

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: Tim Carlson			
Project Description: Mays Building			
Project Address: 795 Mays Blvd Incline Village, Nevada 89704			
Project Area (acres or square feet): 3662 sq. ft.			
Project Location (with point of reference to major cross streets AND area locator): Southwood and Mays Blvd			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
127-090-04	0.56		
Indicate any previous Washoe County approvals associated with this application: Case No.(s). WAD MIN 160001			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: Tim Carlson		Name:	
Address: 9 Silver Saddle Court		Address:	
Washoe Valley	Zip: 89704		Zip:
Phone: 775-378-6563	Fax:	Phone:	Fax:
Email: tc@carlson.biz		Email:	
Cell: 775-378-6563	Other:	Cell:	Other:
Contact Person: Tim Carlson		Contact Person:	
Applicant/Developer:		Other Persons to be Contacted:	
Name: Same as above		Name:	
Address:		Address:	
	Zip:		Zip:
Phone:	Fax:	Phone:	Fax:
Email:		Email:	
Cell:	Other:	Cell:	Other:
Contact Person:		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Property Owner Affidavit

Applicant Name: CARLSON & ASSOCIATES, TINA CARLSON

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA }
COUNTY OF WASHOE }

Tina Carlson

(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 127-090-04

Printed Name Tina Carlson

Signed [Signature]

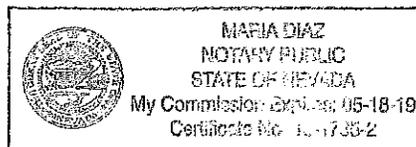
Address 19 SILVER SADDLE Ct. 89704
WASHOE VALLEY

Subscribed and sworn to before me this 10th day of April 2019.

Maria Diaz, Reno, NV
Notary Public in and for said county and state

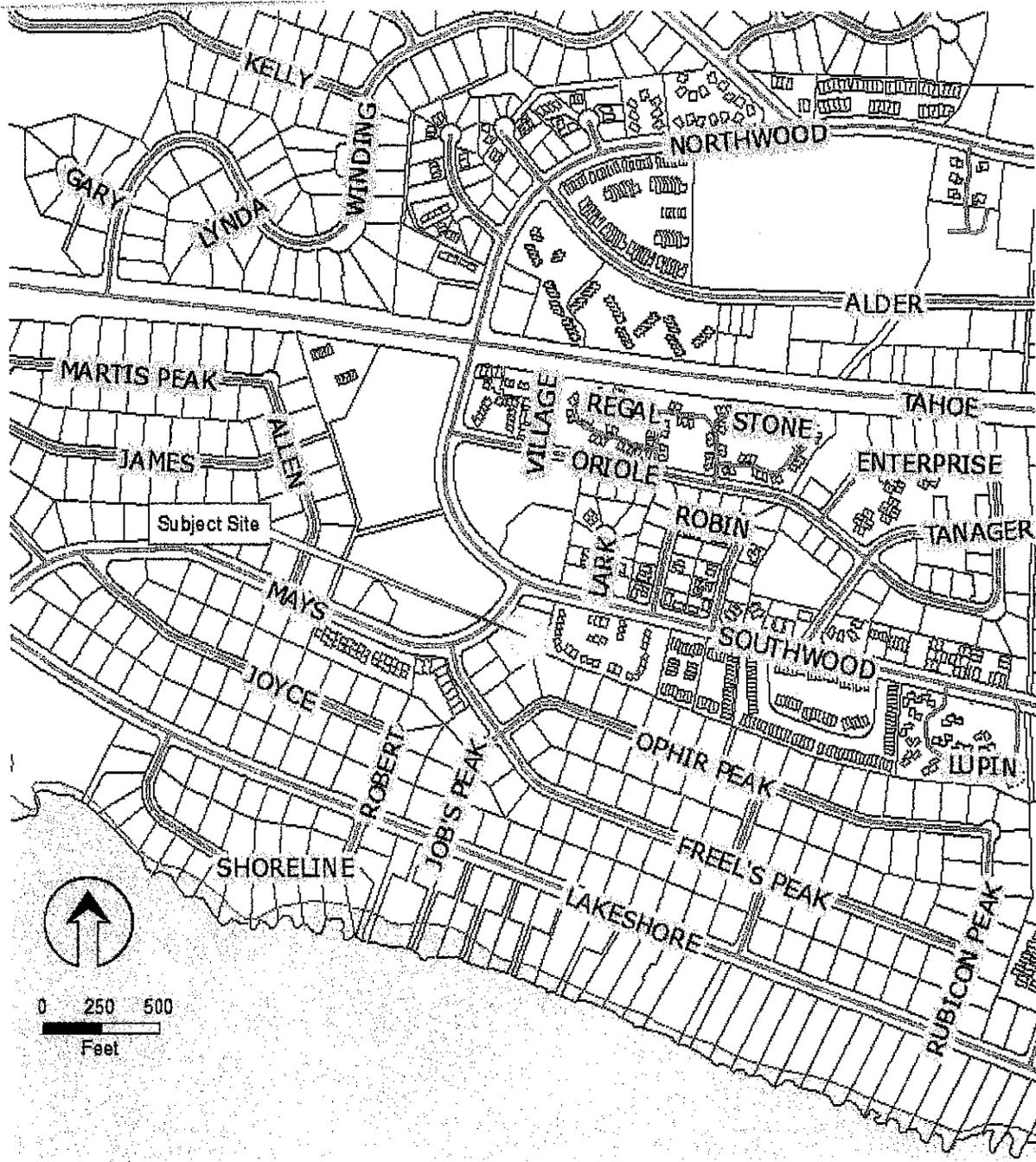
My commission expires: 05/18/2019

(Notary Stamp)



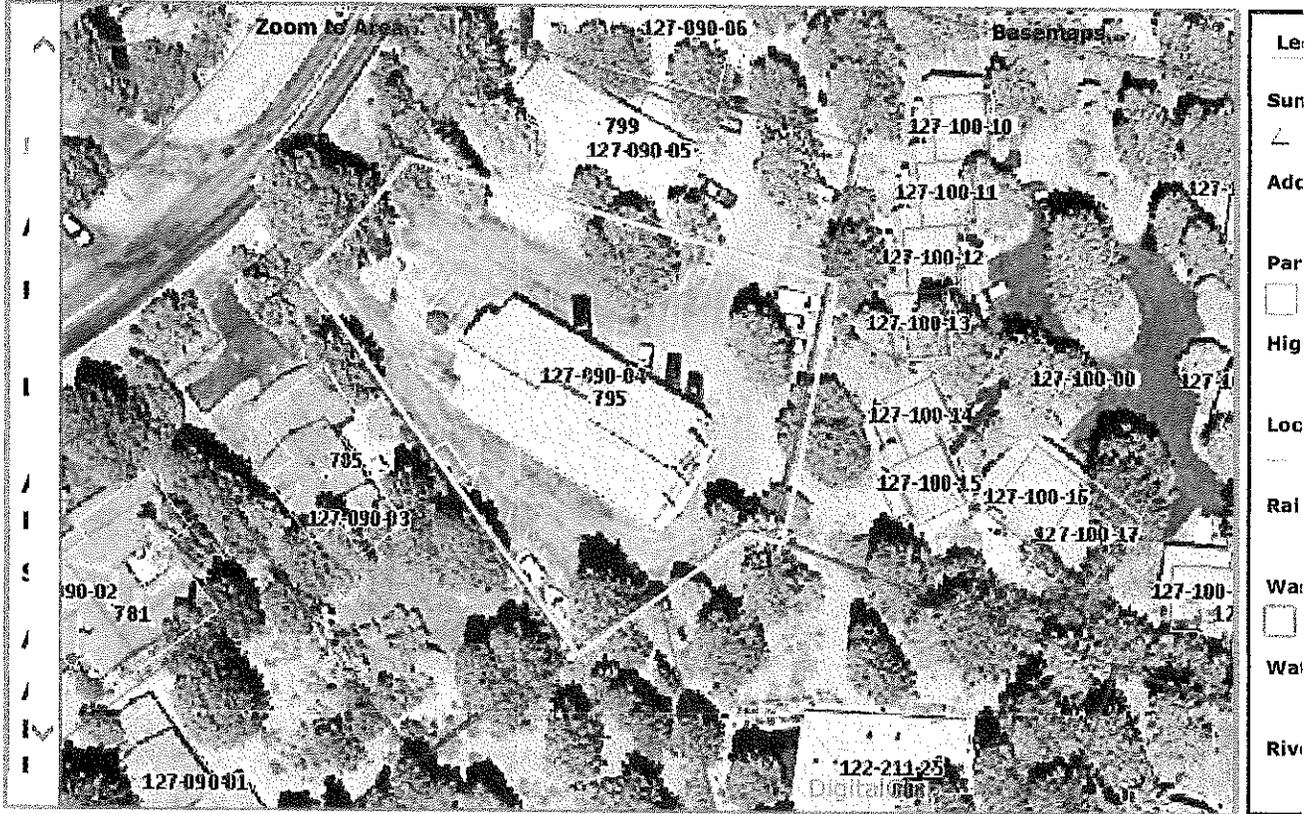
*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship



Vicinity Map

Washoe County Quick Map



Tools: Identify Measure Select Clear Print

NOTES

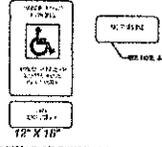
- EXISTING ASPHALT TO BE REMOVED AND REPLACED WITH CONC.
- DRIVE LANE LAYOUT SHALL BE IN ACCORDANCE WITH LOCAL ORDINANCES.
- LANDSCAPE PLAN SHALL BE SUBMITTED FOR REVIEW.
- ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
- ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
- SEE DRAWING FOR DETAILS.

