

Community Services Department
Planning and Building
**DETACHED ACCESSORY DWELLING
ADMINISTRATIVE REVIEW
APPLICATION**



Community Services Department
Planning and Building
1001 E. Ninth St., Bldg. A
Reno, NV 89520

Telephone: 775.328.6100

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name:			
Project Description:			
Project Address:			
Project Area (acres or square feet):			
Project Location (with point of reference to major cross streets AND area locator):			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
Section(s)/Township/Range:			
Indicate any previous Washoe County approvals associated with this application:			
Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone: Fax:		Phone: Fax:	
Email:		Email:	
Cell: Other:		Cell: Other:	
Contact Person:		Contact Person:	
Applicant/Developer:		Other Persons to be Contacted:	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone: Fax:		Phone: Fax:	
Email:		Email:	
Cell: Other:		Cell: Other:	
Contact Person:		Contact Person:	
For Office Use Only			
Date Received: Initial:		Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Administrative Review Permit Application for a Detached Accessory Dwelling Supplemental Information

(All required information may be separately attached)

This application is for proposals to establish a Detached Accessory Dwelling unit in the Low Density Rural, Medium Density Rural, High Density Rural, and Low Density Suburban regulatory zones. Chapter 110 of the Washoe County Code is commonly known as the Development Code. Specific references to the administrative review permit process for Detached Accessory Dwellings may be found in Article 306, Accessory Uses and Structures, Section 25(i). A Detached Accessory Dwelling is also referred to as a “secondary dwelling” in this application. The “main dwelling” is the original or larger dwelling on the property.

1. What is the size (square footage) of the main dwelling unit or proposed main dwelling unit (exclude size of garage)?

2. What is the size of the detached accessory dwelling unit or proposed detached accessory dwelling unit (exclude size of garage)?

3. How are you planning to integrate both the main dwelling and secondary dwelling to provide architectural compatibility and a sense of project integration of the two structures?

4. How are you planning to provide water and wastewater disposal (sewer or septic) to the secondary dwelling unit?

5. What additional roadway, driveway, or access improvements are you planning?

6. A parking space is required. How are you providing the additional parking?

7. When do you plan to complete construction of the secondary dwelling and obtain a certificate of occupancy?

8. What will you do to minimize any potential negative impacts (e.g. increased lighting, obstruction of views, removal of existing vegetation, etc.) your project may have on adjacent properties?

9. Is the subject property part of an active Home Owners Association (HOA) or Architectural Control Committee? If yes, please include the name and contact information for the applicable board.

--

10. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit a detached accessory dwelling on your property?

<input type="checkbox"/> Yes	<input type="checkbox"/> No	If yes, please attach a copy.
------------------------------	-----------------------------	-------------------------------

11. Only one accessory dwelling unit, whether attached or detached, is allowed per parcel. Please verify that an accessory dwelling (i.e. secondary dwelling) currently does not exist on the subject property.

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12. List the age and size of the unit if you plan to utilize a manufactured or modular home as the secondary dwelling. (Note: manufactured or modular homes must be permanently affixed and converted to real property.)

--

13. List who the service provider will be for the following utilities:

a. Sewer Service	
b. Electrical Service	
c. Solid Waste Disposal Service	
d. Water Service	

Washoe County Treasurer
Tammi Davis

Washoe County Treasurer
P.O. Box 30039, Reno, NV 89520-3039
ph: (775) 328-2510 fax: (775) 328-2500
Email: tax@washoecounty.us

Bill Detail

[Back to Account Detail](#)
[Change of Address](#)
[Print this Page](#)

Pay By Check

Please make checks payable to:
**WASHOE COUNTY
TREASURER**

Mailing Address:
P.O. Box 30039
Reno, NV 89520-3039

Overnight Address:
1001 E. Ninth St., Ste
D140
Reno, NV 89512-2845

Change of Address

All requests for a mailing address change must be submitted in writing, including a signature (unless using the online form).

To submit your address change online [click here](#)

Address change requests may also be faxed to:
(775) 328-2500

Address change requests may also be mailed to:
Washoe County Treasurer
P O Box 30039
Reno, NV 89520-3039

Washoe County Parcel Information

Parcel ID	Status	Last Update
13031230	Active	9/13/2018 2:06:45 AM
Current Owner: TOWER LLC 908 LAKESHORE BLVD INCLINE VILLAGE, NV 89451		
SITUS: 1135 LAKESHORE BLVD INCLINE VILLAGE NV		
Taxing District 5200		
Geo CD:		
Legal Description		
Township 16 Section 23 Lot A Block Range 18 SubdivisionName _UNSPECIFIED		

Installments

Period	Due Date	Tax Year	Tax	Penalty/Fee	Interest	Total Due
INST 1	8/20/2018	2018	\$0.00	\$0.00	\$0.00	\$0.00
INST 2	10/1/2018	2018	\$0.00	\$0.00	\$0.00	\$0.00
INST 3	1/7/2019	2018	\$0.00	\$0.00	\$0.00	\$0.00
INST 4	3/4/2019	2018	\$0.00	\$0.00	\$0.00	\$0.00
Total Due:			\$0.00	\$0.00	\$0.00	\$0.00

Tax Detail

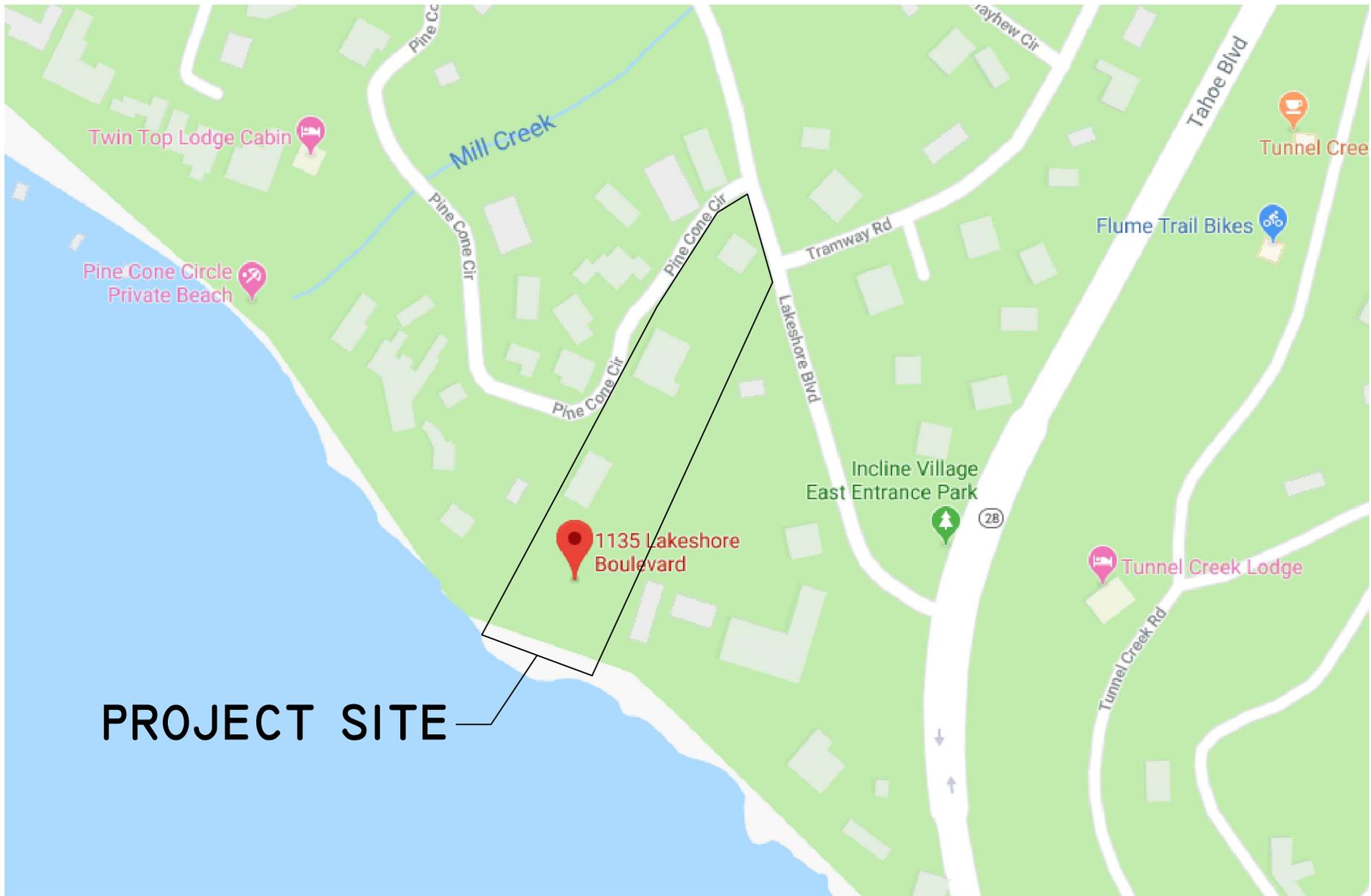
	Gross Tax	Credit	Net Tax
Incline Recreati	\$705.00	\$0.00	\$705.00
Incline Village	\$3,931.48	(\$281.56)	\$3,649.92
North Lake Tahoe 2	\$20,206.65	(\$885.64)	\$19,321.01
State of Nevada	\$5,460.39	(\$239.32)	\$5,221.07
Washoe County	\$44,701.30	(\$1,959.22)	\$42,742.08
Washoe County Sc	\$36,568.54	(\$1,602.77)	\$34,965.77
LAKE TAHOE WATER BASIN	\$0.13	\$0.00	\$0.13
Total Tax	\$111,573.49	(\$4,968.51)	\$106,604.98

