

AC15-002

Original

Set

Community Services Department
Planning and Development
AMENDMENT OF CONDITIONS
APPLICATION



Community Services Department
Planning and Development
1001 E. Ninth St., Bldg A
Reno, NV 89520

Telephone: 775.328.3600

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Development staff at 775.328.3600.

Project Information		Staff Assigned Case No.: _____	
Project Name: Nv - Ag Phase # 2			
Project Description: 30,000 square foot greenhouse			
Project Address: 31850 Cantlon Dr			
Project Area (acres or square feet): 5.94 acres.			
Project Location (with point of reference to major cross streets AND area locator): Interstate 80 @ exit 43 & Cantlon Dr			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No(s):	Parcel Acreage:
APN 084-282-16	5.94		
Section(s)/Township/Range: Section 18 - Township 20 - Range 24			
Indicate any previous Washoe County approvals associated with this application: Case No.(s) <u>AP12-003</u>			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: Don Evans		Name: N/A	
Address: 5555 Tancho Dr		Address:	
Madison WI	Zip: 53718		Zip:
Phone: 608-230-3778	Fax:	Phone:	Fax:
Email:		Email:	
Cell:	Other:	Cell:	Other:
Contact Person: Spencer Scott		Contact Person:	
Applicant/Developer:		Other Persons to be Contacted:	
Name: Spencer Scott		Name: N/A	
Address: 31850 Cantlon Dr		Address:	
Wadsworth, Nev	Zip: 89442		Zip:
Phone: 916-212-8848	Fax:	Phone:	Fax:
Email: spenscott@yahoo.com		Email:	
Cell:	Other:	Cell:	Other:
Contact Person: Spencer Scott		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Amendment of Conditions Application

(Information may be attached separately)

Required Information

1. The following information is required for an Amendment of Conditions:
 - a. Provide a written explanation of the proposed amendment, why you are asking for the amendment, and how the amendment will modify the approval.
 - b. Identify the specific Condition or Conditions that you are requesting to amend.
 - c. Provide the requested amendment language to each Condition or Conditions, and provide both the *existing* and *proposed condition(s)*.

This application requests an Amendment of Conditions to case # AP12-003. Specifically, it is requested to amend condition # 1b to allow for additional time to complete the project. There will be no changes to any other conditions and all aspects of the approved project will remain unchanged.

It is proposed to amend condition 1b to read as follows:

“The applicant shall submit complete construction plans and building permits shall be issued by October 15, 2017. The applicant shall complete construction within the time specified by the building permits. Compliance with this condition shall be determined by the Department of Planning and Zoning”

2. Describe any potential impacts to public health, safety, or welfare that could result from granting the amendment. Describe how the amendment affects the required findings as approved.

No project changes are proposed. Therefore, no new impacts are created as a result of this request.

Applicant will employ measures to reduce dust impact on surrounding residences during construction, per code.

Construction waste will be removed in a timely manner during and at completion of the project.



Board of Adjustment Action Order

Administrative Permit Case No. AP12-003

Decision: Approval with Conditions

Decision Date: June 7, 2012

Applicant: Spencer Scott, 31850 Cantlon Drive, Wadsworth, NV 89442

Property Owner: Don Evans, 5555 Tancho Drive #201, Madison, WI 53718

Assigned Planner: Roger Pelham, Senior Planner
Washoe County Department of Community Development
Phone: 775.328.3622
E-Mail: rpelham@washoecounty.us

Project Description: Administrative Permit Case No. AP12-003 – Evans Greenhouse Buildings - To allow the construction of two greenhouse buildings, Phase 1 of 4,000 square feet and Phase 3 of 30,000 square feet, as shown on the attached site plan. Phases 2 and 4, as shown on the site plan, are not requested at this time.

- Location: 31850 Cantlon Drive
- Assessor's Parcel No: 084-282-16
- Parcel Size: ±5.94 acres
- Regulatory Zone: Medium Density Rural
- Area Plan: East Truckee Canyon
- Development Code: Authorized in Article 808, Administrative Permits
- Commission District: 4 – Commissioner Larkin
- Section/Township/Range: Within Sections 17 & 18 T20N R24E MDM
Washoe County, NV

Notice is hereby given that the Washoe County Board of Adjustment granted approval with conditions of the above referenced case number based on the findings in accordance with Washoe County Development Code Article 808. If no appeals have been filed within 10 days after the date of decision, the approval by the Washoe County Board of Adjustment is final. If filed, an appeal stays any further action on the permit until final resolution of the appeal. If the end of the appeal period falls on a non-business day, the appeal period shall be extended to include the next business day. An appeal shall be filed in accordance with the provisions found in Article 808 of the Washoe County Development Code.

This Action Order of approval is granted subject to the attached conditions and Washoe County development standards. Please contact the planner assigned to your project at the above-referenced phone number within 7 days of receipt of this Order to review the steps necessary to satisfy the Conditions of Approval. A business license, certificate of occupancy or final approval shall not be issued until all of the Conditions of Approval (attached) are satisfied. Additionally, compliance shall be required with all federal, state and local statutes, ordinances and regulations applicable to the approved project.

This Action Order does not authorize grading or building without issuance of the necessary permits from the Washoe County Building and Safety Department.

To: Spencer Scott
Subject: Administrative Permit Case No AP12-003
Date: June 8, 2012
Page: 2

Washoe County
Community Development

William Whitney
Secretary to the Board of Adjustment

WW/RP/ds (AP12-003 Evans Greenhouses Action Order)

Attachments:

- Conditions of Approval

xc: Others to be Contacted: Brian Bishop Parise, 1991 Morning Grove Drive, Reno NV 89523

Agencies: Greg Salter, Esq., District Attorney's Office; Carol Buonanoma, Assessor's Office (CAAS); Theresa Wilkins, Assessor's Office; John Cella, Department of Water Resources; Kimble Corbridge/Leo Vesely, Engineering Division; Kurt Latipow, Fire Services Coordinator, Joan Presley, Truckee Meadows Division, Reno Fire Department; Larry Todd, Reno Fire; Tim Leighton, Sierra Fire Protection District; East Truckee Canyon Citizen Advisory Board, Chair



Conditions of Approval

Administrative Permit Case No. AP12-003

The project approved under Administrative Permit Case No: AP12-003 shall be carried out in accordance with the Conditions of Approval imposed by the Board of Adjustment on June 7, 2012. Conditions of Approval are requirements placed on a permit or development by each reviewing agency. These Conditions of Approval may require submittal of documents, applications, fees, inspections, amendments to plans, and more. These conditions do not relieve the applicant of the obligation to obtain any other approvals and licenses from relevant authorities required under any other act.

Unless otherwise specified, all conditions related to the approval of this Administrative Permit shall be met or financial assurance must be provided to satisfy the conditions of approval prior to issuance of a grading or building permit. The agency responsible for determining compliance with a specific condition shall determine whether the condition must be fully completed or whether the applicant shall be offered the option of providing financial assurance. All agreements, easements, or other documentation required by these conditions shall have a copy filed with the County Engineer and the Department of Community Development.

Compliance with the conditions of approval related to this Administrative Permit is the responsibility of the applicant, his/her successor in interest, and all owners, assignees, and occupants of the property and their successors in interest. Failure to comply with any of the conditions imposed in the approval of the Administrative Permit may result in the initiation of revocation procedures.

Operational Conditions are subject to review by the Department of Community Development prior to the renewal of a business license each year. Failure to adhere to the Operational Conditions may result in the Department of Community Development recommending that the business license not be renewed until conditions are complied with to the satisfaction of Washoe County.

Washoe County reserves the right to review and revise the conditions of approval related to this Administrative Permit should it be determined that a subsequent license or permit issued by Washoe County violates the intent of this approval.

For the purpose of conditions imposed by Washoe County, "may" is permissive and "shall" or "must" is mandatory.

Conditions of Approval are usually complied with at different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e., grading permits, building permits, etc.).
- Prior to obtaining a final inspection and/or a certificate of occupancy.
- Prior to the issuance of a business license or other permits/licenses.
- Some "Conditions of Approval" are referred to as "Operational Conditions". These conditions must be continually complied with for the life of the project or business.

The Washoe County Commission oversees many of the reviewing agencies/departments with the exception of the following agencies.

- The **DISTRICT BOARD OF HEALTH**, through the Washoe County Health District, has jurisdiction over all public health matters in the Health District. Any conditions set by the District Health Department must be appealed to the District Board of Health.
- The **RENO-TAHOE AIRPORT AUTHORITY** is directed and governed by its own Board. Therefore, any conditions set by the Reno-Tahoe Airport Authority must be appealed to their Board of Trustees.
- The **REGIONAL TRANSPORTATION COMMISSION (RTC)** is directed and governed by its own board. Therefore, any conditions set by the Regional Transportation Commission must be appealed to that Board.

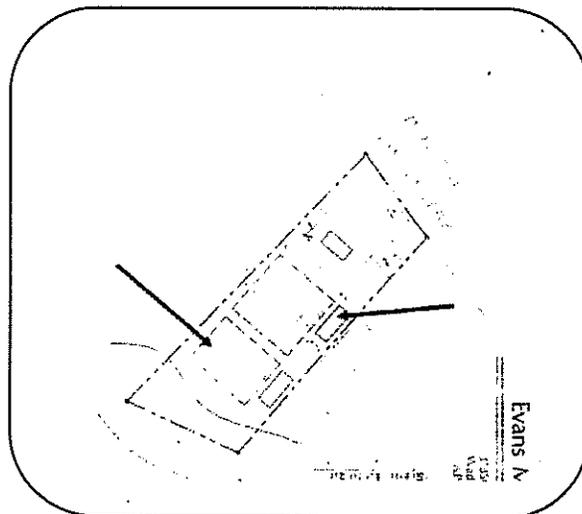
FOLLOWING ARE CONDITIONS OF APPROVAL REQUIRED BY THE REVIEWING AGENCIES. EACH CONDITION MUST BE MET TO THE SATISFACTION OF THE ISSUING AGENCY.

Washoe County Community Development

1. The following conditions are requirements of the Department of Community Development, which shall be responsible for determining compliance with these conditions.

Contact Name – Roger Pelham, 775.328.3622

- a. The applicant shall demonstrate substantial conformance to the plans approved as part of this administrative permit. Approval is granted for two greenhouse structures. The size of the structures, but not the final locations are indicated with arrows on the site plan below. The Department of Community Development shall determine compliance with this condition.



- b. The applicant shall submit complete construction plans and building permits shall be issued within two years from the date of approval by Washoe County. The applicant shall complete construction within the time specified by the building permits. Compliance with this condition shall be determined by the Department of Community Development.
- c. The applicant shall attach a copy of the action order approving this project to all administrative permit applications (including building permits) applied for as part of this administrative permit.
- d. No structure shall be located within the 100-year floodplain, or within three hundred (300) feet of the center of the Truckee River, whichever is greater. The applicant shall indicate the 100-year floodplain, and the three hundred (300) foot setback from the center of the Truckee River on all plans submitted for building permits.
- e. All parking, loading and maneuvering areas utilized by vehicles associated with the commercial crop production shall be paved with asphalt or concrete.
- f. The applicant shall supply documentation from the Washoe County Water Resources to Washoe County Community Development indicating that the applicant possesses sufficient water rights for the proposed use, prior to approval of a building permit.
- g. The applicant shall install a six-foot-tall fence having opacity of at least 95% at the property line adjacent to each structure and extending at least 50 feet further along the property line each direction past the end of each structure.
- h. The applicant shall provide a photometric study showing that there will be no light emission or glare at the property line when the growing lights are turned on. All lighting fixtures must be installed such that light is emitted downward only.
- i. Prior to a final approval of any building the applicant shall submit a report from a licensed engineer, registered in the State of Nevada certifying that, as constructed, there is no light spill-over from the approved buildings at any property line.
- j. The applicant shall install timers on all lights and all artificial lighting shall be turned off daily not later than one hour after sunset, nor turned on more than one hour before sunrise OR the applicant shall install and utilize screening or blinds on the interior of the buildings so that no light is emitted from the structures at night.
- k. The applicant shall submit detailed grading plans for development of the greenhouse structures. All cut and fill slopes shall be set back at least ten feet from all property lines. No final slopes shall be steeper than 3 horizontal to 1 vertical (3H:1V).
- l. A note shall be placed on all construction drawings and grading plans stating:

NOTE

Should any prehistoric or historic remains/artifacts be discovered during site development, work shall temporarily be halted at the specific site and the State Historic Preservation Office of the Department of Museums, Library and Arts shall be notified to record and photograph the site. The period of temporary delay shall be limited to a maximum of two (2) working days from the date of notification.

