMP REMOVAL SHALL CORRESPOND WITH NORTH TAHOE FIRE PROTECTION DISTRICT APPROVED PLANS.
- THERE SHALL BE NO TRACKING OF MATERIAL OFF THE SITE. INSTALL MEASURES TO PREVENT SOIL TRACKING INCLUDING BUT NOT LIMITED TO: GRAVEL PADS AND RUBBLE STRIPS. SHEEPING OF DIRT TRACKING ONTO PAVEMENT AT THE END OF EACH DAY IS REQUIRED FOR DUST CONTROL.
- COVERAGE EXEMPTIONS MAY NOT EXCEED 10% OF THE PARCEL AREA. PERVIOUS PAVEMENT EXEMPTIONS ARE 25% OF THE SIZE OF THE IMPROVEMENT.
- THE PERMITTEE SHALL SUBMIT A RESTORATION AND REVEGETATION PLAN FOR THE AREA WHERE THE EXISTING COVERAGE WILL BE REMOVED AND RESTORED IN ACCORDANCE WITH THE STANDARDS REQUIRED IN SECTIONS 36.1 AND 60.2 OF THE TRPA CODE OF ORDINANCES. THE RESTORATION/REVEGETATION PLAN SHALL BE SUBMITTED FOR TRPA REVIEW AND APPROVAL PRIOR TO ACKNOWLEDGEMENT.
- ALL BEST MANAGEMENT PRACTICES (BMP'S) SHALL BE MAINTAINED IN PERPETUITY TO ENSURE EFFECTIVENESS WHICH MAY REQUIRE BMP'S TO BE PERIODICALLY REINSTALLED OR REPLACED.
- CONCRETE WASHOUT INTO BINS AND OFF HAILED FROM SITE.
- DUST CONTROL MEASURES SHALL BE IN PLACE DURING CONSTRUCTION. BROADCAST MULCH SHALL NOT BE PERMITTED AS A DUST CONTROL MEASURE WITHIN 30 FEET OF STRUCTURES.
- ALL NEW GAS HEATERS AND WATER HEATERS SHALL COMPLY WITH THE COMBUSTION APPLIANCES EMISSION STANDARDS IN SUBSECTION 65.1.4 OF THE TRPA CODE.



740 north lake blvd
tahoe city ca 96145
p 530.583.3690
f 530.583.4690

460
Gonowabie
Road

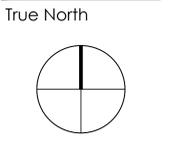
PRELIMINARY
Not for Construction

460 Gonowabie Rd.
Crystal Bay, Nevada
APN 123-131-04



All drawings and written material appearing herein constitute original and unpublished work of Walton Design + Engineering and may not be duplicated, used or disclosed without written consent of Walton Design + Engineering