Payment History

Tax Year	Bill Number	Receipt Number	Amount Paid	Last Paid
2018	2018173204	B18.74707	\$106,604.98	8/27/2018

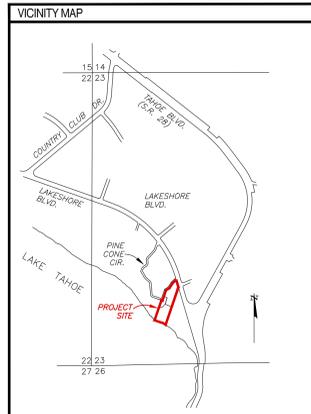
The Washoe County Treasurer's Office makes every effort to produce and publish the most current and accurate information possible. No warranties, expressed or implied, are provided for the data herein, its use, or its interpretation. If you have any questions, please contact us at (775) 328-2510 or tax@washoecounty.us

This site is best viewed using Google Chrome, Internet Explorer 11, Mozilla Firefox or Safari.

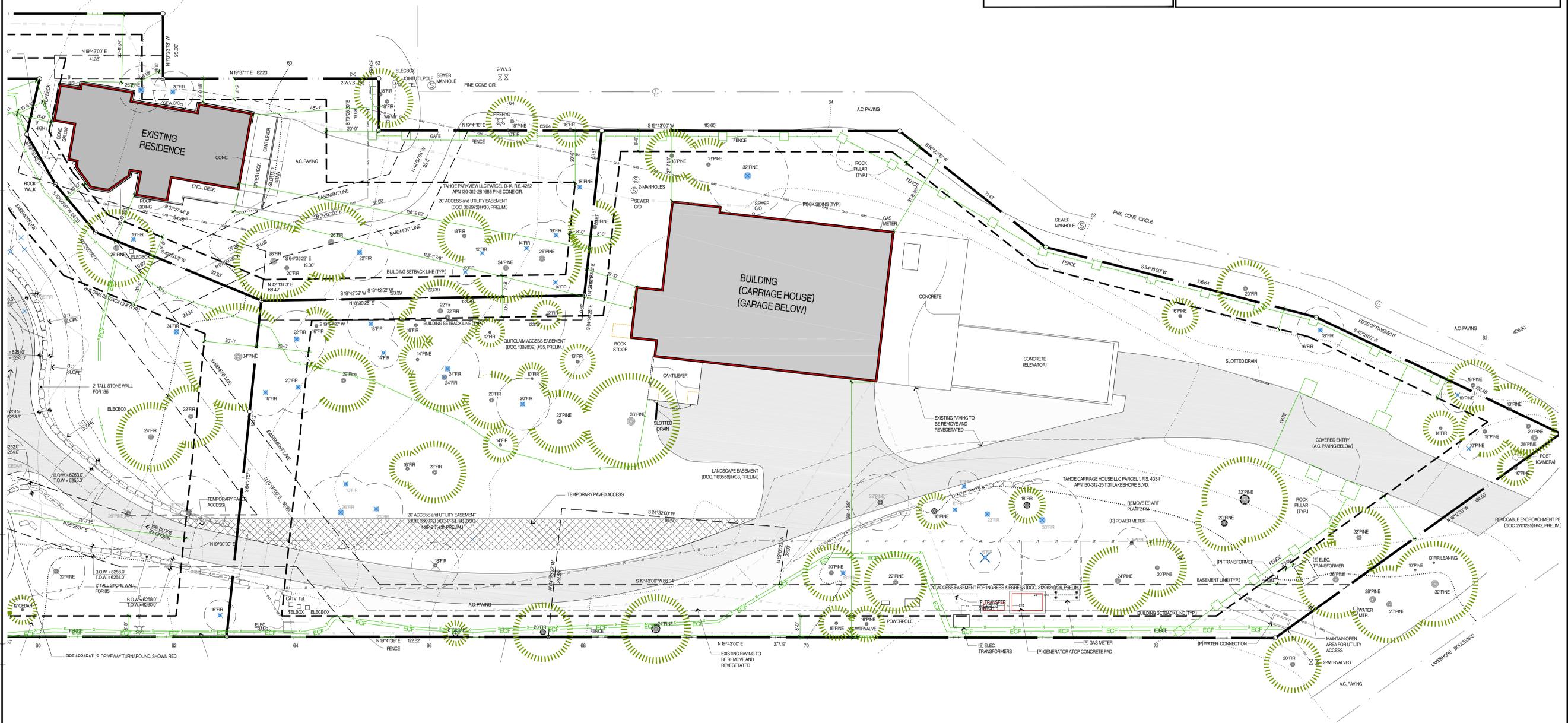


PROJECT SITE





LEGEND	
12" P	TREE DIAMETER & TYPE PINE, FFR
(Green circle with radiating lines)	TREE TO REMAIN
(Blue X)	TREE OR STUMP PROPOSED TO BE REMOVED UNDER PROJECT PERMIT
(Red X)	'BLUE TAGGED' TREE TO BE REMOVED. REFERENCE TRPA TREE REMOVAL PERMIT #'S
(Black circle with radiating lines)	TREE APPROVED FOR REMOVAL BY NLTFC
(Black circle with radiating lines)	TREE W/ PROTECTION SEE 2/A.11
(Circle with 'S')	STUMP
(Circle with 'B')	BOULDER
(Circle with '100'-0')	FINISH FLOOR ELEVATION
(Dashed line)	EXISTING CONTOUR TO REMAIN
(Dotted line)	NEW CONTOUR
(Dash-dot line)	REVISED CONTOUR
(Dashed line)	EASEMENTS
(Dashed line)	PROPERTY LINE & CORNER
(Dashed line)	BUILDING SETBACK LINE
(Dashed line)	ROOF OVERHANG
(Green line with 'X')	CONSTRUCTION ACTIVITY ZONE FENCE
(Green line with 'E')	EROSION CONTROL FENCE
(Green line with 'JT')	JOINT UTILITY TRENCH
(Green line with 'WS')	WATER SERVICE
(Green line with 'GAS')	GAS SERVICE
(Green line with 'P&T')	ELECTRICAL SERVICE
(Green line with 'TEL')	TELEPHONE/CABLE SERVICE
(Green line with 'SS')	SANITARY SEWER
(Green line with 'JT')	(E) JOINT UTILITY TRENCH
(Green line with 'WS')	(E) WATER SERVICE
(Green line with 'GAS')	(E) GAS SERVICE
(Green line with 'P&T')	(E) ELECTRICAL SERVICE
(Green line with 'TEL')	(E) TELEPHONE/CABLE SERVICE
(Green line with 'SS')	(E) SANITARY SEWER
(Red outline)	LIMITS OF BUILDING FOOTPRINT - EXISTING
(Red outline)	LIMITS OF BUILDING FOOTPRINT - PROPOSED
(Hatched pattern)	STONE PAVERS
(Circle with 'H')	HYDRANT
(Circle with 'V')	WATER VALVE



RYAN GROUP ARCHITECTS

10800 DONNER PASS ROAD
NUMBER 200
TRUCKEE, CA
96161

530 587 3600
RYANGROUP.NET

THE
SIERRA STAR
BEACH HOUSE

APN: 130-312-30
1135 LAKESHORE BLVD

APN: 130-312-28
1685 PINE CONC DR/CIRCLE

APN: 130-312-25
1131 LAKESHORE BLVD
INCLINE VILLAGE, NV

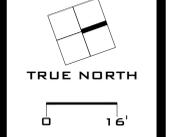
REVISIONS:

NO.	DATE	REMARKS
01	08/11/17	AGENCY SUBMITTALS
02	09/01/17	UTILITY TREE REMOVAL
03	10/01/17	PROGRESS SET

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DATE
08 | 11 | 17



SITE PLAN
A-1.2

REVISIONS:

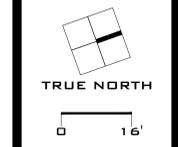
NO.	DATE	REMARKS
01	08/17	AGENCY CORRECTIONS
02	08/17	UTILITY TAKE REMOVAL
03	08/17	PROGRESS SET

