## **Washoe County Development Application**

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

| Project Information  | s                | taff Assigned Case No.:                  |                 |  |
|--|------------------|--|-----------------|--|
| Project Name: 460 Gor  | nowabie Va       | ariance                                  |                 |  |
| Project 460 Gonowabie setback variance Description: attached submittal letter and pack |                  | e. For additional information please see |                 |  |
| Project Address: 460 Gonowabi  | e                |  |                 |  |
| Project Area (acres or square fee  | et): 14,564      |  |                 |  |
| Project Location (with point of reference to major cross                               |                  | streets AND area locator):               |                 |  |
| Gonowabie Road, approx. 1  |                  | mile south of CA                         | /NV border      |  |
| Assessor's Parcel No.(s):  | Parcel Acreage:  | Assessor's Parcel No.(s):                | Parcel Acreage: |  |
| 123-131-04   | .33              |  |                 |  |
|  |                  |  |                 |  |
| Indicate any previous Washoe County approvals associated with this Case No.(s).        |                  |  | ion:            |  |
| Applicant Information (attach  |                  | additional sheets if necess              | ary)            |  |
| Property Owner:  |                  | Professional Consultant:                 |                 |  |
| Name: Gonowabie Properties, LLC  |                  | Name: Midkiff & Associates, Inc.         |                 |  |
| Address: P.O. Box 14001-174  |                  | Address: P.O. Box 12427, Zephyr Cove, NV |                 |  |
| Ketchum, ID Zip: 83340   |                  |  | Zip: 89448      |  |
| Phone: Contact Consultard Fax: Consultant  |                  | Phone: 588-1091                          | Fax: 588-1091   |  |
| Email: Consultant  |                  | Email; nick@midkiffandassoc.co           | om              |  |
| Cell: Consultant   | Other: Consultar | Cell: 775-240-9361                       | Other:          |  |
| Contact Person: Contact Consultant   |                  | Contact Person: Nick Exline              |                 |  |
| Applicant/Developer:   |                  | Other Persons to be Contact              | ed:             |  |
| Name: Contact Consultant   |                  | Name: Contact Consultant                 |                 |  |
| Address:   |                  | Address:                                 |                 |  |
| Zip:   |                  | Zip:                                     |                 |  |
| Phone: Fax:  |                  | Phone: Fax:                              |                 |  |
| Email:   |                  | Email:                                   |                 |  |
| Cell: Other:   |                  | Cell: Other:                             |                 |  |
| Contact Person:  |                  | Contact Person:                          |                 |  |
|  |                  | Use Only                                 |                 |  |
| Date Received:   | Initial:         | Planning Area:                           |                 |  |
| County Commission District:  |                  | Master Plan Designation(s):              |                 |  |
| CAB(s):  |                  | Regulatory Zoning(s):                    |                 |  |

## **Property Owner Affidavit**

| Applicant Name: bandwebic Paparies, LLC - David Duffinld   |
|--|
| The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.   |
| STATE OF NEVADA )  |
| COUNTY OF WASHOE )   |
| pavid A. Duffield  |
| (please print name)  |
| peing duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building. |
| (A separate Affidavit must be provided by each property owner named in the title report.)  |
| Assessor Parcel Number(s): 123-131-09  |
| Printed Name Pavid A Puffield  Signed A Puffield   |
| Address  |
|  |
| Subscribed and sworn to before me this day of works (Notary Stamp)   |
| Christina M. Stice Commission Number: 38061 Notary Public in and for said county and state  Christina M. Stice Commission Number: 38061 Notary Public in and for said county and state   |
| My commission expires: 07-09-2020 My Commission Expires: 07/09/2028  |
| *Owner refers to the following: (Please mark appropriate box.)   |
| ☑ Owner  |
| ☐ Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)  |
| ☐ Power of Attorney (Provide copy of Power of Attorney.)   |
| <ul> <li>Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)</li> </ul>  |
| ☐ Property Agent (Provide copy of record document indicating authority to sign.)   |

☐ Letter from Government Agency with Stewardship

## **Variance Application** Supplemental Information (All required information may be separately attached)

| . 1. | What provisions of the Development Code (e.g. front yard setback, height, etc.) must be waived or varied to permit your request?   |
|------|--|
|      | Front Yard Setback (110.406.05.1) MDS - 20' Front Yard Setback.  |
|      | You must answer the following questions in detail. Failure to provide complete and accurate information will result in denial of the application.  |
| 2.   | What are the topographic conditions, extraordinary or exceptional circumstances, shape of the property or location of surroundings that are unique to your property and, therefore, prevent you from complying with the Development Code requirements? |
|      | Steep slope (33%+) and parcel configuration abutting road.   |
| 3.   | What steps will be taken to prevent substantial negative impacts (e.g. blocking views, reducing privacy, decreasing pedestrian or traffic safety, etc.) to other properties or uses in the area?   |
|      | Garage closer to road will improve views - see submittal letter.   |
| 4.   | How will this variance enhance the scenic or environmental character of the neighborhood (e.g. eliminate encroachment onto slopes or wetlands, provide enclosed parking, eliminate clutter in view of neighbors, etc.)?                                |
|      | Scenic, community, health & safety, environment - see submittal letter.  |
| 5.   | What enjoyment or use of your property would be denied to you that is common to other properties in your neighborhood?   |
|      | Enclosed garage require per Washoe County Code - see submittal letter.   |
| 6.   | Are there any restrictive covenants, recorded conditions or deed restrictions (CC&Rs) that apply to the area subject to the variance request?  |
|      | ☐ Yes ☐ No if yes, please attach a copy.   |
| 7,   | How is your current water provided?  |
|      | IVGID  |
| 8.   | How is your current sewer provided?  |
|      | IVGID  |
|      |  |

December 16, 2019

Midkiff

EAssociates, Inc.

CONSULTANTS

Washoe County Community Services (Planning) 1001 E. Ninth Street Reno, NV 89512

GONOWABIE PROPERTIES, LLC – WASHOE COUNTY DEVELOPMENT APPLICATION (VARIANCE APPLICATION), 460 GONOWABIE RD., CRYSTAL BAY, NV, ASSESSOR'S PARCEL NUMBER (APN) 123-131-04.

## **Dear Washoe County Staff:**

The Washoe County Development (Variance) application is being submitted by Midkiff & Associates, Inc. ("the Consultant") on behalf of Gonowabie Properties, LLC ("Property Owner") for the Subject Parcel.

## **Site Condition**

As the attached photo packet represents, the Subject Parcel is a vacant and heavily vegetated with indigenous vegetation including, manzanita and pine. The Subject Parcel maintains a steep slope in excess of 33% and slopes from Gonowabie Road, toward the shoreline of Lake Tahoe. There are intermittent granite boulders onsite.

## **Project Description**

The existing single-family residential parcel is currently zoned Medium Density Suburban (MDS). The Property Owner is seeing a variance to the front yard setback. Washoe County Development Code subsection 110.406.05.1 establishes the MDS front yard setback at 20'.

The Property Owner is proposing to reduce the front yard setback to 0' for the decking and 6.6' for the garage to allow for the construction of a two (2) car garage. It is important to note, that although the garage will be 6.6' from the property line, it will be 40' to 57' from Gonowabie Road. The garage will be attached to a new-single family residence on the Subject Parcel. The Tahoe Regional Planning Agency (TRPA) will review the new-single family dwelling application.

## Hardship

As a result of the steep slope and irregular parcel configuration of the Subject Parcel a front setback variance is needed to construct an enclosed, two (2) car garage. Approving the variance and allowing for the construction of a two (2) car garage, will provide scenic, environmental and human health & safety benefits (discussed below).

## Steep Slope

The Subject Parcel has slopes in excess of 33%. If the proposed garage adhered to the required 20' front yard setback it would push the proposed garage further down the slope. When factoring in TRPA height limitations, driveway (bridge) slope allowances, and other regulatory requirements, adhering to the 20' setback would not be possible with the development of a two (2) car garage.

## **Parcel Configuration**

Unlike the other parcels abutting Gonowabie, the Subject Parcel has a triangle shaped gap that bisects the Subject Parcel from Gonowabie. This triangle shaped gap separates the Subject Parcel from Gonowabie Road by approximately 40' to 57' with the approved variance. When you include a 20' setback, the proposed garage would be approximately 60' to 87' from Gonowabie Road.

## **Variance Benefits**

## **Scenic Benefits**

The Subject Parcel is abutting an existing residence to the South and a proposed residence to the north. Both the northerly and southerly abutting parcels do not have the same parcel irregularities, which allowing their garages to be located closer to the road. Both the existing and proposed abutting residences view corridors are directed toward the lake. The further the proposed garage is pushed toward the lake, the more the garage will be located in the existing view corridors. Allowing for the variance, will allow the proposed garage to be located further up the slope and outside of existing view corridors of the abutting residences. As a result of grade difference between the lake and non-lake parcels, the existing residence located across the street view will not be impacted by the granting of the proposed variance.

## **Environmental Benefit**

Allowing for the proposed garage and attached residence to be constructed closer to the road and further away from the Shoreline is a TRPA established environmental benefit.

## **Human Health & Safety Benefits**

An enclosed garage on the Subject Parcel is not only required by Washoe County, but will also provide a human health & safety benefit to the residents. As previously stated, requiring the garage to adhere to a 20' setback would push the garage downslope, requiring a steep bridge access. Due to Tahoe's snowy conditions, steep slope driveways are not advisable and depending on degree of slope prohibited by Washoe County Code. The Variance will allow for a flat ingress/egress to the parcel. This flat ingress/egress to the residence constitutes a human health and safety benefit to the future residents.