PARKING CALCULATIONS

TYPE	UNIT	REQUIREMENTS	PROVIDED
STANDARD	100	1.0	100
DISABLED	100	0.05	5
TOTAL		1.05	105

SUPPLY

ITEM	QUANTITY	REQUIREMENTS
STANDARD SPACES	100	100
DISABLED SPACES	5	5
TOTAL SPACES	105	105



NOTES

- STALL AND AISLE DIMENSIONS PER PLAN.
- CLEAR ALL SURFACES TO RECEIVE STRIPS.
- MAXIMUM SLOPE 2%.

KEY NOTES

- STANDARD AREA TREATMENT OF DRAINAGE DRAINAGE FOSSEL TREATMENT UNIT - 12' X 12' X 4' D.
- DRAINAGE AREA TREATMENT OF DRAINAGE DRAINAGE FOSSEL TREATMENT UNIT - 24' X 12' X 4' D.
- DRAINAGE AREA TREATMENT 8' X 6' X 4' D.

SIGNAGE DETAILS

SCALE: 1/8" = 1'-0"

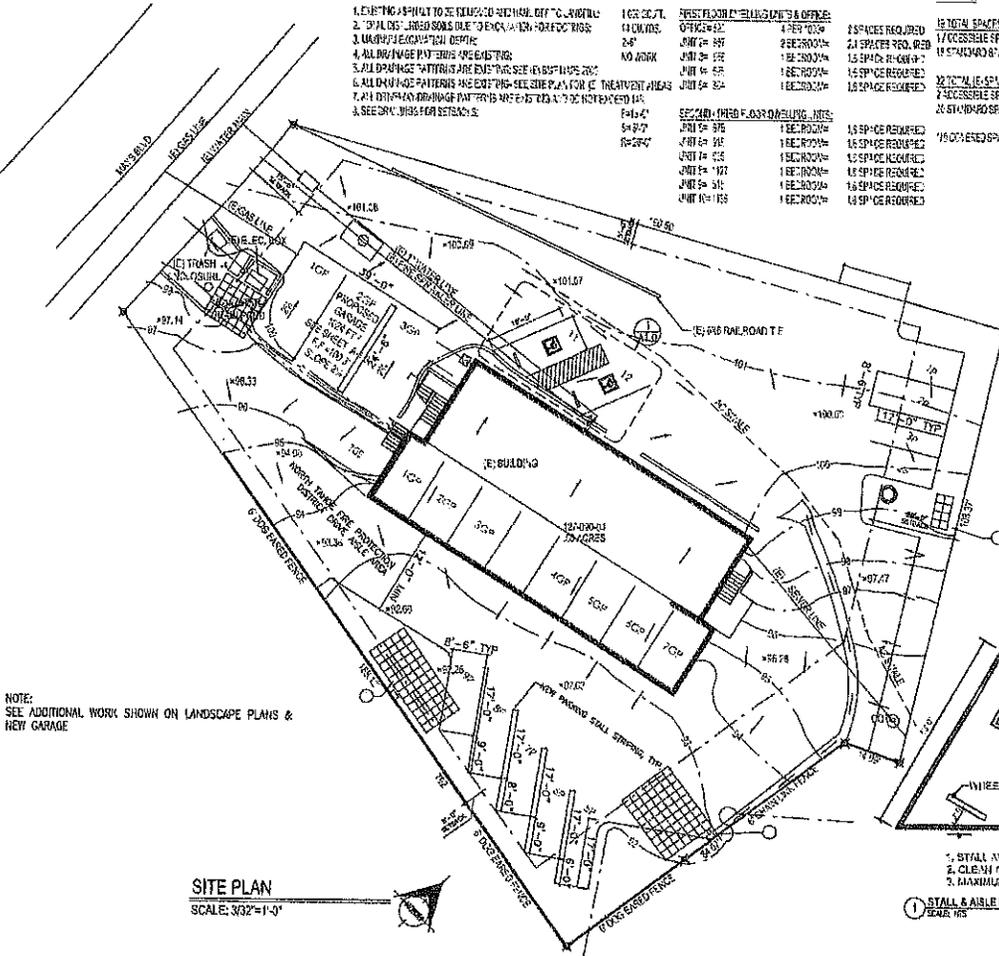
KEY NOTES

- 4" X 8" MIN. UNIVERSAL ACCESSIBLE WHITE SYMBOL ON BLUE BACKGROUND.
- 1" CONTINUOUS WHITE PAINT STRIPING, TYP.

STALL & AISLE DIMENSION DETAIL

SCALE: 1/8" = 1'-0"

- STALL AND AISLE DIMENSIONS PER PLAN.
- CLEAR ALL SURFACES TO RECEIVE STRIPS.
- MAXIMUM SLOPE 2%.



SITE PLAN
SCALE: 3/32" = 1'-0"

NOTE: SEE ADDITIONAL WORK SHOWN ON LANDSCAPE PLANS & KEY GARAGE

dube group
ARCHITECTURE
478 West 1st Street, Suite 1000, Los Angeles, CA 90012
Tel: 213.475.4500
Fax: 213.475.4501



PROJECT NO. 1000000000
DATE: 10/10/10
DRAWN BY: J. DUBE
CHECKED BY: J. DUBE
DATE: 10/10/10

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DATE: 10/10/10
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CHECKED BY: J. DUBE
DATE: 10/10/10

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DRAWN BY: J. DUBE
CHECKED BY: J. DUBE
DATE: 10/10/10

A1.0

Stanbic
 6801 Sherrin Avenue Parkway
 Dallas, TX 75230-0777
 Tel. 714.850.0777
 Fax. 714.850.0787
 stanbic.com



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Consultants

Legend

- PARKING LEGEND**
 P PROPOSED
 E EXISTING
 GP GARAGES PROPOSED
 GE GARAGES EXISTING

1/2023

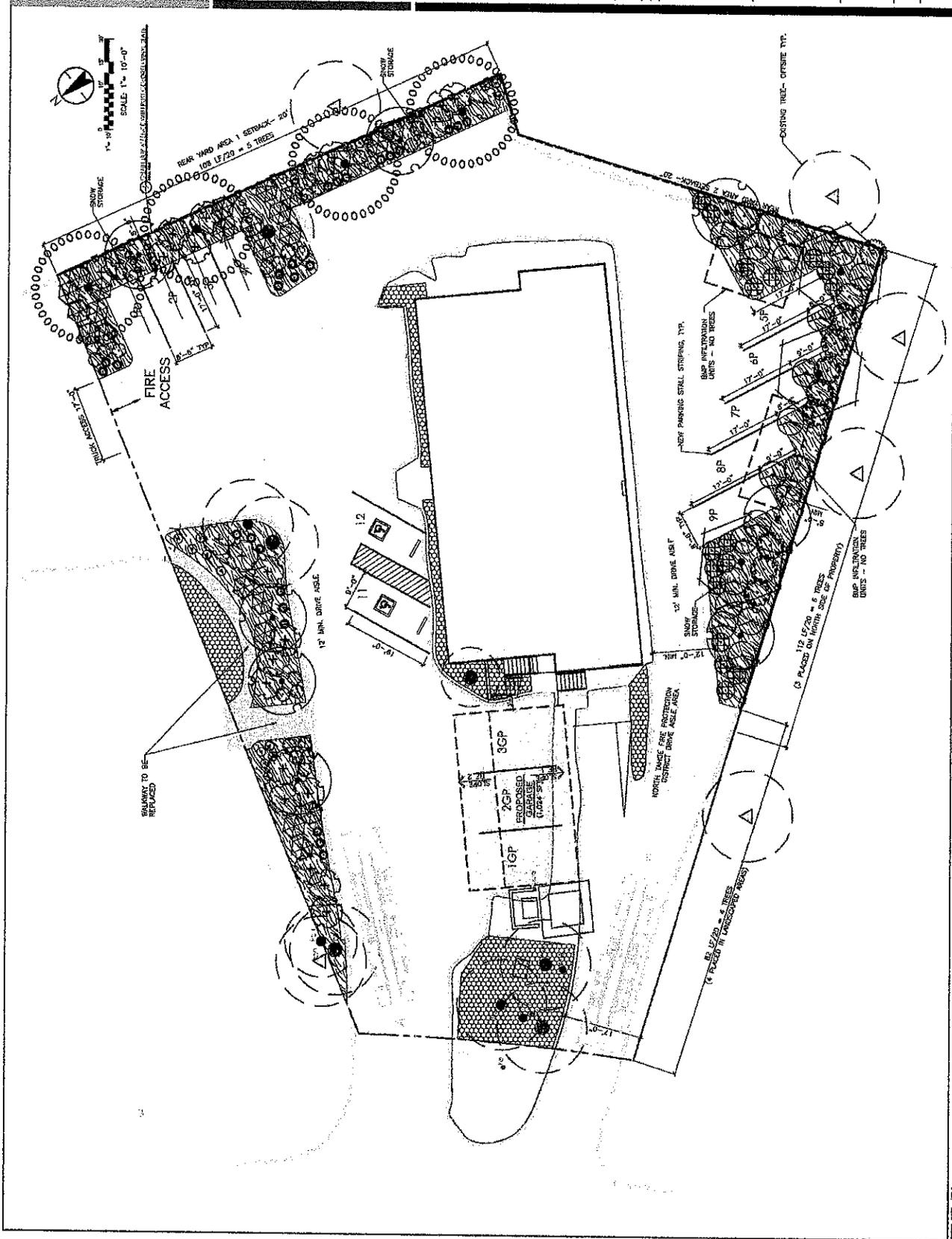
For Truck Loading Temples based upon the North Drive Fire Department's truck access, ramp at a 3' long Street R/W 25 feet wide area.