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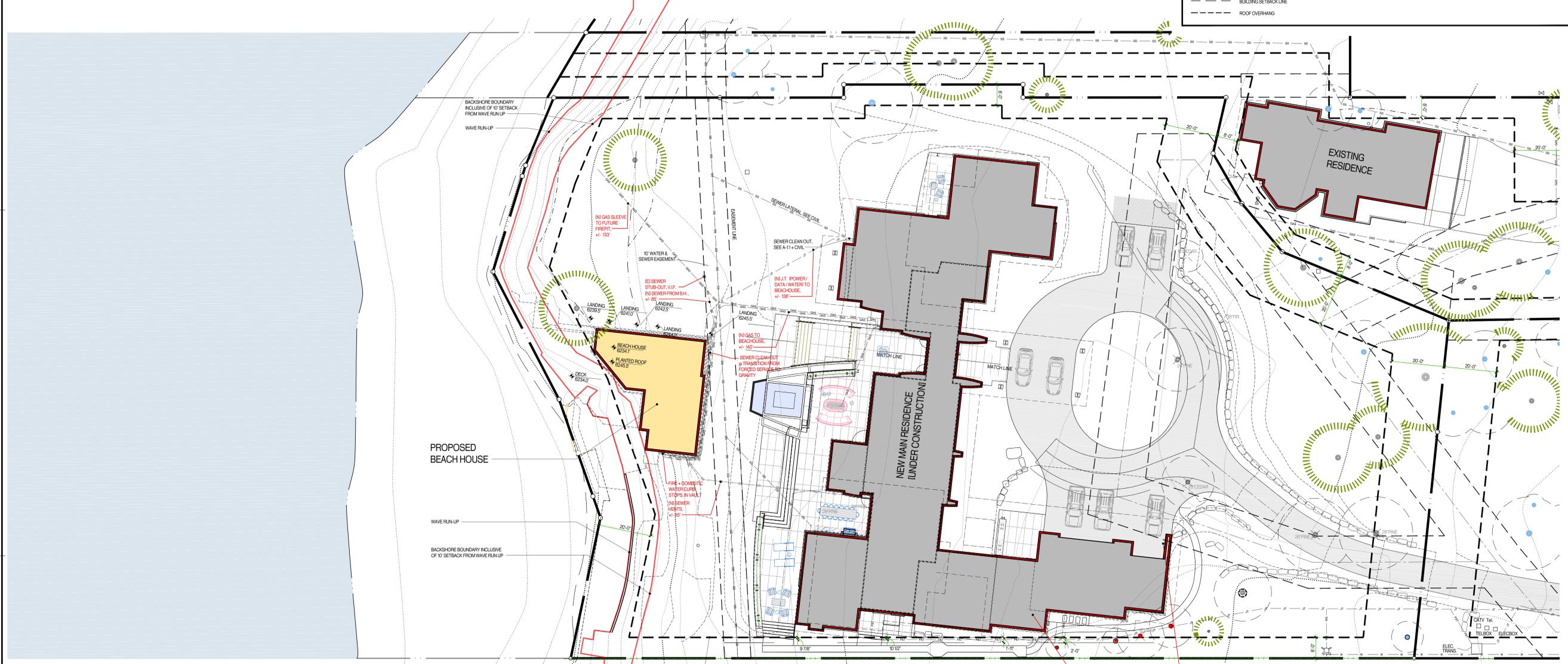


SITE PLAN - UTILITIES

A-1.3

LEGEND

12" PIPING	TREE DIAMETER & TYPE	CONSTRUCTION ACTIVITY ZONE FENCE
(Green circle with radiating lines)	TREE TO REMAIN	EROSION CONTROL FENCE
(Blue X)	TREE OR STUMP TO BE REMOVED	JOINT UTILITY TRENCH
(Blue circle with 'X')	'BLUE TAGGED' TREE TO BE REMOVED. REFERENCE TRPA TREE REMOVAL PERMIT #S: 08064, 08065	WATER SERVICE
(Blue circle with 'R')	'BLUE TAGGED' TREE TO REMAIN. REFERENCE TRPA TREE REMOVAL PERMIT #S: 08066, 08067	GAS SERVICE
(Blue circle with 'S')	TREE W/ PROTECTION, SEE 2/A-11	ELECTRICAL SERVICE
(Blue circle with 'B')	STUMP	TELEPHONE / CABLE SERVICE
(Blue circle with 'C')	BOULDER	SANITARY SEWER
(Blue circle with 'E')	FINISH FLOOR ELEVATION	IRRIGATION SUPPLY LINE
(Dashed line)	EXISTING CONTOUR TO REMAIN	LIMITS OF BUILDING FOOTPRINT - EXISTING
(Dotted line)	NEW CONTOUR	LIMITS OF BUILDING FOOTPRINT - PROPOSED
(Dashed line)	REVISED CONTOUR	STONE PAVERS
(Dashed line)	EASEMENTS	HYDRANT
(Dashed line)	PROPERTY LINE & CORNER	WATER VALVE
(Dashed line)	BUILDING SETBACK LINE	
(Dashed line)	ROOF OVERHANG	



BACKSHORE BOUNDARY INCLUSIVE OF 10' SETBACK FROM WAVE RUN UP

WAVE RUN UP

PROPOSED BEACH HOUSE

WAVE RUN UP

BACKSHORE BOUNDARY INCLUSIVE OF 10' SETBACK FROM WAVE RUN UP

CLASS 1B BACKSHORE CLASS 5

WASHINGTON COUNTY BUILDING SETBACK CLASS 5

LANDING 0239.3

LANDING 0240.0

LANDING 0242.3

LANDING 0243.5

LANDING 0244.5

LANDING 0245.5

BEACH HOUSE 0234.1

PLANTED ROOF 0245.5

DECK 0234.0

IN GAS SLEEVE TO FUTURE FIREPT. H= 133

18" WATER & SEWER EASEMENT

SEWER CLEAN OUT, SEE 114-CIVIL

IN J.T. (POWER/ DATA / WATER) TO BEACH HOUSE. H= 136

SEWER CLEAN OUT @ TRANSITION FROM FORCED SERVICE TO GRAVITY

MATCH LINE

MATCH LINE

NEW MAIN RESIDENCE UNDER CONSTRUCTION

EXISTING RESIDENCE

EXISTING CONTOUR TO REMAIN

NEW CONTOUR

REVISED CONTOUR

EASEMENTS

PROPERTY LINE & CORNER

BUILDING SETBACK LINE

ROOF OVERHANG

CONSTRUCTION ACTIVITY ZONE FENCE

EROSION CONTROL FENCE

JOINT UTILITY TRENCH

WATER SERVICE

GAS SERVICE

ELECTRICAL SERVICE

TELEPHONE / CABLE SERVICE

SANITARY SEWER

IRRIGATION SUPPLY LINE

LIMITS OF BUILDING FOOTPRINT - EXISTING

LIMITS OF BUILDING FOOTPRINT - PROPOSED

STONE PAVERS

HYDRANT

WATER VALVE

FINISH FLOOR ELEVATION

EXISTING CONTOUR TO REMAIN

NEW CONTOUR

REVISED CONTOUR

EASEMENTS

PROPERTY LINE & CORNER

BUILDING SETBACK LINE

ROOF OVERHANG

IN GAS TO BEACH HOUSE. H= 132

FIRE - DOMESTIC WATER CUES, STOPS IN WALK (IN SEWER) WETS. H= 85

FIRE RISER FOR MAIN AND BEACH HOUSES. PER NLT.F.P.D. APPROVAL

F.D.C.'S FOR MAIN AND BEACH HOUSES. PER NLT.F.P.D. APPROVAL

REVISIONS:

NO.	DATE	REMARKS
01	11/16	CONNECTIONS / EDITS
02	11/16	CONNECTIONS / EDITS
03	11/17	WINDOW CHANGES
04	11/17	WINDOW CHANGES
05	12/17	DESIGN REVISIONS
06	12/17	PROGRESS SET