## **Community Character**

As a result of the topographic realities along Gonowabie, numerous residences have received setback variances to allow for their construction. It was even discussed during a Washoe County Area Plan meeting, that perhaps Gonowabie should be exempt from variances as a result of the inherent need and site realities. Nearly all residences on the lakeside of Gonowabie road maintain a very similar design to what the Applicants are proposing. The common design includes a bridge from Gonowabie accessing a garage at street level with internal access to the residence. The Applicants proposal mimics the design and parking configuration as utilized by nearly all residences along Gonowabie.

No negative impacts are anticipated as a result of the proposed variance. The parcels located directly across the street from the Subject Parcel are single-family residential parcels. As a result of the grade

3

change, the proposed variance will have no impact to the existing views from the residences located across the street.

The abutting parcels to the north (proposed) and south (existing) are single family dwellings. As the attached photo packet represents, the proposed variance will not impact the current enjoyed views by the neighbors. The view corridors for the abutting residence are focused away from the proposed garage and toward the lake. The approval of the variance will ensure that the proposed 460 residence does not block any existing view. If the Applicant was forced to adhere to required setbacks, it would push the garage further down the slope and this would impact the neighboring views. The granting of this variance will ensure that existing view corridors are maintained. In addition, the proposed variance will have no impact on the neighbors' privacy or have any impact on safety.

## Conclusion

As discussed throughout this document, the Subject Parcel maintains a hardship as a result of the steep slope of the parcel and unique parcel configuration. The proposed design of the garage is consistent with nearly all residence along Gonowable Road and will bring the existing residence more into conformance with the character of the area. The proposed variance will ensure that the garage will not be pushed down the slope of the parcel, blocking existing view corridors and will instead maintain the existing view corridors for the abutting parcels

The granting of the proposed variance will Allowing for the proposed garage and attached residence to be constructed closer to the road and further away from the Shoreline, which is a TRPA established environmental benefit. The flat ingress/egress that would be achievable by the granting of the variance would provide safer ingress/egress to the residence. Finally, numerous parcels along Gonowabie have obtained variances due to the unique nature of the Road. The granting of this variance would align and be consistent with other variance approval on Gonowabie. Utilizing this rationale, we would request that Washoe County staff recommend approval of the proposed variance.

I trust the above (and attached) is acceptable. If you require any additional information, or have any further questions/comments, please do not hesitate to contact me.

Sincerely,

Nicholas D. Exline Senior Planner, AICP

Enc.

| Amount | Document                 |
|--------|--------------------------|
| 1      | Original Owner Affidavit |
| 2      | Copies Owner Affidavit   |
| 1      | Original Application     |
| 2      | Application Copies       |
| 1      | Submittal Fee (\$1,546)  |
| 1      | Title Report             |
| 3      | Proof of Tax Payment     |
| 3      | Plan Set (24" – 36")     |
| 3      | Plan Set (8.5" – 11")    |
| 3      | Photo Packet             |

# Washoe County Treasurer Tammi Davis

Washoe County Treasurer P.O. Box 30039, Reno, NV 89520-3039 ph: (775) 328-2510 fax: (775) 328-2500 Email: tax@washoecounty.us

## Bill Detail

Back to Account Detail Change of Address Print this Page

| 12313104          | Parcel ID   | Washoe County Parcel Information |
|-------------------|-------------|----------------------------------|
| Active            | Status      | ation                            |
| 12/9/2019 2:07:59 | Last Update |                                  |

## PO BOX 14001-174 GONOWABIE PROPERTIES LLC **Current Owner:**

**460 GONOWABIE RD** SITUS:

KETCHUM, ID 83340 **Taxing District** 

CRYSTAL BAY NV

Geo CD:

Legal Description

Lot 5 Block 13 Range 18 SubdivisionName \_UNSPECIFIED Township 16 Section 19

| \$3,001.40 | \$0.00   | \$0.00      | \$3,001.40 | Total Due: | -         |              |
|------------|----------|-------------|------------|------------|-----------|--------------|
| \$1,500.70 | \$0.00   | \$0.00      | \$1,500.70 | 2019       | 3/2/2020  | INST 4       |
| \$1,500.70 | \$0.00   | \$0.00      | \$1,500.70 | 2019       | 1/6/2020  | INST 3       |
| \$0.00     | \$0.00   | \$0.00      | \$0.00     | 2019       | 10/7/2019 | INST 2       |
| \$0.00     | \$0.00   | \$0.00      | \$0.00     | 2019       | 8/19/2019 | INST 1       |
| Total Due  | Interest | Penalty/Fee | Tax        | Tax Year   | Due Date  | Period       |
|            |          |             |            |            | ients     | Installments |

https://nv-washoe-treasurer.manatron.com/Tabs/TaxSearch/AccountDetail/BillDetail.aspx?p=12313104&a=5339163&b=2019177429&y=2019&t=4392719

## Pay By Check

WASHOE COUNTY payable to: TREASURER Please make checks

## **Mailing Address:**

A

Reno, NV 89520-3039 P.O. Box 30039

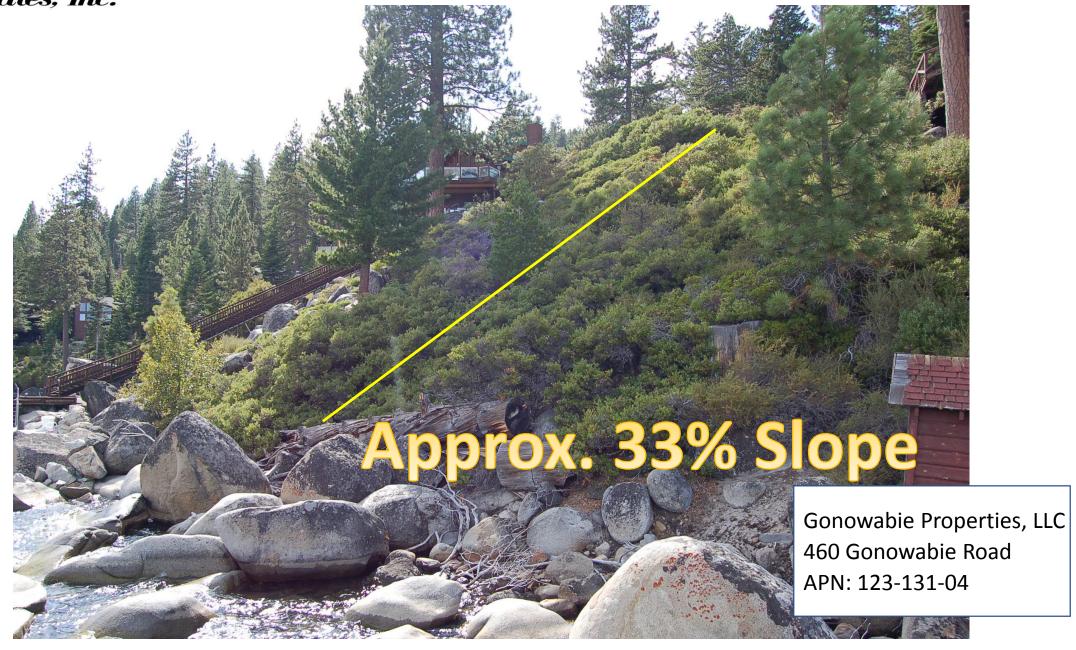
1001 E. Ninth St., Ste Overnight Address:

