

285 SIENNA COURT

Administrative Permit



South Side Wall 2 on Building 1

Prepared by:



May 8, 2023

285 Sienna Court

Administrative Permit

Prepared for:

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53 Marilyn Mae Drive

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Sparks, Nevada 89436

(775) 425-4800

May 8, 2023

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Floor Plans and Building Elevations

Preliminary Site Plan

285 Sienna Court

Introduction

This application includes the following request:

- An **Administrative Permit** to allow for the construction of two detached accessory buildings larger than the primary residence within the General Rural (GR) zone.

Project Location

The project site (APN # 076-391-48) consists of 9.37± acres located at 285 Sienna Court in Spanish Springs. Specifically, the property is located in the northeast corner of the intersection of Sienna Court and Cielo Vista Drive. Figure 1 (below) depicts the project location.

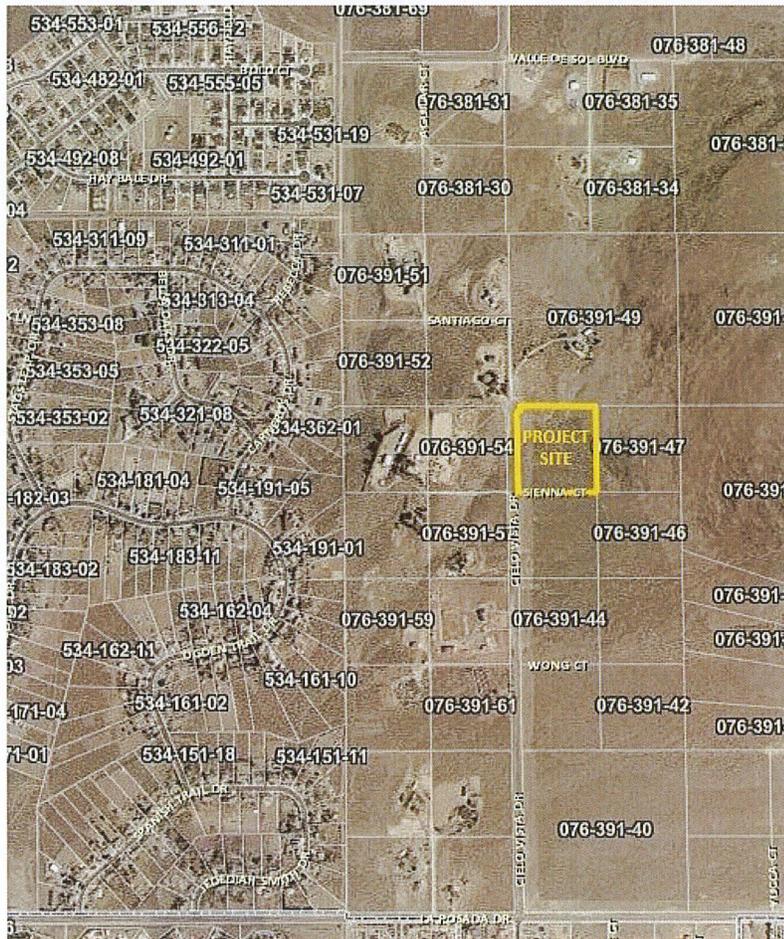


Figure 1 – Vicinity Map

285 Sienna Court

Existing Conditions

The northern portion of project site currently includes a corral with some small sheds. The remainder of the site is unimproved currently. A building permit has been issued for a 1,400± square foot main residence in the southeast corner of the site.

Figure 2 (below) depicts the existing onsite conditions.



Figure 2 – Existing Conditions

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The project site is designated as Rural in the Washoe County Master Plan and is zoned General Rural (GR). Surrounding uses include undeveloped lots directly to the south and single-family residential uses to the north, east, and west.

Figure 3 (below) depicts the existing site zoning as well as that of the surrounding area.

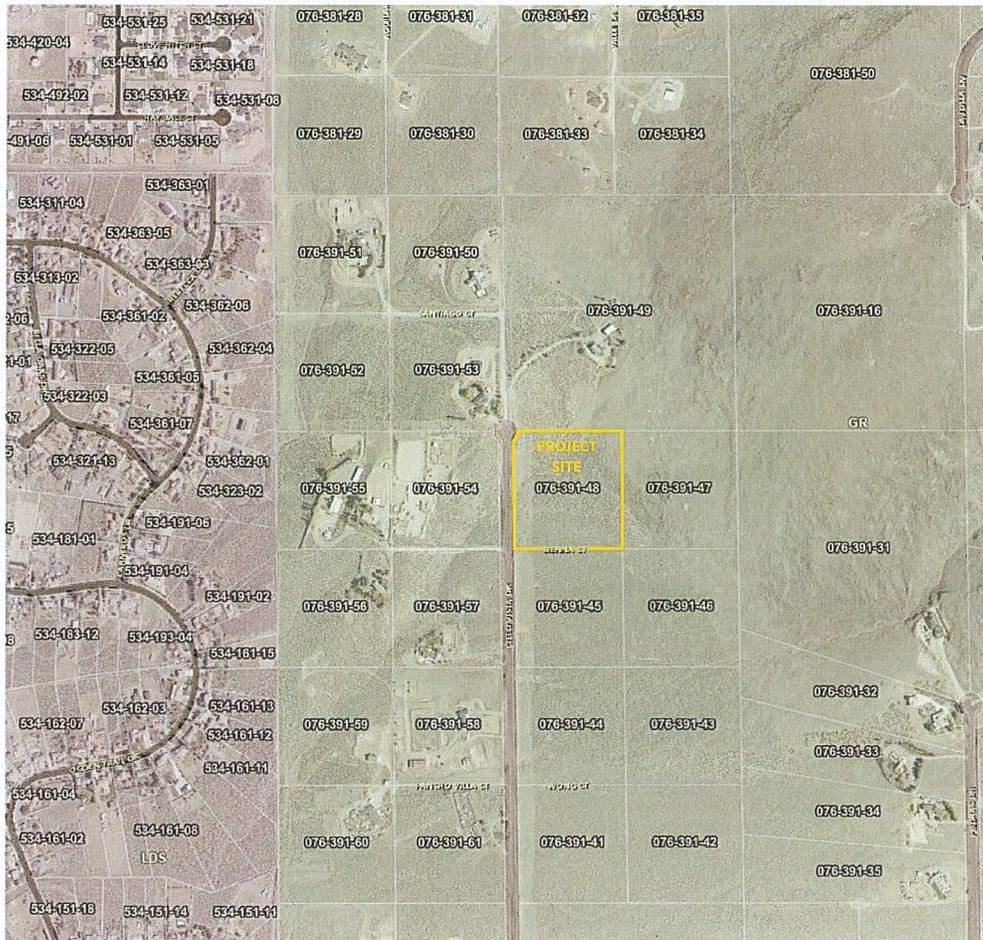


Figure 3 – Zoning

Project Description

This application includes an Administrative Permit (AP) request to allow for the construction of two detached accessory structures larger than the existing residence as required per the zoning code section 110.306.10(d). Specifically, the owners are proposing two new accessory buildings (Building/Garage #1: 3,750± square foot and Building #2: 1,440± square foot) on the eastern half of the property, to the rear of the primary residence. The buildings are being proposed as prefabricated one-story metal buildings.

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Building/Garage #1 will be 25.2-feet tall. The south elevation, facing Sienna Court, includes two overhead metal doors and one man door. The western elevation includes one metal overhead door. The eastern elevation includes one man door. The northern elevation does not include any doors and will consist of a corrugated metal wall. The building will be utilized as a barn and garage for the main residence.

Building #2 will be 19.3-feet tall. The south elevation, facing Sienna Court, includes one overhead metal door and one man door. The eastern and western elevations include two man doors. The northern elevation includes one metal overhead door. The building will be utilized as a barn and storage.

Figure 4 (below) depicts the preliminary site plan for the proposed buildings while Figure 5 (page 5) provides building floor plans and Figure 6 (page 6) provides building elevations for Building #1 and Figure 7 (page 7) provides building elevations for Building #2.