- m. The following **Operational Conditions** shall be required for the life of the project/business/development:
1. This administrative permit shall remain in effect until or unless it is revoked or is inactive (crop production ceases) for one year.
 2. Failure to comply with the conditions of approval shall render this approval null and void. Compliance with this condition shall be determined by the Department of Community Development.
 3. The applicant and any successors shall direct any potential purchaser/operator of the site and/or the administrative permit to meet with the Department of Community Development to review conditions of approval prior to the final sale of the site and/or the administrative permit. Any subsequent purchaser/operator of the site and/or the administrative permit shall notify the Department of Community Development of the name, address, telephone number, and contact person of the new purchaser/operator within 30 days of the final sale.
 4. This administrative permit shall remain in effect as long as the business is in operation and maintains a valid business license.
 5. The operation of commercial vehicles on the site shall be limited to the hours between 9 am and 5 pm daily.
 6. Light shall not be emitted from the greenhouse structures at night.

Washoe County Public Works

2. The following conditions are requirements of the Engineering Division, which shall be responsible for determining compliance with these conditions.

Contact Name – Leo Vesely, 775.328.2040

- a. A complete set of construction improvement drawings, including an on-site grading plan, shall be submitted when applying for a building/grading permit. Grading shall comply with best management practices (BMP's) and shall include detailed plans for grading, site drainage, erosion control, and slope stabilization. Placement or removal of any excavated materials shall be indicated on the site/grading plan. Silts shall be controlled on-site and not allowed to exit the property or enter the Truckee River.
- b. The owner/developer shall obtain from the Nevada Division of Environmental Protection a Stormwater Discharge Permit for construction and submit a copy to the Engineering Division prior to issuance of a building or grading permit.

- c. The owner/developer shall complete and submit the Construction Permit Submittal Checklist, the Performance Standards Compliance Checklist and pay the Construction Stormwater Inspection Fee prior to obtaining a grading permit. The County Engineer shall determine compliance with this condition.

*** End of Conditions ***

PHASE II IMPROVEMENTS for NEVADA AG

A.P.N. 084-282-16 - 31850 Cantlon Drive
Wadsworth, Nevada

Phase 2 :
Nevada AG
Wadsworth, Nevada

DESIGN PROFESSIONALS

OWNER

Don Evans
9689 Shadowstone Way
Reno, Nevada 89521

PRINCIPAL DESIGN PROFESSIONAL

AESTHETIC ENGINEERING
Trevor J. Averett
140 W. Huffaker Lane
Suite 505
Reno, Nevada 89511
ph: (775) 329-4355
fax: (775) 329-2382

ENGINEER

AESTHETIC ENGINEERING
140 W. Huffaker Lane
Suite 505
Reno, Nevada 89511
ph: (775) 329-4355
fax: (775) 329-2382

ELECTRICAL ENGINEER

Construction Design Services
Electrical Engineering
Michael Pecorino
150 W. Huffaker Lane
Suite 103
Reno, Nevada 89511
ph: (775) 826-4001
fax: (775) 826-3033

DESIGN CRITERIA

CODES 2012 INTERNATIONAL BUILDING CODE
2012 UNIFORM PLUMBING CODE
2012 UNIFORM MECHANICAL CODE
2012 INTERNATIONAL EXISTING BUILDING CODE
2009 INTERNATIONAL ENERGY CONSERVATION CODE
2012 INTERNATIONAL FIRE CODE
2011 NATIONAL ELECTRICAL CODE
(ICC 7 ANSI A117.1-1998)

USE AND OCCUPANCY CLASSIFICATION UTILITY AND MISCELLANEOUS GROUP U

TYPE OF CONSTRUCTION TYPE II-B

LAND USE 200 - SINGLE FAMILY RESIDENCE

ZONING MDR - MEDIUM DENSITY RURAL

SEISMIC DESIGN CATEGORY D

WIND LOAD Vult= 130mph & Vasd= 101 mph

SNOW LOAD20 psf

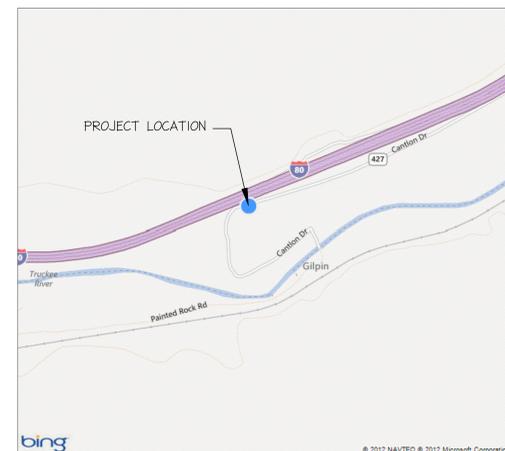
ALLOWABLE AREA (APPENDIX C 2012 IBC) 18,000 S.F.

ACTUAL AREA 30,000 S.F.

BUILDING HEIGHT SINGLE STORIE (25'-0"±)

FIRE SPRINKLERS NO

VICINITY MAP



GENERAL NOTES

- THESE GENERAL NOTES PERTAIN TO WORK DESCRIBED ON ALL DRAWINGS, DETAILS, SPECIFICATIONS, AND SHOP DRAWINGS UNLESS NOTED OTHERWISE (U.N.O.).
- THE DRAWINGS INDICATE NEW WORK TO BE PERFORMED AND DO NOT PURPORT TO SHOW ALL EXISTING CONDITIONS. CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID AND FAMILIARIZE HIM/HERSELF WITH ALL EXISTING AND PROPOSED CONDITIONS WHICH MAY AFFECT THE COURSE OF WORK. CONTRACTOR SHALL REPORT ALL DISCREPANCIES AND UNACCEPTABLE CONDITIONS TO THE DESIGNER PRIOR TO BID. NO CHANGE ORDERS WILL BE ALLOWED FOR FAILURE TO COMPLY WITH THIS REQUIREMENT.
- PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, ACCESSORIES, ETC. REQUIRED FOR A COMPLETE USABLE ASSEMBLY AND PROJECT IN ACCORDANCE WITH THE DRAWINGS TOGETHER WITH THE SPECIFICATIONS.
- GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF SUB-CONTRACTOR(S), MATERIALS, AND INSTALLATION FOR THIS PROJECT.
- WHERE CONFLICT BETWEEN ANY DRAWING OR DETAIL THAT WILL MATERIALLY AFFECT THE QUALITY OR EXTENT OF THE WORK IS ENCOUNTERED SUCH CONFLICT SHALL BE RESOLVED TO THE SATISFACTION OF THE DESIGNER BEFORE THE AFFECTED ITEMS AND/OR MATERIAL ARE PURCHASED, FABRICATED AND/OR INSTALLED.
- WHERE ANY ITEM AND/OR MATERIAL IS INDICATED ON THE DRAWINGS, AND NOT NECESSARILY DETAILED IN EACH SPECIFIC CASE, BUT IS REQUIRED FOR A COMPLETE AND PROFESSIONAL INSTALLATION - SUCH ITEM AND/OR MATERIAL SHALL BE PROVIDED AS IF SHOWN AND DETAILED IN FULL. PROVIDE MEANS TO FURNISH AND INSTALL.
- WHERE PRE-MANUFACTURED OR PREFABRICATED ITEMS AND/OR MATERIALS ARE TO BE INSTALLED - VERIFY ROUGH OR FINISHED DIMENSIONS IN THE FIELD PRIOR TO PURCHASE OR FABRICATION.
- ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST EDITION OF THE INTERNATIONAL BUILDING CODE (IBC) AND ALL OTHER APPLICABLE STATE AND LOCAL LAWS AND REGULATIONS.
- OBTAIN AND PAY FOR ALL BUILDING AND WORKING PERMITS, UTILITY CONNECTIONS FEES, AND INSPECTION FEES REQUIRED FOR THIS PROJECT.
- NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
- GUARANTEE ALL WORK AND MATERIALS TO BE FREE FROM DEFECTS FOR A PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE. PROMPTLY REMEDY SUCH DEFECTS AND ANY SUBSEQUENT DAMAGE CAUSED BY THE DEFECTS OR REPAIR THEREOF, AT NO EXPENSE TO THE OWNER.

SHEET INDEX

- | | |
|------|--|
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| C-3 | Cut & Fill Sections |
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| S-1 | Metal Building Foundation Plan |
| SD-1 | Structural Notes And Specifications |
| SD-2 | Structural Details |
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| E0.1 | Symbols List, Specifications, And Drawing Index |
| E0.2 | Single Line Diagram, Feeder Schedule, Fixture Schedule, And Diagrams |
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| E1 | Electrical Site Plan |
| E2 | Electrical Floor Plan Green House #1 |
| E3 | Electrical Floor Plan Green House #2 |
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Engineer Of Record
Trevor J. Averett, P.E.

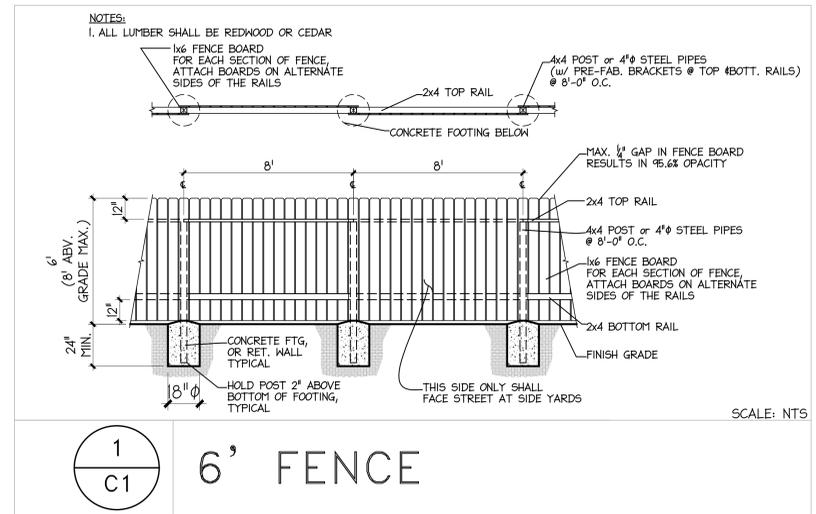
Revisions

Date 10/27/2014
Drawn MPF
Checked TJA
Project No. 14074

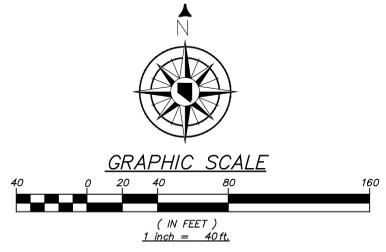
Title Sheet

T-1

INTERSTATE 80
 CANTLON DRIVE



SITE INFORMATION	
PROPERTY OWNER: Don Evans 9681 Shadestone Way Reno, Nevada 89521	
SITE DATA: A.P.N.: 084-282-16 LAND USE: 020 (SINGLE FAMILY RES.) LOT AREA: 5.942 ACRE ZONING: MDR WATER: WELL SEWER: ON-SITE SEPTIC	
BUILDING INFORMATION BUILDING TYPE: METAL SQUARE FOOTAGE: 30,000 sf	



Apr# 084-282-16

SITE PLAN

Phase 2 :
Nevada AG
 Wadsworth, Nevada

Engineer Of Record
 Trevor J. Averett, P.E.