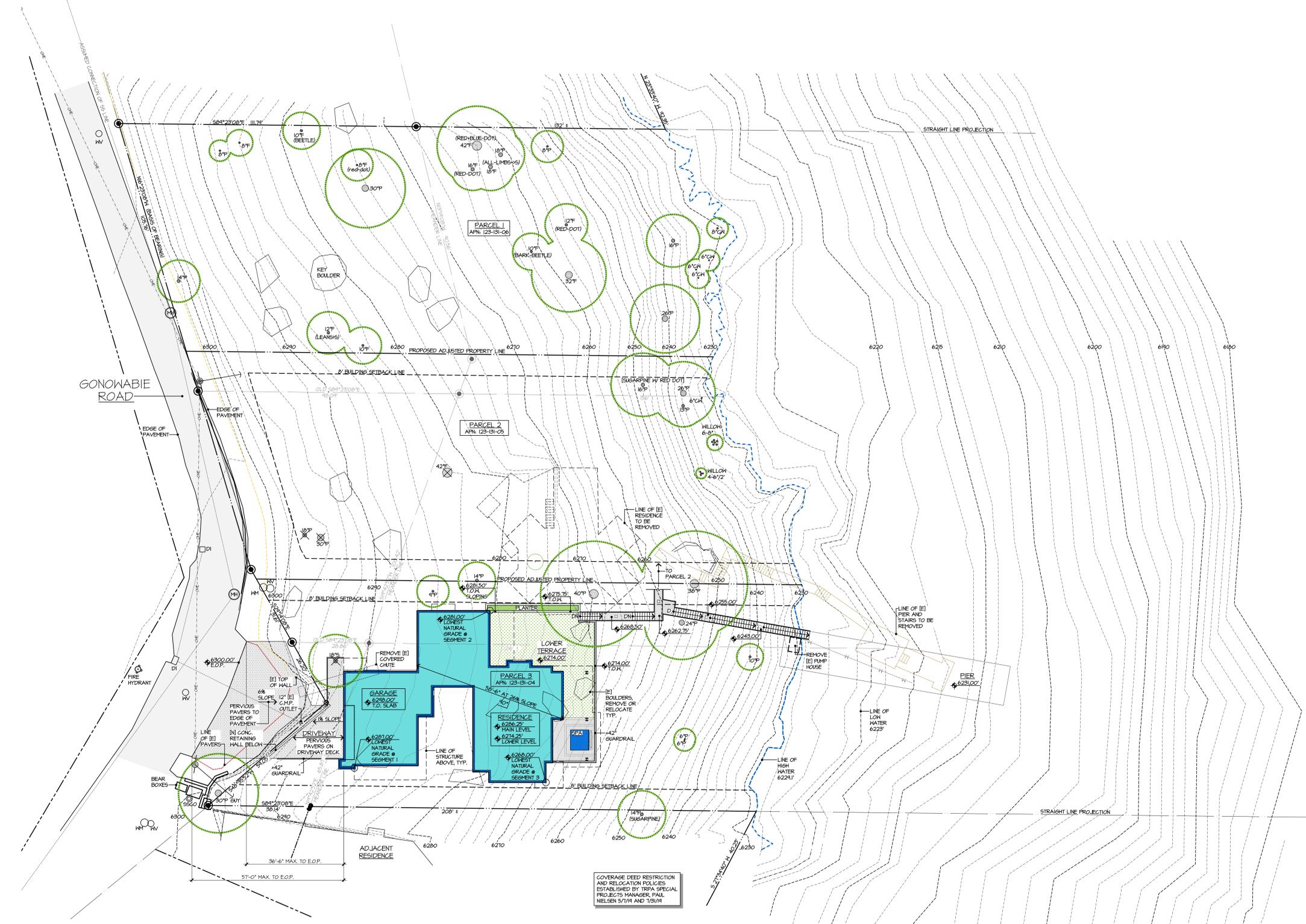
Job Number
808
Issue Date
16 December 2019
Subject
Variance Submittal



Drawing Title
Site Plan

Scale: 1/16" = 1'-0"
Drawing Number

a1.1



SQUARE FOOTAGE ANALYSIS	
CONDITIONED SQUARE FOOTAGE	= 330 SF
UPPER LEVEL	= 3,242 SF
MIDDLE LEVEL	= 2,041 SF
LOWER LEVEL	= 2,041 SF
TOTAL CONDITIONED SQUARE FOOTAGE	= 5,671 SF



740 north lake blvd
 tahoe city ca 96145
 p 530.583.3690
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460
 Gonowabie
 Road