Rev.	Date	By	Appr.	Description
1	10/20/23	Y. WANG	J. WANG	ISSUED FOR PERMITS
2	10/20/23	Y. WANG	J. WANG	REVISED PER COMMENTS
3	10/20/23	Y. WANG	J. WANG	REVISED PER COMMENTS
4	10/20/23	Y. WANG	J. WANG	REVISED PER COMMENTS
5	10/20/23	Y. WANG	J. WANG	REVISED PER COMMENTS
6	10/20/23	Y. WANG	J. WANG	REVISED PER COMMENTS
7	10/20/23	Y. WANG	J. WANG	REVISED PER COMMENTS
8	10/20/23	Y. WANG	J. WANG	REVISED PER COMMENTS
9	10/20/23	Y. WANG	J. WANG	REVISED PER COMMENTS
10	10/20/23	Y. WANG	J. WANG	REVISED PER COMMENTS
11	10/20/23	Y. WANG	J. WANG	REVISED PER COMMENTS
12	10/20/23	Y. WANG	J. WANG	REVISED PER COMMENTS
13	10/20/23	Y. WANG	J. WANG	REVISED PER COMMENTS
14	10/20/23	Y. WANG	J. WANG	REVISED PER COMMENTS
15	10/20/23	Y. WANG	J. WANG	REVISED PER COMMENTS
16	10/20/23	Y. WANG	J. WANG	REVISED PER COMMENTS
17	10/20/23	Y. WANG	J. WANG	REVISED PER COMMENTS
18	10/20/23	Y. WANG	J. WANG	REVISED PER COMMENTS
19	10/20/23	Y. WANG	J. WANG	REVISED PER COMMENTS
20	10/20/23	Y. WANG	J. WANG	REVISED PER COMMENTS
21	10/20/23	Y. WANG	J. WANG	REVISED PER COMMENTS
22	10/20/23	Y. WANG	J. WANG	REVISED PER COMMENTS
23	10/20/23	Y. WANG	J. WANG	REVISED PER COMMENTS
24	10/20/23	Y. WANG	J. WANG	REVISED PER COMMENTS
25	10/20/23	Y. WANG	J. WANG	REVISED PER COMMENTS
26	10/20/23	Y. WANG	J. WANG	REVISED PER COMMENTS
27	10/20/23	Y. WANG	J. WANG	REVISED PER COMMENTS
28	10/20/23	Y. WANG	J. WANG	REVISED PER COMMENTS
29	10/20/23	Y. WANG	J. WANG	REVISED PER COMMENTS
30	10/20/23	Y. WANG	J. WANG	REVISED PER COMMENTS
31	10/20/23	Y. WANG	J. WANG	REVISED PER COMMENTS
32	10/20/23	Y. WANG	J. WANG	REVISED PER COMMENTS
33	10/20/23	Y. WANG	J. WANG	REVISED PER COMMENTS
34	10/20/23	Y. WANG	J. WANG	REVISED PER COMMENTS
35	10/20/23	Y. WANG	J. WANG	REVISED PER COMMENTS
36	10/20/23	Y. WANG	J. WANG	REVISED PER COMMENTS
37	10/20/23	Y. WANG	J. WANG	REVISED PER COMMENTS
38	10/20/23	Y. WANG	J. WANG	REVISED PER COMMENTS
39	10/20/23	Y. WANG	J. WANG	REVISED PER COMMENTS
40	10/20/23	Y. WANG	J. WANG	REVISED PER COMMENTS
41	10/20/23	Y. WANG	J. WANG	REVISED PER COMMENTS
42	10/20/23	Y. WANG	J. WANG	REVISED PER COMMENTS
43	10/20/23	Y. WANG	J. WANG	REVISED PER COMMENTS
44	10/20/23	Y. WANG	J. WANG	REVISED PER COMMENTS
45	10/20/23	Y. WANG	J. WANG	REVISED PER COMMENTS
46	10/20/23	Y. WANG	J. WANG	REVISED PER COMMENTS
47	10/20/23	Y. WANG	J. WANG	REVISED PER COMMENTS
48	10/20/23	Y. WANG	J. WANG	REVISED PER COMMENTS
49	10/20/23	Y. WANG	J. WANG	REVISED PER COMMENTS
50	10/20/23	Y. WANG	J. WANG	REVISED PER COMMENTS

Client/Project
 CARLSON AND ASSOC. LTD
 758 MAYS BOULEVARD
 PARCEL 12708104
 INCLINE VILLAGE, NEVADA

18 PLANTING PLAN

Project No. 24-0187
 Scale 1" = 10'-0"
 Drawing No. 18
 Sheet 3 of 8
 Revision 0









**Administrative Permit Application
Supplemental Information**

(All required information may be separately attached)

1. What is the type of project or use being requested?

The conversion of a portion of the first floor of an existing commercial office building into four residential apartments

2. What section of the Washoe County code requires the Administrative permit required?

Chapter 110, table 110.302.05.1

3. What currently developed portions of the property or existing structures are going to be used with this permit?

The permit is requesting to convert commercial offices on the first floor of a existing building into residential apartments. The building presently has six apartments on the second floor. The total amount of living units would be ten.

4. What improvements (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.) will have to be constructed or installed and what is the projected time frame for the completion of each?

Tenant improvements will be within existing building envelope, a three car garage will be added to meet Code for garage parking. Garage will be built in the same time frame.

5. Is there a phasing schedule for the construction and completion of the project?

This is a second phase of a two phase project, first phase has been completed and approved.

6. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

Village Shopping Center West of property, Apt. building to the N., Apt./ Condos to the E., one single family home to the S.

7. What are the anticipated beneficial aspects or effect your project will have on adjacent properties and the community?

Provide for additional medium income house for the area; which has been a Community as well as a County goal for several years.

8. What will you do to minimize the anticipated negative impacts or effect your project will have on adjacent properties?

Help with neighbors fencing on the S. of the property. Provide a improve landscaping around building.

9. Please describe any operational parameters and/or voluntary conditions of approval to be imposed on the administrative permit to address community impacts.

WMOD17-0004 Regarding Admin. Permit Case WADMIN16-0001 To eliminate the required LS buffer between a parking area, a corner of the existing building; parking and adjacent residential uses.

10. How many improved parking spaces, both on-site and off-site, are available or will be provided? (Please indicate on site plan.)

22 parking spaces will be available; which includes 10 garages for the apt.'s and 12 off street spaces for apt use and their guests.

11. What types of landscaping (e.g. shrubs, trees, fencing, painting scheme, etc.) are proposed? (Please indicate location on site plan.)

170 new shrubs, 15 new trees, new fencing on S. side, repainting entire building (same color).

12. What type of signs and lighting will be provided? On a separate sheet, show a depiction (height, width, construction materials, colors, illumination methods, lighting intensity, base landscaping, etc.) of each sign and the typical lighting standards. (Please indicate location of signs and lights on site plan.)

No additional sign-age or lighting will be added.

13. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the administrative permit request? (If so, please attach a copy.)

Yes No

14. Utilities:

a. Sewer Service	provided by IVGID
b. Water Service	provided by IVGID (obtained water rights and upgraded meter from IVGID)

For most uses, the Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required:

c. Permit #		acre-feet per year	
d. Certificate #		acre-feet per year	
e. Surface Claim #		acre-feet per year	
f. Other, #		acre-feet per year	

Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources):

IVGID has title to water right and will release them to the property once permit has been finalized and a installed meter. IVGID paid invoice # 15081,14857 &15185

	WASHOE COUNTY ASSESSOR PROPERTY DATA	04/09/2019
--	---	------------

APN: 127-090-04 Card 1 of 2

Owner Information & Legal Description

Situs 795 MAYS BLVD, WASHOE COUNTY
89451

Owner 1 CARLSON & ASSOCIATES LTD PTSP

Mail Address 9 SILVER SADDLE CT
WASHOE VALLEY NV 89704

Rec Doc No 2976509 Rec Date 01/02/2004

Prior Owner CARLSON AND ASSOCIATES LTD,

Prior Doc 2596374

Keyline Desc FR SE4 SE4 SEC 16 TWP 16 RGE 18

Subdivision _UNSPECIFIED

Lot: Block: Sub Map#

Record of Survey Map: Parcel Map#

Section: 16 Township: 16 SPC
Range: 18

Tax Dist 5200 Add'l Tax Prior APN
Info

Tax Cap Use does not qualify for Low Cap, High
Status Cap Applied

Building Information

Quality C20 Avg

Occupancy Office Building
Sec Occupancy

Stories 3.00

Square Feet 3,813

Year Built 1982

Square Feet does not include Basement
or Garage Conversion Area.