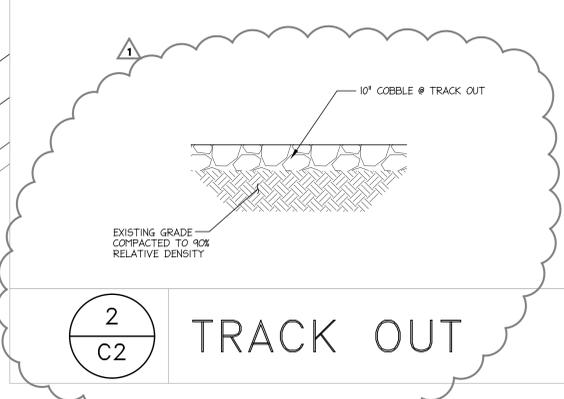
Revisions	

Date: 10/27/2014
 Drawn: MPF
 Checked: TJA
 Project No. 14074

Site Plan
C-1

NOTES:

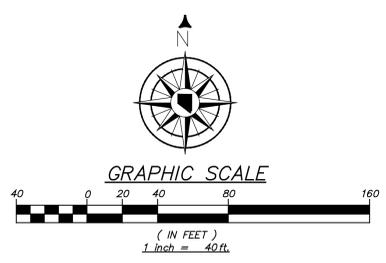
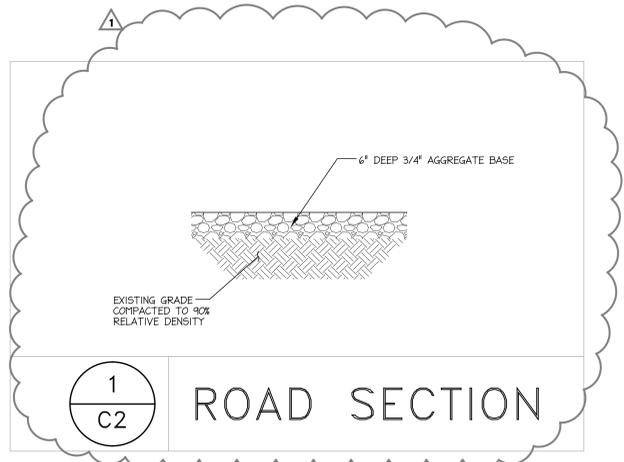
1. THE OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL EACH DAY REMOVE ALL SEDIMENT, MUD, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED TO OR ACCUMULATED IN THE PUBLIC RIGHTS OF WAYS OF WASHOE COUNTY AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS SITE DEVELOPMENT OR CONSTRUCTION PROJECT.
2. ADDITIONAL CONSTRUCTION SITE DISCHARGE BEST MANAGEMENT PRACTICES MAY BE REQUIRED OF THE OWNER AND HIS OR HER AGENTS DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT MEET THE PERFORMANCE STANDARDS SPECIFIED IN THE WASHOE COUNTY COMMUNITY DEVELOPMENT AND THE TRUCKEE MEADOWS CONSTRUCTION SITE BEST MANAGEMENT PRACTICES HANDBOOK.
3. TEMPORARY OR PERMANENT STABILIZATION PRACTICES WILL BE INSTALLED ON DISTURBED AREAS AS SOON AS PRACTICABLE AND NO LATER THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. SOME EXCEPTIONS MAY APPLY;
4. AT A MINIMUM, THE CONTRACTOR OR HIS AGENT SHALL INSPECT ALL DISTURBED AREAS, AREAS USED FOR STORAGE OF MATERIALS AND EQUIPMENT THAT ARE EXPOSED TO PRECIPITATION, VEHICLE ENTRANCE AND EXIT LOCATIONS AND ALL BMP'S WEEKLY, PRIOR TO A FORECASTED RAIN EVENT AND WITHIN 24 HOURS AFTER ANY ACTUAL RAIN EVENT. THE CONTRACTOR OR HIS AGENT SHALL UPDATE OR MODIFY THE STORMWATER POLLUTION PREVENTION PLAN AS NECESSARY. SOME EXCEPTIONS TO WEEKLY INSPECTIONS MAY APPLY, SUCH AS FROZEN GROUND CONDITIONS OR SUSPENSION OF LAND DISTURBANCE ACTIVITIES.
5. ACCUMULATED SEDIMENT IN BMP'S SHALL BE REMOVED WITHIN SEVEN DAYS AFTER A STORMWATER RUNOFF EVENT OR PRIOR TO THE NEXT ANTICIPATED STORM EVENT WHICHEVER IS EARLIER. SEDIMENT MUST BE REMOVED WHEN BPB DESIGN CAPACITY HAS BEEN REDUCED BY 50 PERCENT OR MORE.
6. SHOULD ANY PREHISTORIC OR HISTORIC REMAINS/ARTIFACTS BE DISCOVERED DURING SITE DEVELOPMENT, WORK SHALL TEMPORARILY BE HALTED AT THE SPECIFIC SITE AND THE STATE HISTORIC PRESERVATION OFFICE OF THE DEPARTMENT OF MUSEUMS, LIBRARY AND ARTS SHALL BE NOTIFIED TO RECORD AND PHOTOGRAPH THE SITE. THE PERIOD OF TEMPORARY DELAY SHALL BE LIMITED TO A MAXIMUM OF TWO (2) WORKING DAYS FROM THE DATE OF NOTIFICATION.



NV-AG PHASE II
 GRADING VOLUME CALCULATIONS

CUT =	908.5 C.Y.
FILL =	448.75 C.Y.
DIFFERENCE =	3560.25 C.Y.
EXCESS CUT TO BE DISTRIBUTED ON SITE	
FILL = AREA (545 S.F.) @ 1/3 x 34'-0" =	18,530 C.F.
AREA (20 S.F.) @ 2/3 x 50'-0" =	6,000 C.F.
CUT = AREA (12 S.F.) @ 3/3 x 25'-0" =	2,000 C.F.
AREA (404 S.F.) @ 4/3 x 30'-0" =	20,200 C.F.
AREA (964 S.F.) @ 5/3 x 25'-0" =	24,100 C.F.
AREA (1,268 S.F.) @ 6/3 x 40'-0" =	50,720 C.F.
AREA (642 S.F.) @ 7/3 x 33'-0" =	22,836 C.F.
DIFFERENCE (CUT) 96,126 C.F. \ 27 =	3,560 C.Y.

INTERSTATE 80
CANTLON DRIVE



Apr# 084-282-16

GRADING PLAN

Phase 2 :
Nevada AG
 Wadsworth, Nevada

Engineer Of Record
 Trevor J. Averett, P.E.

Revisions

Date 10/27/2014
 Drawn MPF
 Checked TJA
 Project No. 14074

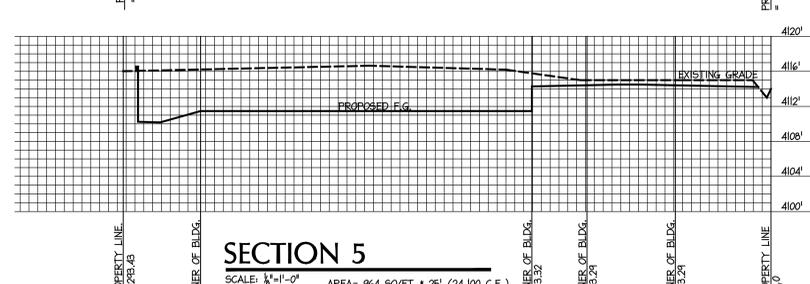
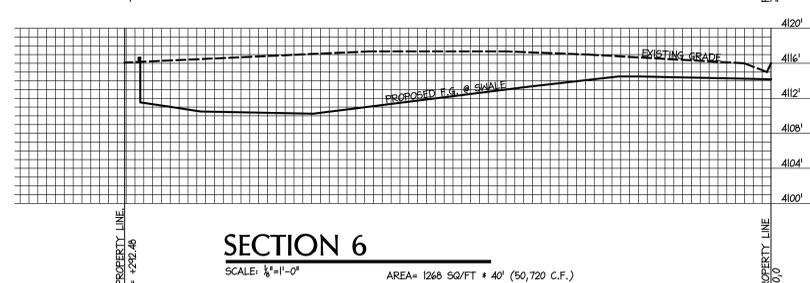
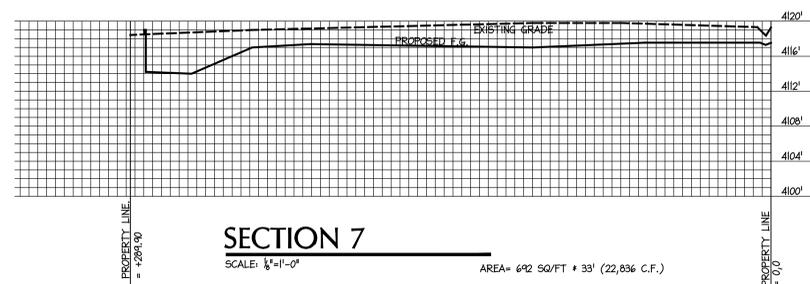
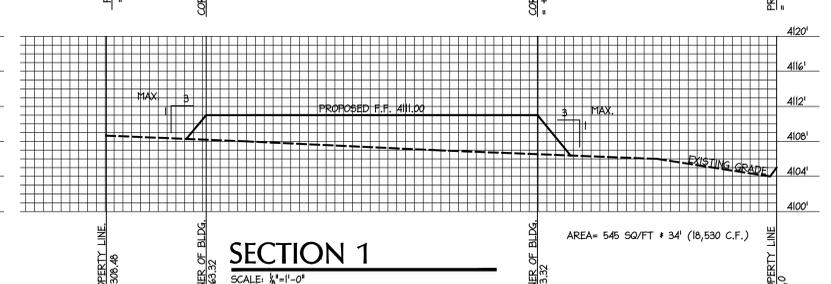
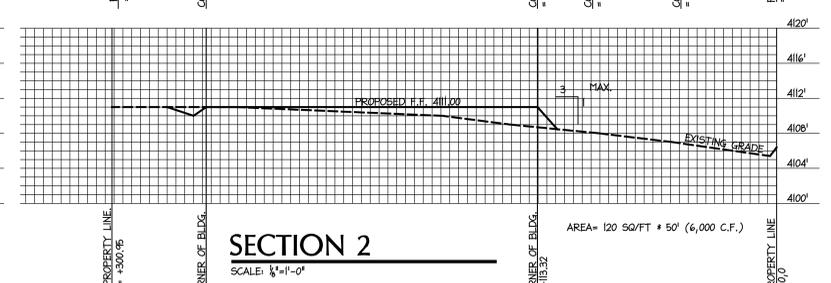
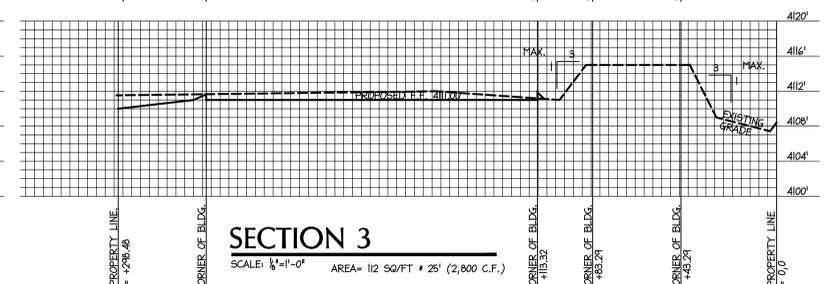
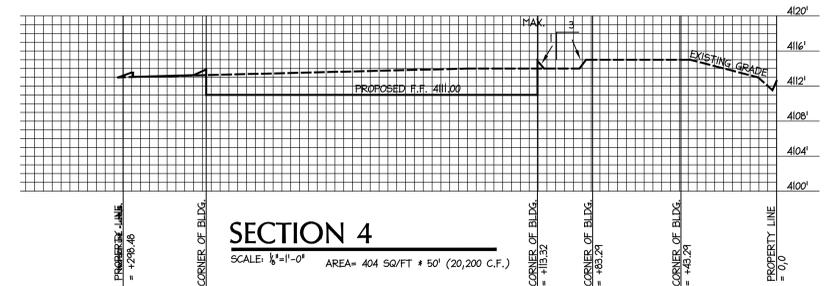
Grading Plan
C-2

NV-AG PHASE II
 GRADING VOLUME CALCULATIONS

CUT = 908.5 C.Y.
 FILL = 4468.75 C.Y.
 DIFFERENCE = 3560.25 C.Y.

EXCESS CUT TO BE
 DISTRIBUTED ON SITE

FILL = AREA (545 S.F.) @ 1/3 x 34'-0" = 18,530 C.F.
 AREA (120 S.F.) @ 2/3 x 50'-0" = 6,000 C.F.
 CUT = AREA (112 S.F.) @ 3/3 x 25'-0" = 2,800 C.F.
 AREA (404 S.F.) @ 4/3 x 50'-0" = 20,200 C.F.
 AREA (964 S.F.) @ 5/3 x 25'-0" = 24,100 C.F.
 AREA (1,268 S.F.) @ 6/3 x 40'-0" = 50,720 C.F.
 AREA (692 S.F.) @ 7/3 x 33'-0" = 22,836 C.F.
 DIFFERENCE (CUT) 96,126 C.F. \ 27 = 3,560 C.Y.