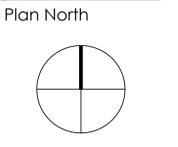
PRELIMINARY
 Not for Construction

460 Gonowabie Rd.
 Crystal Bay, Nevada
 APN 123-131-04



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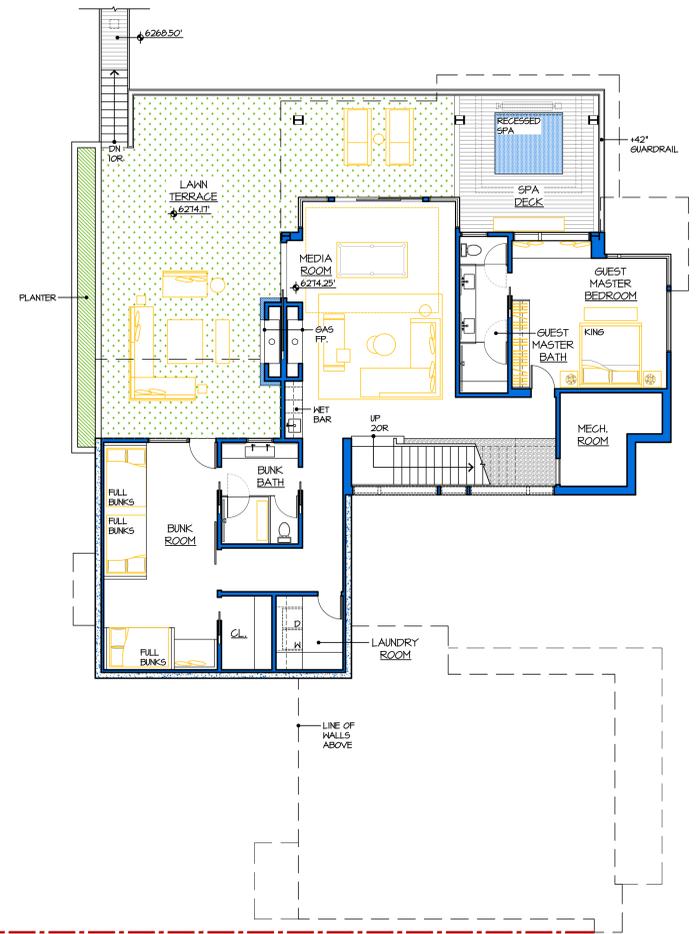
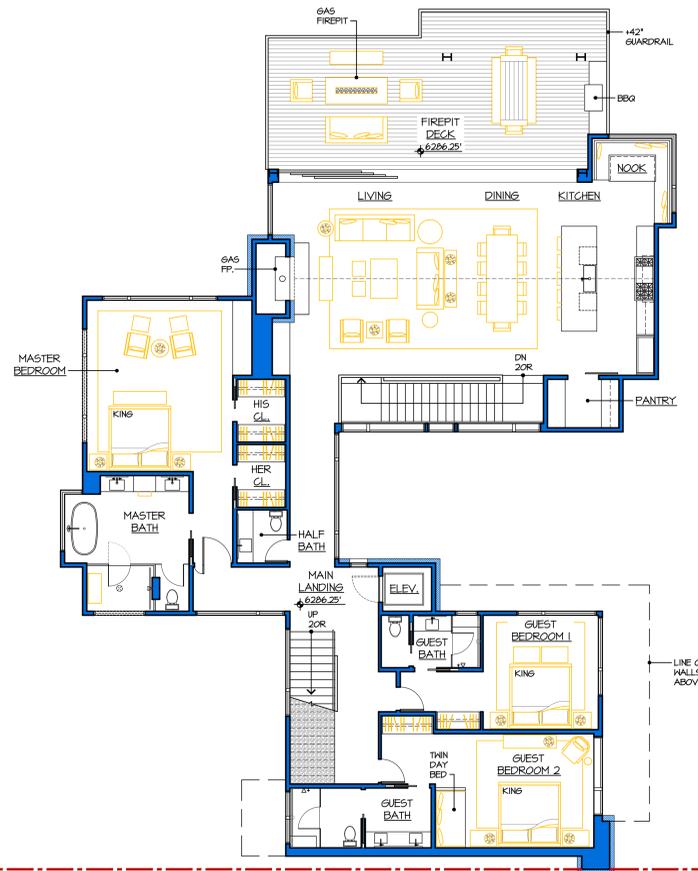
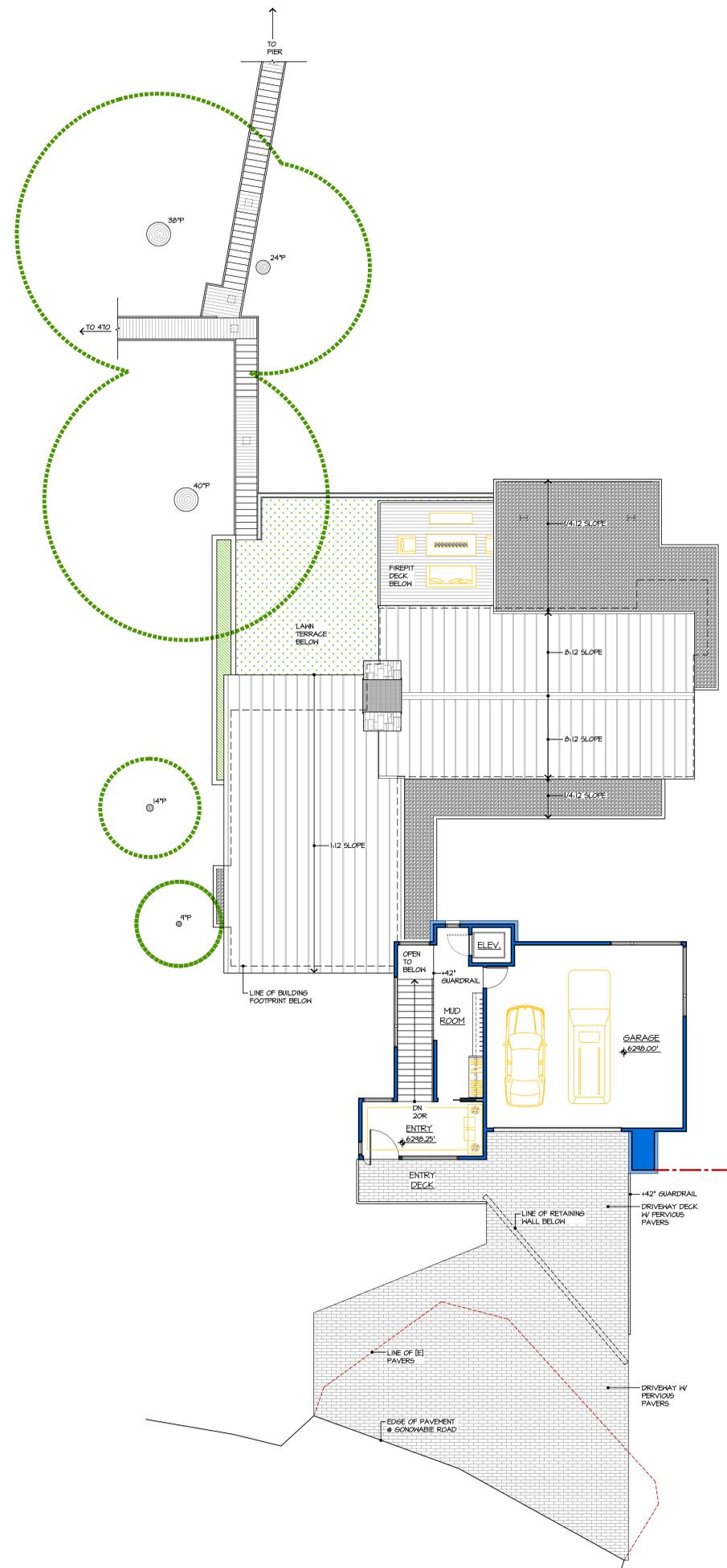
Job Number
 808
 Issue Date
 16 December 2019
 Subject
 Variance Submittal