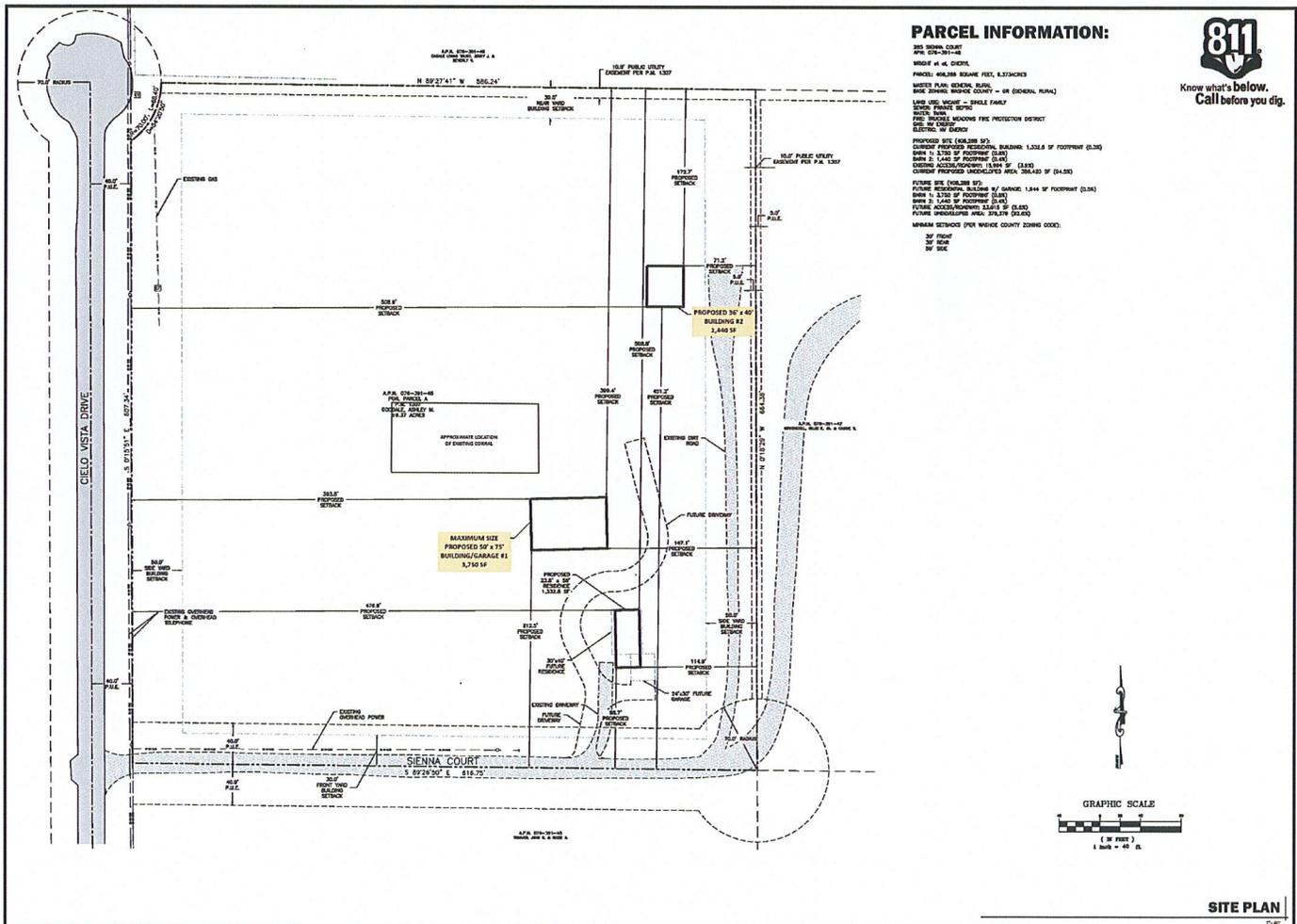
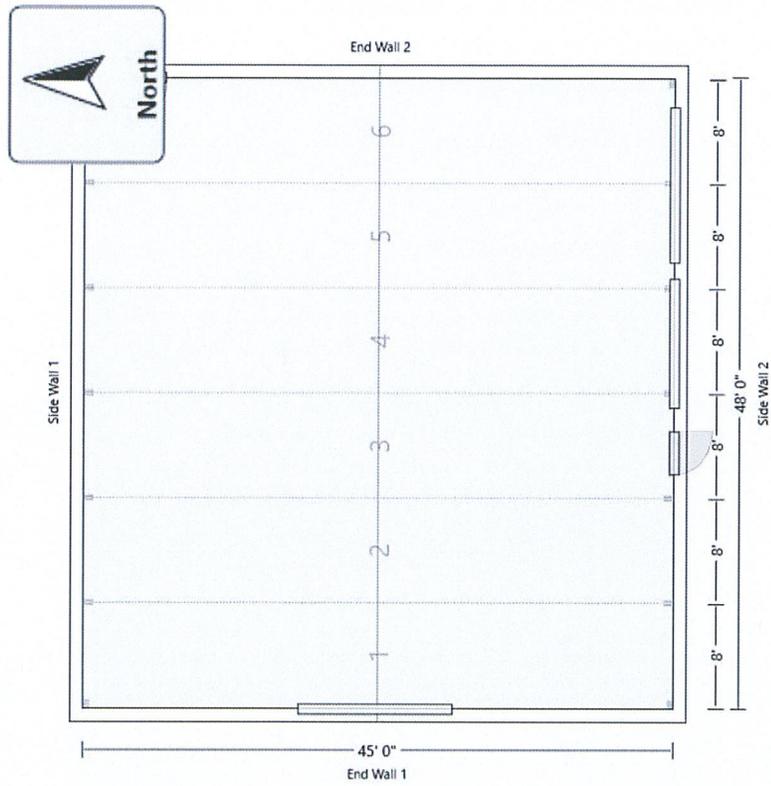


Figure 4 – Preliminary Site Plan

285 Sienna Court

Building/Garage #1



Building #2 Floor Plan

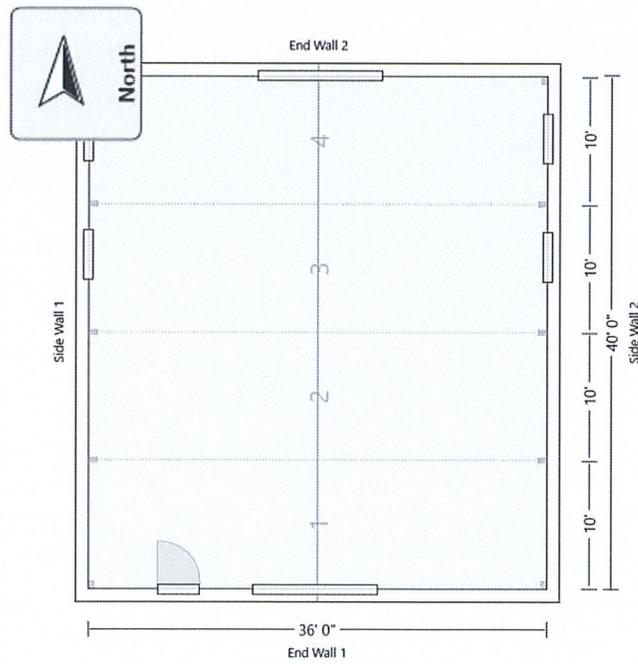


Figure 5 – Floor Plans

285 Sienna Court



West End Wall 1 on Building 1



East End Wall 2 on Building 1



North Side Wall 1 on Building 1

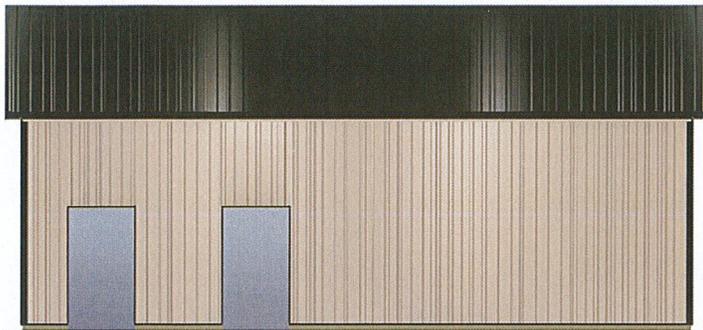


South Side Wall 2 on Building 1

Note: Full size building elevations are attached. The building walls will be neutral earth colors to match the surroundings.