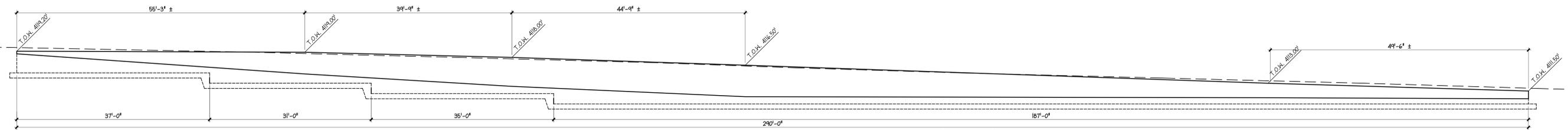


Engineer Of Record
 Trevor J. Averett, P.E.

Revisions

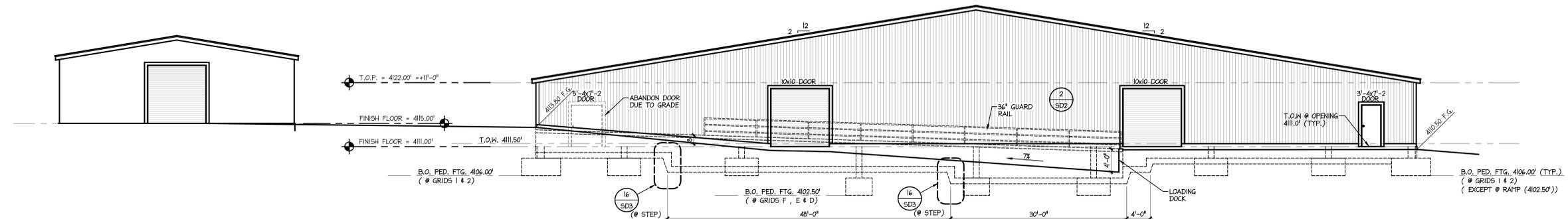
Date 10/27/2014
 Drawn MPF
 Checked TJA
 Project No. 14074

Cut and Fill
 Sections



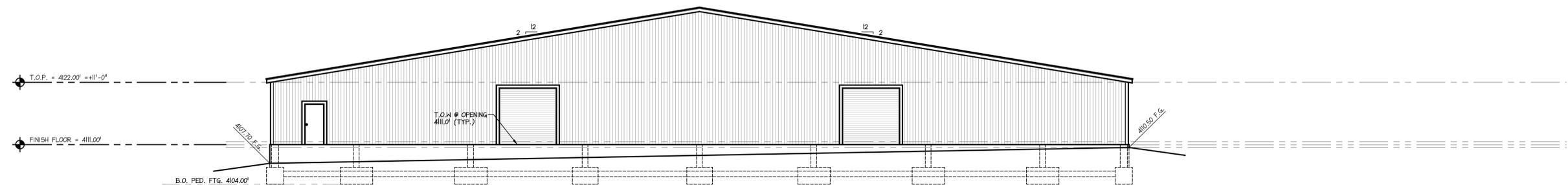
PROPOSED RET. WALL ELEVATION (West)

SCALE: 1/8"=1'-0"



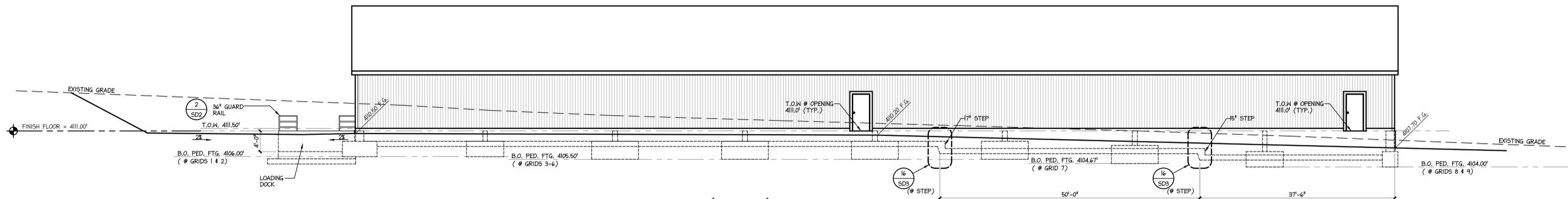
PROPOSED FRONT ELEVATION (North)

SCALE: 1/8"=1'-0"



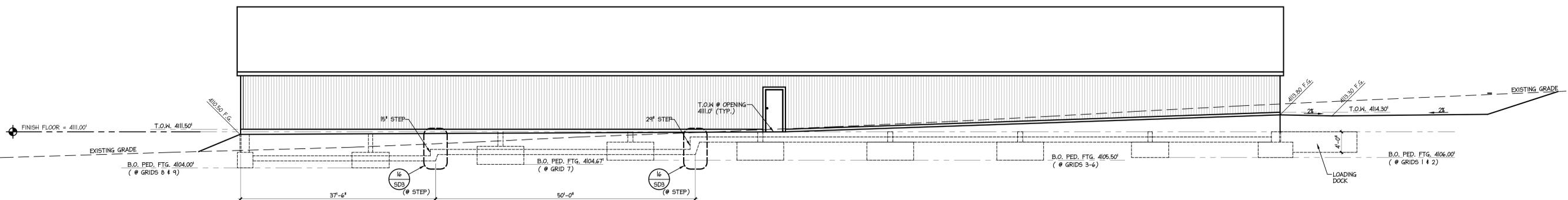
PROPOSED REAR ELEVATION (South)

SCALE: 1/8"=1'-0"



PROPOSED SIDE ELEVATION (West)

SCALE: 1/8"=1'-0"



PROPOSED SIDE ELEVATION (East)

SCALE: 1/8"=1'-0"

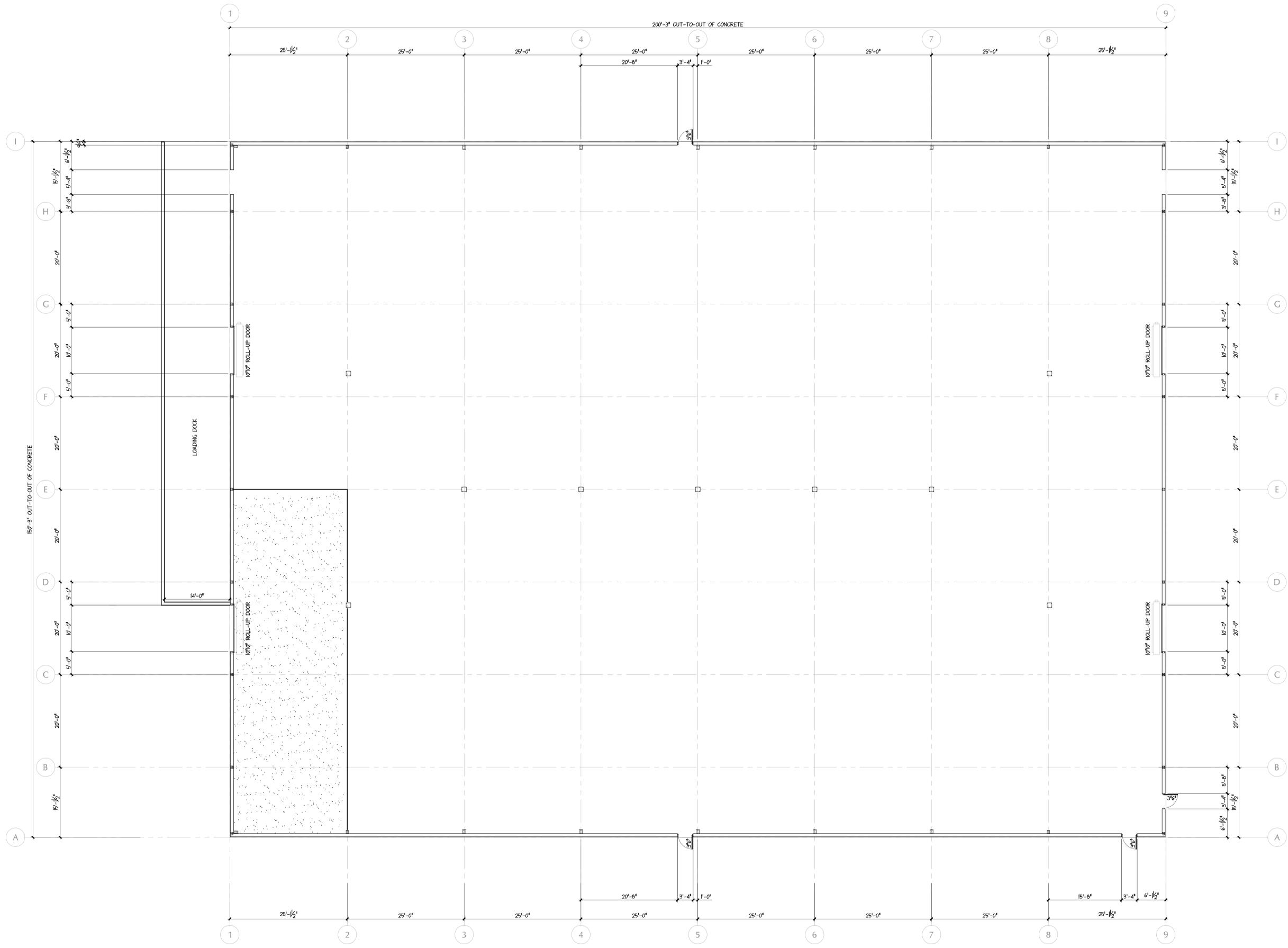
Phase 2 :
Nevada AG
Wadsworth, Nevada

Engineer Of Record
Trevor J. Averett, P.E.

Revisions

Date	10/27/2014
Drawn	MPF
Checked	TJA
Project No.	14074

Metal Building Elevations



METAL BUILDING FLOOR PLAN

SCALE: 1/8" = 1'-0"

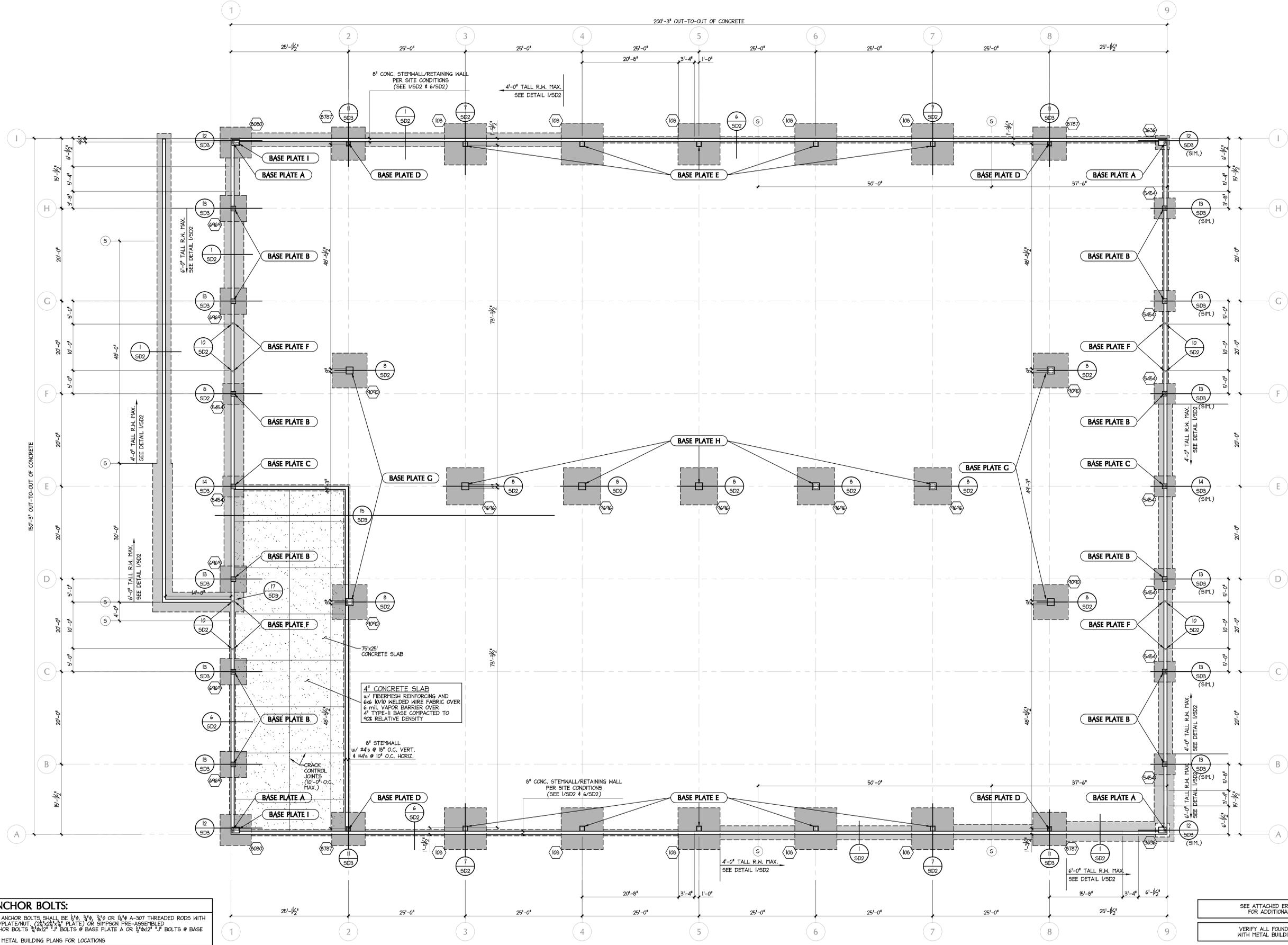
Phase 2 :
Nevada AG
Wadsworth, Nevada

Engineer Of Record
Trevor J. Averett, P.E.