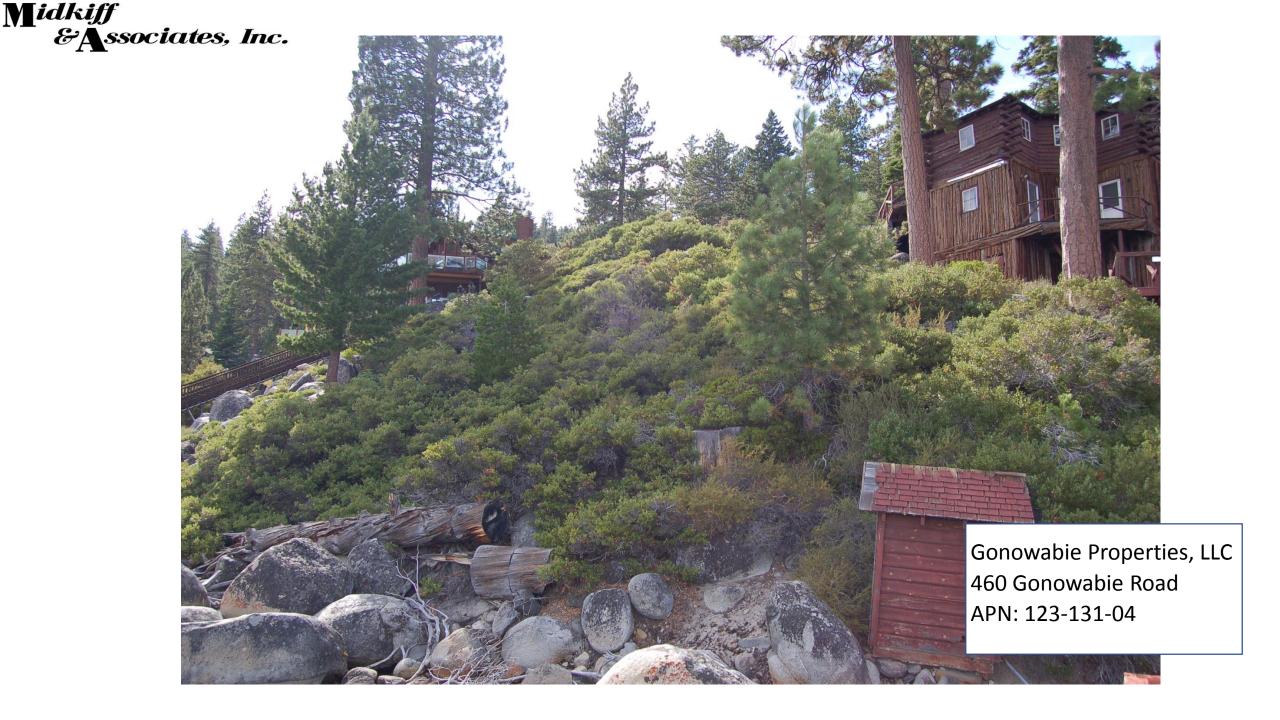
Reno, NV 89512-2845 D140

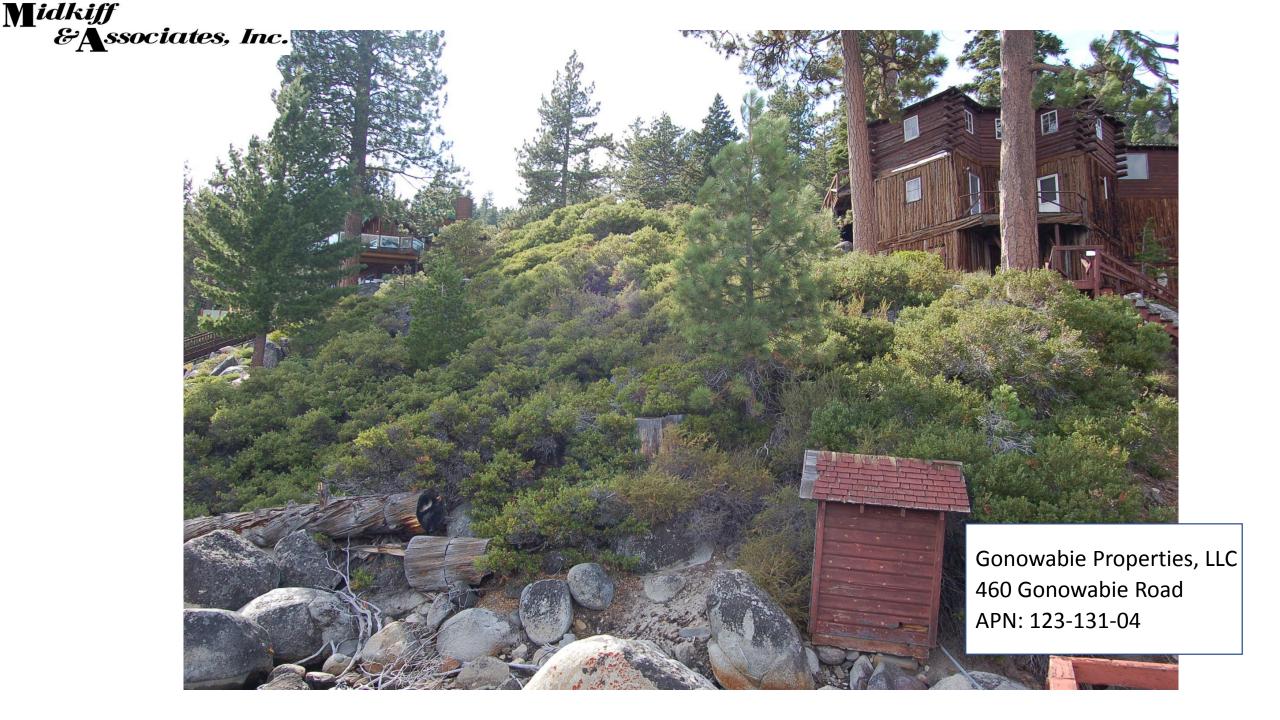
# Change of Address

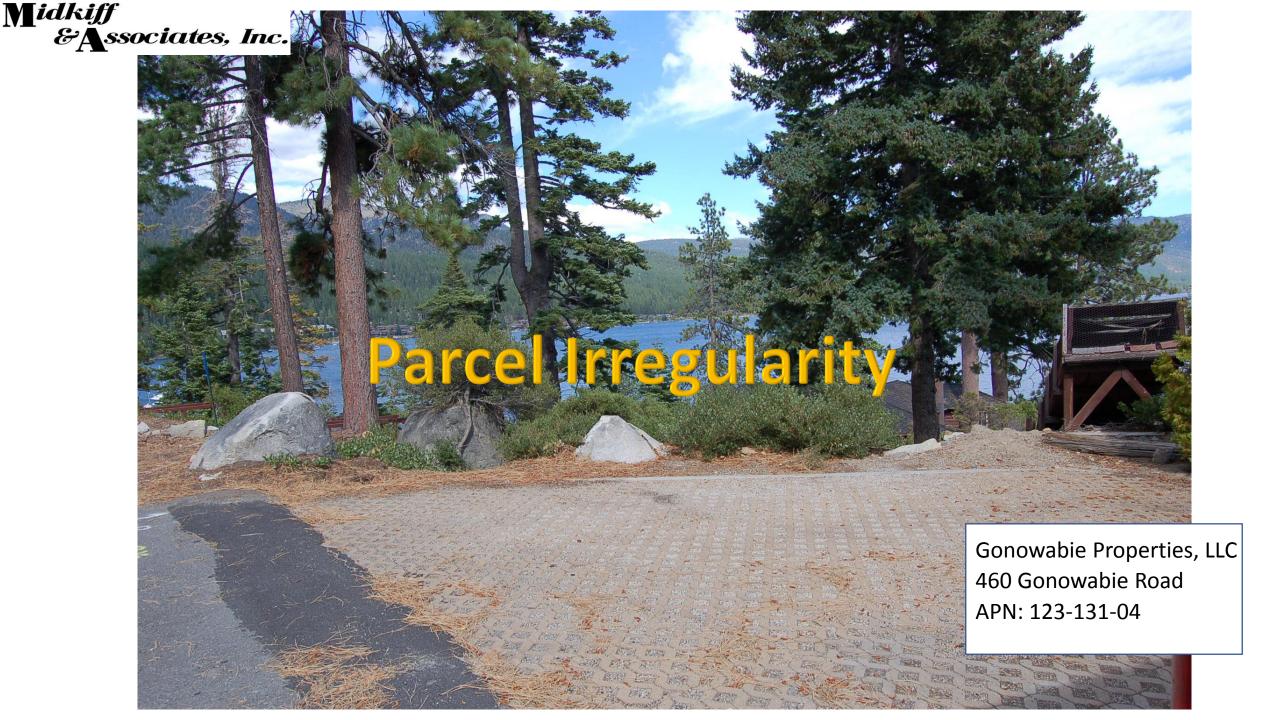
submitted in writing, address change must be All requests for a mailing form). (unless using the online including a signature

change online click here To submit your address Midkiff &Associates, Inc.











Midkyj

&Associates, Inc.

Olegania View Gonowabie Properties, LLC 460 Gonowabie Road APN: 123-131-04







## COVERAGE ANALYSIS

| PROPOSED COVERAGE  PERVIOUS PAVER DRIVEWAY [25SF X 25% REDUCTION]  BUILDING FOOTPRINT  MASTER CANTILEVER [W 3:I COVERAGE REDUCTION]  SARAGE CANTILEVER [W 3:I COVERAGE REDUCTION = 15SF]  ENTRY CANTILEVER [W 3:I COVERAGE REDUCTION = 9SF]  NOOK CANTILEVER [W 3:I COVERAGE REDUCTION = 0SF]  SPA  WALKWAY TO PIER [W 3:I COVERAGE REDUCTION = 0SF]  WALKWAY STRUCTURAL PIERS  DRIVEWAY DECK [W 3:I COVERAGE REDUCTION = 260SF]  ENTRY DECK [W 3:I COVERAGE REDUCTION = 155SF]  LAKEVIEW DECK [W 3:I COVERAGE REDUCTION = 155SF]  SPA DECK [68 SF W 8 SF COVERAGE REMAINING AFTER EXEMPTIONS] | = 19 SF<br>= 3,183 SF<br>= 57 SF<br>= 15 SF<br>= 9 SF<br>= 0 SF<br>= 0 SF<br>= 4 SF<br>= 0 SF<br>= 0 SF<br>= 0 SF<br>= 8 SF | W d l L U  design + engineerin  740 north lake blvd |
|--|---|---|
| TOTAL PROPOSED COVERAGE  | = 3,384 SF  | tahoe city ca 9614<br>p 530.583.3690                |
| TOTAL ALLOWABLE COVERAGE<br>MAXIMUM ALLOWABLE EXEMPTIONS   | = 3,387 SF<br>= 1,456 SF  | f 530.583.4690                                      |
| PROPOSED PERVIOUS DECK EXEMPTIONS<br>FIRST 500SF 100% EXEMPTION [539SF - 500SF = 39SF]<br>NEXT 125SF 80% EXEMPT [39SF X 80% = 31SF]<br>TOTAL PROPOSED PERVIOUS DECK EXEMPTIONS   | = 531 SF  | 460   |
| PROPOSED EXEMPTION SUMMARY<br>PROPOSED PERVIOUS PAVER EXEMPTION 25SF - 19SF = 6SF]<br>PERVIOUS DECK EXEMPTIONS   | = 6 SF<br>= 531 SF  | Gonowabie   |
| TOTAL PROPOSED COVERAGE EXEMPTIONS   | = 537 SF  | Road  |
| CLASS Ib COVERAGE REQUIRED FOR PIER  | = 102 SF  |   |

## SLOPE CALCULATION

| $\stackrel{\triangle}{L}$ | = 15'-0" [6286.00' - 6271.00' = 15'-0<br>= 58'-6" |
|---------------------------|---|
| SLOPE                     | = 25.6% [15/58.5]                                 |

## I] SURVEY INFORMATION PROVIDED BY LICENSED LAND SURVEYOR.

2] BUILDING SHALL BE SITED BY A REGISTERED CIVIL ENGINEER. EXACT LOCATION TO BE VERIFIED IN FIELD. NOTIFY DESIGNER/ ENGINEER OF ANY CONFLICTS PRIOR TO PROCEEDING WITH WORK.