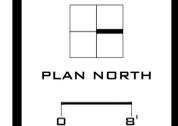
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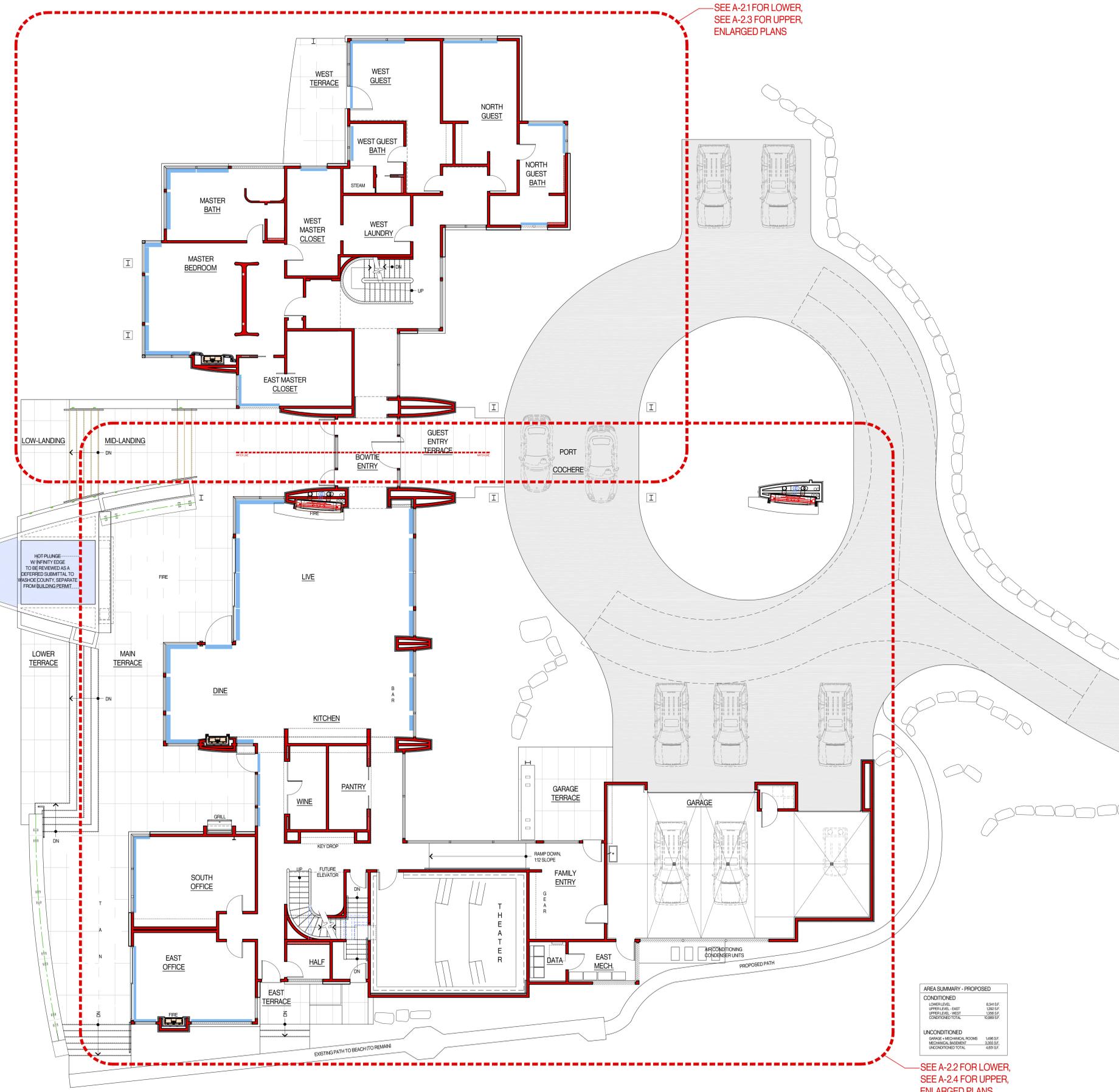
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DATE
06 | 01 | 16



LOWER LEVEL FLOOR PLAN - OVERALL

A-2.0



SEE A-2.1 FOR LOWER,
SEE A-2.3 FOR UPPER,
ENLARGED PLANS

AREA SUMMARY - PROPOSED

CONDITION	LOWER LEVEL	UPPER LEVEL - EAST	UPPER LEVEL - WEST	CONDITIONED TOTAL
CONDITIONED	8,341 SF	1,260 SF	1,058 SF	10,659 SF
UNCONDITIONED	1,488 SF	3,238 SF	4,851 SF	9,577 SF

SEE A-2.2 FOR LOWER,
SEE A-2.4 FOR UPPER,
ENLARGED PLANS

EXISTING STEPS TO PERFORM TO REMAIN

EXISTING STEPS TO PERFORM TO REMAIN

EXISTING CASINA TO REMAIN

EXISTING STORAGE TO REMAIN

SHEET NOTES

- Contractor shall verify tempered glazing at all locations required by IRC R308 and R327.
- Guards are required at walking surfaces over 30 inches above an adjacent floor within 36 inches (measured horizontally) to the edge of the open side.
- Guards shall be a minimum of 42" above finish floor. Where top of guardrail serves as a stairway/handrail the height shall not be less than 34 inches, nor more than 38 inches above tread nosings. Guards shall be constructed to withstand assigned vertical / lateral and uniform loads and have intermediate pickets such that 4" spheres may not pass through intermediate pickets.

WINDOW COVERING LEGEND

- MOTORIZED RECESSED
- MOTORIZED
- NON-MOTORIZED RECESSED
- MANUAL

INTERIOR DOOR TAG LEGEND

DOOR STYLE: [Diagram showing door styles]

DOOR SIZE: [Diagram showing door sizes]

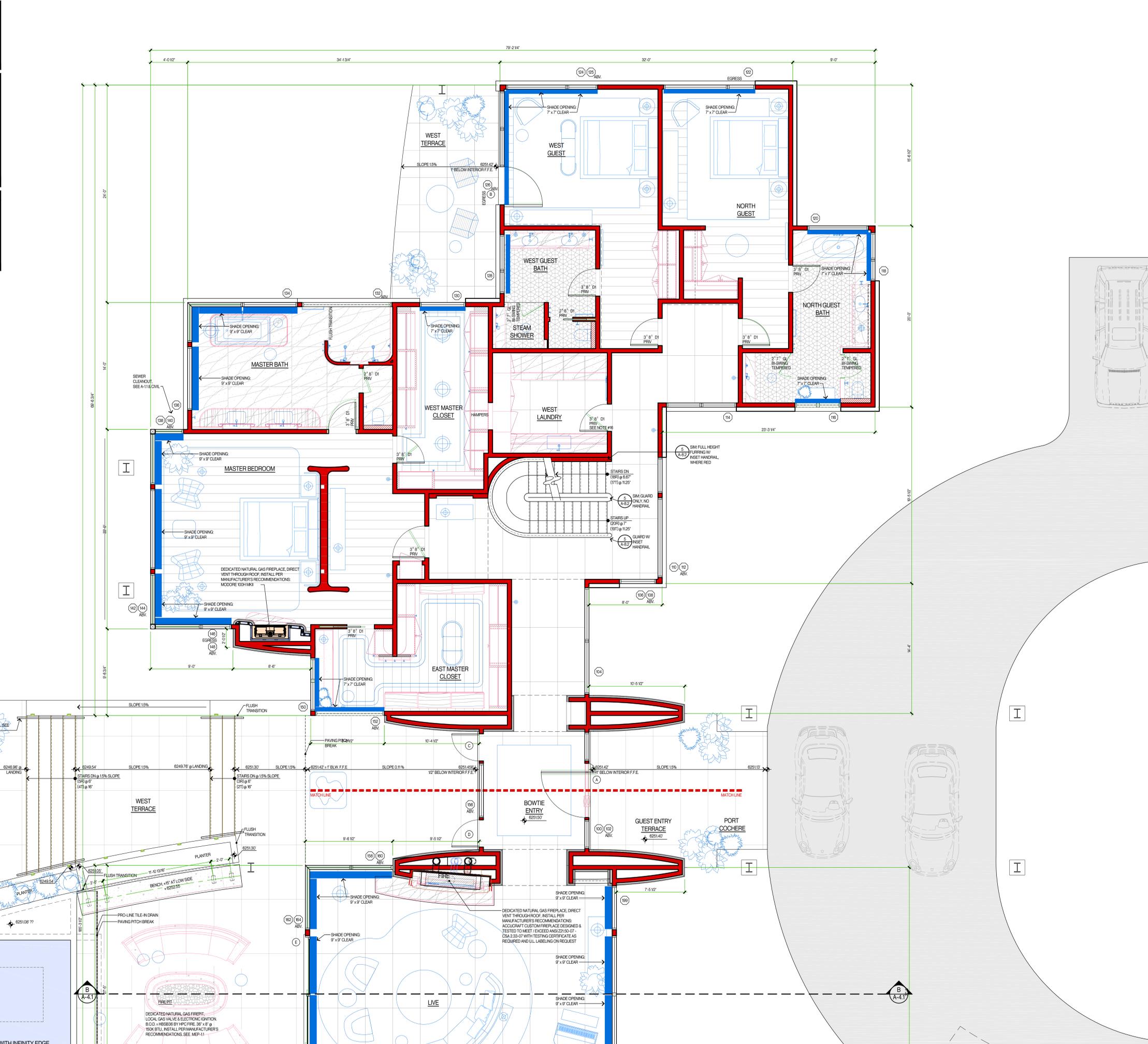
LOCKSET TYPE:
 PRV = PRIVACY
 PASS = PASSAGE
 DUM = DUMMYP
 DEAD = DEADBOLT
 YCH = TOUCH LATCH
 FFL = FLUSH PULL
 PRV = PRIVACY FLUSH PULL

DOORSTOP TYPE:
 FDS = FLOOR
 HDS = HINGE
 HDS = WALL
 INT = INTEGRATED INTO POCKET TRACK

AREA SUMMARY - PROPOSED

CONDITIONED	8,341 S.F.
LOWER LEVEL	1,262 S.F.
UPPER LEVEL - EAST	1,262 S.F.
UPPER LEVEL - WEST	1,262 S.F.
CONDITIONED TOTAL	10,889 S.F.
UNCONDITIONED	1,406 S.F.
GAZARHO + MECHANICAL ROOMS	3,355 S.F.
MECHANICAL BASEMENT	3,355 S.F.
UNCONDITIONED TOTAL	4,811 S.F.