Revisions

Date 10/27/2014
Drawn MPF
Checked TJA
Project No. 14074

Metal Building
Elevations



ANCHOR BOLTS:
ALL ANCHOR BOLTS SHALL BE 1/2\"/>

SEE ATTACHED ERECTION DRAWINGS FOR ADDITIONAL INFORMATION
VERIFY ALL FOUNDATION DIMENSIONS WITH METAL BUILDING MANUFACTURER

- ⑤ STEP IN FOOTING (SEE I6/SD3)
- ⑥30 3'-0\"/>

METAL BUILDING FOUNDATION PLAN
SCALE: 1/8\"/>

Phase 2 :
Nevada AG
Wadsworth, Nevada

Engineer Of Record
Trevor J. Averett, P.E.

Revisions
▲
▲
▲
Date 10/27/2014
Drawn MPF
Checked TJA
Project No. 14074
Metal Building Foundation Plan

PROJECT STRUCTURAL NOTES AESTHETIC ENGINEERING ASSUMES THAT THE GENERAL CONTRACTOR AND ALL INVOLVED PARTIES HAVE READ AND UNDERSTAND NOTES LISTED IN PLANS.

GENERAL
1. ALL WORK, DETAILS OF DESIGN, WORKMANSHIP, AND MATERIALS SHALL CONFORM TO REQUIREMENTS OF THE 2012 EDITION OF THE INTERNATIONAL BUILDING CODE (IBC) OF THE INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS AND THE APPLICABLE COUNTY/CITY BUILDING CODES.
2. AESTHETIC ENGINEERING EXPRESSLY RESERVES ITS COMMON LAW COPYRIGHT AND OTHER PROPER RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED, OR COPIED IN ANY MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO A THIRD PARTY WITHOUT THE EXPRESS WRITTEN CONSENT OF AESTHETIC ENGINEERING. IN THE EVENT OF UNAUTHORIZED REUSE OF THESE PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL HOLD AESTHETIC ENGINEERING HARMLESS.
3. AESTHETIC ENGINEERING RESERVES THE RIGHT TO PERFORM OBSERVATION VISITS TO THE SITE AT ANY TIME. OBSERVATIONS ARE PERFORMED SOLELY FOR THE PURPOSE OF DETERMINING IF THE CONTRACTOR UNDERSTANDS DESIGN INTENT CONVEYED IN THE PLANS. OBSERVATIONS DO NOT GUARANTEE CONTRACTOR'S PERFORMANCE AND ARE NOT TO BE CONSTRUED AS SUPERVISION OF THE PROJECT.
4. IN THE EVENT THAT CERTAIN EXISTING DIMENSIONS AND/OR CONDITIONS ARE FOUND TO BE DIFFERENT FROM THOSE SHOWN ON THE PLANS AND DETAILS, THE ENGINEER SHALL BE IMMEDIATELY NOTIFIED SO THAT THE PROPER REVISIONS CAN BE MADE IF NECESSARY. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES, OR OMISSIONS WHICH THE CONTRACTOR FAILED TO NOTIFY AESTHETIC ENGINEERING OF BEFORE CONSTRUCTION AND/OR FABRICATION OF THE WORK.
5. AESTHETIC ENGINEERING IS RESPONSIBLE FOR THE STRUCTURAL ITEMS IN THE PLANS ONLY. SHOULD ANY CHANGES BE MADE, OR SHOULD THE RESULTS OF THESE CALCULATIONS NOT BE FULLY OR PROPERLY TRANSFERRED TO THE PLANS, AESTHETIC ENGINEERING ASSUMES NO RESPONSIBILITY FOR THE STRUCTURE.
6. THE DETAILS SHOWN ON THE DRAWINGS ARE TYPICAL. SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS. NO DEVIATIONS FROM STRUCTURAL DETAILS SHALL BE MADE WITHOUT THE PRIOR WRITTEN APPROVAL OF AESTHETIC ENGINEERING.
7. THE CALCULATIONS ARE BASED UPON A COMPLETE STRUCTURE. TEMPORARY SUPPORTS, ETC., ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND HAVE NOT BEEN CONSIDERED BY AESTHETIC ENGINEERING. SHOULD AN UNFINISHED STRUCTURE BE SUBJECT TO LOADS, AESTHETIC ENGINEERING SHOULD BE CONSULTED FOR AN INTERIM DESIGN OR IF NOT, WILL ASSUME NO LIABILITY.
8. ALL NOTES ARE TYPICAL UNLESS NOTED OTHERWISE ON THE PLANS. ALL HARDWARE AND FRAMING MEMBERS SPECIFIED IN THE CALCULATIONS AND/OR PLANS ARE MINIMUMS AND LARGER MEMBERS OF EQUAL OR BETTER GRADE MAY BE SUBSTITUTED.

NOTE
1. AESTHETIC ENGINEERING HAS NOT MADE A GEOTECHNICAL REVIEW OF THE BUILDING SITE AND IS NOT RESPONSIBLE FOR GENERAL SITE STABILITY OR UTILITY FOR THE PROPOSED PROJECT. AESTHETIC ENGINEERING RECOMMENDS, BUT DOES NOT REQUIRE, A REVIEW OF THE SITE BY A GEOLOGICAL ENGINEER OR A QUALIFIED CIVIL ENGINEER TO DETERMINE GENERAL SITE STABILITY AND SUITABILITY FOR THE PROPOSED PROJECT.
2. BUILDING SITES ARE ASSUMED TO BE DRAINED AND FREE OF CLAY OR EXPANSIVE SOIL. ALL FOOTINGS SHALL BE LEVEL OR STEPPED AND BEAR ON FIRM, STABLE, NATURAL, UNDISTURBED SOIL OR AN APPROVED COMPACTED FILL.
3. PERIMETER OR EXTERIOR FOOTING DEPTHS MUST EXTEND BELOW FROSTLINE (18" OR 24" AS PER LOCAL CODE REQUIREMENTS). ALL OTHER FOOTINGS (INTERIOR) SHALL BOTTOM 12" BELOW FINISH FLOOR.
4. FOUNDATION PADS SHALL BE GRADED 2" TOWARD APPROVED DRAINAGE FACILITIES AND BUILDINGS SHALL BE MADE TO CONTROL AND DRAIN SURFACE WATER AROUND BUILDING.
5. ASSUME CLASS 4 SOILS WITH ALLOWABLE SOIL BEARING PRESSURE OF 1500 PSF WITH A CONSTANT EXPANSION INDEX LESS THAN 20. SOIL BEARING PRESSURE HAS BEEN DETERMINED AND INCREASED IN ACCORDANCE WITH IBC TABLE 1604.2.

FILL AND BACKFILL
1. FILL MATERIAL SHALL BE FREE FROM DEBRIS, VEGETATION, AND OTHER FOREIGN SUBSTANCES.
2. BACKFILL TRENCHES SHALL BE COMPACTED TO 90% DENSITY PER ASTM 1557 TO WITHIN 12" OF FINISHED GRADE. THE TOP 12" SHALL BE LANDSCAPE FILL.
3. BACKFILL AT PIPE TRENCHES SHALL BE COMPACTED ON BOTH SIDES OF PIPE IN 6" LIFTS.
4. WATERPROOF EXTERIOR FACES OF ALL FOUNDATION WALLS ADJACENT TO USABLE SPACES. WATERPROOFING OF ALL FOUNDATION AND RETAINING WALLS TO BE THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR.
5. ALL BACKFILL AGAINST FOUNDATION WALLS MUST BE COMPACTED TO 90% RELATIVE DENSITY.
6. PROVIDE A 4" DIAMETER PVC PERFORATED DRAINPIPE AT GRADE SIDE OF ALL RETAINING WALLS. SLOPE PIPE TO DRAIN TO DAYLIGHT AND DRYWELL.

CONCRETE
1. REINFORCED CONCRETE WORK SHALL CONFORM TO APPLICABLE REQUIREMENTS OF THE IBC AND ACI STANDARD 308.
2. AGGREGATE SHALL CONFORM TO ASTM C33 FOR STONE CONCRETE.
3. CONCRETE STOOPS TO BE MACHINED MIXED AND PLACED IN ACCORDANCE WITH IBC SECTION 1903.
4. COMPRESSION STRENGTH OF ALL REINFORCED CONCRETE SHALL NOT BE LESS THAN 3000 PSI AT 28 DAYS.
5. STRUCTURAL DESIGN BASED ON $f'_c = 2500$ PSI (SPECIAL INSPECTION NOT REQUIRED).
6. USE NORMAL WEIGHT CONCRETE (145 PCF) FOR ALL CONCRETE. USE TYPE II CEMENT TYPICAL. IF SOIL CONTAINS SULFATE CONCENTRATIONS OF .2% OR MORE, USE TYPE IV CEMENT.
7. THE MAXIMUM SLUMP SHALL NOT EXCEED 3". PLASTICIZERS MAY BE USED TO INCREASE SLUMP TO 8" MAXIMUM PROVIDED THEY DO NOT INCREASE SHRINKAGE.
8. MAXIMUM WATER TO CEMENT RATIO SHALL BE .55 FOR 3000 PSI CONCRETE.
9. EXTERIOR SLABS ON GRADE SHALL CONTAIN NOT LESS THAN 5% NOR MORE THAN 6% ENTRAINED AIR.
10. FOLLOW RECOMMENDED PRACTICES FOR HOT AND COLD WEATHER CONCRETING BY OBSERVING ACI 305 AND ACI 306 GUIDELINES.
11. PROVIDE STANDARD CRACK CONTROL JOINTS IN ALL SLABS ON GRADE USING MAXIMUM DIMENSION OF 12 FEET. JOINT DEPTH SHALL NOT EXCEED ONE-FOURTH OF SLAB DEPTH.
12. TOP OF CONCRETE SLABS SHALL BE MINIMUM 1/4" ABOVE FINISHED GRADE.
13. PIPES THAT PASS THROUGH STRUCTURAL CONCRETE IN SLEEVES, BUT SHALL NOT BE THICKENED THEREIN. PIPES OR DUCTS EXCEEDING ONE-THIRD THE SLAB OR WALL THICKNESS SHALL NOT BE PLACED IN STRUCTURAL CONCRETE.
14. DO NOT PLACE CONCRETE UNTIL ALL REINFORCEMENT, CONDUIT, OUTLET BOXES, ANCHORS, HANGERS, SLEEVES, BOLTS, HOLD-DOWNS, ANCHOR BOLTS OR OTHER EMBEDDED MATERIALS AND ITEMS ARE SECURELY AND PROPERLY FASTENED IN THEIR PROPER PLACES AND POSITIONS.