3] ALL ELEVATIONS ARE BASED ON EXISTING SITE INFORMATION PROVIDED BY A LICENSED LAND SURVEYOR, THE CONTRACTOR SHALL CONFIRM GRADING, SITE DRAINAGE, AND BUILDING FINISH FLOOR ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

4] CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE DRAINAGE SYSTEMS. A DRAINAGE SWALE SHALL BE PROVIDED AT THE PERIMETER OF BUILDING TO INSURE POSITIVE DRAINAGE AWAY FROM THE BUILDING AT A MINIMUM 6 INCH FALL WITHIN TEN FEET [5% SLOPE] MEASURED PERPENDICULAR TO THE FACE OF THE WALL. EXCEPTION: WHERE LOT LINES, WALLS, SLOPES OR OTHER PHYSICAL BARRIERS PROHIBIT 6 INCHES OF FALL WITHIN 10 FEET, DRAINS OR SWALES SHALL BE CONSTRUCTED TO ENSURE DRAINAGE AWAY FROM THE STRUCTURE. IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING FOUNDATION SHALL BE SLOPED A MINIMUM OF 2 PERCENT AWAY FROM THE BUILDING. IRC 401.3. ALL DRIP LINE TRENCHES SHALL BE CONNECTED TO SUBSURFACE DRAINPIPE AND DRYWELL[S]. CONTRACTOR SHALL NOTIFY DESIGNER/ ENGINEER OF ANY DRAINAGE RELATED ISSUES IMMEDIATELY.

5] CONTRACTOR SHALL FIELD VERIFY ROUTING OF ALL PROPOSED UTILITIES AND UTILITY TRENCHES TO AVOID DAMAGE TO ANY TREES OR EXISTING ESTABLISHED VEGETATION. CONTRACTOR SHALL PROVIDE THE REQUIRED FENCING AROUND THE JOINT TRENCH CONNECTION TO THE RESIDENCE.

6] CONTRACTOR SHALL INSTALL ALL UTILITIES PER WASHOE COUNTY REQUIREMENTS. VERIFY THE REQUIRED CLEARANCES WITH THE APPROPRIATE SERVING UTILITIES.

7] WATER SUPPLY PIPING SHALL BE PROTECTED FROM FREEZING BY A 36" MINIMUM EARTH COVERING. WATER SUPPLY PIPING SHALL BE PROVIDED WITH AN APPROVED BACK FLOW PREVENTION DEVICE. THE WATER SERVICE SHALL BE INSTALLED 24" BELOW GRADE AT A LOCATION INSIDE THE FOUNDATION PERIMETER, EQUIPPED WITH A "STOP AND DRAIN" VALVE, AND FITTED WITH A HANDLE THAT IS READILY ACCESSIBLE. ALL WATER PIPING SHALL BE GRADED TO DRAIN. WATERLINE SHALL BE INSPECTED BEFORE COVERING. PE PIPE IS PROHIBITED IF MORE THAN 5 FEET INSIDE THE FOUNDATION.

8] CONTRACTOR SHALL INSTALL AND MAINTAIN TEMPORARY UTILITIES AND SERVICES IN ACCORDANCE WITH LOCAL CODES AND REGULATIONS. TEMPORARY UTILITIES AND SERVICES SHALL NOT INTERFERE WITH NATURAL SITE FEATURES SUCH AS TREES OR OTHER EXISTING ESTABLISHED VEGETATION. TEMPORARY HOOKUPS MUST BE PROVIDED WITH THEIR OWN MEANS OF SUPPORT.

9] CONTRACTOR SHALL PROTECT ALL EXISTING ESTABLISHED VEGETATION WHETHER INSIDE OR OUTSIDE OF THE CONSTRUCTION ACTIVITY ZONE. CONTRACTOR SHALL HAND-DIG WITHIN THE DRIP LINE OF ALL EXISTING TREES. IO] EROSION CONTROL DEVICES SHALL BE IN PLACE PRIOR TO COMMENCEMENT OF ANY GRADING ACTIVITY ON PROPERTY. STRAW WATTLES OR EQUAL ARE REQUIRED ON THE DOWNHILL SIDE OF ALL DISTURBED AREAS; AN AGGREGATE BASE FOR THE ENTIRE LENGTH OF THE DRIVEWAY SUCH AS I-I/2" ROCK SHALL BE IN PLACE; ALL ERODABLE PILES SHALL BE COVERED WITH TARPS AND HELD DOWN WITH BOULDERS. THE INSTALLATION OF THESE MEASURES WILL BE VERIFIED AT SUB-GRADE INSPECTION. PRIOR TO REQUESTING AN OCCUPANCY/FINAL INSPECTION, VERIFY THAT THE FINAL EROSION PROTECTION, SUCH AS PINE NEEDLES, ETC., HAS BEEN INSTALLED.

II] CONTRACTOR SHALL NOT ATTACH ANYTHING TO EXISTING TREES OR ESTABLISHED VEGETATION. CONTRACTOR SHALL PROTECT ALL TREES MARKED TO BE PROTECTED AND SHALL FOLLOW ALL TREE PROTECTION SPECIFICATIONS OUTLINED IN REFERENCED DETAILS.

12] CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SURVEY MARKERS. SURVEY MARKERS DAMAGED OR DESTROYED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

13] ALL SITE MATERIAL NOT SUITABLE FOR FILL OR RE-VEGETATION SHALL BE REMOVED AND LEGALLY

DISPOSED OF BY THE CONTRACTOR.

14] CONTRACTOR SHALL PROVIDE 6 INCH ADDRESS NUMBERS ON RESIDENCE AS SPECIFIED BY OWNER AND DESIGNER/ ENGINEER.

15] DRIVEWAY CUT AND FILL SIDE SLOPES SHALL NOT EXCEED A SLOPE OD 2:1 IF EARTH FACED AND 1:1 IF ROCK FACED (HORIZONTAL: VERTICAL). THE TOP OF A CUT SLOPE SHALL HAVE A MINIMUM SEPARATION DISTANCE FROM A SIDE PROPERTY LINE EQUAL TO ONE FIFTH OF THE VERTICAL HEIGHT OF THE CUT WITH A MINIMUM OF 2-FEET AND A MAXIMUM OF 10-FEET. THE TOP OF A FILL SLOPE SHALL HAVE A SEPARATION DISTANCE FROM A PROPERTY SIDE EQUAL TO ONE HALF OF THE VERTICAL HEIGHT OF THE FILL WITH A MINIMUM OF 2-FEET AND A MAXIMUM OF 20-FEET.

## 16] PORTA-POTTI REQUIRED ON JOB SITE AT TIME OF FIRST INSPECTION.

17] CONSTRUCTION ACTIVITY ZONE FENCING SHALL BE 48 IN MINIMUM HEIGHT AND SHALL BE CONSTRUCTED OF METAL POSTS AND ORANGE CONSTRUCTION FENCING OR METAL MESH FENCING.

18] FOR DESIGNATED PUMP OR FORCED MAIN LOTS: a. PUMP AND HOLDING TANK SHALL BE INSTALLED IN A LOCATION SUCH AS TO BE REASONABLY ACCESSIBLE FOR INSPECTION AND MAINTENANCE. b. PUMP SYSTEM SHALL MEET LOCAL SANITARY DISTRICT CODE REQUIREMENTS AND MANUFACTURERS SPECIFICATIONS. C. A PRE-CONSTRUCTION MEETING WITH THE CONTRACTOR AND AN INSPECTOR IS REQUIRED PRIOR TO START OF CONSTRUCTION TO DISCUSS PUMP SYSTEM DESIGN. d. A PUMP UNIT WITH A SEALED LID IS REQUIRED

e. IF THE HOLDING TANK IS LOCATED OUTSIDE OF THE BUILDING FOUNDATION IT SHALL NOT BE LOCATED WITHIN 5 FEET OF ANY BUILDING USED AS A DWELLING OR WITHIN 10 FEET OF ANY PROPERTY LINE.

19] SEWER CLEANOUT: A ONE-WAY CLEANOUT IS REQUIRED WITHIN 5 FEET OF WHERE THE LATERAL EXITS THE STRUCTURE FOUNDATION. CLEANOUT BOXES SHALL BE SET TO GRADE. LIDS SHALL HAVE "SEWER" OR EQUIVALENT IMPRINTED ON THE LID. CLEANOUT <u>MUST REMAIN ACCESSIBLE</u> AND MAY NOT BE COVERED BY PERMANENT TILES, ROCK, ECT. ALL SEWER FACILITIES MUST MEET LOCAL SANITARY DISTRICT CODE

20] FIREPIT SHALL BE PLUMBED FOR GAS AND A FIREPIT KIT SHALL BE INSTALLED. A TIMER TO REGULATE MAXIMUM OPERATING TIME TO 3 HOURS MAX. SHALL BE INSTALLED.

## 21] ASTM LISTED SAFETY COVER IS REQUIRED FOR ALL SELF-CONTAINED SPAS.

22] ESTABLISH AND MAINTAIN DEFENSIBLE SPACE SURROUNDING STRUCTURES IN ACCORDANCE WITH THE 2012 INTERNATIONAL WILDLAND URBAN INTERFACE CODE (WUIC) WITH AMENDMENTS IN NLTFPD RESOLUTIONS 13-1 AND 13-2. A DEFENSIBLE SPACE INSPECTION IS REQUIRED TO PROVIDE FOR SAFE SEPARATION BETWEEN STRUCTURES AND WILDLAND VEGETATION. ALL ITEMS NOTED DURING THE INSPECTION MUST BE CORRECTED PRIOR TO PERMIT CLOSEOUT. CONTACT AN NLTFPD INSPECTOR AT (1715) 831-0351 EXT. 8118 TO SCHEDULE AN

23] ALL AREAS DISTURBED BY CONSTRUCTION SHALL BE REVEGETATED IN ACCORDANCE WITH THE TRPA HANDBOOK OF BEST MANAGEMENT PRACTICES AND LIVING WITH FIRE, LAKE TAHOE BASIN, SECOND EDITION. 24] NO BOULDERS OR ROCK OUTCROPS SHALL BE MOVED OR MODIFIED.