Figure 6 –Building Elevations (Building/Garage #1)

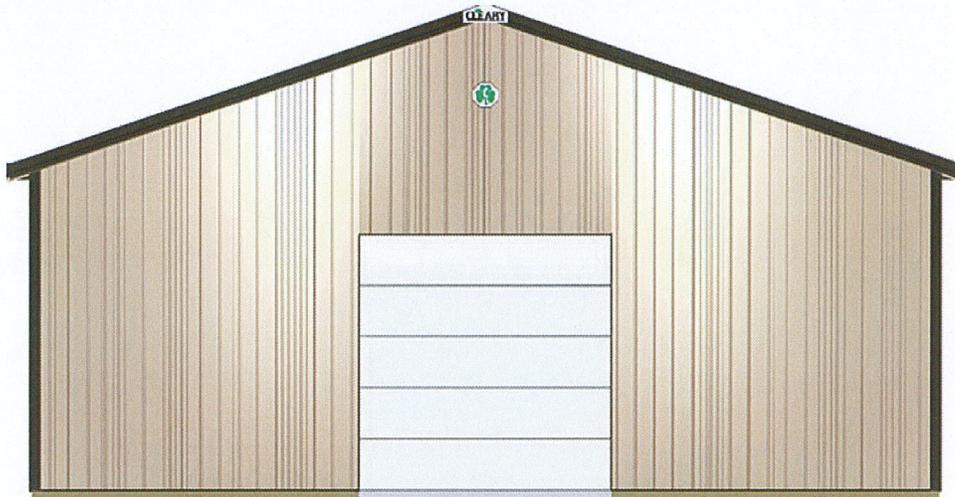
285 Sienna Court



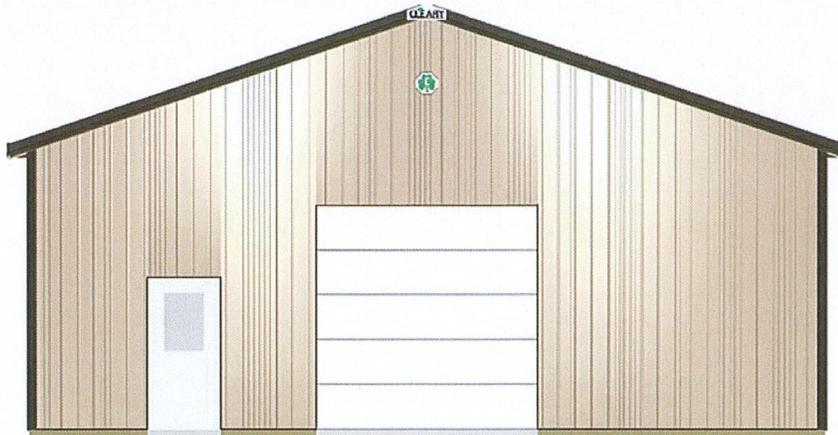
West Side Wall 1 on Building 1



East Side Wall 2 on Building 1



North End Wall 2 on Building 1



South End Wall 1 on Building 1

Note: Full size building elevations are attached. The building walls will be neutral earth colors to match the surroundings.

Figure 7 –Building Elevations (Building #2)

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As depicted in Figure 4, the proposed buildings meet the requirements for placement of detached accessory buildings as a main use. The proposed buildings are placed to the rear of the planned future main residence with a setback from the main building of over 60± feet. The placements meet the side and rear setbacks and have a maximum height of 25.2± feet. Additionally, the total lot coverage for all structures and infrastructure is 7.4%. No additional lighting is proposed other than exterior light fixtures affixed to the buildings. All fixtures will be shielded/directed to ensure that spill over and glare do not occur to adjoining parcels.

The site has water service from TMWA, power from NV Energy and will have a septic field. Lastly, there will be no increase in traffic with the addition and will not burden the adjoining roadways.

The construction of the detached accessory buildings at the project site would not impact the surrounding properties. The proposed detached accessory use complies with the Washoe County Code in terms of use and development standards. There are no new anticipated impacts.

Administrative Permit Findings

In order to approve an Administrative Permit, the following findings must be made. These findings are listed below and addressed in **bold face** type.

- a. Consistency. The proposed use is consistent with the policies, action programs, standards and maps of the Master Plan and the applicable area plan;

The addition of detached accessory buildings in the General Rural zone is a consistent use with the Master Plan.

- b. (b) Improvements. Adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been or will be provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven;

The site is on the TMWA water system and power has been run to the site, along Sienna Court. The proposed detached accessory buildings will not require any addition or modification to existing utilities, roadways, etc. and will not negatively impact the surrounding properties or public facilities.

- c. Site Suitability. The site is physically suitable for the type of development and for the intensity of the development;

The site has been graded and has an existing corral and sheds. The site is well suited for the construction of detached accessory buildings at the locations shown on the site plan.

- d. Issuance Not Detrimental. Issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or

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detrimental to the character of the surrounding area; and

The proposed buildings are in character with the surrounding rural area. It will not result in a significant detriment to the public health, safety or welfare of the area and the adjacent properties.

- e. Effect on a Military Installation. If a military installation is required to be noticed pursuant to this article, the effect of the issuance of the permit will not be detrimental to the location, purpose and mission of the military installation.

Not Applicable

APPENDICES

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: 285 Sienna Court Administrative Permit			
Project Description: An Administrative Permit to allow for agricultural production on a parcel in Spanish Springs (285 Sienna Court) within the General Rural (GR) zone.			
Project Address: 285 Sienna Court, Washoe County, NV 89441			
Project Area (acres or square feet): 9.373 acres			
Project Location (with point of reference to major cross streets AND area locator): Northeast corner of the intersection of Cielo Vista Drive and Sienna Court			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
076-391-48	9.373		
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: Cheryl Wright		Name: Christy Corporation, LTD	
Address: 53 Marilyn Mae Drive		Address: 1000 Kiley Parkway	
Sparks, NV	Zip: 89441	Sparks, NV	Zip: 89436
Phone:	Fax:	Phone: (775) 502-8552	Fax:
Email: cherylwright728@gmail.com		Email: Lisa@christynv.com	
Cell: (775) 247-4154	Other:	Cell: (908) 763-6576	Other:
Contact Person: Cheryl Wright		Contact Person: Lisa Nash	
Applicant/Developer:		Other Persons to be Contacted:	
Name: Same		Name:	
Address:		Address:	
	Zip:		Zip:
Phone:	Fax:	Phone:	Fax:
Email:		Email:	
Cell:	Other:	Cell:	Other:
Contact Person:		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Administrative Permit Application Supplemental Information

(All required information may be separately attached)

1. What is the type of project or use being requested?

Building two detached accessory buildings that would be larger than the primary residence.

2. What section of the Washoe County code requires the Administrative permit required?

110.306.10(d)

3. What currently developed portions of the property or existing structures are going to be used with this permit?

No existing structures will be affected by this permit.

4. What improvements (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.) will have to be constructed or installed and what is the projected time frame for the completion of each?

Two metal buildings will be constructed on site and completed within two years.

5. Is there a phasing schedule for the construction and completion of the project?

No phasing planned.

6. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

The property is well suited for the proposed uses. The area for the buildings has been graded flat and is accessible from Sienna Court.

7. What are the anticipated beneficial aspects or effect your project will have on adjacent properties and the community?

There are no negative impacts expected for the adjacent properties and community.

8. What will you do to minimize the anticipated negative impacts or effect your project will have on adjacent properties?

The proposed buildings will be built according to Washoe County codes and no negative impacts are expected.

9. Please describe any operational parameters and/or voluntary conditions of approval to be imposed on the administrative permit to address community impacts.

Not applicable.

10. How many improved parking spaces, both on-site and off-site, are available or will be provided? (Please indicate on site plan.)

Not applicable.

11. What types of landscaping (e.g. shrubs, trees, fencing, painting scheme, etc.) are proposed? (Please indicate location on site plan.)

No additional landscaping is provided.

12. What type of signs and lighting will be provided? On a separate sheet, show a depiction (height, width, construction materials, colors, illumination methods, lighting intensity, base landscaping, etc.) of each sign and the typical lighting standards. (Please indicate location of signs and lights on site plan.)