W.A.Y. 1992

Finished Bsmt 1,258

Bedrooms 0

Unfin Bsmt 2,555

Full Baths 0

Bsmt Type MULT TYPES

Half Baths 0

Gar Conv Sq Foot 0

Fixtures

Total Gar Area 0

Fireplaces 0

Gar Type

Heat Type FORCED
AIR

Det Garage 0

Sec Heat Type

Bsmt Gar Door 0

Ext Walls STUD-WD
SID

Sub Floor

Sec Ext Walls

Frame WD/STL FRAME

Roof Cover

Construction Mod 0

Obso/Bldg Adj -438,209

Units/Bldg 1

% Complete 79 %

Units/Parcel 7

Land Information

Land Use 410,330

Zoning MDU Sewer Municipal NBC TAEQ

Size 24,394 SqFt or ~0.56 Acre

Water Muni Street Paved NBC Map NBC Map Index

Valuation Information

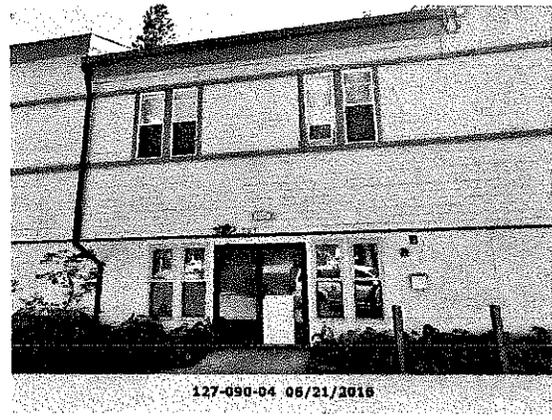
Valuation History	2018/19 FV	2019/20 VN	V-Code	DOR	Doc Date	Value/Sale Price	Grantor	Grantee
Taxable Land Value	273,910	273,910	3NTT	410	01-02-2004	0	CARLSON AND ASSOCIATES LTD,	CARLSON AND ASSOC LTD P
Taxable Improvement Value	241,090	241,090	3NTT	410	09-21-2001	0	CARLSON AND ASSOCIATES LTD,	CARLSON AND ASSOCIATES I
			2SVL	410	06-01-2000	1,230,000		CARLSON AND ASSOCIATES I
Taxable Total	515,000	515,000						
Assessed Land Value	95,869	95,869						
Assessed Improvement Value	84,381	84,381						
Total Assessed	180,250	180,250						

Sales/Transfer Information/Recorded Document

The 2019/2020 values are preliminary values and subject to change.

Building #1 Sketch

Property Photo



127-090-04 06/21/2016

If the property sketch is not available on-line you can obtain a

Account Detail

[Back to Account Detail](#) [Change of Address](#) [Print this Page](#)

CollectionCart

Collection Cart	Items	Total	Checkout	View
	0	\$0.00		

Pay Online

No payment due for this account.

Washoe County Parcel Information

Parcel ID	Status	Last Update
12709004	Active	4/9/2019 2:07:24 AM

Current Owner:

CARLSON & ASSOCIATES LTD PTSP
9 SILVER SADDLE CT
WASHOE VALLEY, NV 89704

SITUS:
795 MAYS BLVD
INCLINE VILLAGE NV

Taxing District
5200

Geo CD:

Legal Description

Section 16 SubdivisionName _UNSPECIFIED Lot Block Range 18 Township 16

Tax Bill (Click on desired tax year for due dates and further details)

Tax Year	Net Tax	Total Paid	Penalty/Fees	Interest	Balance Due
2018	\$12,031.85	\$12,031.85	\$0.00	\$0.00	\$0.00
2017	\$8,565.55	\$8,565.73	\$0.00	\$0.00	\$0.00
2016	\$8,254.54	\$8,254.54	\$0.00	\$0.00	\$0.00
2016	\$306.95	\$306.96	\$0.00	\$0.00	\$0.00
2015	\$8,317.99	\$8,317.99	\$0.00	\$0.00	\$0.00
2014	\$8,296.42	\$8,296.42	\$0.00	\$0.00	\$0.00
Total					\$0.00

Disclaimer

- ALERTS: If your real property taxes are delinquent, the search results displayed may not reflect the correct amount owing. Please contact our office for the current amount due.
- For your convenience, online payment is available on this site. E-check payments are accepted without a fee. However, a service fee does apply for online credit card payments. See Payment Information for details.

Pay By Check

Please make checks payable to:
WASHOE COUNTY TREASURER

Mailing Address:
P.O. Box 30039
Reno, NV 89520-3039

Overnight Address:
1001 E. Ninth St., Ste D140
Reno, NV 89512-2845



The Washoe County Treasurer's Office makes every effort to produce and publish the most current and accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use, or its interpretation. If you have any questions, please contact us at (775) 328-2510 or tax@washoecounty.us



Director's Modification of Standards

Director's Modification Case Number: WMOD17-0004

Subject: Director's Modification Case Number: WMOD17-0004
Regarding Administrative Permit Case Number
WADMIN16-0001

Applicant(s): Tim Carlson, 9 Silver Saddle Court, Washoe Valley, NV
89704

Summary: To reduce the width of the required landscape buffer in certain areas between a parking area for multi-family residential use and adjacent single-family residential uses, and to eliminate the required landscape buffer in one area between a parking area for multi-family residential use and adjacent single-family residential uses.

Recommendation: **Approval with Conditions**

Prepared by: Roger Pelham, MPA, Senior Planner
Washoe County Community Services Department
Planning and Development Division
775.328.3622
E-Mail: rpelham@washoecounty.us

Approved by: Mojra Hauenstein, Director
Planning and Development Division
Washoe County Community Services Department

Phone: 775.328.3619
E-Mail: mahuenstein@washoecounty.us

Description

Director's Modification Case Number WMOD17-0004 (Tim Carlson) – To reduce the width of the required landscape buffer in certain areas between a parking area for multi-family residential use and adjacent single-family residential uses, and to eliminate the required landscape buffer in one area between a parking area for multi-family residential use and adjacent single-family residential uses.

- Applicant / Property Owner: Tim Carlson, 9 Silver Saddle Court, Washoe Valley, NV 89704
- Location: 795 Mays Boulevard, Incline Village, NV
- Assessor's Parcel Number.: 127-090-04
- Parcel Size: ±0.54 acres
- Master Plan Category: Urban Residential (UR)
- Regulatory Zone: Medium Density Urban (MDU)
- Area Plan: Tahoe

- Development Code: Authorized in Article 412, Landscaping
- Commission District: 1 – Commissioner Berkgigler
- Section/Township/Range: Section 16, T16N, R18E, MDM,
Washoe County, NV

Washoe County Development Code

Article 412, Landscaping

Section 110.412.50 Parking and Loading Areas. In addition to other required landscaping, all parking and loading areas shall provide minimum landscaping as set forth in this section. Any trees required in Sections 110.412.35 through 110.412.45 may contribute toward the minimum coverage requirement.