25] THE VISUAL ASSESSMENT FOR THE PROPOSED PROJECT WAS REVIEWED AS A LEVEL 5. OPTION 2 OF SECTION 66.3.1 OF THE TRPA CODE OF ORDINANCES, SCENIC QUALITY REVIEW IN THE SHORELAND. THIS PROJECT HAS BEEN IDENTIFIED AS HAVING A SCORE OF 27, WITH A 126 FOOT LINEAR LAKE FRONTAGE, WHICH ALLOWS FOR A TOTAL 1,799 SQUARE FEET OF VISIBLE AREA. THIS PROJECT PROPOSES 1,567 SQUARE FEET OF VISIBLE AREA, WHICH DOES NOT EXCEED 1,799 POSSIBLE ALLOWED VISIBLE SQUARE FEET.

26] EXCAVATION SHALL NOT EXCEED 5 FEET BELOW GROUND SURFACE. ALL EXCAVATION WITHIN THE DRIP LINE OF TREES TO BE RETAINED SHALL BE PERFORMED BY HAND-DIGGING ONLY SO AS TO MINIMIZE ROOT

## 27] TREE AND STUMP REMOVAL SHALL CORRESPOND WITH NORTH TAHOE FIRE PROTECTION DISTRICT APPROVED PLANS

28] THERE SHALL BE NO TRACKING OF MATERIAL OFF THE SITE. INSTALL MEASURES TO PREVENT SOIL TRACKING INCLUDING, BUT NOT LIMITED TO, GRAVEL PADS AND RUMBLE STRIPS. SWEEPING OF DIRT TRACKING ONTO PAVEMENT AT THE END OF EACH DAY IS REQUIRED FOR DUST CONTROL.

29] COVERAGE EXEMPTIONS MAY NOT EXCEED 10% OF THE PARCEL AREA. PERVIOUS PAVER EXEMPTIONS

## ARE 25% OF THE SIZE OF THE IMPROVEMENT.

30] THE PERMITTEE SHALL SUBMIT A RESTORATION AND REVEGETATION PLAN FOR THE AREA WHERE THE EXISTING COVERAGE WILL BE REMOVED AND RESTORED IN ACCORDANCE WITH THE STANDARDS REQUIRED IN SECTIONS 36.7 AND 60.1.8 OF THE TRPA CODE OF ORDINANCES. THE RESTORATION/REVEGETATION PLAN SHALL BE SUBMITTED FOR TRPA REVIEW AND APPROVAL PRIOR TO ACKNOWLEDGEMENT.

31] ALL BEST MANAGEMENT PRACTICES (BMP'S) SHALL BE MAINTAINED IN PERPETUITY TO ENSURE EFFECTIVENESS WHICH MAY REQUIRE BMP'S TO BE PERIODICALLY REINSTALLED OR REPLACED.

32] CONCRETE WASHOUT INTO BINS AND OFF HAULED FROM SITE.

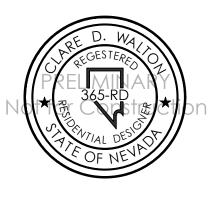
33] DUST CONTROL MEASURES SHALL BE IN PLACE DURING CONSTRUCTION. BROADCAST MULCH SHALL NOT BE PERMITTED AS A DUST CONTROL MEASURE WITHIN 30 FEET OF STRUCTURES.

34] ALL NEW GAS HEATERS AND WATER HEATERS SHALL COMPLY WITH THE COMBUSTION APPLIANCES EMISSION STANDARDS IN SUBSECTION 65.1.4 OF THE TRPA CODE.



PRELIMINARY Not for Construction

460 Gonowabie Rd. Crystal Bay, Nevada APN 123-131-04



All drawings and written material appearing herein constitute original and unpublished work of Walton Design + Engineering and may not be duplicated, used or disclosed without written consent of Walton Design +

Engineering

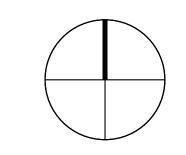
Job Number

Issue Date

16 December 2019

Variance Submittal

True North



Drawing Title

Scale: 1/16" = 1'-0"

Drawing Number

CONDITIONED SQUARE FOOTAGE UPPER LEVEL MIDDLE LEVEL LOWER LEVEL = 330 SF = 3,242 SF = 2,099 SF TOTAL CONDITIONED SQUARE FOOTAGE = 5,671 SF design + engineering 740 north lake blvd tahoe city ca 96145 p 530.583.3690 f 530.583.4690 Gonowabie Road **←**TO 470 PRELIMINARY Not for Construction — +42" *G*UARDRAIL 1/4:12 SLOPE FIREPIT DECK BELOW FIREPIT DECK 6286.25' LAWN , TERRACE , 6274.17' <u>NOOK</u> <u>KITCHEN</u> GUEST MASTER BEDROOM 8:12 SLOPE PLANTER -8:12 SLOPE MASTER
BEDROOM MECH. ROOM +---1/4:12 SLOPE FULL BUNKS FULL BUNKS BUNK <u>ROOM</u> MASTER <u>BATH</u> LANDING 6286.25' OPEN TO BELOW 142" GUARDRAIL MUD ROOM UP 20R GUEST <u>BEDROOM I</u> LINE OF BUILDING FOOTPRINT BELOW LINE OF WALLS ABOVE LINE OF WALLS ABOVE <u>GARAGE</u> 6298.00' GUEST BEDROOM 2 20R <u>ENTRY</u> 6298.25 808 ENTRY DECK -+42" GUARDRAIL 3 LOWER LEVEL FLOOR PLAN MIDDLE LEVEL FLOOR PLAN DRIVEWAY DECK
W PERVIOUS
PAVERS WALL BELOW

SQUARE FOOTAGE ANALYSIS

460 Gonowabie Rd. Crystal Bay, Nevada APN 123-131-04



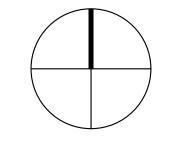
All drawings and written material appearing herein constitute original and unpublished work of Walton Design + Engineering and may not be duplicated, used or disclosed without written consent of Walton Design +

Job Number

Issue Date 16 December 2019

Variance Submittal

Plan North



Drawing Title

Key Plan

Scale: 1/8" = 1'-0"

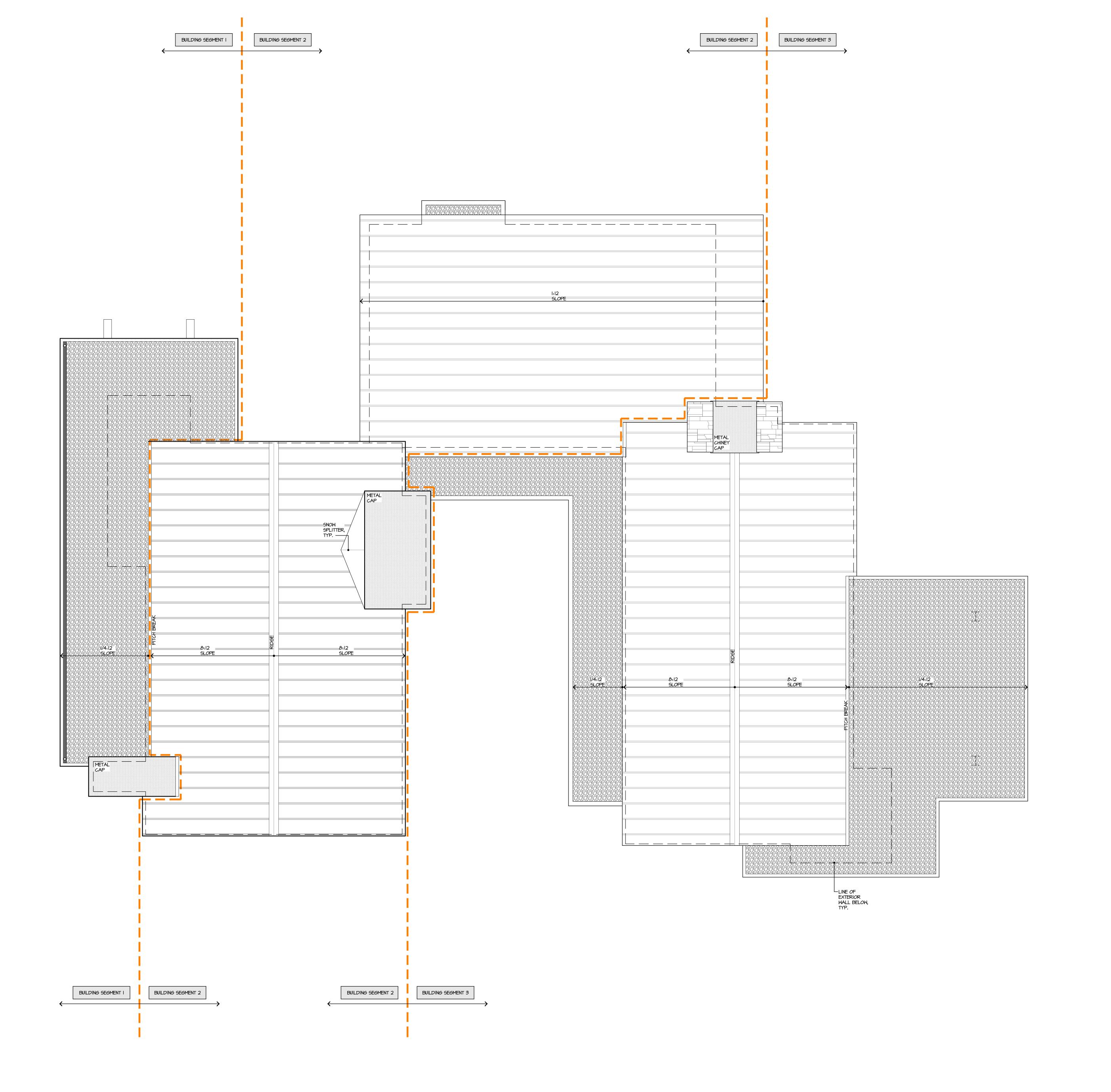
Drawing Number

UPPER LEVEL FLOOR PLAN

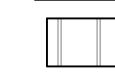
LINE OF [E]