Drawing Title
 Key Plan

Scale: 1/8" = 1'-0"
 Drawing Number

a 2.1



1 UPPER LEVEL FLOOR PLAN

2 MIDDLE LEVEL FLOOR PLAN

3 LOWER LEVEL FLOOR PLAN



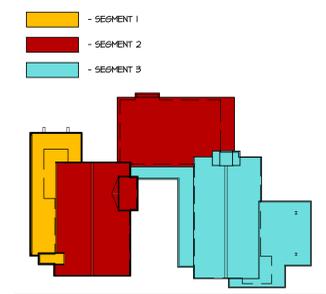
ROOFING MATERIAL LEGEND

-  - STANDING SEAM PAINTED METAL ROOF
-  - TORCH DOWN ROOF w/ DECORATIVE PEBBLES

ROOF AREA ANALYSIS

BUILDING SEGMENT 1	
1/4:12 ROOF PITCH (100%)	= 562 SF
TOTAL	= 562 SF
DOMINANT ROOF PITCH	= 1/4:12
BUILDING SEGMENT 2	
1/4:12 ROOF PITCH (6%)	= 44 SF
1/2 ROOF PITCH (46%)	= 1,028 SF
8:12 ROOF PITCH (48%)	= 1,044 SF
TOTAL	= 2,116 SF
DOMINANT ROOF PITCH	= 8:12
BUILDING SEGMENT 3	
1/4:12 ROOF PITCH (40%)	= 780 SF
8:12 ROOF PITCH (57%)	= 1,050 SF
TOTAL	= 1,830 SF
DOMINANT ROOF PITCH	= 8:12