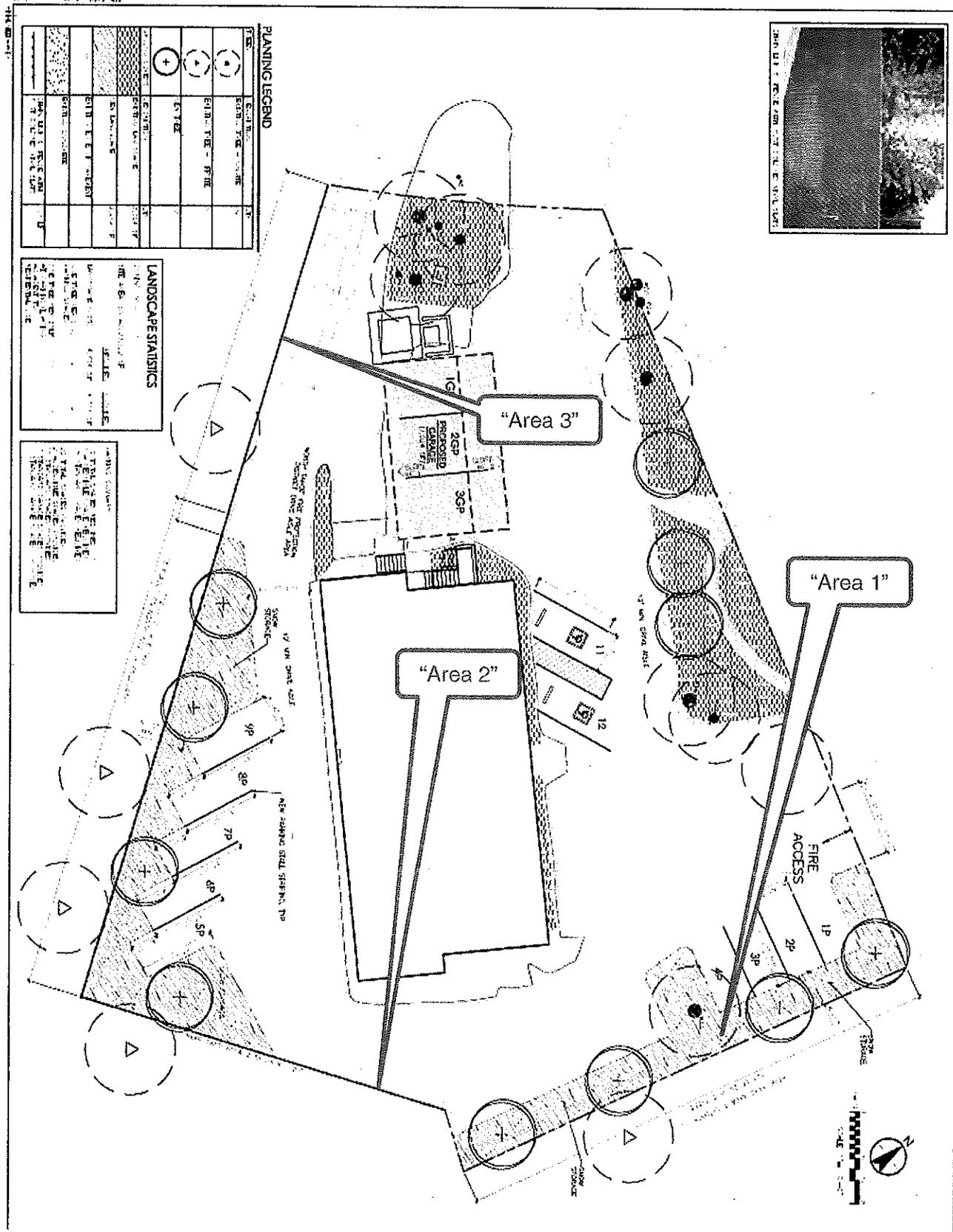
- (c) **Landscaped Buffers Adjoining Residential Uses.** As generally depicted in Figure 110.412.50.2, when a parking or loading area adjoins a residential use, a landscaped buffer is required as follows:
- (1) The buffer shall be the width of the required yard for the entire length of the adjoining common property line; and
 - (2) The buffer shall include at least one (1) tree every twenty (20) linear feet, or fraction thereof, planted in off-set rows.
- (d) **Screening Adjoining Residential Uses.** As generally depicted in Figure 110.412.50.2, when a parking or loading area adjoins a rear or non-street side yard of a residential use, a solid decorative wall or fence shall be erected along the entire length of the property line. This wall or fence shall be at least six (6) feet but not more than seven (7) feet in height.

Section 110.410.35 Modification of Standards. The requirements of this article may be modified by the Director of Planning and Development, in cases in which, due to the unusual nature of the establishment proposed or the development proposal submitted for it, the standards set forth herein may be considered insufficient or excessive. The Director may consider the existence of special transit incentives and services, car pooling programs, and significant use of pedestrian and bicycle access. Decisions of the Director pursuant to this section may be appealed pursuant to Article 808, Administrative Permits.

The location for each of the requested parts of the modification are indicated on the following landscape plans, submitted as part of this request.

The applicant has requested modification buffering standards including:

- (1) To reduce the rear yard landscape buffer setback in Area 1 from 20 feet to 8 feet to preserve the necessary clear zone for a fire truck turning movement as well as a fire truck access on the north side of the parcel to the adjacent parcel.
- (2) To reduce the rear yard landscape buffer setback in Area 2 from 20 feet to 0 feet, to preserve the necessary clear zone for a fire truck turning movement as well as a fire truck access on the east side of the parcel.
- (3) To eliminate approximately 82 linear feet of the required side yard landscape buffer in Area 3 to maintain the minimum driveway opening of 17 feet from property line to the front yard landscape area.



Approved Modifications

The landscape plans submitted with this application for modification are found to be generally acceptable to the Director. The Director finds that the unusual nature of the development includes the fact that the building was built over 30 years ago and was in conformance with applicable Codes at that time. The building is now being repurposed and, due to the change in use, is required to come into conformance with current Code standards. It is necessary to modify the required buffering standards to maintain appropriate access for emergency vehicles, and to maintain the minimum required driveway opening.

The following conditions of approval must be adhered to for approval of this modification to be effective, the Planning and Development Division, shall be responsible for determining compliance with these conditions:

- 1) The applicant shall submit, to Washoe County, complete building and improvement plans for the entire site and modification of the existing structure, within 12 months of the date of this approval.
- 2) A copy of this modification shall be attached to all administrative applications, including building permits.
- 3) Buffering standards require, "at least one (1) tree every twenty (20) linear feet, **or fraction thereof**" "Area 1" shall include at least 6 trees.
- 4) A minimum of 4 trees (as would have been otherwise required in "Area 3") shall be added elsewhere on the subject site.
- 5) All landscape areas on the subject site shall be planted to achieve 100% vegetative coverage within 3 years of planting in accordance with *Washoe County Code, Chapter 110, Article 412, Landscaping*.
- 6) All landscape areas on the subject site shall be provided with permanent irrigation in accordance with *Washoe County Code, Chapter 110, Article 412, Landscaping*.
- 7) All required fencing shall consist of chain-link with vinyl slats. Metal shall be non-reflective and vinyl slats shall achieve 90% opacity level with the diagonal slat configuration in a rust or redwood color.
- 8) All improvements shall be done by a contractor, licensed in the State of Nevada.
- 9) Prior to approval of any Certificate of Occupancy, the applicant shall contact the Planning and Development Division for inspection of all required landscape improvements. All improvements on the subject site shall meet all generally applicable provisions of Washoe County Code Chapter 110.

This modification is effective June 27, 2017, [pending the required 10-day appeal period].

Washoe County Community Services Department
Planning and Development Division



Mojra Hauenstein, Architect, AICP Planner, LEED AP Neighborhood Development
Director of Planning & Development

- (d) Spaces Based on Employees. The employee requirements used in Table 110.410.10.1 through Table 110.410.10.5 to calculate parking spaces refer to the maximum number of employees who could be working at one time when the facility is operating at full capacity.
- (e) Rounding Off Numbers. Whenever the computation of the number of off-street parking spaces required by Table 110.410.10.1 through Table 110.410.10.5 results in a fractional parking space, one (1) additional parking space shall be required for a fractional space of one-half (1/2) or more. A fractional space of less than one-half (1/2) shall not be counted.

Table 110.410.10.1

OFF-STREET PARKING SPACE REQUIREMENTS (Residential Use Types)
 (See Section 110.410.10 for explanation)

Residential Use Types (Section 110.304.15)	Spaces Required
Family Residential	
Attached Accessory Dwelling	1 per attached accessory dwelling unit, in addition to other required spaces
Detached Accessory Dwelling	1 per detached accessory dwelling unit, in addition to other required spaces
Detached Accessory Structure	None
Duplex	2 per dwelling unit, 1 of which must be in an enclosed garage
Fabricated Home	*2 per fabricated home
Multi Family	1.6 for 1 bedroom units, 2.1 for 2 bedroom and larger units; 1 of which must be in an enclosed garage or carport
Single Family Attached	2 per dwelling unit, 1 of which must be in an enclosed garage
Single Family Detached	2 per dwelling unit, 1 of which must be in an enclosed garage
Manufactured Home Parks	1.5 per manufactured home, plus 1 per 5 units for guest parking
Group Home	.25 per bed, plus 1 per employee during peak employment shift

Note: * = Article 312, Fabricated Housing, may require 1 parking space to be in an enclosed garage or carport.