EDGE OF PAVEMENT @ GONOWABIE ROAD

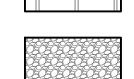
DRIVEWAY W
PERVIOUS
PAVERS



## ROOFING MATERIAL LEGEND



- STANDING SEAM PAINTED METAL ROOF

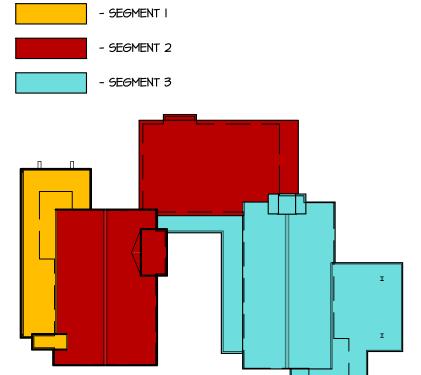


TORCH DOWN ROOF W DECORATIVE PEBBLES

| ROOF AREA ANALYSIS   |   | tahoe city ca 96145              |
|--|---|----------------------------------|
| BUILDING SEGMENT I   |   | p 530.583.3690<br>f 530.583.4690 |
| 1/4:12 ROOF PITCH [100%]<br>TOTAL<br>DOMINANT ROOF PITCH                                     | = 562 SF<br>= 562 SF<br>= 1/4:12                            | 4/0                              |
| BUILDING SEGMENT 2   |   | 460                              |
| 1/4:12 ROOF PITCH [6%] 1:12 ROOF PITCH [46%] 8:12 ROOF PITCH [48%] TOTAL DOMINANT ROOF PITCH | = 94 SF<br>= 1,003 SF<br>= 1,049 SF<br>= 2,170 SF<br>= 8:12 | Gonowabie<br>Road                |

DOMINANT ROOF PITCH BUILDING SEGMENT 3 1/4:12 ROOF PITCH [43%] = 780 SF = 1,030 SF = 1,810 SF = 8:12 8:12 ROOF PITCH [57%] TOTAL DOMINANT ROOF PITCH

## ROOF KEY PLAN



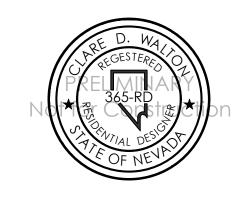
PRELIMINARY Not for Construction

design + engineering

740 north lake blvd

tahoe city ca 96145

460 Gonowabie Rd. Crystal Bay, Nevada APN 123-131-04



All drawings and written material appearing herein constitute original and unpublished work of Walton Design + Engineering and may not be duplicated, used or disclosed without written consent of Walton Design + Engineering

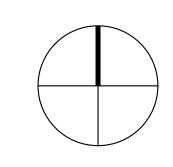
Job Number

Issue Date 16 December 2019

808

Variance Submittal

Plan North

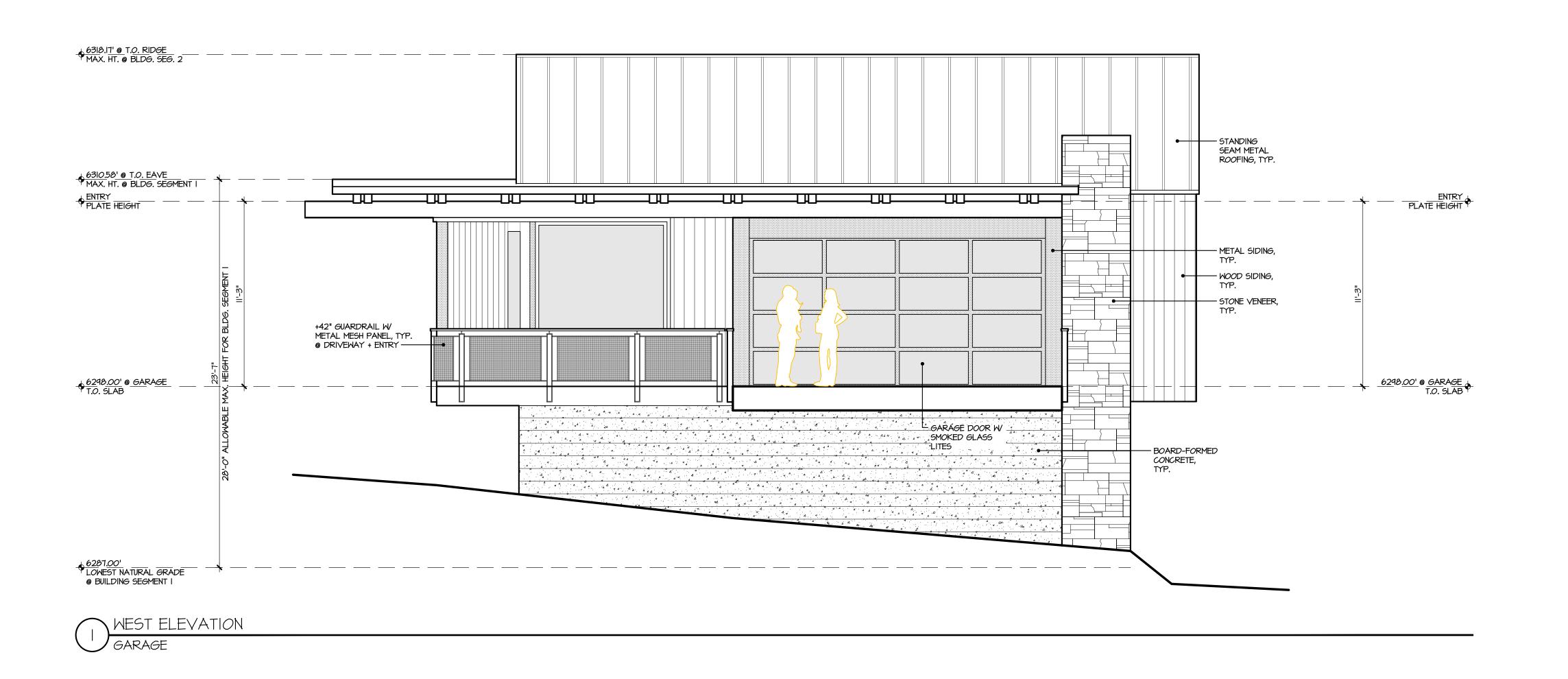


Drawing Title

Roof Plan

Scale: 1/4" = 1'-0"

Drawing Number
a 2.4





MASTER SUITE + GREAT ROOM

HEIGHT CALCULATION

TRPA CODE OF ORDINANCES CHAPTER 37.4.1 MAXIMUM HEIGHTS FOR BUILDINGS

MUM HEIGHTS FOR BUILDING

PERCENT SLOPE RETAINED ACROSS BUILDING SITE [SEE A-I.I] = 26%

DOMINANT ROOF PITCH = 1/4:12

MAXIMUM BUILDING HEIGHT @ T.O. EAVE = 6310.58'

LOWEST NATURAL GRADE @ BUILDING FOUNDATION = 6287.00'

ALLOWABLE BUILDING HEIGHT = 28'-0"

PROPOSED BUILDING HEIGHT = 23'-7"

PERCENT SLOPE RETAINED ACROSS BUILDING SITE [SEE A-I.I] = 26%
DOMINANT ROOF PITCH = 8:12
MAXIMUM BUILDING HEIGHT @ T.O. RIDGE = 6318.

