

Special Use Permit TMFPD Station 46

Submitted to Washoe County
February 8, 2022

ORIGINAL

Prepared for

TMFPD

3663 Barron Way

Reno, NV 89511

Prepared by



WOOD RODGERS

BUILDING RELATIONSHIPS ONE PROJECT AT A TIME

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Section 1

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: TMFPD Station #46 Special Use Permit			
Project Description: A Special Use Permit (SUP) to allow the current Station 46 facilities to be expanded with improvements to the existing building which include two additional living quarters, bathroom facilities, laundry room, and outdoor patio. These will result in less than a 10% expansion of the facility on a parcel zoned PSP located in Spanish Springs. The current facilities were constructed in 1981. This expansion will allow for the addition of a 2-person paramedic crew and expanded services to support the growing population in the Spanish Springs Area.			
Project Address: 500 Rockwell Boulevard			
Project Area (acres or square feet): 1.47 acres			
Project Location (with point of reference to major cross streets AND area locator):			
Bound by La Posada Drive to the south and Rockwell Drive to the east. Located approximately 800 feet west of Pyramid Way.			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
534-092-01	1.47		
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: TMFPD		Name: Wood Rodgers, Inc.	
Address: 3663 Barron Way		Address: 1361 Corporate Blvd.	
Reno, NV	Zip: 89511	Reno, NV	Zip: 89502
Phone: 775-326-6000	Fax:	Phone: (775)823-4068	Fax:
Email: cmoore@tmfpd.us		Email: shuggins@woodrodgers.com	
Cell:	Other:	Cell:	Other:
Contact Person: Chief Moore		Contact Person: Stacie Huggins	
Applicant/Developer:		Other Persons to be Contacted:	
Name: SAME AS ABOVE		Name: Washoe County Capital Projects Div	
Address:		Address:	
	Zip:		Zip:
Phone:	Fax:	Phone: 775-750-7325	Fax:
Email:		Email: wwardell@washoecounty.gov	
Cell:	Other:	Cell:	Other:
Contact Person:		Contact Person: Bill Wardell	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Property Owner Affidavit

Applicant Name: Truckee Meadows Fire Protection District

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
COUNTY OF WASHOE)

I, Charles A. Moore
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 534-092-01

Printed Name Charles A. Moore

Signed [Signature]

Address 3663 Barron Way
Reno NV

Subscribed and sworn to before me this 31 day of January, 2022.

(Notary Stamp)

Washoe County / State of NV
Notary Public in and for said county and state

My commission expires: 10/22/2025



*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

Special Use Permit Application Supplemental Information

(All required information may be separately attached)

1. What is the project being requested?

A Special Use Permit (SUP) to allow the current Station 46 facilities to be expanded with improvements to the existing building which include two additional living quarters, bathroom facilities, laundry room, and outdoor patio. The proposed project will add less than 10% of the existing facility's square footage.

2. Provide a site plan with all existing and proposed structures (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.)

Provided in Section 3 of submittal.

3. What is the intended phasing schedule for the construction and completion of the project?

The facility expansion will be completed in a single phase and is anticipated to take approximately six months following the final design and permitting process. Timing could be impacted by funding and availability of materials.

4. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

Expansion of the fire station will not alter or impact the physical characteristics of the site.

5. What are the anticipated beneficial aspects or affects your project will have on adjacent properties and the community?

The expansion of Station 46 will provide additional living quarters to accommodate larger fire crews and provide service to the growing surrounding community.

6. What are the anticipated negative impacts or affect your project will have on adjacent properties? How will you mitigate these impacts?

The project is not anticipated to produce negative impacts to adjacent properties as the fire station already exists at this site. Existing landscaping and fencing will continue to screen the building from surrounding properties.

7. Provide specific information on landscaping, parking, type of signs and lighting, and all other code requirements pertinent to the type of use being purposed. Show and indicate these requirements on submitted drawings with the application.

N/A

8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the special use permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
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9. Utilities:

a. Sewer Service	Washoe County
b. Electrical Service	NV Energy
c. Telephone Service	AT&T and Spectrum Communications
d. LPG or Natural Gas Service	NV Energy
e. Solid Waste Disposal Service	Washoe County
f. Cable Television Service	AT&T and Spectrum Communications
g. Water Service	Truckee Meadows Water Authority (TMWA)

For most uses, Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required.

h. Permit #		acre-feet per year	
i. Certificate #		acre-feet per year	
j. Surface Claim #		acre-feet per year	
k. Other #		acre-feet per year	

Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources).