Not applicable.

13. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the administrative permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
------------------------------	----------------------------------------

14. Utilities:

a. Sewer Service	Septic
b. Water Service	TMWA

For most uses, the Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required:

c. Permit #		acre-feet per year	
d. Certificate #		acre-feet per year	
e. Surface Claim #		acre-feet per year	
f. Other, #		acre-feet per year	

Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources):

ATTACHMENTS



P.O Box 930220
Verona, WI 53593-0220
Phone: (608) 845-9700
Fax: (608) 845-7070

4/13/2023
WRIGHT/FCL, CHERYL
Doc ID: 21109620230413105459

Elevations & Floor Plan

Customer Information

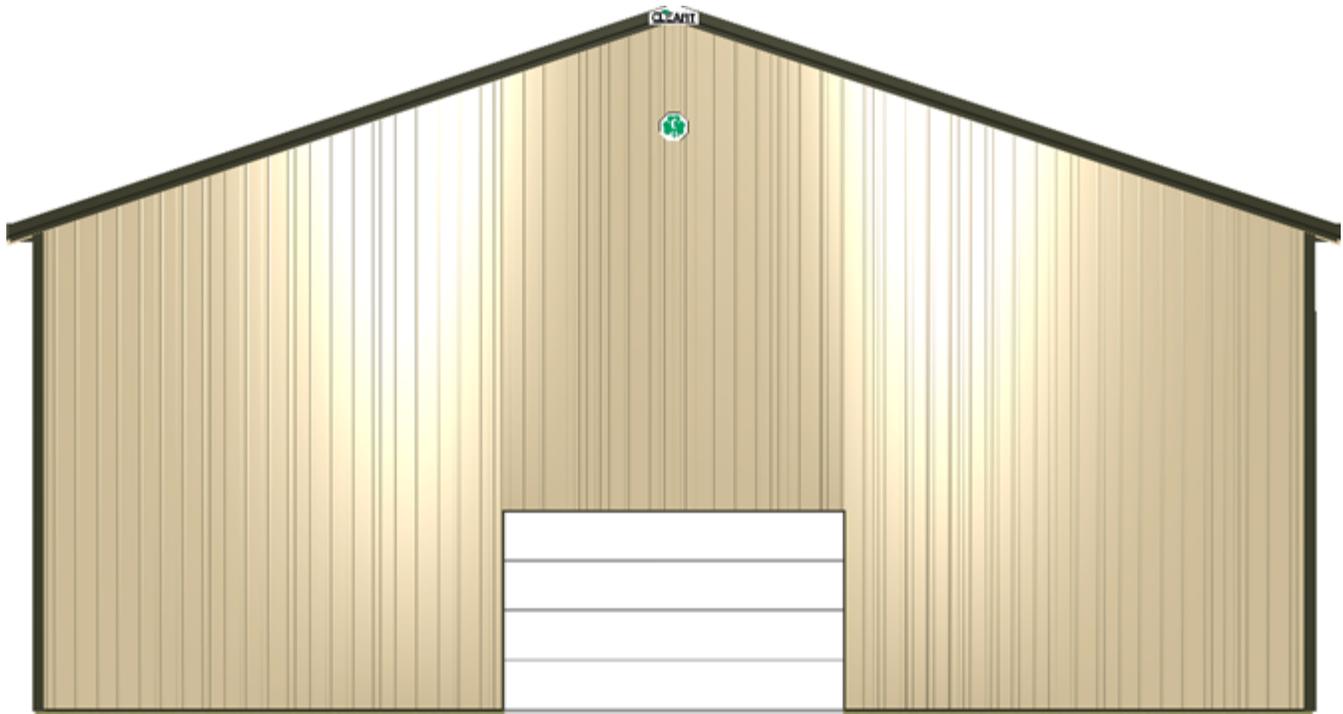
Building Specification For:

WRIGHT/FCL, CHERYL
285 SIENNA CT
SPANISH SPRINGS, NEVADA 89441
Home Phone: (775) 502-2994
Email: cherylwright728@gmail.com

Building Site Location:

Location: N/A
Tenant: N/A
285 SIENNA CT
SPANISH SPRINGS, NEVADA 89441
County: WASHOE

Elevations for Building 1



West End Wall 1 on Building 1

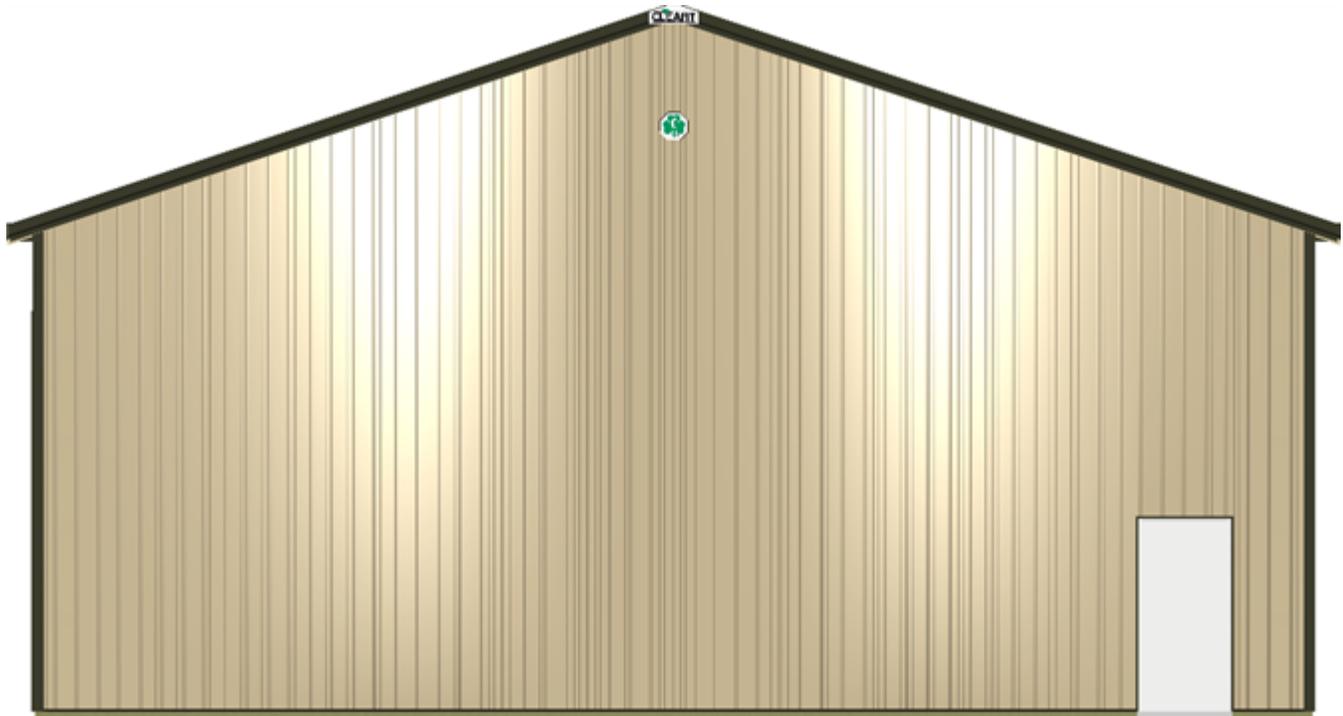
Note: These colors are as close to the actual colors as permitted by printing. Actual metal samples must be reviewed with your Sales Specialist. Colors vary depending upon position and angles.