4. Grippable handrails shall be continuous for the full length of a stair, placed 36" above the plane of stair nosing, have a cross-sectional area of 1 1/2" with no sharp corners, mounted to allow 1-1/2" clear behind and anchored to withstand a 250L lateral load. Not required where less than 4 risers. Ends shall return to walls.
- 4.1. Basis of Design (B.O.D.) for Handrails is as follows:
 EXTERIOR HANDRAIL: Fabricated Steel per the approved / engineered shop drawings. Painted finish to match structural steel.
 INTERIOR HANDRAIL: CR LFRHS Tube railing by CR Laurence Company Inc. Materials, Detailing and Installation shall be in accordance with the approved / engineered shop drawings as prepared by CR Laurence and consistent with the products engineering as prepared by Edward Robinson, PE dated 27 March, 2013.
5. All exterior windows, doors, openings and penetrations shall be carefully flashed and counterflashed in accordance with standard practices for construction in extreme climates and in accordance with manufacturer's recommendations.
6. The interior face of the garage shall receive 5/8" type "X" G.W.B. finished as required to provide fire resistive construction as required by IRC R302.6. The enclosed accessible spaces under stairs shall have walls, under-stair surface and soffits / ceilings protected on the enclosed side with minimum 1/2" G.W.B. finished as required to provide fire resistive construction as required by IRC 302.7.
7. All windows identified as "Egress" windows shall meet the requirements of Section R310 of the IRC.
8. Mulroom door from Garage shall be 1-3/8" (minimum) solid wood door in compliance with IRC Section 302.5.1 (200 minute fire protection rating). Door shall be self-closing and self-latching.
9. The refuse enclosure doors and frame shall be metal or metal clad and can have no more than a 3/8-inch gap along the bottom with weather-stripping at all edges. Year-round primary kinds and secondary latching devices must be of a sufficient strength and design to prevent access by wildlife. Ventilation openings shall be kept to a minimum and must be covered with a metal mesh or other material of sufficient strength to prevent access to wildlife. The floor of the enclosure shall be a concrete slab and the interior shall have a painted gypsum board finish.
10. All kitchen countertops shall be +36" to top of countertop, 24" deep base cabinet, UNO. All bathroom vanities shall be +34" to top of countertop, 21" deep base cabinet, UNO. Laundry Room countertop above washer and dryer shall be minimum height as coordinated with manufacturer recommendations, all other laundry countertops shall be +36" to top of countertop, 24" deep base cabinet, UNO.
11. All countertops to have T overhang at all cabinet sides not abutting a vertical plane, UNO. All slab countertop surfaces shall be 2" thick, UNO.
12. All casework closets shall have a clear interior depth of 24", UNO.
13. No wood burning devices are proposed.
14. Stairways shall have a maximum riser height of 7-3/4 inches and minimum tread depth of 10 inches. Maximum tread rise variation shall be less than 3/8 inch. Any deviation from the specified rise / run shall be brought to the attention of the architect prior to construction.
15. Install fire blocking at concealed draft openings, between stories, between walls and roofs, at stair stringers and at the top and bottom of each stair run as required by IRC R302.11 & R302.12.
16. Bottom panels of laundry room door shall have louvered grill providing minimum of 100 square inches of net free area.



RYAN GROUP ARCHITECTS

18000 DINNER PASS ROAD
 NUMBER 200
 TRUCKEE, CA
 96161

530 587 3800
 RYANGROUP.NET

THE
SIERRA STAR

APN: 130-312-30
 1135 LAKESHORE BLVD
 APN: 130-312-28
 1685 PINE CONE CIR
 APN: 130-312-25
 1131 LAKESHORE BLVD
 INCLINE VILLAGE, NV

REVISIONS:

NO.	DATE	REMARKS
1	11/14	11A CORRECTIONS / EDITS
2	12/14	11B CORRECTIONS / EDITS
3	01/17	WINDOW CHANGES
4	02/18	WINDOW CHANGES
5	03/17	DESIGN REVISIONS
6	12/04/17	PROGRESS SET

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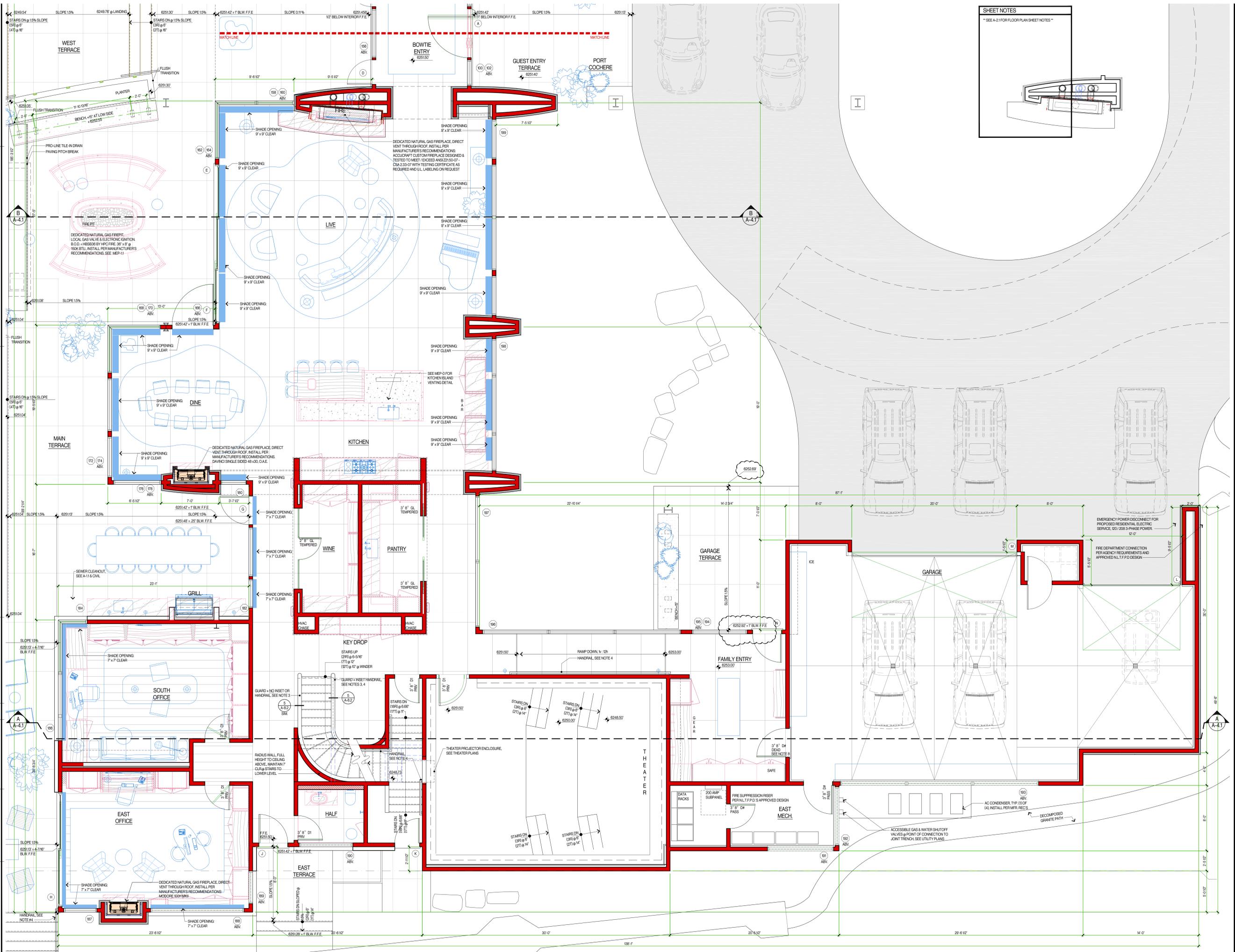
REVIEWED

DATE
 06 | 01 | 16

PLAN NORTH

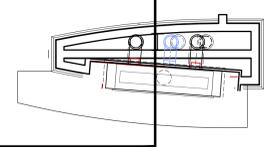
LOWER LEVEL FLOOR PLAN - WEST

A-2.1



SHEET NOTES

"SEE A-2.1 FOR FLOOR PLAN SHEET NOTES"



RYAN GROUP ARCHITECTS

10800 DINNER PASS ROAD
NUMBER 200
TRUCKEE, CA
96161

530 587 3800
RYANGROUP.NET

THE
SIERRA STAR

APN: 130-312-30
1135 LAKESHORE BLVD
APN: 130-312-28
1685 PINE CIRCLE
APN: 130-312-25
1131 LAKESHORE BLVD
INCLINE VILLAGE, NV

REVISIONS:

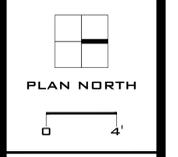
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08	11/17	DESIGN REVISIONS
09	11/17	DESIGN REVISIONS
10	11/17	DESIGN REVISIONS
11	11/17	DESIGN REVISIONS
12	11/17	DESIGN REVISIONS

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LOWER LEVEL FLOOR PLAN - EAST