ROOF KEY PLAN



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Job Number
808
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16 December 2019
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Variance Submittal



Drawing Title
Roof Plan

Scale: 1/4" = 1'-0"
Drawing Number

a 2.4



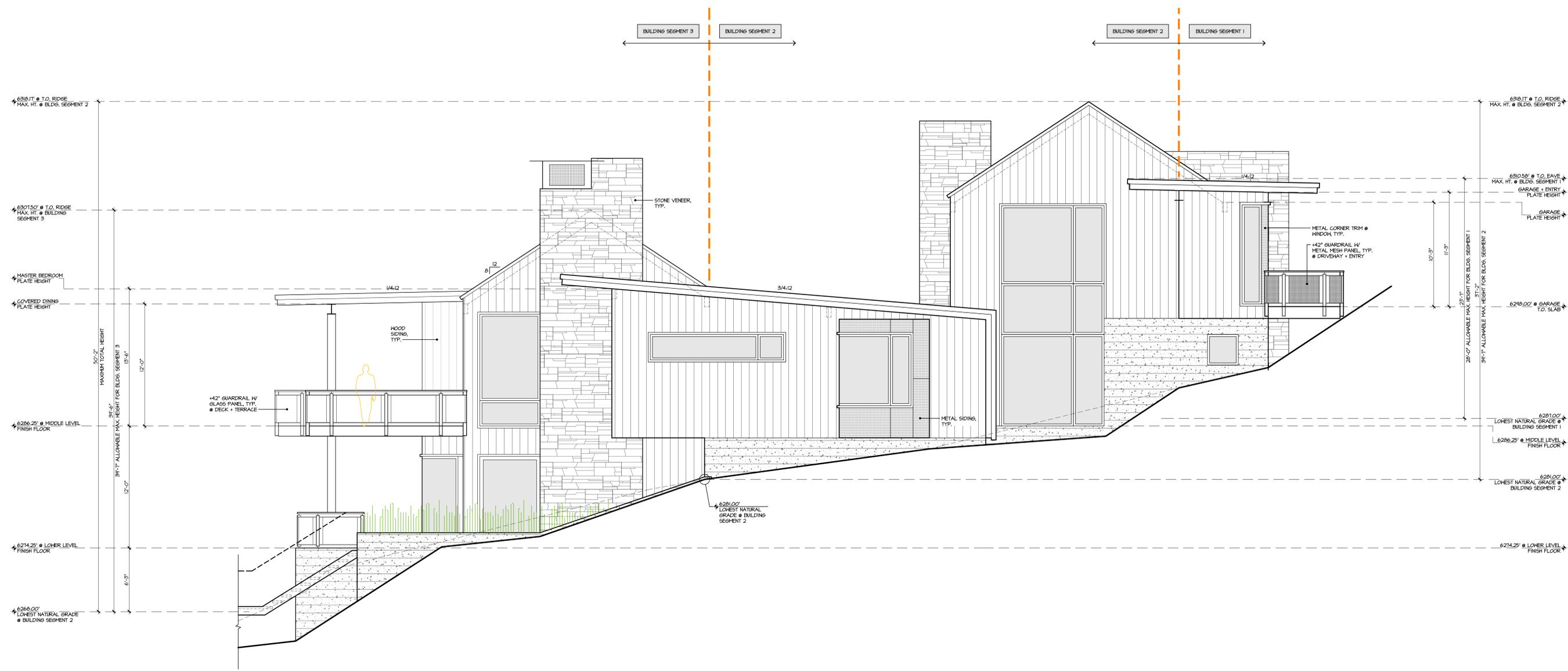
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808
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Subject
Variance Submittal