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Elevations & Floor Plan



East End Wall 2 on Building 1

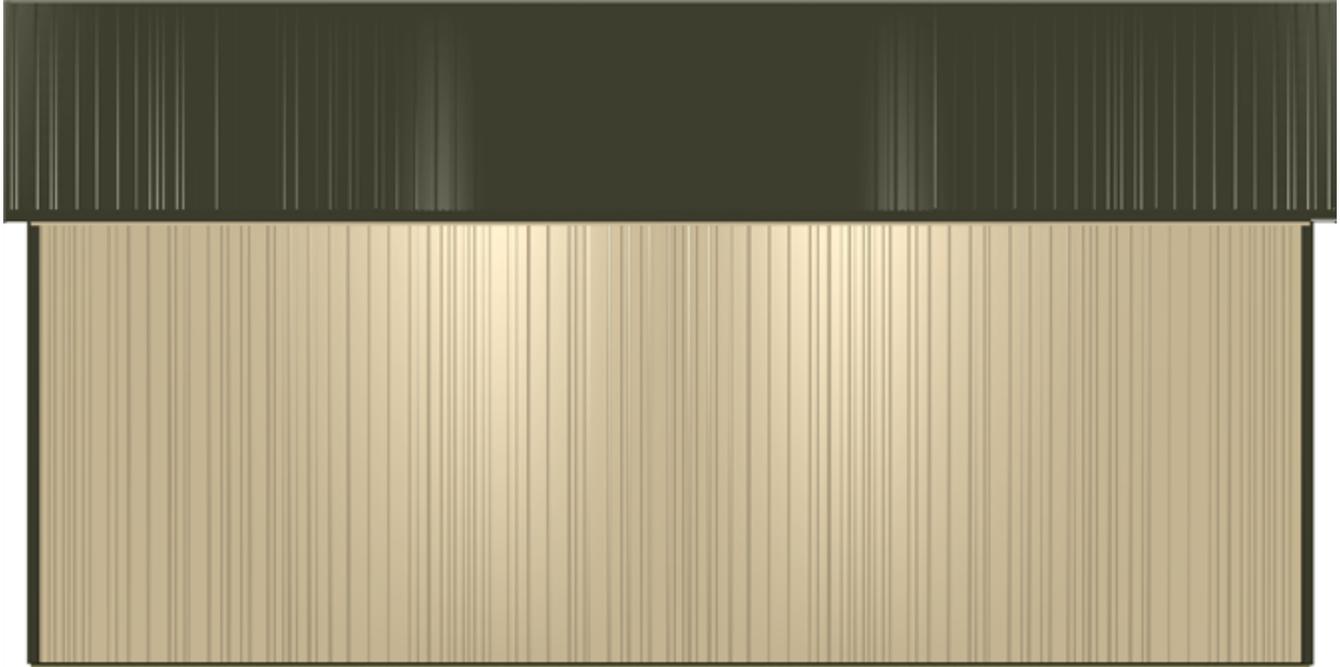
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Elevations & Floor Plan



North Side Wall 1 on Building 1

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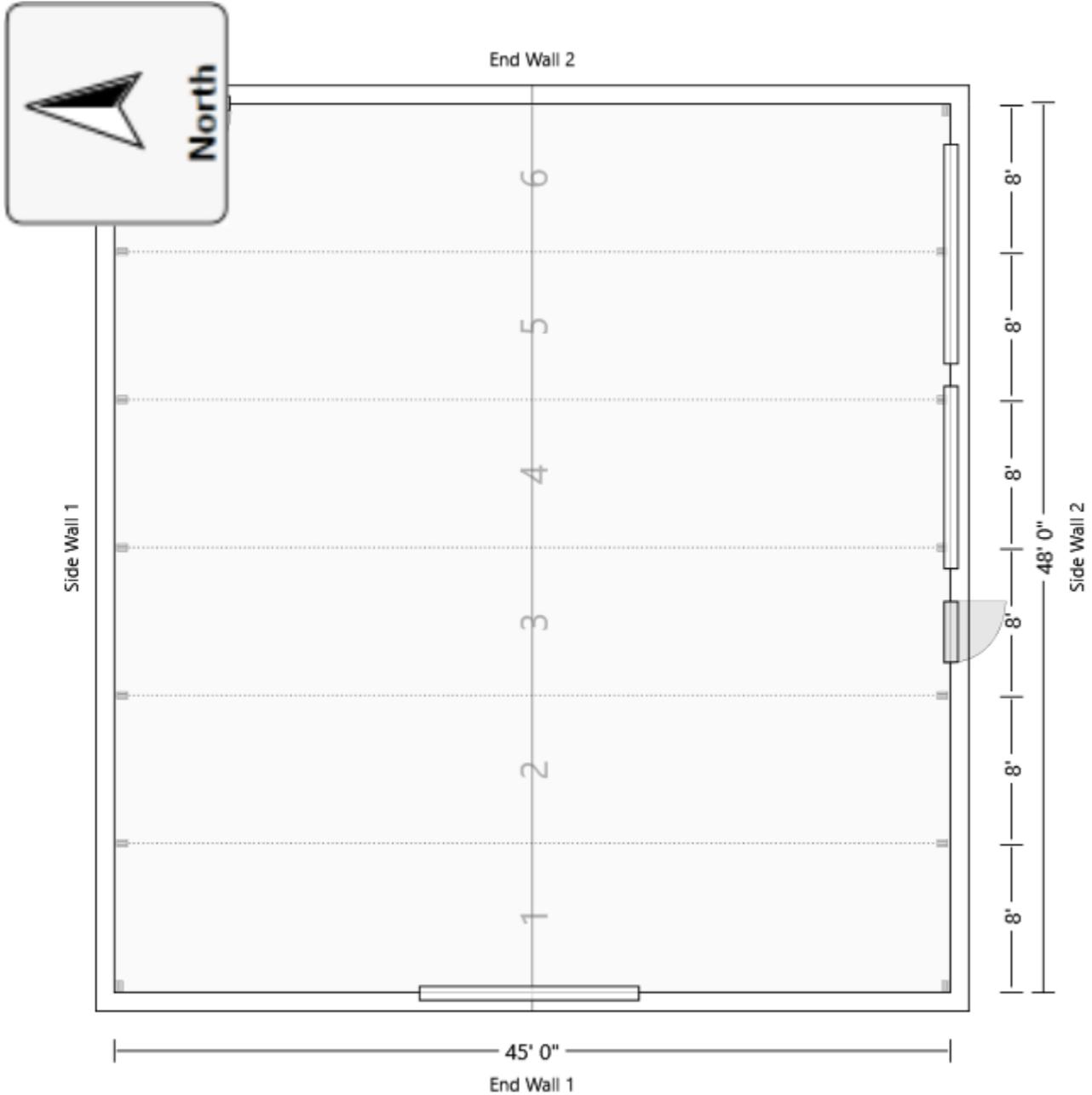


South Side Wall 2 on Building 1

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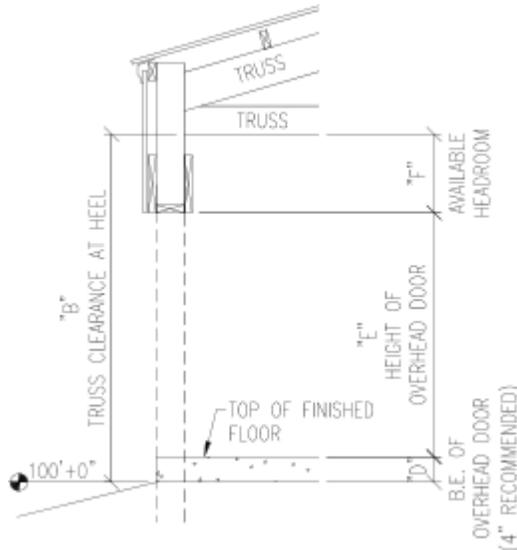
Elevations & Floor Plan

Floor Plan



Elevations & Floor Plan

Overhead Frameout & Headroom



"D" = Bottom elevation (B.E.) of overhead door: **0' 4"**

The bottom of all overhead doors (top of finished floor) are recommended to be placed at 4" above the 100'-0" mark (100'-4"). In building without paved floors, B.E. of doors may be lower - e.g. 100'-0".

"E" = Height of overhead door: **7' 0"**

Overhead door height = the height of the overhead door being placed in this building.

"F" = Available headroom: **11' 9"**

Available headroom = the space available for overhead door tracks and openers. If a ceiling is installed, headroom will be reduced by about 1". Door headroom requirements must be confirmed with the door supplier.