PERCENT SLOPE RETAINED ACROSS BUILDING SITE [SEE A-I.] = 20%

DOMINANT ROOF PITCH = 8:12

MAXIMUM BUILDING HEIGHT @ T.O. RIDGE = 6318.17'

LOWEST NATURAL GRADE @ BUILDING FOUNDATION = 6281.00'

ALLOWABLE BUILDING HEIGHT = 39'-7"

PROPOSED BUILDING HEIGHT = 37'-2"

BUILDING SEGMENT 3

PERCENT SLOPE RETAINED ACROSS BUILDING SITE [SEE A-I.I] = 26%

DOMINANT ROOF PITCH = 8:12

MAXIMUM BUILDING HEIGHT @ T.O. RIDGE = 6307.50'

LOWEST NATURAL GRADE @ BUILDING FOUNDATION = 6268.00'

ALLOWABLE BUILDING HEIGHT = 39'-7"

PROPOSED BUILDING HEIGHT = 39'-6"

MAXIMUM TOTAL HEIGHT

BUILDING SEGMENT I MAX. HEIGHT = 23'-7"
BUILDING SEGMENT 2 MAX. HEIGHT = 37'-2"
BUILDING SEGMENT 3 MAX. HEIGHT = 39'-6"
AVERAGE MAX. HT. OF ALL 3 SEGMENTS = 33'-5"

[23'-7" + 37'-2" + 39'-6" = 100'-3"/3 = 33'-5"]
ALLOWABLE MAXIUM TOTAL HEIGHT [33'-5" x 150% = 50'-3"] = 50'-3"
PROPOSED TOTAL MAXIMUM HEIGHT = 50'-2"

EXTERIOR FINISH LEGEND

FLASHING: PAINTED METAL COLOR: BLACK

ROOFS [1/4:12] TORCH DOWN W/ DECORATIVE GRAVEL BALLAST COLOR: BLACK

ROOFS [8:12] STANDING SEAM PAINTED METAL COLOR: BLACK

VERTICAL WOOD SIDING: IX8 BARNWOOD

SOFFIT: IX3 T+G CLEAR WESTERN RED CEDAR STAIN: GINGER

METAL SIDING: HOT ROLLED STEEL

FINISH: CLEAR

METAL TRIM: PAINTED

COLOR: MATTE BLACK

STRUCTURAL STEEL: PAINTED COLOR: MATTE BLACK

TRIM: 2x AND 3x BARNWOOD

WINDOWS: ALUMINUM CLAD EXTERIOR, WOOD INTERIOR

COLOR: BLACK

CHIMNEY CAP: METAL W MESH INFILL

COLOR: BLACK

STONE VENEER: LEDGESTONE

EXPOSED FOUNDATION: BOARD-FORMED CONCRETE

## GENERAL NOTES

I] ALL EXTERIOR MATERIALS TO COMPLY WITH 2018 INTERNATIONAL WILDLAND-URBAN INTERFACE CODE.

2] WATER RESISTIVE BARRIERS SHALL BE INSTALLED AS REQUIRED IN SECTION R703.2 AND, WHERE APPLIED OVER WOOD-BASED SHEATHING, SHALL INCLUDE A WATER-RESISTIVE VAPOR-PERMEABLE BARRIER WITH A PERFORMANCE AT LEAST EQUIVALENT TO TWO LAYERS OF GRADE D PAPER. THE INDIVIDUAL LAYERS SHALL BE INSTALLED INDEPENDENTLY SUCH THAT EACH LAYER PROVIDES A SEPARATE CONTINUOUS PLANE AND ANY FLASHING (INSTALLED IN ACCORDANCE WITH SECTION R703.8) INTENDED TO DRAIN TO THE WATER-RESISTIVE BARRIER IS DIRECTED BETWEEN THE LAYERS. 2018 IRC R703.6.3

3] INSULATION MATERIALS, INCLUDING FACINGS, SUCH AS VAPOR RETARDERS AND VAPOR-PERMEABLE MEMBRANES INSTALLED WITHIN FLOOR-CEILING ASSEMBLIES, ROOF-CEILINGS ASSEMBLIES, WALL ASSEMBLIES, CRAWL SPACES AND ATTICS SHALL HAVE A FLAME SPREAD INDEX NOT TO EXCEED 25 WITH AN ACCOMPANYING SMOKE-DEVELOPED INDEX NOT TO EXCEED 450 WHEN TESTED IN ACCORDANCE WITH ASTM E84 OR UL 723. EXCEPT: WHEN MATERIALS ARE INSTALLED IN CONCEALED SPACES THE INDEX'S DO NOT APPLY TO THE FACINGS, PROVIDED THAT THE FACING IS INSTALLED IN SUBSTANTIAL CONTACT WITH THE UNEXPOSED SURFACE OF THE CEILING, FLOOR OR WALL FINISH; OR WHEN CELLULOSE LOOSE-FILL INSULATION, WHICH IS NOT SPRAY APPLIED, COMPLYING WITH THE REQUIREMENTS OF SECTION R302.10.3, SHALL BE REQUIRED TO MEET THE SMOKE-DEVELOPED INDEX OF NOT MORE THAN 450. 2018 IRC SECTION R316.

4] BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS SHALL BE A MINIMUM OF 6 INCHES IN HEIGHT WITH A MINIMUM STROKE WIDTH OF 3/4 INCH. NUMBERS AND OR LETTERS SHALL BE OF A CONTRASTING COLOR AND BE READILY VISIBLE FROM THE STREET. WHERE ACCESS IS BY MEANS OF A PRIVATE ROAD AND THE BUILDING ADDRESS CANNOT BE VIEWED FROM THE PUBLIC WAY, A MONUMENT, POLE OR OTHER SIGN OR MEANS SHALL BE USED TO IDENTIFY THE STRUCTURE. 2018 IFC, 2018 NORTHERN NEVADA FIRE AMENDMENTS.

5] WHERE ACCESS TO OR WITHIN A STRUCTURE OR AN AREA IS RESTRICTED BECAUSE OF SECURED OPENINGS OR WHERE IMMEDIATE ACCESS IS NECESSARY FOR LIFE-SAVING OF FIRE-FIGHTING PURPOSES, THE FIRE CODE OFFICIAL IS AUTHORIZED TO REQUIRE A KEY BOX TO BE INSTALLED IN AN ACCESSIBLE LOCATION. THE KEY BOX SHALL BE OF AN APPROVED TYPE LISTED IN ACCORDANCE WITH UL 103T, AND SHALL CONTAIN KEYS TO GAIN ACCESS AS REQUIRED BY THE CODE OFFICIAL. 2018 IFC 506.1

6] IN COMBUSTIBLE CONSTRUCTION, FIRE BLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. FIRE BLOCKING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:

a. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:

I. VERTICALLY AT THE CEILING AND FLOOR LEVELS

II HORIZONTALLY AT INTERVALS NOT EXCEPTING TO FEFT.

I. VERTICALLY AT THE CEILING AND FLOOR LEVELS
II. HORIZONTALLY AT INTERVALS NOT EXCEEDING IO FEET
b. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND
HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND
COVE CEILINGS.
c. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP
AND BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL
COMPLY WITH SECTION R302.7
d. AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT
CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST
THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION. THE
MATERIAL FILLING THIS ANNULAR SPACE SHALL NOT BE REQUIRED TO

MEET THE ASTM E 136 REQUIREMENTS.

460 Gonowabie Rd. Crystal Bay, Nevada APN 123-131-04

design + engineering

740 north lake blvd

tahoe city ca 96145

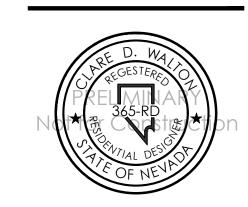
p 530.583.3690

f 530.583.4690

Gonowabie

PRELIMINARY

Not for Construction



All drawings and written material appearing herein constitute original and unpublished work of Walton Design + Engineering and may not be duplicated, used or disclosed without written consent of Walton Design +

Engineering

Job Number

Issue Date
16 December 2019

808

Variance Submittal

Drawing Title

Exterior Elevations

Scale: 1/4"=1'-0"