MASONRY
1. ALL CONCRETE MASONRY UNITS SHALL CONFORM TO ASTM C90. GRADE M. F_m = 1500 PSI. USE 95 PCF MINIMUM WEIGHT UNITS ABOVE GRADE AND 110 PCF MINIMUM WEIGHT UNITS BELOW GRADE. USE MOISTURE CONTROLLED UNITS ONLY. USE OPEN-END MASONRY UNITS AS MUCH AS POSSIBLE AND AT WALL INTERSECTIONS.
2. ALL BRICK SHALL CONFORM TO ASTM C62, GRADE 19A.
3. MORTAR FOR CONCRETE MASONRY SHALL CONFORM TO ASTM C27, TYPE S.
4. GROUT FOR CONCRETE MASONRY SHALL BE IN ACCORDANCE WITH IBC SECTION 2103. MINIMUM 28-DAY COMPRESSIVE STRENGTH SHALL NOT BE LESS THAN 2000 PSI.
5. ALL WALLS SHALL BE GROUTED SOLID. GROUT SHALL BE VIBRATED INTO PLACE AND SHALL BE PLACED IN LIFTS NOT EXCEEDING 4' UNLESS APPROPRIATE CLEANOUT HOLES ARE PROVIDED IN ACCORDANCE WITH IBC.
6. AGGREGATES FOR MORTAR AND GROUT SHALL BE NATURAL SAND AND ROCK CONFORMING TO ASTM C-144 (MORTAR) AND C-404 (GROUT).
7. CEMENT SHALL BE PORTLAND CEMENT CONFORMING TO ASTM C-150, TYPE I OR II, LOM ALKALI.
8. ALL CONCRETE BLOCK AND BRICK SHALL BE LAID IN RUNNING BOND.
9. WHEN ABSOLUTELY NECESSARY FOR CONSTRUCTION PURPOSES TO STOP OFF LONGITUDINAL RUNS OF MASONRY, STOP OFF ONLY BY RACKING BACK ONE-HALF UNIT LENGTH IN EACH COURSE. TOOTHING SHALL NOT BE OMITTED.
10. MASONRY WALLS SHALL BE REINFORCED WITH #4S AT 24" O.C. EACH WAY. HORIZONTAL BAR SPLICES SHALL BE STAGGERED.

REINFORCING STEEL
1. REINFORCING BARS SHALL BE DEFORMED BARS CONFORMING TO THE REQUIREMENTS OF ASTM A65 GRADE 60 FOR ALL #5 AND LARGER BARS AND GRADE 40 FOR ALL #4 AND SMALLER BARS.
2. ALL DETAILS OF FABRICATION AND INSTALLATION OF REINFORCING STEEL SHALL BE IN ACCORDANCE WITH THE ACI MANUAL OF STANDARD PRACTICE.
3. WELDED FABRIC (MESH) SHALL CONFORM TO LATEST REVISED ASTM A95 AND BE FURNISHED IN FLAT SHEETS. SMOOTH WIRE FABRIC SHALL CONFORM TO ASTM A-85 HAVING A YIELD STRENGTH OF 60 KSI.
4. WELDING OF REINFORCING STEEL SHALL CONFORM TO AWS D12-1 USING LOW HYDROGEN ELECTRODES.
5. ALL BARS SHALL BE LAPPED WITH A MINIMUM OF 40 BAR DIAMETERS (2' MINIMUM) AT ALL SPLICES.
6. SPLICES OF HORIZONTAL REBAR IN WALLS AND FOOTINGS SHALL BE STAGGERED 4' MINIMUM.
7. DETAILS FOR WALLS AND COLUMNS SHALL BE THE SAME SIZE AND SPACING AS THE WALL/COLUMN REINFORCING.
8. ALL REINFORCING STEEL SHALL BE ACCURATELY LOCATED AND ADEQUATELY SECURED IN POSITION BEFORE AND DURING PLACEMENT OF CONCRETE.
9. MASONRY REINFORCEMENT, BOLTS, ETC. SHALL HAVE MINIMUM GROUT COVERAGE OF THREE-FOURTHS OF AN INCH.
10. REINFORCEMENT COVER IN CAST-IN-PLACE CONCRETE SHALL BE AS FOLLOWS:
A. 3" - CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH
B. 1" - FORMED SURFACES EXPOSED TO GROUND OR WEATHER

STUCCO APPLICATION NOTES
1. SEE ICC EVALUATION REPORT ESR-1194 FOR OMEGA STUCCO SYSTEMS OR ICBO EVALUATION REPORT ER-3994 FOR WESTERN STUCCO PRODUCTS ANDRIVIT SYSTEMS APPLICATION INFORMATION. IF STUCCO SYSTEM OTHER THAN ABOVE IS USED, PROVIDE EVALUATION REPORT FROM MANUFACTURER OR ICC EVALUATION SERVICE, INC. AT WEB SITE: <http://www.icc-es.org>

STRUCTURAL STEEL
1. ALL EXTERIOR STEEL AND MISCELLANEOUS IRON SHALL CONFORM TO ASTM A-36. IN SECTIONS SHALL CONFORM TO ASTM A572, GRADE 50.
2. STEEL PIPE COLUMNS SHALL CONFORM TO ASTM A-53, TYPE E OR S, GRADE B.
3. STEEL TUBE SECTIONS SHALL CONFORM TO ASTM A500, GRADE B.
4. STEEL PLATES SHALL CONFORM TO ASTM A-283, GRADE 'A'.
5. ALL DETAILING SHALL CONFORM TO CURRENT AISC SPECIFICATIONS.
6. ALL WELDING SHALL CONFORM TO CURRENT AISC AND AWS 1) SPECIFICATIONS, AND SHALL BE PERFORMED BY CERTIFIED WELDERS APPROVED BY THE LOCAL BUILDING AUTHORITY. ALL SHOP WELDING SHALL BE IN AN APPROVED FABRICATORS SHOP AUTHORIZED BY THE BUILDING AUTHORITY OR SPECIFIC INSPECTION PER IBC SECTION 1701.
7. ALL COMPLETE JOINT PENETRATION WELDS REQUIRE SPECIAL INSPECTION AND UT TESTING.
8. ALL WELDING ELECTRODES SHALL BE E70XX OR SHIELDED WIRES WITH F_y GREATER THAN OR EQUAL TO 70 KSI.
9. BOLTS, NUTS, AND SCREWS SHALL CONFORM TO ASTM A307 GRADE 'A'.
10. HIGH STRENGTH BOLTS SHALL BE ASTM A325. CONTACT FACES OF STEEL CONNECTIONS WITH HIGH STRENGTH BOLTS ARE TO BE USED SHALL NOT BE PAINTED.
11. ALL FOUNDATION BOLTS SHALL BE ASTM A-36 GALVANIZED ALL THREAD OR ASTM A307 UNFINISHED BOLTS. ALL SILL BOLTS IN SEISMIC DESIGN CATEGORY E SHALL BE FIVE-EIGHTHS INCHES IN DIAMETER. BOLT HOLES TO BE ONE-THIRTY-SECONDS OF AN INCH TO ONE-SIXTEENTH OF AN INCH LARGER THAN SPECIFIED BOLT.
12. ALL STRUCTURAL STEEL AND MISCELLANEOUS IRON NOT ENCASED IN CONCRETE SHALL RECEIVE ONE SHOP COAT OF APPROVED PRIMER PAINT.
13. ALL STEEL EXPOSED TO WEATHER SHALL BE HOT-DIP GALVANIZED AFTER FABRICATION OR OTHER APPROVED WEATHER PROOFING METHOD HAVING EQUIVALENT RESULTS MAY BE USED.
14. NO REPAIRS SHALL BE MADE TO THE STEEL.
15. ALL GROUT UNDER STEEL BEARING PLATES SHALL BE SOLID DRYPACK OR NON-SHRINK GROUT PLACED AS DIRECTED BY THE MANUFACTURER. BOLT DIAMETERS FROM EACH END OF SILL PLATE: MINIMUM 3/4" x 3/4" THICK PLATE MASHERS SHALL BE INSTALLED ON EACH SILL BOLT.
16. PROVIDE WELDER'S CERTIFICATE FOR ALL SINGLE-PASS FILLET WELDS NOT EXCEEDING 5/16" IN SIZE, OR PROVIDE THE CERTIFICATE OF COMPLIANCE THAT THE WORK WAS PERFORMED IN AN APPROVED FABRICATOR'S SHOP.

WOOD FRAMING NOTES
1. LUMBER AND BEARING STUDS TO BE DOUGLAS FIR-LARCH WITH MOISTURE CONTENT LESS THAN 19%.
2. GLUE LAMINATED TIMBER BEAMS TO BE APA/EWS MARKED 24F-V4. GLU-LAMS EXPOSED TO WEATHER SHALL BE RATED FOR EXTERIOR USE BY THE MANUFACTURER OR AN APPROVED PROTECTION FROM EXPOSURE SHALL BE PROVIDED.
3. LAMINATED VENEER LUMBER (LVL) TO BE 1.9E, FB-2400 PSI, F_v = 285 PSI EQUIVALENT OR BETTER.
4. UNFINISHED SOIL OR AN APPROVED COMPACTED FILL.
5. PARALLEL STRAND LUMBER (PSL) TO BE 2.0E, F_m = 2900 PSI, F_v = 290 PSI EQUIVALENT OR BETTER.
6. 4x AND SMALLER FRAMING TO BE DF #2.
7. 6x AND LARGER FRAMING TO BE DF #1.
8. INTERIOR NON-BEARING STUDS AND PLATES MAY BE CONSTRUCTION GRADE OR BETTER. INTERIOR BELOW NATURAL GRADE SHALL BE HAND-CUTTED LUMBER WITH LANDINGS IN ACCORDANCE WITH THE REQUIREMENTS OF THE IBC AND PCS I-1, PS-2, OR APA PRP-108. SHEAR PLYWOOD SHALL BE C-D, C-C, 303 (TT-II), OR AN APPROVED EQUAL.
3. ALL RESAW AND ROUGH CUT BEAMS TO BE OF HEART CENTER.
4. ALL FRAMING CLIPS AND DEVICES SHALL BE 'SIMPSON TIE' OR ICBO APPROVED EQUAL.
5. MINIMUM NAILING FOR CONNECTION NOT INDICATED ON THE DRAWINGS SHALL BE IN ACCORDANCE WITH IBC TABLE 2304.4 OF THE IBC.
6. ALL MULTIPLE TRIMMERS, MULTIPLE STUDS, OR POSTS SHALL BE STACKED IN ALL WALL FRAMING CONNECTED WITH POSITIVE CONNECTIONS. SOLID BLOCKING SIMILAR IN SIZE SHALL BE PROVIDED ABOVE WHEN THE WALL AND THE RAFTER OR STUDS ARE CONNECTED TO THE FOUNDATION.
7. DO NOT NAIL TOE BEAMS, JOISTS, OR STUDS.
8. WHERE THE USE OF COMMON WIRE NAILS AND SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:
a. SIZE SHANK DIA. LENGTH
b. 8d 0.131" 2 1/2"
c. 10d 0.148" 3"
d. 16d 0.162" 3 1/2"

NO SUBSTITUTIONS UNLESS APPROVED IN WRITING BY AESTHETIC ENGINEERING OR SPECIFICALLY ADDRESSED IN THESE CALCULATIONS OR THE PLANS. ALL NAILS EXPOSED TO WEATHER SHALL BE GALVANIZED.
REFER TO SIMPSON SPECIFICATIONS FOR FRAMING HARDWARE ATTACHMENT REQUIREMENTS. ALL NAILS SHALL MEET THE REQUIREMENTS OF ASTM F 1667.
SHEATH AND NAIL ALL SHEAR PANELS AND GABLE END TRUSSES THE SAME AS THE SHEAR WALL ABOVE OR BELOW.
CONNECT DOUBLE STUDS, DOUBLE JOISTS, OR ANY OTHER MULTIPLE PIECE MEMBER W/ MIN. (2) ROWS 16d BOX NAILS @ 12" O.C.
11. TYPICAL LOAD BEARING AND EXTERIOR STUD/WALL CONSTRUCTION:
STUD HEIGHT x 10'-0" - 2'4" @ 16" O.C.
STUD HEIGHT x 14'-0" - 2'6" @ 16" O.C.
STUD HEIGHT x 17'-0" - 1-3/4" x 5'-0" L.V.L. @ 12" O.C.
STUD HEIGHT x 22'-0" - 1-3/4" x 7'-1/4" L.V.L. @ 12" O.C.
STUD HEIGHT x 27'-0" - 1-3/4" x 9'-1/4" L.V.L. @ 12" O.C.
12. STUDS IN CONTACT WITH CEILING HEIGHT EXCEEDS 10'-0" U.N.O. DO NOT BREAK CONT. KING STUDS BY SPANNING HEADER OVER MULTIPLE OPENINGS. ALWAYS RAKE/BALLOON FRAME STUD/WALLS.
13. PORTIONS OF STRUCTURAL MEMBERS WHICH ARE EXPOSED TO WEATHER, SHALL BE PRESSURE TREATED OR MOOD OF NATURAL RESISTANCE TO DECAY. EQUIVALENT PROTECTION MAY BE PROVIDED WITH TWO COATS MINIMUM OF SEALER.