Drawing Title
Exterior Elevations

Scale: 1/4"=1'-0"
Drawing Number

a 3.3



1 EAST ELEVATION

HEIGHT CALCULATION
SEE SHEET A-31
EXTERIOR FINISH LEGEND
SEE SHEET A-31
GENERAL NOTES
SEE SHEET A-31



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460
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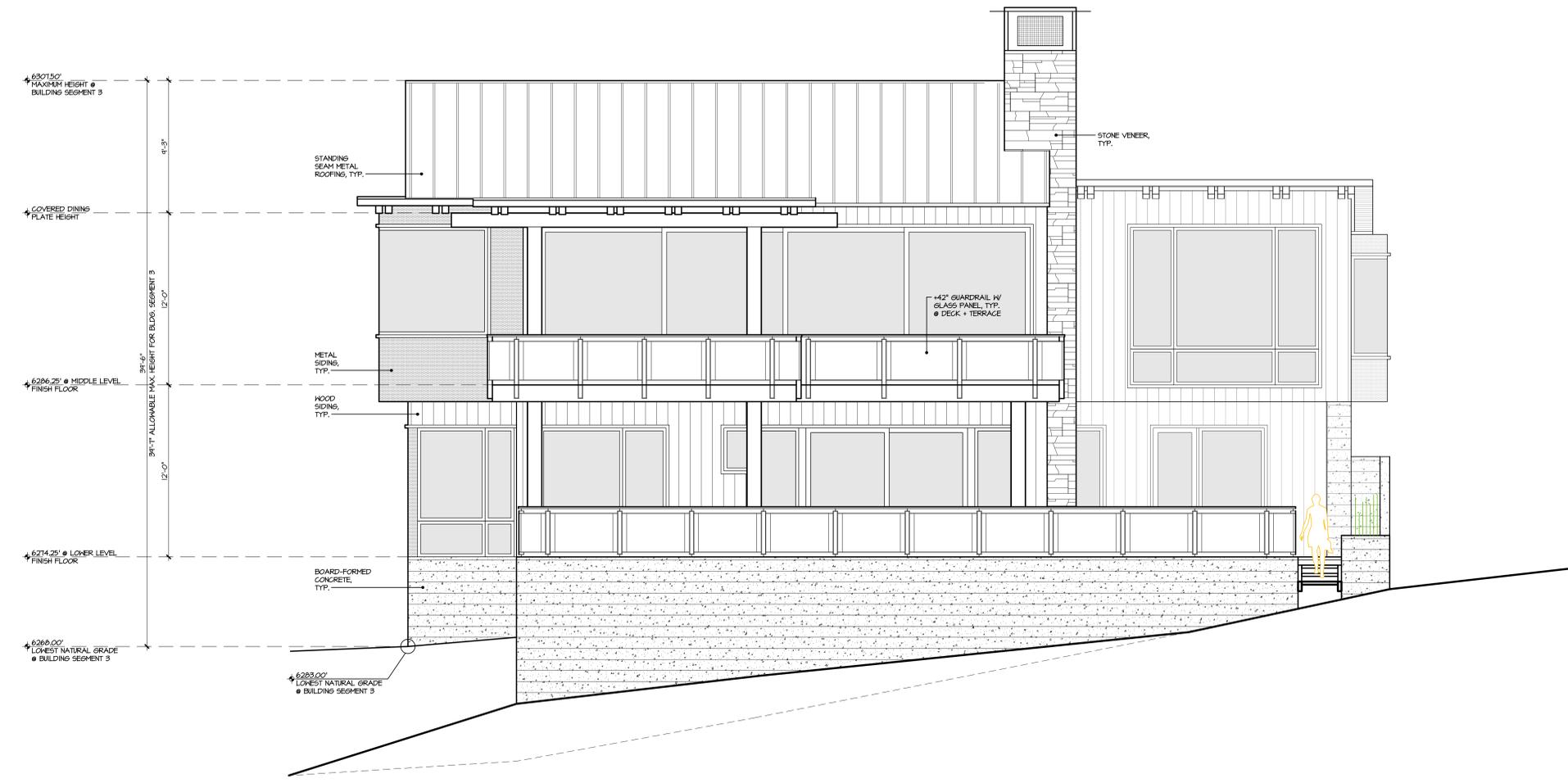
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Drawing Title
 Exterior Elevations

Scale: 1/4"=1'-0"
 Drawing Number

a 3.4



1 EAST ELEVATION