NOTES

- EXISTING ASPHALT TO BE REMOVED AND HAUL OFF TO LANDFILL.
- TOTAL DISTURBED SOILS DUE TO EXCAVATION FOR FOOTINGS:
- MAXIMUM EXCAVATION DEPTH:
- ALL DRAINAGE PATTERNS ARE EXISTING.
- ALL DRAINAGE PATTERNS ARE EXISTING- SEE (E) BMP MAPS 2009
- ALL DRAINAGE PATTERNS ARE EXISTING- SEE SITE PLAN FOR (E) TREATMENT AREAS
- ALL DRIVEWAY/DRAINAGE PATTERNS ARE EXISTING AND DO NOT EXCEED 14%
- SEE DRAWINGS FOR SETBACKS:

PARKING CALCULATIONS

FIRST FLOOR DWELLING UNITS & OFFICE:	1,000 SQ. FT.
OFFICE= 520	4 PER 1000=
UNIT 2= 987	2 BEDROOM=
UNIT 3= 666	1 BEDROOM=
UNIT 4= 695	1 BEDROOM=
UNIT 5= 804	1 BEDROOM=

SECOND / THIRD FLOOR DWELLING UNITS:

UNIT 5= 675	1 BEDROOM=
UNIT 6= 918	1 BEDROOM=
UNIT 7= 685	1 BEDROOM=
UNIT 8= 1127	1 BEDROOM=
UNIT 9= 515	1 BEDROOM=
UNIT 10= 1136	1 BEDROOM=

SUMMARY:

- 19 TOTAL SPACES REQUIRED
- 1 ACCESSIBLE SPACE REQUIRED
- 18 STANDARD SPACES REQUIRED*
- 22 TOTAL (E) SPACES PROVIDED
- 2 ACCESSIBLE SPACES PROVIDED*
- 20 STANDARD SPACES PROVIDED*

- *10 COVERED SPACES
- 1.6 SPACE REQUIRED

NOTES:

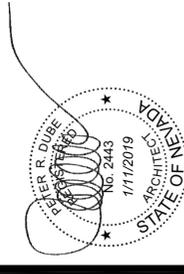
- SIGN SHALL BE MOUNTED NO LESS THAN 7 FEET ABOVE GROUND PROVIDE SIGNS, SIGN POST AND FOUNDATION PER SDPWC 12-415. SURFACE (TO BOTTOM OF SIGN) IN CLEAR VIEW OF PARKING STALL.
- TEXT, COLORS AND PLACEMENT PER MUTCD.
- PROVIDE "NO PARKING" SIGN AND SIGN POST AND FOUNDATION PER SDPWC R-415, AT ACCESSIBLE PARKING AISLE BETWEEN ACCESSIBLE PARKING STALLS, PER PLAN.
- PROVIDE VANDAL RESISTANT HARDWARE.

2 SIGNAGE DETAILS

SCALE: NTS

KEY NOTES

- (E) DRAINAGE AREA; TREATMENT DRAINAGE INLET W/ FOSSIL TEE TREATMENT UNIT- 16' L X 12' W X 48" D
- (E) DRAINAGE AREA; TREATMENT DRAINAGE INLET W/ FOSSIL TEE TREATMENT UNIT- 24' L X 10' D X 42" D
- DRAINAGE AREA; TREATMENT 8' L X 6' D X 36" D



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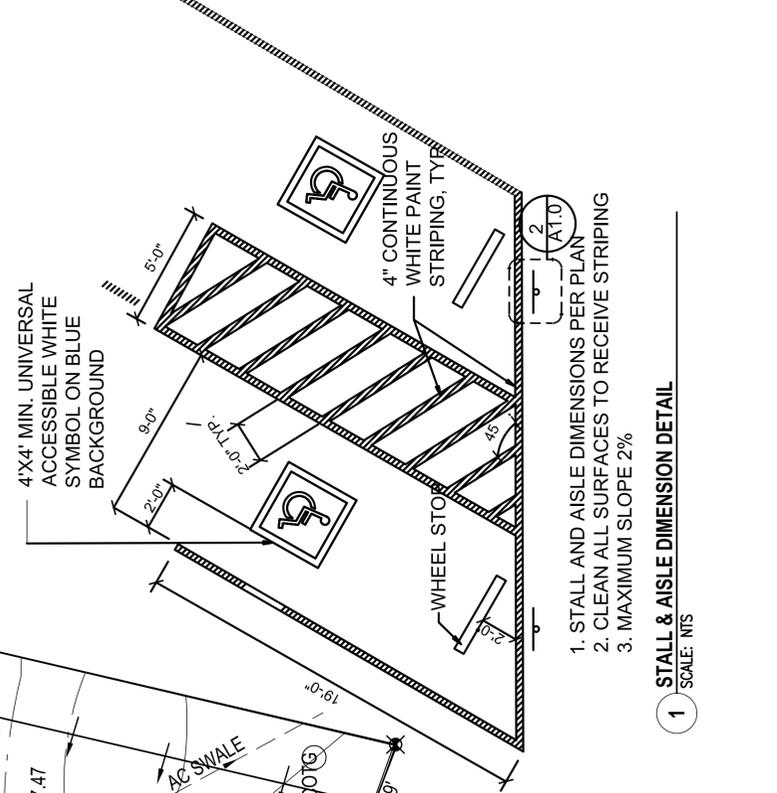
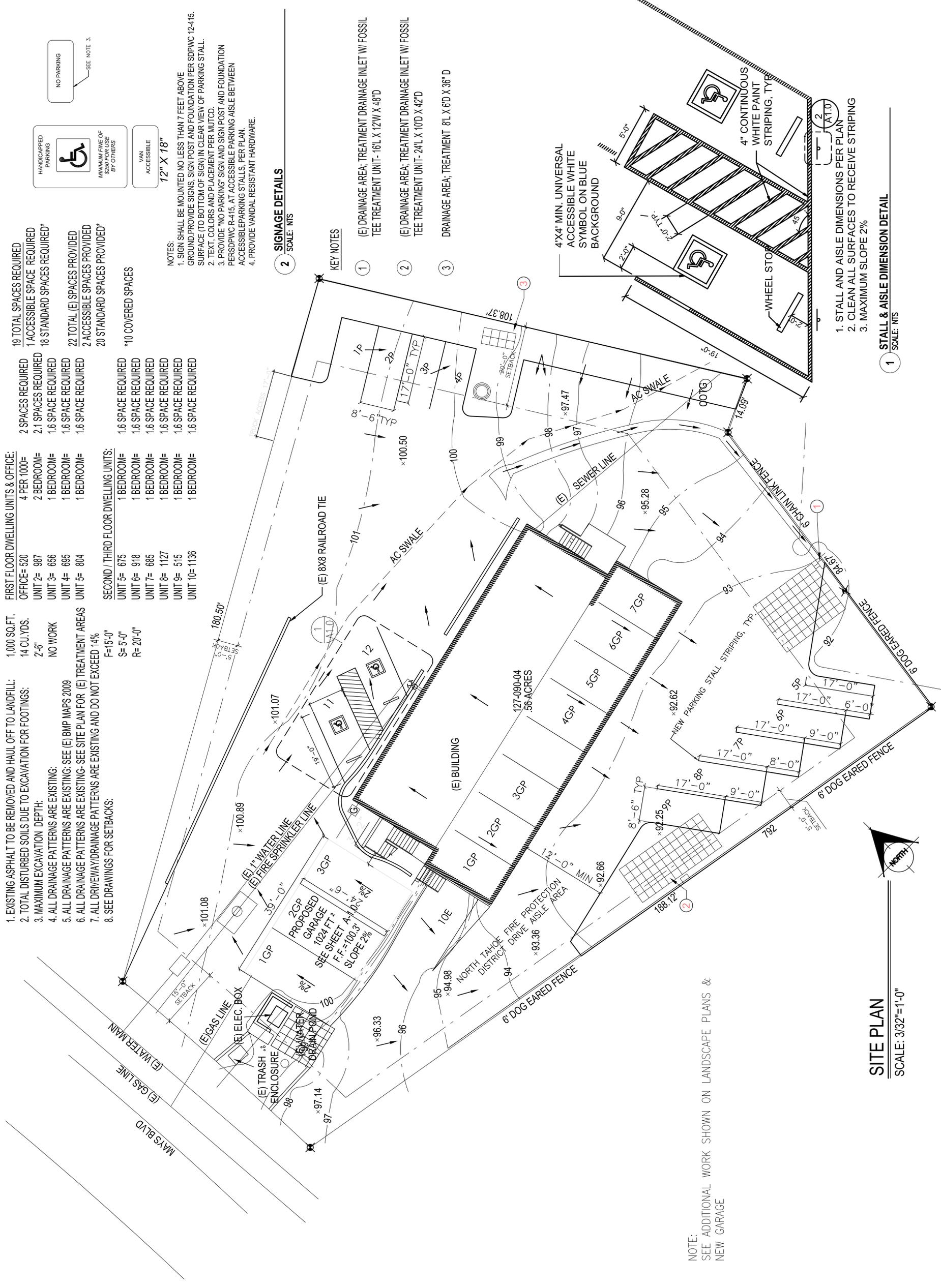
project title:
 PHASE 2- FIRST FLOOR TENANT IMPROVEMENTS APARTMENTS AND OFFICE

job number:	18-100
date:	01/11/2019
drawn by:	AMM
checked by:	prd
revisions:	

sheet description:
 ARCHITECTURAL SITE PLAN

SITE PLAN
 SCALE: 3/32"=1'-0"

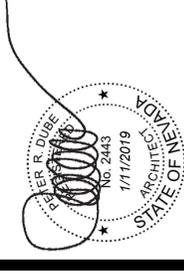
NOTE:
 SEE ADDITIONAL WORK SHOWN ON LANDSCAPE PLANS & NEW GARAGE