A-2.2

SHEET NOTES
 "SEE A-21 FOR ALL FLOOR PLAN SHEET NOTES"

INTERIOR DOOR TAG LEGEND

DOOR STYLE:

DOOR SIZE:

LOCKSET TYPE:
 PRV = PRIVACY
 PASS = PASSAGE
 DM = DUMBKEY
 DEAD = DEADBOLT
 TCH = TOUCH LATCH
 FP = FLUSH PULL
 PFP = PRIVACY FLUSH PULL

DOORSTOP TYPE:
 FBS = FLOOR
 HBS = HINGE
 WS = WALL
 INT = INTEGRATED INTO POCKET TRACK

RYAN GROUP ARCHITECTS

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THE
SIERRA STAR

APN: 130-312-30
 1135 LAKEHORE BLVD
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5	08/01/17	DESIGN REVISIONS
6	12/04/17	PROGRESS SET

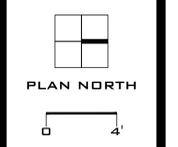
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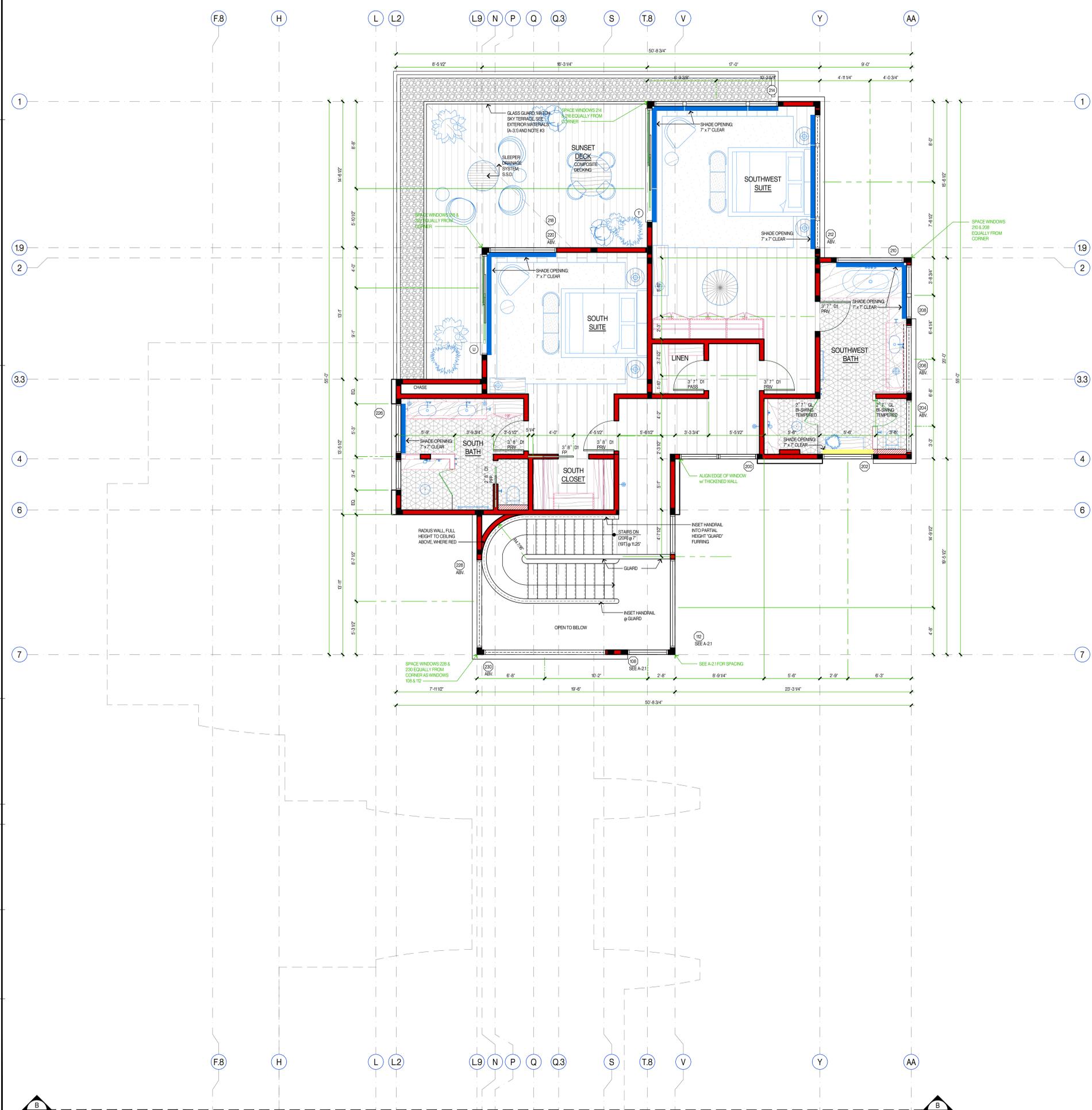
PROJECT
 1532
DRAWN
 KW | BR
REVIEWED

DATE
 06 | 01 | 16



UPPER LEVEL FLOOR & DIMENSION PLAN - WEST

A-2.3



REVISIONS:

NO.	DATE	REMARKS
1	08/11/16	CONNECTIONS / EDITS
2	12/14/16	CONNECTIONS / EDITS
3	01/14/17	WINDOW CHANGES
4	02/14/17	WINDOW CHANGES
5	08/03/17	DESIGN REVISIONS
6	12/04/17	PROGRESS SET

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DATE
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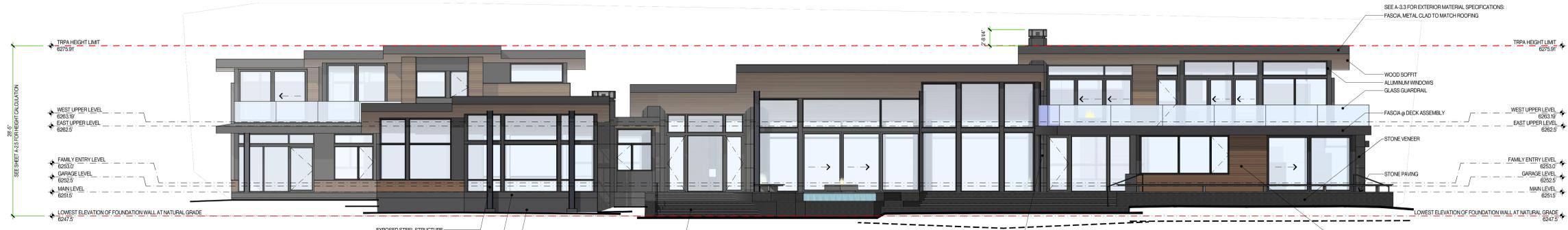
0 8'

EXTERIOR ELEVATIONS

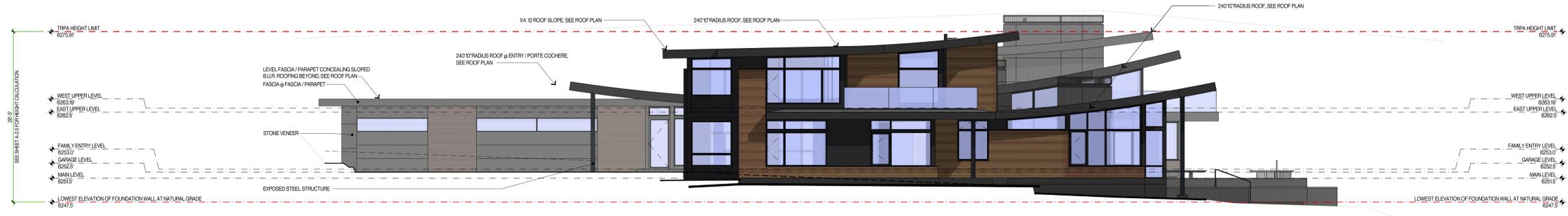
A-3.2



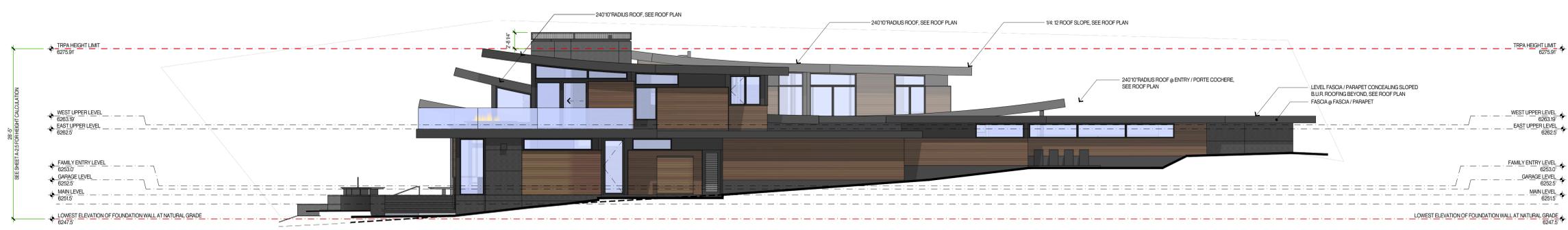
N NORTH ELEVATION



S SOUTH ELEVATION



W WEST ELEVATION



E EAST ELEVATION

SEE EXTERIOR MATERIAL SUMMARY A-01 AND SHEET NOTES A-3.3
SEE ROOF PLAN FOR AREAS, SLOPES & HEIGHT CALCULATION

AREA SUMMARY - PROPOSED	
CONDITION LIVING BEACH HOUSE	1078 S.F.
STORAGE + MECHANICAL STORAGE + MECHANICAL	196 S.F.