Headroom calculation formula:

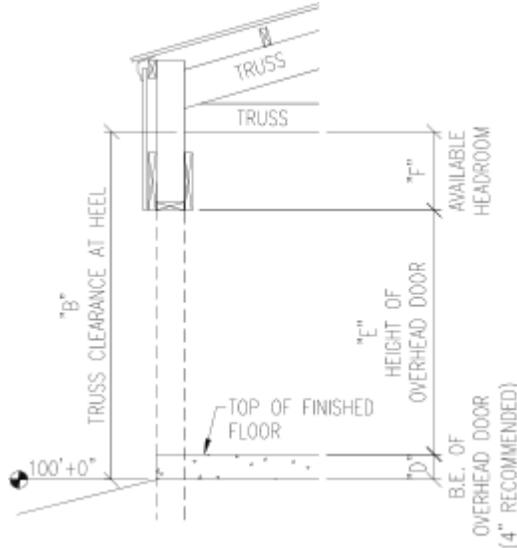
$$("B") - ("D") - ("E") = ("F")$$

$$(\text{Truss Clearance}) - (\text{B.E. of overhead door}) - (\text{Overhead door height}) = (\text{Available headroom})$$

Example:

$$(10'-0") - (4") - (8'-0") = (1'-8" \text{ of available headroom})$$

Elevations & Floor Plan



"D" = Bottom elevation (B.E.) of overhead door: **0' 4"**

The bottom of all overhead doors (top of finished floor) are recommended to be placed at 4" above the 100'-0" mark (100'-4"). In building without paved floors, B.E. of doors may be lower - e.g. 100'-0".

"E" = Height of overhead door: **10' 0"**

Overhead door height = the height of the overhead door being placed in this building.

"F" = Available headroom: **5' 7"**

Available headroom = the space available for overhead door tracks and openers. If a ceiling is installed, headroom will be reduced by about 1". Door headroom requirements must be confirmed with the door supplier.

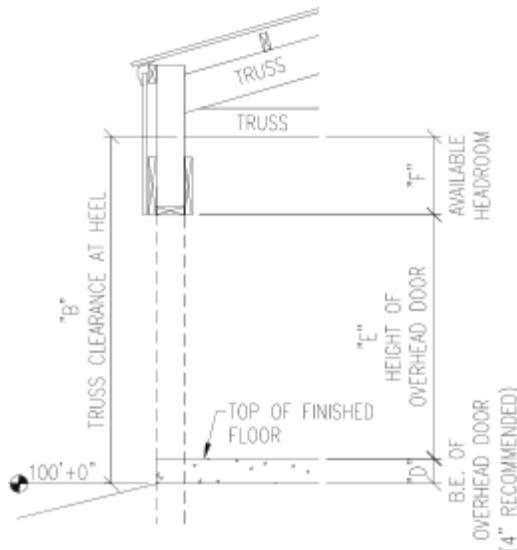
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Example:

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"D" = Bottom elevation (B.E.) of overhead door: **0' 4"**

The bottom of all overhead doors (top of finished floor) are recommended to be placed at 4" above the 100'-0" mark (100'-4"). In building without paved floors, B.E. of doors may be lower - e.g. 100'-0".

"E" = Height of overhead door: **14' 0"**

Overhead door height = the height of the overhead door being placed in this building.

"F" = Available headroom: **1' 7"**

Available headroom = the space available for overhead door tracks and openers. If a ceiling is installed, headroom will be reduced by about 1". Door headroom requirements must be confirmed with the door supplier.

Headroom calculation formula:

$$("B") - ("D") - ("E") = ("F")$$

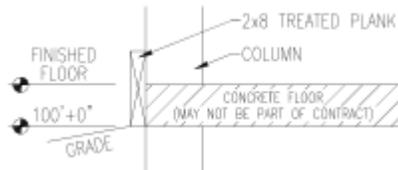
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Example:

$$(10'-0") - (4") - (8'-0") = (1'-8" \text{ of available headroom})$$

Elevations & Floor Plan

Truss Type



Note: Clearance may be reduced by finished floor height.



Roof Pitch:	4/12
Roof Peak Height:	25' 2"
"A" = Actual Eave Height:	17' 8"
"B" = Truss clearance at heel:	16' 0"
(Truss clearance = 1'-0"; less than nominal eave height, in most cases. If nested purlins are used, truss clearance will be increased by 4".)	
"C" = Truss clearance at center:	19' 1"
(Truss clearance at the center of the bulding with a High Clearance truss will be greater than the clearance at the heel.) See page EM-41 to EM-46 in the price book for clearances.	

4/13/2023

WRIGHT/FCL, CHERYL

Doc ID: 21109620230413105705

Job ID: 2023101463



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Elevations & Floor Plan

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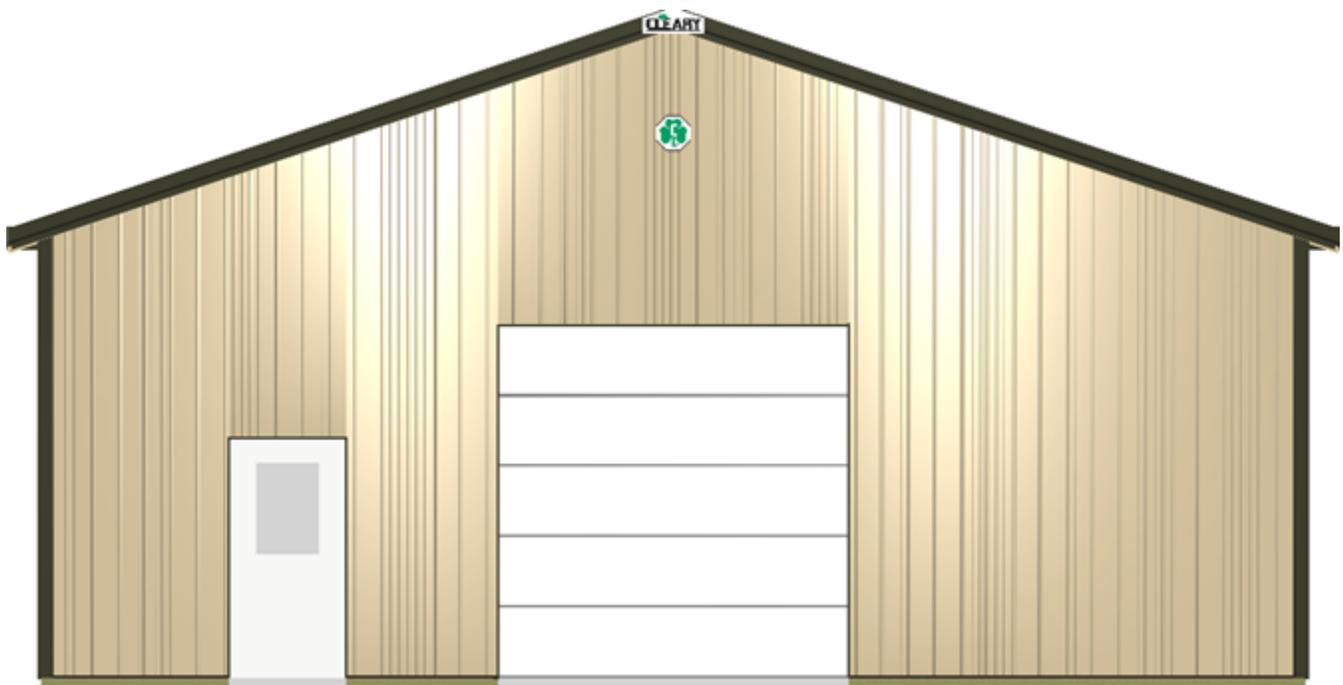
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Tenant: N/A
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County: WASHOE