- 1 STALL AND AISLE DIMENSIONS PER PLAN**
- CLEAN ALL SURFACES TO RECEIVE STRIPING
 - MAXIMUM SLOPE 2%

1 STALL & AISLE DIMENSION DETAIL
 SCALE: NTS

NOTE: FULL-SIZE SETS ARE 24"X36" HALF-SIZE SETS ARE 12X18 CONFIRM SCALES SHOWN ON DRAWINGS



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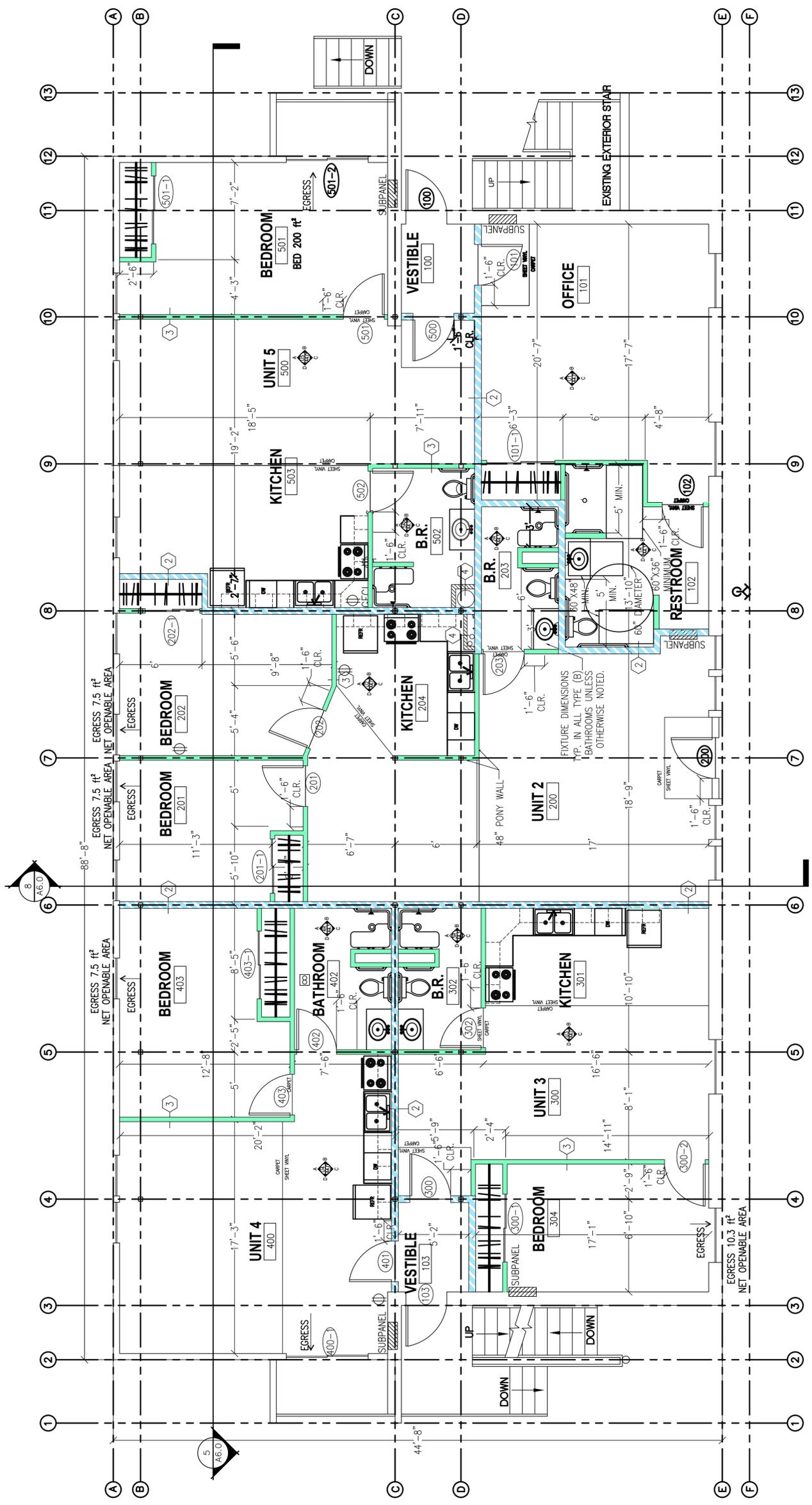
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project title:
PHASE 2- FIRST FLOOR TENANT IMPROVEMENTS APARTMENTS AND OFFICE

job number: 18-100
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checked by: prd
revisions:

sheet description:
NEW FIRST FLOOR PLAN

sheet number:
A2.3



NEW FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

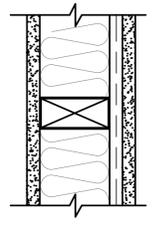
GENERAL NOTES

1. VERIFY ALL DIMENSIONS. DIMENSIONS GIVEN ARE TO CENTER OF STUD UNLESS OTHERWISE NOTED.
2. FIRE STOPPING: ANY PENETRATIONS THROUGH WALL TYPE 1, 2, OR 4 SEE DETAIL 2-48.1 PROVIDE WINDOW OPENING CONTROL DEVICE PER SECTION 1013.8.1 THAT COMPLIES WITH ASTM F 2090. ANGLE VENTILOCK RETROFIT OR APPROVED EQUIVALENT. INSTALL AT ALL OPERABLE WINDOWS WITH SILLS LOCATED MORE THAN 72" INCHES ABOVE FINISHED GRADE IF THE SILL IS LESS THAN 36" ABOVE THE FLOOR LINE.
3. INSTALL BACKER FOR ADA GRAB BARS TYP. ALL LOCATIONS. SEE DETAIL 1-48.1
4. EXISTING EXTERIOR WALLS
OUTER: 3/4" PLYWOOD SHEATHING 2X6 STUDS
INNER: 5/8" GYPSUM WALLBOARD
NOTE: ALL WORK DONE TO EXTERIOR WALLS WILL BE REPAIRED/REPLACED IN-KIND

KEY NOTES

1. CA FILE NO. WP 3243, GENERIC 1 HOUR FIRE / 50-54 STC SOUND TYPICAL- ALL UNIT SEPARATIONS
2. WALL TYPE 2- 1HR RATED WOOD FRAMED SCALE: NTS
3. WALL TYPE 3 (NON-RATED) SCALE: NTS
4. EXISTING MECH. SHAFT 2 HR RATED SCALE: NTS

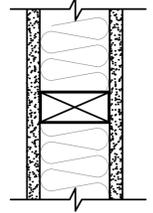
GYPSUM WALLBOARD, RESILIENT CHANNELS, GLASS FIBER INSULATION, WOOD STUDS



RESILIENT CHANNELS 24" O.C. ATTACHED AT RIGHT ANGLES TO ONE SIDE OF 2 X 4 WOOD STUDS 24" O.C. WITH 1 1/4" TYPE S DRYWALL SCREWS. ONE LAYER 5/8" TYPE X GYPSUM WALL VENEER BASE APPLIED AT RIGHT ANGLES TO CHANNELS WITH 1" TYPE S DRYWALL SCREWS 8" O.C. WITH VERTICAL JOINTS LOCATED MIDWAY BETWEEN STUDS. 3" MINERAL OR GLASS FIBER INSULATION IN STUD SPACE.
OPPOSITE SIDE: ONE LAYER 5/8" TYPE X GYPSUM VENEER BASE APPLIED PARALLEL OR AT RIGHT ANGLES TO STUDS WITH 6D CEMENT COATED NAILS, 1 7/8" LONG, 0.0915" SHANK, 15/64" HEADS, 7" O.C.

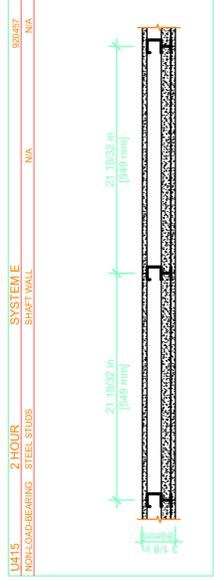
GYPSUM WALLBOARD, WOOD STUDS

ONE LAYER 5/8" TYPE X GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED PARALLEL OR AT RIGHT ANGLES TO EACH SIDE OF 2X4 WOOD STUDS 24" O.C. WITH 1" TYPE S DRYWALL SCREWS 8" O.C. AT VERTICAL JOINTS AND 12" O.C. AT WALL PERIMETER AND INTERMEDIATE STUDS. FACE LAYER 5/8" TYPE X GYPSUM WALLBOARD OR GYPSUM VENEER BASE APPLIED PARALLEL OR AT RIGHT ANGLES TO ONE SIDE WITH 1-5/8" TYPE S DRYWALL SCREWS 12" O.C.
JOINTS STAGGERED 24" EACH LAYER AND SIDE. SOUND TESTED WITH 3 1/2" CLASS FIBER FRICTION FIT IN STUD SPACE. (NLB)

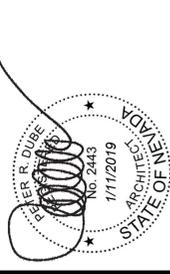


WALL LEGEND

- TYPE 2 1 HR RATED TYPE 3 EXTERIOR WALLS 2HR RATED SHAFT STEEL STUD (NON-LOAD-BEARING)
- TYPE 3 EXTERIOR WALLS 2HR RATED SHAFT STEEL STUD (NON-LOAD-BEARING)
- TYPE 4 EXISTING MECH. SHAFT 2 HR RATED



1/2 IN. THICK GYPSUM BOARD APPLIED HORIZONTALLY OR VERTICALLY.
STEEL STUDS: 2-1/2 IN. C-H STUDS, 25 GA. SPACED 24 IN. O.C.
GYPSUM BOARD: 1 IN. THICK BY NOM. 2 FT. WIDE GYPSUM LINER PANELS FRICTION FIT.
GYPSUM BOARD: 1/2 IN. THICK GYPSUM BOARD APPLIED HORIZONTALLY OR VERTICALLY.