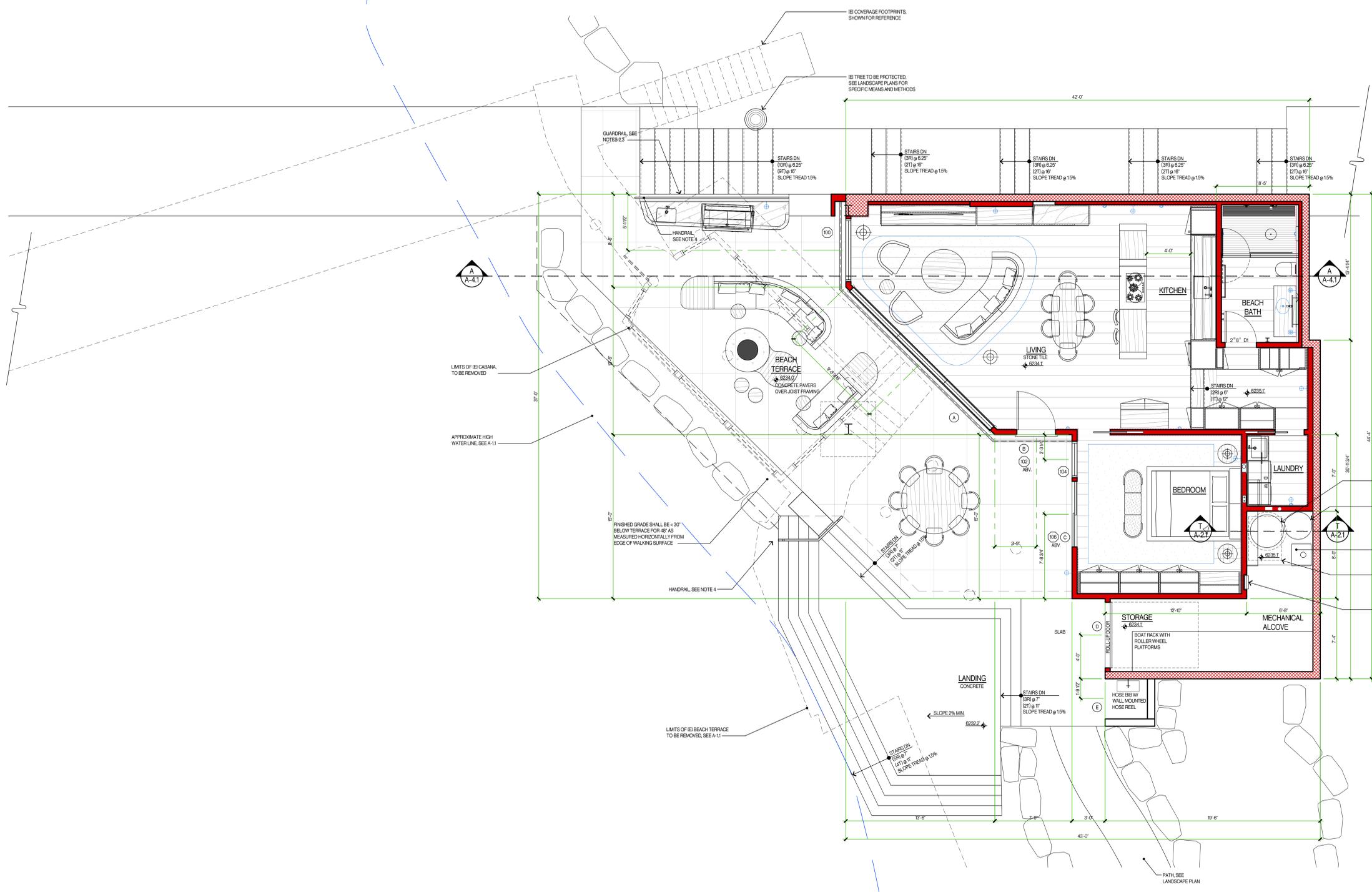
- SHEET NOTES**
- Contractor shall verify tempered glazing at all locations required by IRC R308 and R327.
 - Guards are required at walking surfaces over 30 inches above an adjacent floor within 36 inches (measured horizontally) to the edge of the open side.
 - Guards shall be a minimum of 42" above finish floor. Where top of guardrail serves as a stairway handrail the height shall not be less than 34 inches, nor more than 38 inches above tread-nosing. Guards shall be constructed to withstand assigned vertical / lateral and uniform loads and have intermediate pickets such that 4" spheres may not pass if/ where clear meets tread.
 - Openable handrails shall be continuous for the full length of a stair, placed 30" above the plane of stair nosing, have a cross-sectional area of 1 1/2" with no sharp corners mounted to allow 1/2" clear behind and anchored to withstand a 250# lateral load. Not required where less than 4 risers. Ends shall return to walls.
 - 4.1. Basis of Design (B.O.D.) for Handrails is as follows:
EXTERIOR HANDRAIL: Fabricated Steel per the approved engineering shop drawings. Painted finish to match structural steel.
 - All exterior windows, doors, openings and penetrations shall be carefully flashed and counterflashed in accordance with standard practices for construction in extreme climates and in accordance with manufacturer's recommendations.
 - All windows identified as "Egress" windows shall meet the requirements of Section R310 of the IRC.
 - All kitchen countertops shall be +36" to top of countertop, 24" deep base cabinet, UNO. All bathroom vanities shall be +32" to top of countertop, 21" deep base cabinet, UNO. Laundry room countertop above washer and dryer shall be minimum height as coordinated with W/D manufacturer's recommendations, all other laundry countertops shall be +36" to top of countertop, 24" deep base cabinet, UNO.
 - All countertops to have 1" overhang at all cabinet sides not abutting a vertical plane, UNO. All slab countertop surfaces shall be 2" thick, UNO.
 - All casework closets shall have a clear interior depth of 24" UNO.
 - No wood burning devices are proposed.
 - Stairs and steps shall have a maximum rise height of 7-3/4 inches and minimum tread depth of 10 inches. Maximum tread/rise variation shall be less than 3/8 inch. Any deviation from the specified rise / run shall be brought to the attention of the architect prior to construction.
 - Install fire blocking at concealed draft openings, between walls and roofs, etc. as required by IRC R302.10, R302.12.
 - Bottom panel of laundry room door shall have lowered grill providing minimum of 100 square inches of net free area.

WINDOW COVERING LEGEND

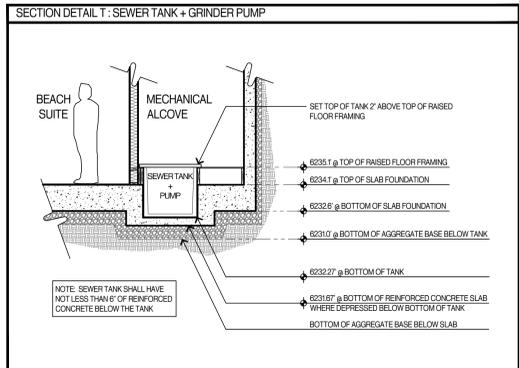
	MOTORIZED RECESSED
	MOTORIZED
	NON-MOTORIZED
	MANUAL

INTERIOR DOOR TAG LEGEND

DOOR STYLE	DOOR SIZE
LOCKSET TYPE: PRV = PRIVACY PASS = PASSAGE DUM = DUMMY DAD = DEADBOLT TCH = TOUCH LATCH FF = FLUSH PULL PPF = PRIVACY FLUSH PULL	7'0" x 3'0" 7'0" x 2'8" 6'6" x 2'8"
DOORSTOP TYPE: FDS = FLOOR HDS = HINGE WDS = WALL NF = INTEGRATED INTO POCKET TRACK	



- SEWER HOLDING TANK + GRINDER PUMP, 96" X 36" DEEP. SEE REFERENCED SECTION DETAIL T.1/A-21
- 65 GALLON INDIRECT WATER STORAGE TANK, SECURED TO WALL FRAMING
- ELECTRIC BOILER FOR HYDRONIC HEATING AND DOMESTIC HOT WATER
- AIR HANDLER WITH REMOTE HEAT PUMP TO BE LOCATED WITHIN BASEMENT OF MAIN HOUSE. HANG FROM CEILING WITH SOUND-ISOLATING SUPPORTS
- ELECTRICAL SUB-PANEL W/ ACCESS CLEARANCES