Elevations for Building 1



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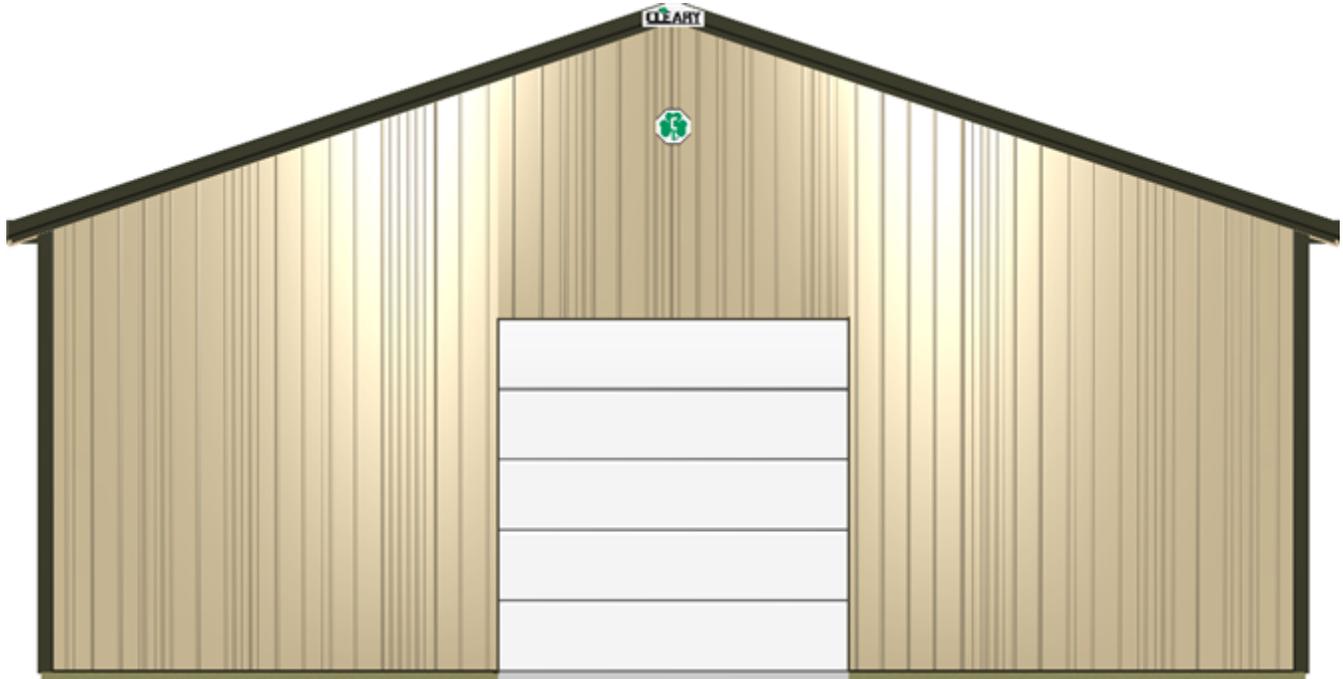
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Elevations & Floor Plan



North End Wall 2 on Building 1

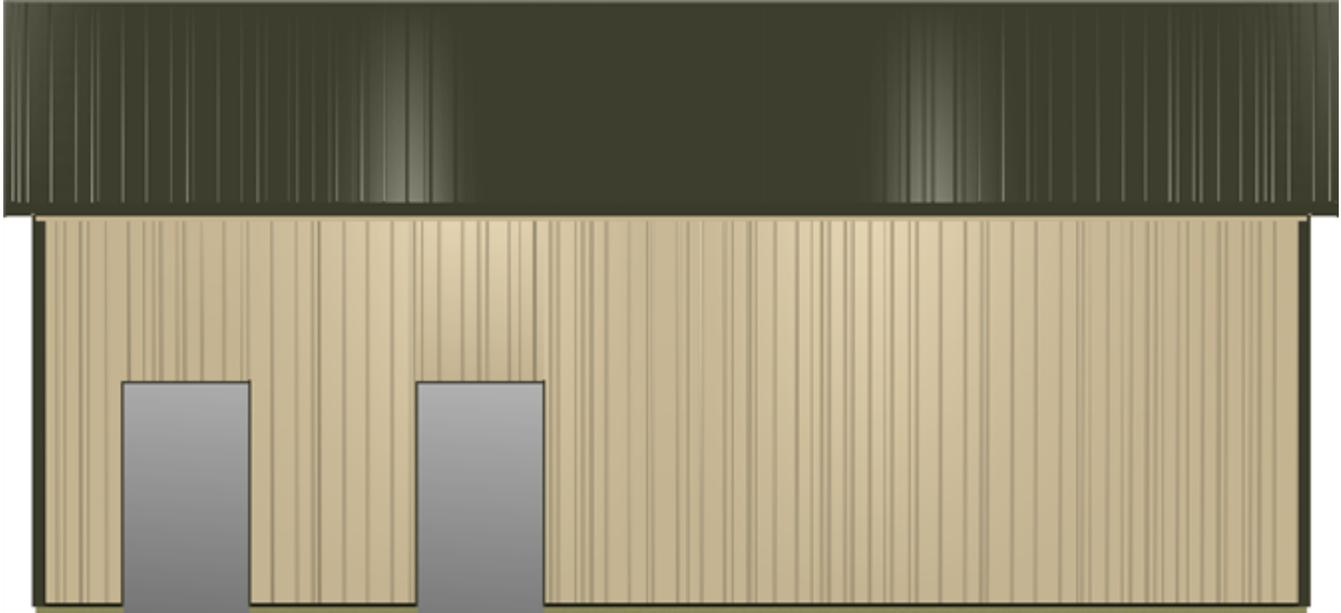
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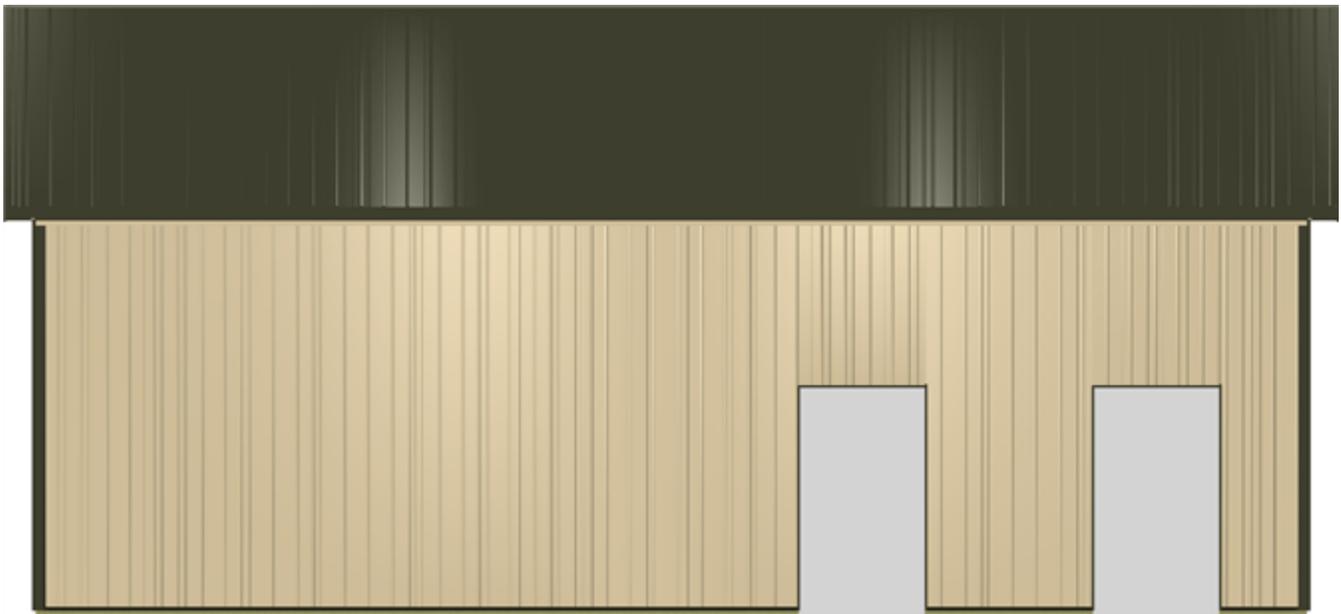
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Elevations & Floor Plan