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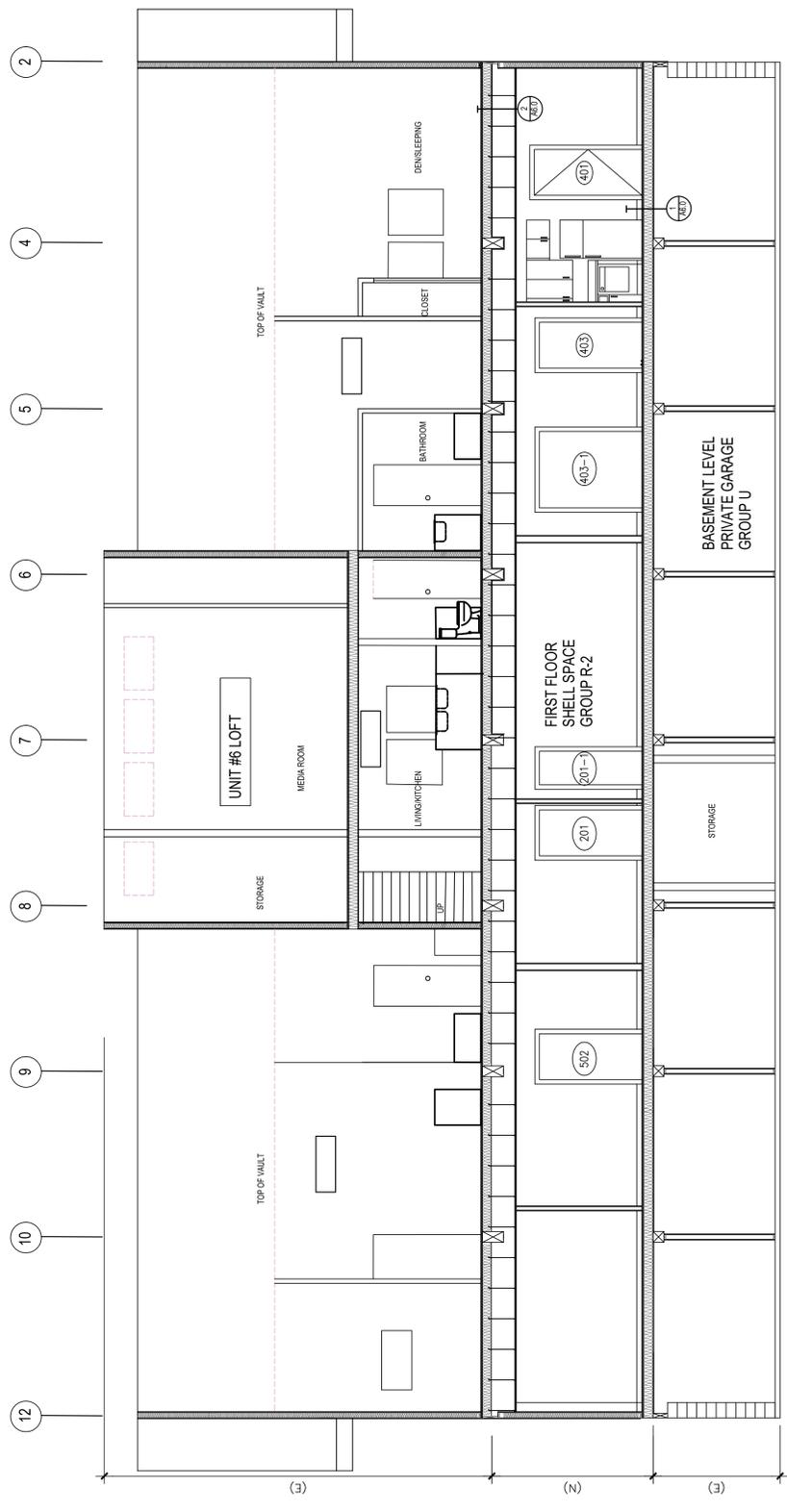
project file:
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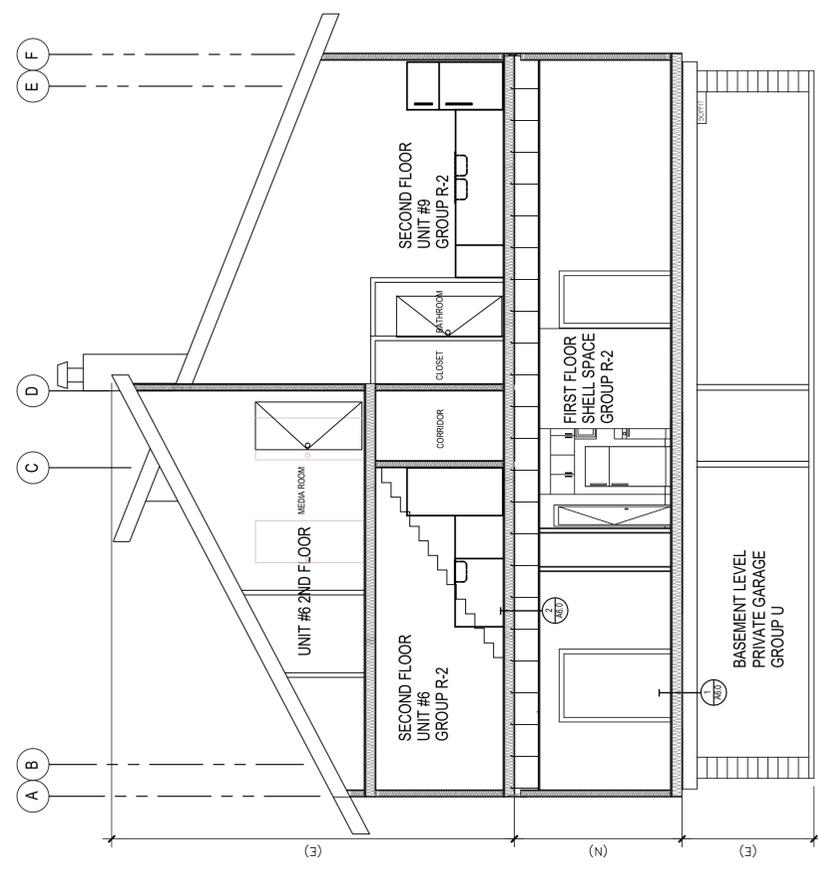
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BUILDING SECTIONS AND HORIZONTAL ASSEMBLIES

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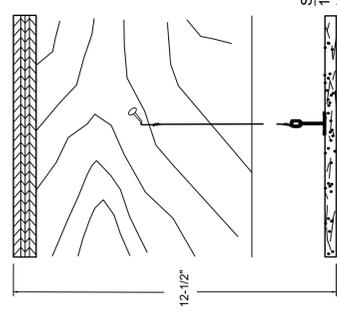
A6.0



5 BUILDING SECTION 1
SCALE: 3/16" = 1'-0"



8 BUILDING SECTION 2
SCALE: 3/16" = 1'-0"



System Performance
1 HR Fire
UL File No. L525

- System Description**
Dimensional Lumber
- 1" nominal wood sub and finished floor
 - 2x10 wood joist 16" o.c.
 - USG DGL Drywall Suspension System
 - 1/2" or 5/8" SHEETROCK Brand FIRECODE C Core Gypsum Panels
 - joints finished

GA FILE NO. FC 5406	GENERIC	1 HOUR FIRE	35 to 39 STC SOUND
FLOOR-CEILING SYSTEMS, WOOD-FRAMED			
WOOD JOISTS, GYPSUM WALLBOARD			
Base layer: 5/8" Type X Gypsum wallboard applied at right angles to 2 x 10 wood joists 24" o.c. with 1 1/4" Type W or S drywall screws 24" o.c. Free layer: 5/8" Type X Gypsum wallboard applied at right angles to 2 x 10 wood joists 24" o.c. with 1 1/4" Type W or S drywall screws 12" o.c. at joints and intermediate joints and 1 1/2" Type G drywall screws 12" o.c. placed 2" back on either side of end joints. Joints offset 24" from base layer joints. All joints shall be finished. Ceiling provides one hour fire resistance protection for framing, including trusses.			
Approve: Ceiling		Est.:	
Fire Test:		FMFC 172, 2-25-72;	
Sound Test:		ITS, 8-6-98	
		Estimated	

1 FC 5406 1 HOUR HORIZONTAL ASSEMBLY (EXISTING CONSTRUCTION)
SCALE: NTS

2 1 HOUR HORIZONTAL ASSEMBLY (EXISTING CONSTRUCTION)
SCALE: NTS