BH BEACH HOUSE FLOOR PLAN



A RENDERING
BEACH HOUSE



B PERSPECTIVE
BEACH HOUSE



C PERSPECTIVE
BEACH HOUSE



D PERSPECTIVE
BEACH HOUSE

NO.	DATE	REMARKS
1	08/11/17	AGENCY CORRECTIONS
2	08/11/17	UTILITY / TREE REMOVAL
3	08/11/17	PROGRESS MET

REVISIONS:

NO.	DATE	REMARKS
1	08/11/18	DR [S] 17 AGENCY CORRECTIONS
2	08/11/18	DR [S] 17 UTILITY TREE REMOVAL
3	08/11/18	DR [S] 17 PROGRESS MET

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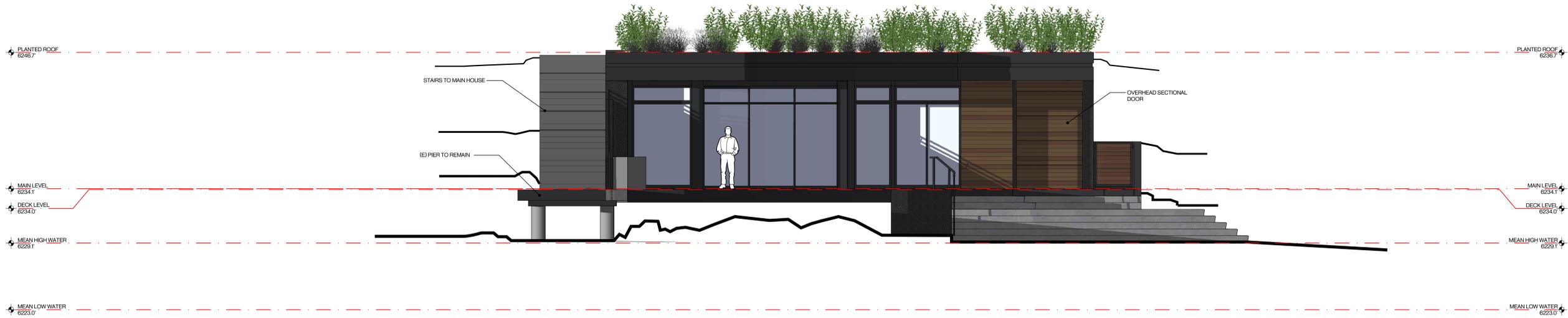
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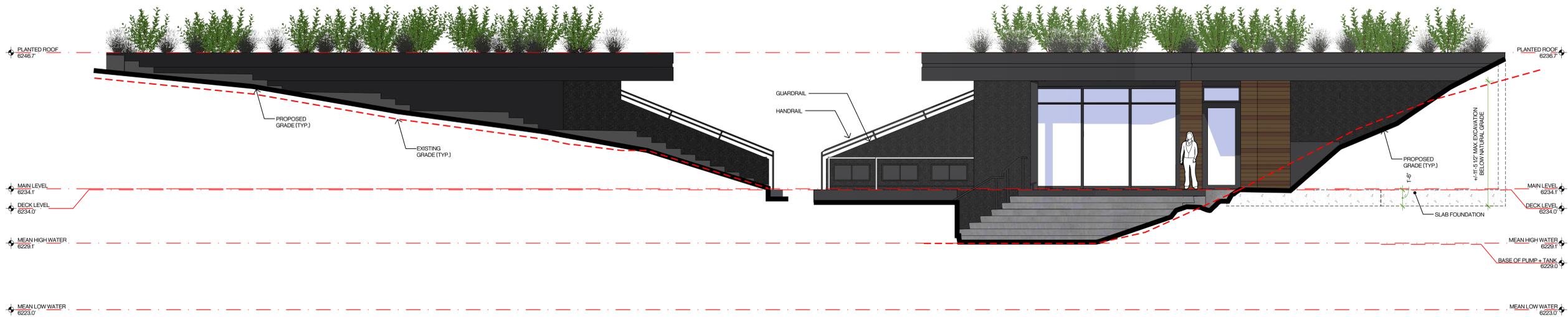
EXTERIOR ELEVATIONS

A-3.1

HEIGHT CALCULATIONS
CROSS SLOPE: 2.0%
ROOF PITCH: FLAT
ALLOWED ROOF HEIGHT: 24'-0"
LOWEST NATURAL GRADE ELEVATION = 6234.0'
ALLOWED RIDGE ELEVATION = 6236.0'
PROPOSED RIDGE ELEVATION = 6246.1'



S SOUTH ELEVATION
BEACH HOUSE



W WEST ELEVATION
BEACH HOUSE

E EAST ELEVATION + SECTION
BEACH HOUSE

EXTERIOR MATERIALS					
<p>Comply with the 2012 International Wildland Urban Interface (IWUI) Code for an Extreme Hazard Area with Conforming/Detachable Space, Conforming/Water Supply, Fire Suppression, and Ignition-Resistant Construction class "R1" as follows:</p> <p>CONCRETE FOUNDATION WALLS + STEPS TO BEACH IWUI Conformance: Non Combustible Material: Concrete, Flared Formed, 3/4" chamfers at exposed vertical corners. Finish: Concrete Stain + (2) coats Cementitious, Clear Matte Sealer</p> <p>START TREADS TO MAIN HOUSE IWUI Conformance: Non Combustible Material: Black, Pliers Latica Finish: Patters: Honed/Stacked Bond</p> <p>TERFACE PAVERS OF P.T. FRAMING Material: Concrete Deckstone by Stepatone, O.A.E. Finish: Patters: #1024 French Grey, Clear Matte Sealer: Normal 2, 4 x 12"</p>	<p>STONE VENEER @ SITE + BUILDING WALLS IWUI Conformance: Non Combustible Material: Granite, Mexico Black Finish: Diamond #8 Pattern: Stacked Bond</p> <p>STRUCTURAL MEMBERS (BEAMS + POSTS) - STEEL IWUI Conformance: Heavy Gauge Steel Material: Steel, Wide Flange, HSS and as determined by SE Finish: (2) Coats DTM Paint over grey factory primer Color: Match Windows + Doors</p> <p>STRUCTURAL MEMBERS (BEAMS + POSTS) - WOOD IWUI Conformance: Heavy Timber, 4x or greater Material: P.T. and as determined by SE, w/ fasteners as required Finish: (2) Coats Solid Body Stain Color: Match Windows + Doors</p>	<p>WOOD SIDING IWUI Conformance: 1-Hour Fire-Resistance-Rated on Exterior Side Material: 1/4" Thermally Modified Ash by Thermory, O.A.E. Press and Click Fasteners, Clear / Straight Grain 1-Hour Assembly, install over one layer of 5/8" Type X Exterior Gypsum Sheathing, lightly butted or taped and mudded. Finish: UV Protective Oil, Walnut Hue</p> <p>WOOD SOFFITS @ ROOF OVERHANGS IWUI Conformance: 1-Hour Fire-Resistance-Rated construction on exposed underside. Material: 1/4" Thermally Modified Ash by Thermory, O.A.E. Press and Click Fasteners, Clear / Straight Grain 1-Hour Assembly, install over one layer of 5/8" Type X Exterior Gypsum Sheathing, lightly butted or taped and mudded. Finish: UV Protective Oil, Natural Finish</p> <p>FASCIA IWUI Conformance: Minimum 2x nominal lumber, clad with min. 26 ga metal Fascia: Painted Steel Cladding covering Engineer's Fascia Color: Match Metal Roofing</p>	<p>WINDOWS + DOORS IWUI Conformance: Insulated Glass, Tempered where Required Material/Color: Aluminum, Thermally Improved Frame/Black Glazing: Insulated with Low-E Coatings, All Lakeward glazing shall be Anti-Reflective, 5% Maximum Reflectance, Schott Armarin, Pilkington OptiView, O.A.E. Provide Tempered glass at Hazardous Locations per IFC 7008. Doors shall be of an approved non-combustible construction or solid core and min. 1-3/4" Thick or 20-minute steel labeled. Glazing within doors shall be insulated glass, tempered.</p> <p>EPDM ROOFING OR CONCRETE ROOF DECK- EARTH COVERED IWUI Conformance: Class A Assembly Material: EPDM Roofing, 90 MIL, Firestone Rubber-Gard EPDM Platinum, O.A.E. installed per manufacturer recommendations. Install below Earth-Covered and Landscaped Roofing Assembly</p>	<p>VENTS IWUI Conformance: Roof is unventilated construction, see R1 / A-4.1. No vents shall occur within 10' of property line. Vents shall be <144 sq. inches each w/ corrosion-resistant metal mesh w/ max. 1/4" openings, or w/ an approved device designed to resist ember/ flame intrusion.</p>	

EXTERIOR ELEVATION SHEET NOTES

- All exterior materials or assemblies comply with 2012 IWUI codes and the requirements of the North Lake Tahoe Fire Protection District.
- An on-site mock-up of all exterior materials must occur for Architect and Owner approval prior to the ordering of materials.
- All Exposed Mechanical and Plumbing writing locations shall be approved by Architect and Owner prior to installation and painted a color that complements the surrounding material (Roof / Siding)