ROOF FRAMING NOTES
1. ROOF COLLARS AND RAFTERS: DEAD = 13 DFE
2. USE (1)-LAYER 5/8" (4022) CDX APA RATED ROOF SHEATHING OR OSB EQUIVALENT. APPLY FACE GRAIN/LOAD DIMENSION PERPENDICULAR TO SUPPORT FRAMING. STAGGER PANELS AND NAIL WITH 106S AT 6" O.C. EDGES AND BOUNDARIES AND 106S AT 12" O.C. INTERIORS. ALL TRUSS AND SHEAR WALLS TO BE 1/2" MIN. W/ 1/4" SPACED AT 4" O.C. SEE DETAIL FOR ADDITIONAL NAILING REQUIREMENTS.
3. USE (2) TRIMMER AND (1) KING STUD UNDER ALL OPENINGS 6" OR GREATER.
4. CONN. TRUSS BOLT AND GABLE END TRUSS BOLT TO TOP PLATE OR BEAM BELLOW WITH A307, LTP4, L70, OR L567, @ 48" O.C. UNLESS NOTED OTHERWISE.
5. DOUBLE TOP PLATE LAP SPLICES SHALL BE 4'-0" MINIMUM AND FACE NAILED WITH (2) 16d NAILS.
6. THE FOLLOWING COLUMN/POST CAPS ARE INTERCHANGEABLE: CC, ECC, CCG, @ ECCO.
7. WHERE HEADERS ARE PLACED HIGH IN THE WALL AND BREAK THE DOUBLE TOP PLATE, AN INSTEAD SHALL CONNECT THE HEADER TO THE TOP PLATE AT EACH END.
8. ENCLOSED ATTIC AND RAFTER SPACES SHALL HAVE CROSS VENTILATION BY OPENINGS EQUAL TO 1/50TH OF THE AREA, WHERE LEAVE OR CORNICE VENTS ARE INSTALLED.
9. INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF 1" OF AIR SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND ROOF SHEATHING. ROOFS WITH RAFTERS, BAYS AND/OR VAULTED CEILINGS MUST BE VENTILATED TO OUTSIDE AT RIDGE. ENJOY AND CONCRETE ROOF TILES AND BATTEN BOARD FRAMING SHALL BE CORROSION RESISTANT NAILS NOT LESS THAN NO. 10 GAGE WITH 3/4" HEAD, AND SHALL BE LONG ENOUGH TO PENETRATE INTO THE SHEATHING 0.75" OR THROUGH THE THICKNESS. WHICHEVER IS LESS. ATTACHING WIRE FOR TILES SHALL NOT BE SMALLER THAN 0.089". HORIZONTAL BATTENS SHALL NOT BE LESS THAN 1/2" NOMINAL WITH PROVISIONS MADE FOR DRAINAGE (1/4" PER 4" RISE) PROVIDE ONE FASTENER PER TILE (MINIMUM) UNLESS REQUIREMENTS PER IBC TABLE 1507.3.7 ARE VERIFIED.
10. ROOF TILE SHALL BE APPLIED IN ACCORDANCE WITH 2006 I.R.C. SECTION R905.3.7 (COPY AVAILABLE FROM AESTHETIC ENGINEERING UPON REQUEST) AND THE MANUFACTURER'S SPECIFICATIONS BASED UPON CLIMATE, ROOF SLOPE, UNDERLAYMENT SYSTEM AND TILE TYPE.

PRE-FABRICATED WOOD ROOF TRUSSES
1. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR ALL ENGINEERING, LAYOUT DRAWINGS, CONNECTIONS, BLOCKING, BRACING, AND TRUSS ERECTION INFORMATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROPER COORDINATION BETWEEN ENGINEER/ARCHITECT DRAWINGS, TRUSS MANUFACTURER INFORMATION, ANY REQUIRED FIELD CHANGES, PROPER INSTALLATION OF FINAL PRODUCT AND ITS CONFORMANCE TO THE ARCHITECT'S DESIGN.
2. TRUSS MANUFACTURER TO VERIFY LOCATION OF AND DESIGN FOR ALL CEILING HEIGHT CHANGES, ATTIC ACCESSSES, RETURN AIR GRILLS, ETC. TRUSS MANUFACTURER TO COORDINATE ANY FINDINGS TO BOTH AESTHETIC ENGINEERING AND THE ARCHITECT.
3. DEAD LOAD DEFLECTIONS SHALL BE LIMITED TO 1/240.
5. GABLE END TRUSSES SHALL BE STRUCTURAL, DESIGNED TO SUPPORT OVERHANG AND TO ALLOW A TOP CHORD NOTCH OF ONE AND A HALF INCHES.
6. ALL WOOD TRUSSES ARE TO HAVE A NOTCH OF AN INCH GAP TO THE BOTTOM CHORD OF THE TRUSSES. SECURE BOTTOM CHORD TO WALL BELOW WITH SIMPSON DTC CLIPS.
7. USE PRE-ENGINEERED MANUFACTURED TRUSSES @ 24" O.C. SOLID BLOCK @ ALL SUPPORTS AND PER MANUFACTURER'S SPECIFICATIONS. USE SIMPSON HI @ EACH SUPPORT WALL/BEAM TO EACH TRUSS AND H6 @ EACH SUPPORT WALL/BEAM TO EACH GIRDER TRUSS.
8. HANG TRUSSES AND GIRDER TRUSSES W/ SIMPSON H226 OR AS SPECIFIED ON PLAN. TRUSS CALCULATIONS HOLD PRECEDENCE OVER PLAN AT ALL TRUSS TO TRUSS CONNECTIONS.
9. TRUSSES ARE TO BE HANDLED, INSTALLED, AND BRACED IN ACCORDANCE WITH HB-11 OF THE TRUSS PLATE INSTITUTE (TPI).

DRILL & EPOXY NOTES:
1. FOLLOW ALL MANUFACTURER'S SPECIFICATIONS.
2. CLEAN HOLES WITH OIL FREE COMPRESSED AIR.
3. USE SET-XP UNDER FAVORABLE MOISTURE AND TEMPERATURE.
4. USE A.T. EPOXY WHEN TEMPERATURE IS BELOW 40°F OR WHEN RAPID CURE TIME IS REQUIRED.
5. SPECIAL INSPECTION IS REQUIRED FOR ALL DRILL & EPOXY SET BOLTS.

FOUNDATION/FLOOR FRAMING NOTES
1. ALL EXTERIOR WALLS SHALL BE CONSIDERED SHEARWALLS NAILED AS TYPE 'M' WALLS (SEE SHEARWALL SCHEDULE). USE GALVANIZED NAIL FOR ALL NAILS INTO SILL PLATES.
2. FLOOR SHEATHING SHALL BE 3/4" T&G APA RATED STUDD-FLOOR. APPLY FACE GRAIN/LOAD DIMENSION PERPENDICULAR TO SUPPORT FRAMING. STAGGER PANELS AND NAIL WITH 104 AT 6" O.C. AT ALL EDGES AND BOUNDARIES (BLOCKING AT INTERIOR SHEAR WALLS, DRAG MEMBERS, ETC.), AND 104 AT 12" O.C. FIELD. GLUE AND NAIL THROUGHOUT.
3. FLOOR JOISTS SHALL BE BLOCKED SOLID W/ SUPPORT LINES (CONNECT BLOCKING TO WALL/BEAM BELOW WITH A307 @ TWICE THE JOIST SPACING), BENEATH ALL INTERIOR-BEARING WALLS, AND UNDER ALL HOLD-DOWNS. USE DOUBLE JOISTS BELOW ALL PARALLEL INTERIOR-BEARING WALLS. PROVIDE L.S.L. RIM BOARD THROUGHOUT. PROVIDE CRUSH BLOCKS, WEB STIFFENERS, ETC. PER MANUFACTURER'S SPECIFICATIONS.
4. ALL FLOOR OPENINGS SHALL BE BETWEEN JOISTS.
5. ALL HOLD-DOWNS SHALL BE INSTALLED AT THE TIME APPROPRIATE MEMBERS ARE FRAMED AND ACCORDING TO MANUFACTURER'S SPECIFICATIONS. IF STRUCTURE IS MULTIPLE STORIES, AS MUCH AS POSSIBLE, LINE FLOOR-TO-FLOOR HOLD-DOWNS UP WITH FLOOR-TO-FOUNDATION HOLD-DOWNS SO THAT HOLD-DOWNS ARE ATTACHED TO COMMON MEMBERS. USE SHEAR PLY NAILING TO ALL HOLD-DOWN DEPTHS.
6. PROVIDE FULL BEARING, FULL DEPTH BLOCKING UP TO FLOOR TO SUPPORT POSTS, DOUBLE STUDS, OR DOUBLE TRIMMERS ABOVE.
• WHERE COLUMN BASE OR POST BASE IS CALLED OUT ON A PIER BENEATH THE SUBFLOOR, PROVIDE POST UP TO SUBFLOOR TO SUPPORT IDENTICAL POST ABOVE. USE (2) SIMPSON C57224 ON OPPOSITE SIDES OF POST TO STRAP POST ABOVE THROUGH THE FLOOR TO THE POST BELOW.
7. ANCHOR BOLTS:
• FOR 3x OR DOUBLE SILL PLATE, USE 5/8" x 12" A.B. EXTEND SILL BOLTS 7" INTO FOUNDATION MINIMUM; MAXIMUM SPACING SHALL BE 4'-0" O.C. WITH MINIMUM (2) BOLTS IN EACH SILL BOARD. BOLTS SHALL BE LOCATED NOT MORE THAN (12) NOMINAL SPACES FROM EACH END OF SILL PLATE. MINIMUM 3/4" x 3/4" THICK PLATE MASHERS SHALL BE INSTALLED ON EACH SILL BOLT.
• SILL PLATES USE FOUNDATION GRADE REDWOOD OR TIMBERSTRAND L.S.L. TREATED WITH AN APPROVED PRESERVATIVE. TREATED WOOD IS NOT TO BE USED FOR ANY OTHER IMPORTANT INFORMATION REGARDING SILL PLATES; ALL SHEAR WALLS, EXCEPT TYPE 'M' AND 'M', REQUIRE FOUNDATION SILL PLATES AND ALL FRAMING MEMBERS RECEIVING EDGE NAILING FROM BUTTING PANELS TO NOT LESS THAN A SINGLE 3" NOMINAL MEMBER. PLYWOOD JOINT AND SILL PLATE NAILING SHALL BE STAGGERED IN ALL CASES.
8. AN 8" WIDE CONCRETE FOUNDATION WALL SHALL BE CENTERED ON CONTINUOUS FOOTING BELOW W/ (1) #4 CONTINUOUS @ TOP OF WALL & #4 VERTICALS @ 32" O.C. MAX HOOKED AT FOOTING (ALTERNATE HOOKS).
9. CONTINUOUS CONCRETE FOOTINGS TO BE 16" x 16" W/ (2) #4'S CONT. STEP FOOTING AS REQUIRED TO BEAR ON NATIVE GRADE OR AS DIRECTED BY SOILS ENGINEER. EXPOSED EXTERIOR FOOTING DEPTHS TO FROST LINE (2'-0").
10. EACH SUPPORT POST BASES ARE INTERCHANGEABLE: C8 x C8Q OR CBS x CBSQ.
11. ALL SLABS TO BE 4" THICK CONCRETE W/ 6% 10d WELDED WIRE FABRIC REINFORCING OR CONCRETE SHALL HAVE FIBERESH ADDITIVE @ PLANT. SLAB SHALL BE PLACED OVER 4" TYPE B GROUT OR OTHER MATERIAL OF EQUAL RELATIVE DENSITY ON UNDISTURBED SOIL.
12. REFERENCE HOLD-DOWN SCHEDULE FOR IMPORTANT INFORMATION PERTAINING TO FOOTINGS.
13. STAIRWAYS SHALL NOT BE LESS THAN 36" IN WIDTH. EVERY STAIRWAY SHALL HAVE MINIMUM 12" BELOW NATURAL GRADE. THE MAXIMUM VERTICAL CLEARANCE BETWEEN LANDINGS IS 12'-0". THE RISE OF STEPS IN THE STAIRWAY SHALL NOT EXCEED 7 1/2", AND THE TREAD SHALL BE NOT LESS THAN 10".
14. ALL STAIRWAYS SHALL BE PLACED NOT LESS THAN 3/4" NOR MORE THAN 3/8" ABOVE LANDINGS AND THE NOSING OF THE TREADS, THEY SHALL BE CONTINUOUS FOR THE FULL LENGTH OF THE STAIRS AND THE ENDS SHALL BE RETURNED. IN RESIDENTIAL OCCUPANCIES HANDRAILS MAY HAVE STARTING HEIGHTS WITHIN THE FIRST TREAD. HANDRAIL PORTION OF HANDRAILS SHALL BE NOT LESS THAN 1 1/2" NOR MORE THAN 2" IN CROSS-SECTIONAL DIMENSION AND HAVE A SMOOTH GRIPPING SURFACE. A SPACE OF NOT LESS THAN 1 1/2" SHALL BE PROVIDED ABOVE WHEN THE WALL AND THE RAILING ARE CONNECTED TO THE FOUNDATION.
15. GUARDRAILS SHALL BE A MINIMUM OF 36" HIGH, NO OPENINGS OVER 4", TRIANGULAR OPENINGS FORMED BY THE RISE, TREAD AND BOTTOM ELEMENT OF A GUARDRAIL AT THE OPEN SIDE OF A STAIRWAY MAY BE OF SUCH SIZE THAT A SPHERE 6" IN DIAMETER CANNOT PASS THROUGH.
16. FIRE BLOCKING BETWEEN CHIMNEYS AND COMBUSTIBLE CONSTRUCTION SHALL BE INSTALLED AT 10' INTERVALS, BOTH VERTICAL AND HORIZONTAL.
17. INSTALL ADHERED VENEER IN COMPLIANCE WITH LOCAL CODES. FOUNDATION SUPPORT REQUIRED FOR EXTERIOR ROCK VENEER. ANCHOR TIES SHALL BE PROVIDED TO HORIZONTAL JOINT REINFORCEMENT OR EQUIVALENT.
18. EXTERIOR STUCCO WALLS SHALL HAVE A WEEP SCREED AT OR BELOW THE FOUNDATION PLATE LINE AND 4" ABOVE GRADE OR 2" ABOVE PAVED AREAS THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEATHER-RESISTIVE BARRIER SHALL LAP THE ATTACHMENT FLANGE, AND THE EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE SCREED.
19. COLUMNS OR POSTS LOCATED ON CONCRETE OR MASONRY FLOORS AND THAT SUPPORT PERMANENT STRUCTURES SHALL BE SUPPORTED BY CONCRETE PIERS OR METAL PEDESTALS PROJECTING ABOVE EXPOSED EARTH A MINIMUM OF 6" AND AT LEAST 1' ABOVE SUCH FLOORS UNLESS TREATED WOOD IS USED. INDIVIDUAL CONCRETE OR MASONRY PIERS SHALL PROJECT AT LEAST 8" ABOVE EXPOSED GROUND UNLESS THE COLUMNS OR POSTS THAT THEY SUPPORT ARE OF WOOD RESISTANT TO DECAY.
20. MINIMUM CLEARANCE FROM GROUND UNDER GIRDERS SHALL BE 12 INCHES; UNDER JOISTS SHALL BE 18 INCHES.
21. UNDERFLOOR VENTS SHALL EQUAL 1 SQUARE FOOT FOR EACH 150 SQUARE FEET OF UNDERFLOOR AREA, AND MUST PROVIDE CROSS VENTILATION.