West Side Wall 1 on Building 1

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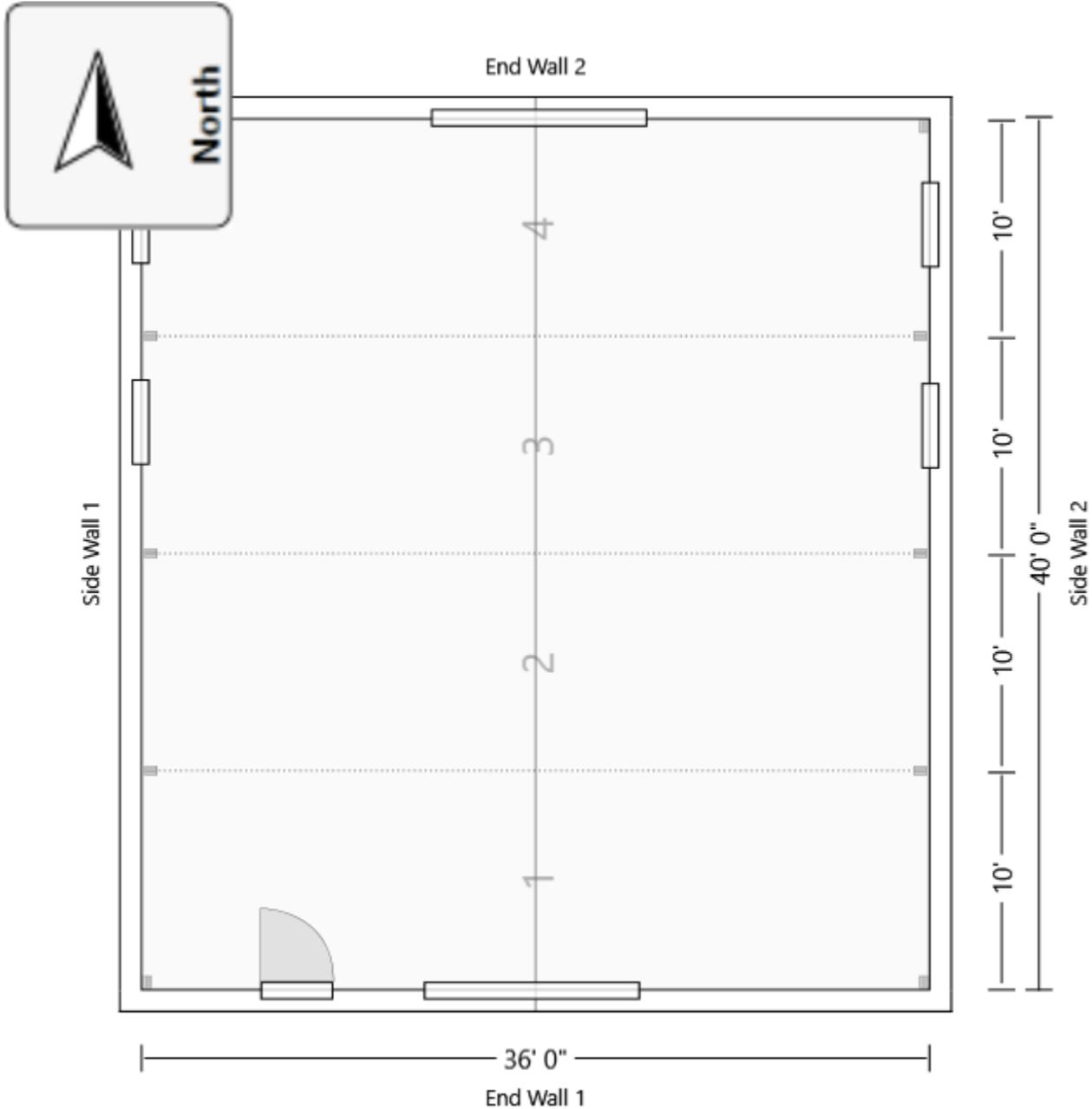


East Side Wall 2 on Building 1

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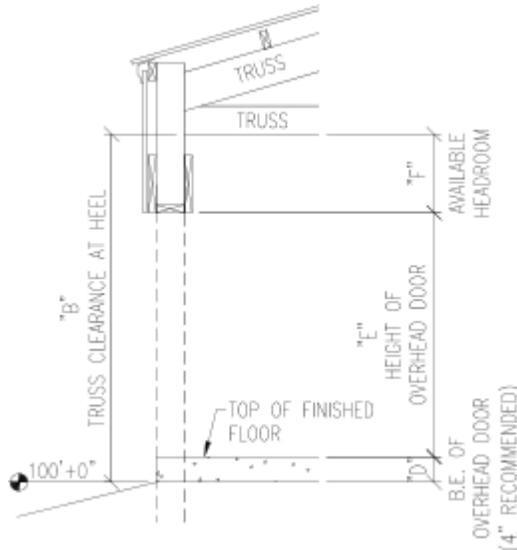
Elevations & Floor Plan

Floor Plan



Elevations & Floor Plan

Overhead Frameout & Headroom



"D" = Bottom elevation (B.E.) of overhead door: **0' 4"**

The bottom of all overhead doors (top of finished floor) are recommended to be placed at 4" above the 100'-0" mark (100'-4"). In building without paved floors, B.E. of doors may be lower - e.g. 100'-0".

"E" = Height of overhead door: **10' 0"**

Overhead door height = the height of the overhead door being placed in this building.

"F" = Available headroom: **1' 8"**

Available headroom = the space available for overhead door tracks and openers. If a ceiling is installed, headroom will be reduced by about 1". Door headroom requirements must be confirmed with the door supplier.

Headroom calculation formula:

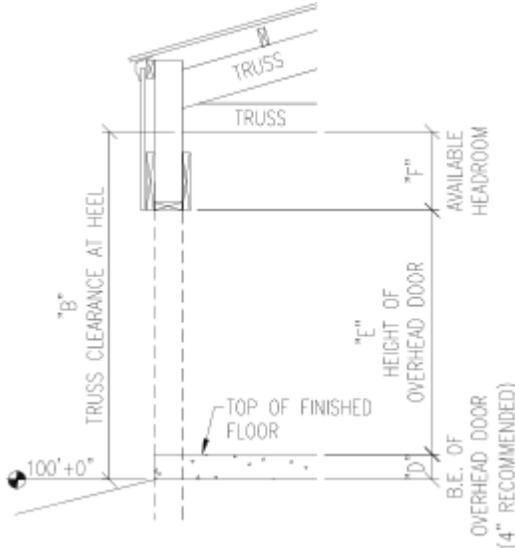
$$("B") - ("D") - ("E") = ("F")$$

$$(\text{Truss Clearance}) - (\text{B.E. of overhead door}) - (\text{Overhead door height}) = (\text{Available headroom})$$

Example:

$$(10'-0") - (4") - (8'-0") = (1'-8" \text{ of available headroom})$$

Elevations & Floor Plan



"D" = Bottom elevation (B.E.) of overhead door: **0' 4"**

The bottom of all overhead doors (top of finished floor) are recommended to be placed at 4" above the 100'-0" mark (100'-4"). In building without paved floors, B.E. of doors may be lower - e.g. 100'-0".

"E" = Height of overhead door: **7' 0"**

Overhead door height = the height of the overhead door being placed in this building.

"F" = Available headroom: **4' 8"**

Available headroom = the space available for overhead door tracks and openers. If a ceiling is installed, headroom will be reduced by about 1". Door headroom requirements must be confirmed with the door supplier.

Headroom calculation formula:

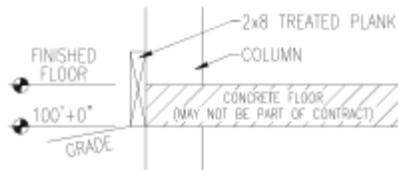
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$$(\text{Truss Clearance}) - (\text{B.E. of overhead door}) - (\text{Overhead door height}) = (\text{Available headroom})$$

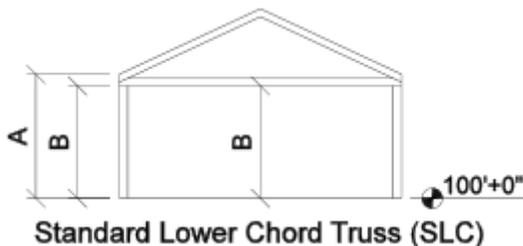
Example:

$$(10'-0") - (4") - (8'-0") = (1'-8" \text{ of available headroom})$$

Truss Type



Note: Clearance may be reduced by finished floor height.



Roof Pitch: **4/12**

Roof Peak Height: **19' 4"**

"A" = Actual Eave Height: **13' 4"**

"B" = Truss clearance at heel and center: **12' 0"**

(Truss clearance = 1'-0" less than nominal eave height, in most cases.)

If nested purlins are used, truss clearance will be increased by 4".)