Drawing Number

~ 2 1

HEIGHT CALCULATION

SEE SHEET A-3.1

EXTERIOR FINISH LEGEND

SEE SHEET A-3.1

GENERAL NOTES

SEE SHEET A-3.1

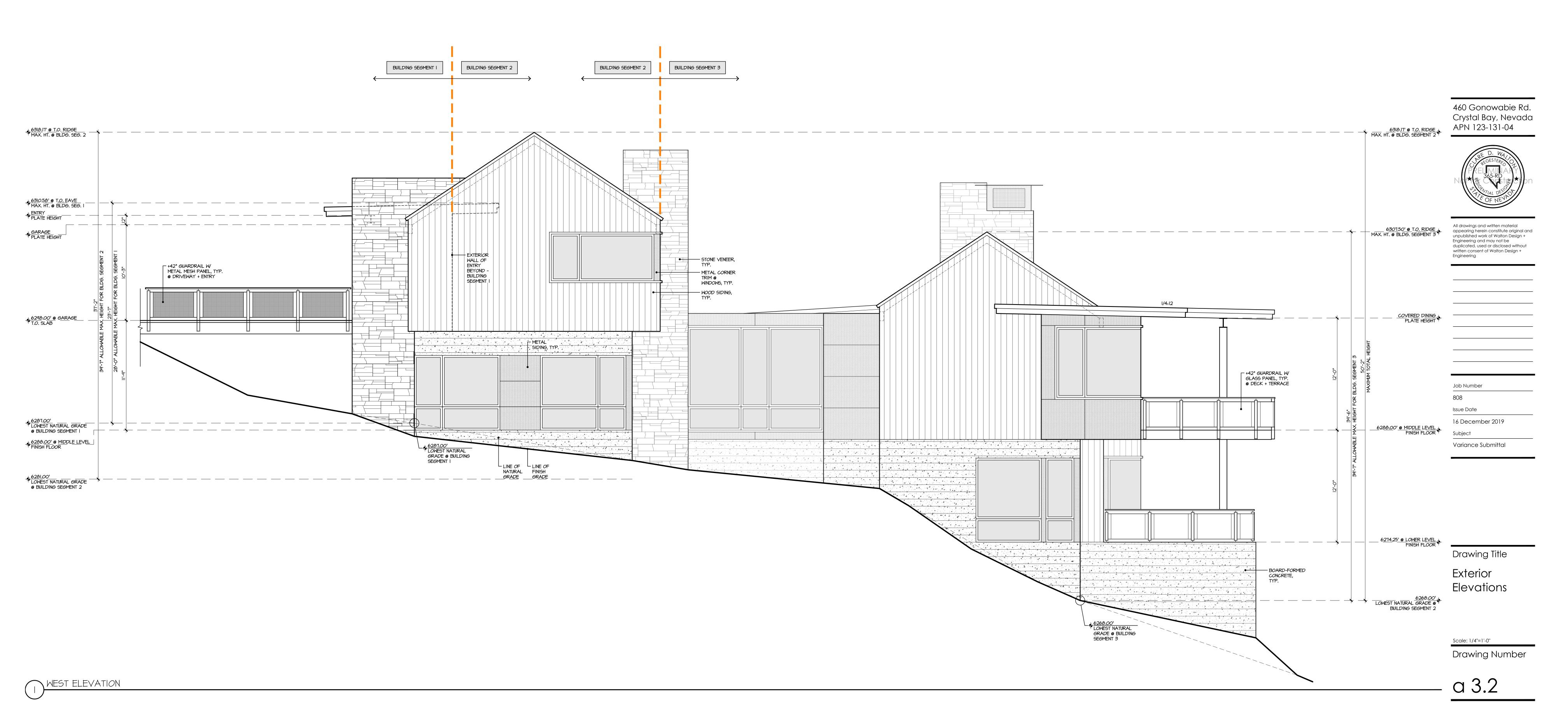
Waton

design + engineering

740 north lake blvd tahoe city ca 96145 p 530.583.3690 f 530.583.4690

460 Gonowabie Road

PRELIMINARY
Not for Construction



HEIGHT CALCULATION

SEE SHEET A-3.1

EXTERIOR FINISH LEGEND

SEE SHEET A-3.1

GENERAL NOTES

SEE SHEET A-3.I

Walton

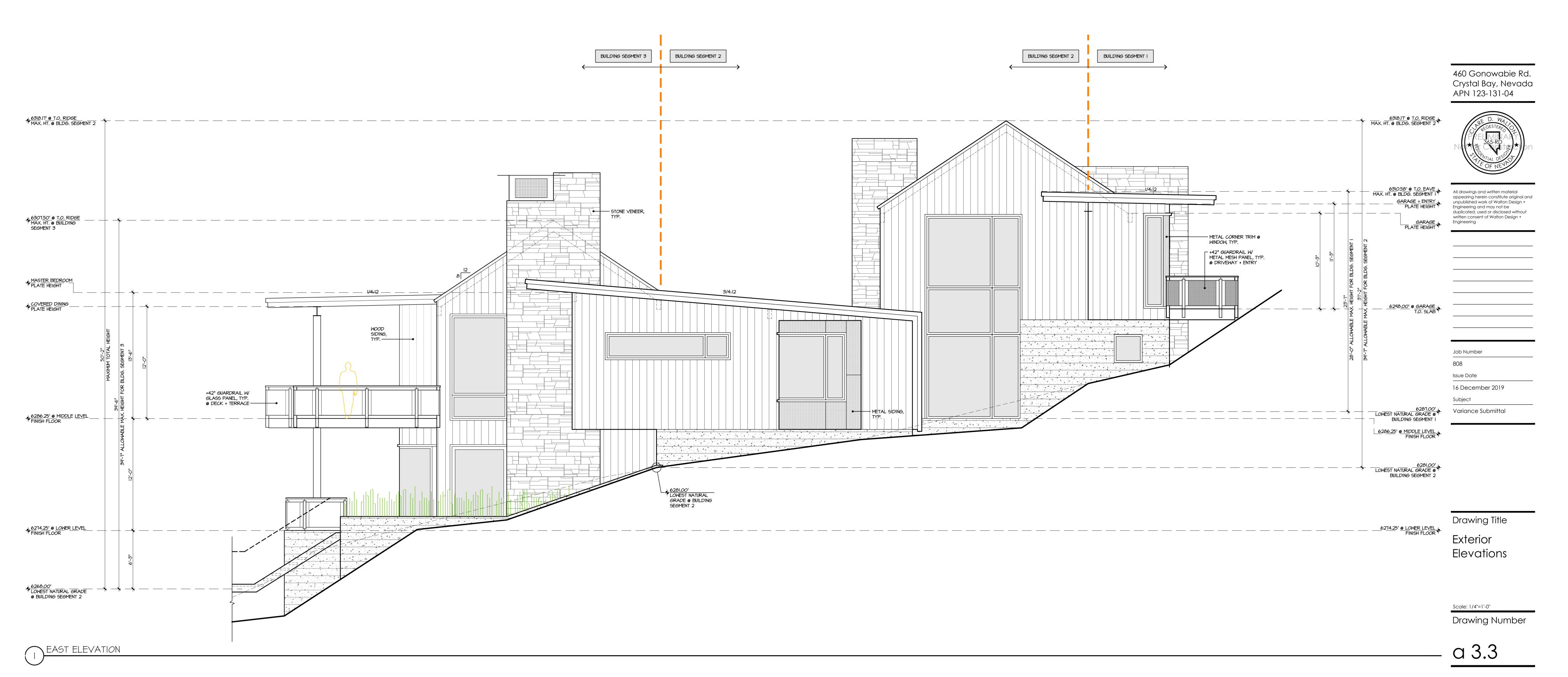
design + engineering

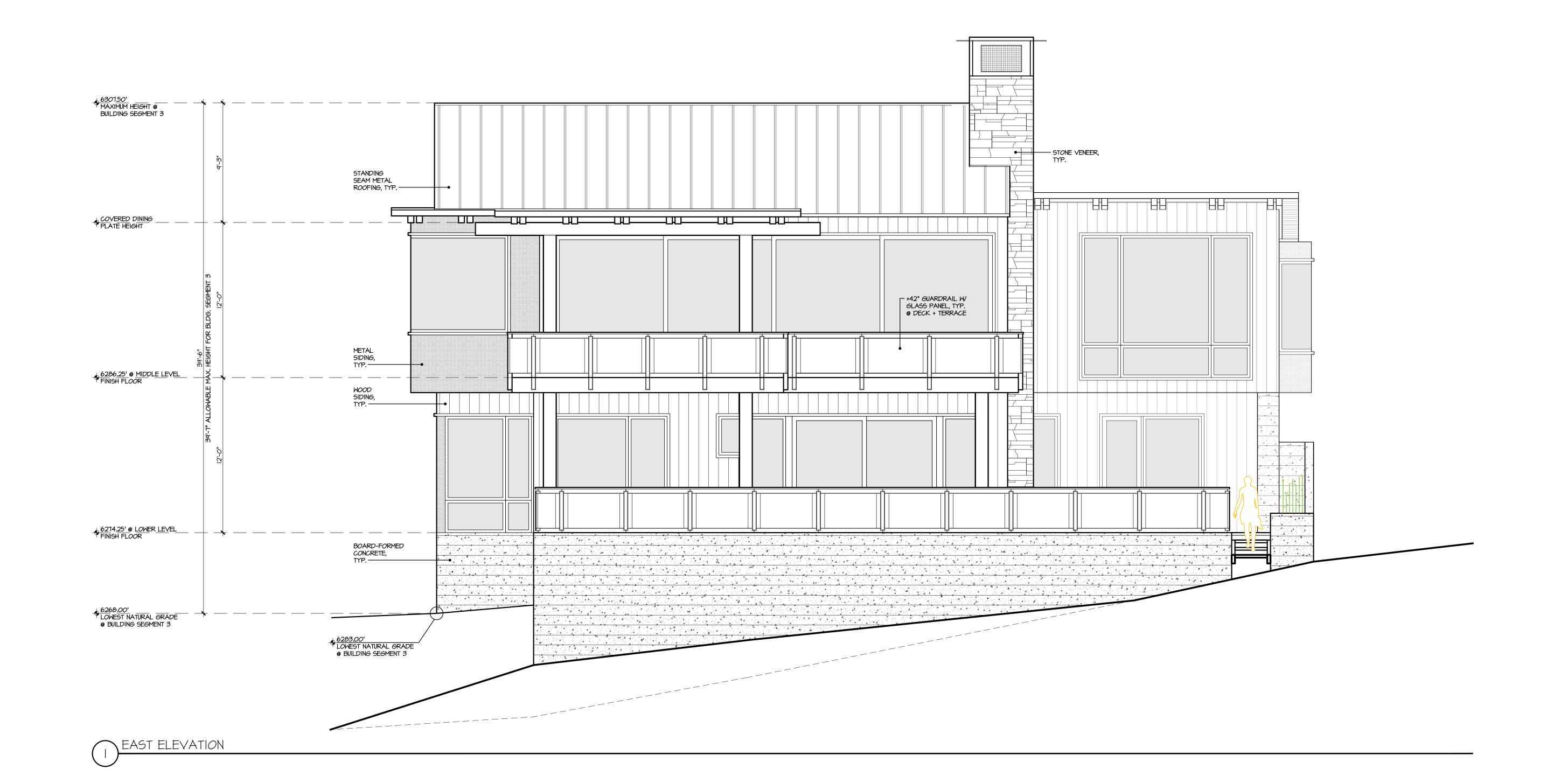
740 north lake blvd tahoecity ca 96145 p 530.583.3690

f 5 3 0 . 5 8 3 . 4 6 9 0

460 Gonowabie Road

PRELIMINARY
Not for Construction





HEIGHT CALCULATION

SEE SHEET A-3.I

EXTERIOR FINISH LEGEND

SEE SHEET A-3.I

GENERAL NOTES

SEE SHEET A-3.I

design + engineering
740 north lake blvd

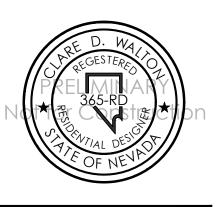
tahoe city ca 96145 p 530.583.3690 f 530.583.4690

walton

460 Gonowabie Road

PRELIMINARY
Not for Construction

460 Gonowabie Rd. Crystal Bay, Nevada APN 123-131-04



All drawings and written material appearing herein constitute original and unpublished work of Walton Design + Engineering and may not be duplicated, used or disclosed without written consent of Walton Design + Engineering

Job Number

808

Issue Date
16 December 2019

Subject
Variance Submittal

Drawing Title

Exterior Elevations

Scale: 1/4"=1'-0"

Drawing Number

a 3.4