NON-STRUCTURAL METAL STUD NOTES:
1. SEE ARCHITECTURAL DRAWINGS FOR SIZE, LOCATION, AND EXTENT OF METAL STUDS NOT SHOWN OR NOTED IN STRUCTURAL DRAWINGS.
2. NON-STRUCTURAL INTERIOR METAL STUD DETAIL SHOWS TYP. CONNECTIONS & MEMBERS. SEE DETAILS & SECTIONS FOR ALL OTHER METAL STUD DETAIL DETAILS.
3. AT CONNECTIONS TO STRUCTURE, PROVIDE STABILIZING ELEMENTS SUCH AS BRACES, STIFFENER PLATES, ETC. SO AS NOT TO IMPOSE ECCENTRIC LOADING, TWISTING, OR WARPAGE OF STRUCTURAL MEMBERS. CONTRACTOR IS RESPONSIBLE FOR INSTALLATION AND MATERIAL COSTS OF STABILIZING ELEMENTS.
4. ALL SPLICES FOR METAL STUD ASSEMBLY ARE TO BE SELF DRILLING, SELF TAPPING TYPE GAGE OR EQUIVALENT.
5. ALL WELDING OF METAL STUDS WILL BE MADE USING AWS TYPE 6013 OR 7014 ROD.
6. SEE ARCHITECTURAL DRAWINGS FOR SPECIFICATIONS FOR TRACK & STUDS NOT SHOWN OR NOTED ON STRUCTURAL DRAWINGS.
7. ALL P.D.F. (POUNDER DRIVEN FASTENERS) TO BE MILITARY DN 0.1465" (MIN.) OR EQUAL.
8. ALL TRACKS TO BE 1/8" GUAGE MIN. U.N.O.
9. ALL METAL STUDS SHALL BE 5894 OR EQUIVALENT.

DRILL AND EPOXY NOTES & SPECIFICATIONS

ANCHOR DIAMETER	DESIRED HARDWARE	BORE HOLE DIAMETER	MIN. REQ'D EMBEDMENT	REQUIRED EPOXY
#4	REBAR	3/8"	6"	SET-XP
1/2"	A.T.R.	3/8"	5"	SET-XP
	R.F.B. #4	3/8"	5"	SET-XP
	3/8" A.T.R.	3/8"	12"	SET-XP
	R.F.B. #5	3/8"	12"	SET-XP
	HTT16	3/8"	12"	SET-XP
	HTT22	3/8"	12"	SET-XP
	HDU4-SD52.5	3/8"	12"	SET-XP
	HDU5-SD52.5	3/8"	12"	SET-XP
	3/8" A.T.R.	1"	15 1/2"	SET-XP
	HDU8-SD52.5	1"	15 1/2"	SET-XP
	HD08-SD53	1"	15 1/2"	SET-XP
	1" A.T.R.	1 1/8"	18"	SET-XP
	HDU11-SD52.5	1 1/8"	18"	SET-XP
	HDQ11-SD52.5	1 1/8"	18"	SET-XP
	HDQ04-SD52.5	1 1/8"	18"	SET-XP

HOLDOWN SCHEDULE

HOLDOWN DESIGNATION	HOLDOWN	REQUIRED ANCHORAGE		REIRED H.D. POST	ADDITIONAL FOOTING
		MONO-POUR	2-POUR		
H-10	STHD10	N/A	N/A	DBL. STUDS	N/A
	HTT5	SSTB6	SSTB20	DBL. STUDS	N/A
	HDU4-SD52.5	SSTB6	SSTB20	DBL. STUDS	N/A
H-11	STHD14	N/A	N/A	DBL. STUDS	N/A
	HTTKT	SSTB24	SSTB24	DBL. STUDS	N/A
	HDU5-SD52.5	ASTM 307 3/8"	ASTM 307 3/8"	DBL. STUDS	N/A
H-12	HD08-SD53	SSTB28	SSTB34	DBL. STUDS	N/A
	HDU11-SD52.5	ASTM 307 1"	ASTM 307 1"	6x6 or 4x8	PER PLAN
H-13	HDQ11-SD52.5	ASTM 307 1"	ASTM 307 1"	6x6 or 4x8	PER PLAN
	HDQ11-SD52.5	ASTM 307 1"	ASTM 307 1"	6x6 or 4x8	PER PLAN
H-14	HDQ04-SD52.5	ASTM 307 1"	ASTM 307 1"	6x6 or 4x8	PER PLAN
	HD14	ASTM 307 1 1/2"	ASTM 307 1 1/2"	6x6 or 4x8	PER PLAN

FLOOR TO FLOOR HOLD-DOWNS

HOLDOWN DESIGNATION	HOLDOWN	REQUIRED HOLD-DOWN POST	ADDITIONAL COMMENTS
H-1	MSTC40	DBL. STUDS	
H-2	MSTC62	DBL. STUDS	
H-3	MSTC66	DBL. STUDS	
H-4	80' MST514	DBL. STUDS	
H-5	102' CHST14	DBL. STUDS	
H-6	(2) MSTC66	DBL. STUDS	INSTALL ON ADJOINING STUDS
H-7	(2) HDQ14	6x6 or 4x8 w/ 1" A.T.R.	

HOLD-DOWN NOTES:
1. INSTALL ALL HOLD-DOWN PER MANUFACTURER'S SPECIFICATIONS MAINTAINING REQUIRED EDGE CLEARANCES.
2. DOUBLE STUDS SHALL BE CONNECTED TO (2) ROWS OF 16d NAILS @ 12" O.C. STAGGERED.
3. MINIMUM EMBEDMENT REQUIREMENTS FOR SSTB BOLTS:
a. SSTB6 = 12 1/2" (min.) INTO CONCRETE STEPWALL
b. SSTB20 = 16 1/2" (min.) INTO CONCRETE STEPWALL
c. SSTB24 = 20 1/2" (min.) INTO CONCRETE STEPWALL
d. SSTB28 = 24 1/2" (min.) INTO CONCRETE STEPWALL
e. SSTB34 = 28 1/2" (min.) INTO CONCRETE STEPWALL
4. IT IS ACCEPTABLE TO USE A.T.R. (ALL THREAD ROD) ASTM 307 GRADE C HEX-HEAD BOLTS IN PLACE OF THE SSTB BOLTS AS FOLLOWS:
a. SSTB6 = 12 1/2" (min.) INTO CONCRETE STEPWALL
b. SSTB20 = 16 1/2" (min.) INTO CONCRETE STEPWALL
c. SSTB24 = 20 1/2" (min.) INTO CONCRETE STEPWALL
d. SSTB28 = 24 1/2" (min.) INTO CONCRETE STEPWALL
e. SSTB34 = 28 1/2" (min.) INTO CONCRETE STEPWALL
5. (1) #4 VERTICAL EACH SIDE OF HEX-HEAD BOLT.
6. (1) #4 VERTICAL EACH SIDE OF HEX-HEAD BOLT.
7. (1) #4 VERTICAL EACH SIDE OF HEX-HEAD BOLT.
8. (1) #4 VERTICAL EACH SIDE OF HEX-HEAD BOLT.
9. (1) #4 VERTICAL EACH SIDE OF HEX-HEAD BOLT.
10. (1) #4 VERTICAL EACH SIDE OF HEX-HEAD BOLT.
11. (1) #4 VERTICAL EACH SIDE OF HEX-HEAD BOLT.
12. (1) #4 VERTICAL EACH SIDE OF HEX-HEAD BOLT.
13. (1) #4 VERTICAL EACH SIDE OF HEX-HEAD BOLT.
14. (1) #4 VERTICAL EACH SIDE OF HEX-HEAD BOLT.
15. (1) #4 VERTICAL EACH SIDE OF HEX-HEAD BOLT.
16. (1) #4 VERTICAL EACH SIDE OF HEX-HEAD BOLT.
17. (1) #4 VERTICAL EACH SIDE OF HEX-HEAD BOLT.
18. (1) #4 VERTICAL EACH SIDE OF HEX-HEAD BOLT.
19. (1) #4 VERTICAL EACH SIDE OF HEX-HEAD BOLT.
20. (1) #4 VERTICAL EACH SIDE OF HEX-HEAD BOLT.
21. (1) #4 VERTICAL EACH SIDE OF HEX-HEAD BOLT.
22. (1) #4 VERTICAL EACH SIDE OF HEX-HEAD BOLT.
23. (1) #4 VERTICAL EACH SIDE