N/A

10. Community Services (provided and nearest facility):

a. Fire Station	Project Site
b. Health Care Facility	Manor Care Health Services
c. Elementary School	Spanish Springs Elementary
d. Middle School	Shaw Middle School
e. High School	Spanish Springs High School
f. Parks	Desert Winds Park
g. Library	Spanish Springs Library
h. Citifare Bus Stop	

Section 2

Project Description

Executive Summary

Applicant:	Truckee Meadows Fire Protection District
APN:	534-092-01
Request:	A Special Use Permit is being requested to allow a Safety Service use in the PSP zoning district per Table 110.302.52 of the Washoe County Development Code.
Location	The 1.47-acre project site is located at the intersection La Posada Drive and Rockwell Boulevard in Spanish Springs.

Project Request

This application package contains the required Washoe County application and supporting information for the following request:

- A Special Use Permit (SUP) to allow the current Station 46 facilities to be expanded with improvements to the existing building which include two additional living quarters, bathroom facilities, laundry room, and outdoor patio. These will result in less than a 10% expansion of the facility on a parcel zoned PSP located in Spanish Springs. The current facilities were constructed in 1981. This expansion will allow for the addition of a 2-person paramedic crew and expanded services to support the growing population in the Spanish Springs Area.

Location

Truckee Meadows Fire Protection District (TMFPD) Station #46 currently resides at 500 Rockwell Boulevard and has been an active station since 1981. The project site (Site), which consists of APN 534-092-01, is bound by La Posada Drive to the south, Rockwell Drive to the east, and commercial/retail to the north and west.

The Fire Station was sited here to respond to the volume and type of calls that need service in this area of Washoe County. This location has direct access to La Posada Drive, a major arterial which provides east/west access to the community. It is also located approximately 800 feet west of Pyramid Way, providing north/south access to the surrounding community to aide in rapid response times for emergency calls outside of the immediate vicinity.



Existing Fire Station #46

Project Description

The proposed station will be an expansion of the existing facilities main building. The west side of the building will be modified to include the expansion with the addition of two bedrooms, bathroom facilities, and a laundry room. In addition, improvements to the outdoor area include a new landscape area with a covered patio. The expansion will impact an area of asphalt and add additional landscape. All of the other elements of the existing facility will remain the same.

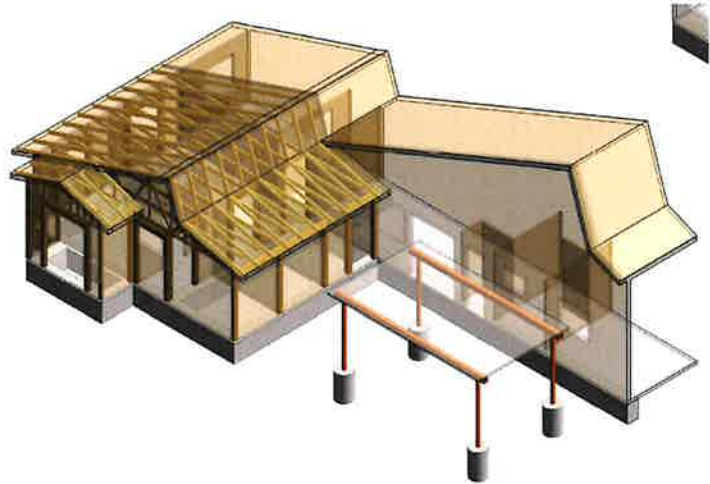
This expansion will add less than 10% of the existing facility's square footage. The existing facility is currently 5,308 square feet, and the expansion will result in a net gain of 525 square feet for total of 5,833 square feet facility once the improvements are completed. The expansion will allow for the fire station to accommodate the addition of a 24/7 on-call 2-person paramedic team by providing additional living quarters and amenities to crews. This expansion will take advantage of the existing facility while allowing the County to meet the growing need for safety services in the Spanish Springs area.

The new expansion has been designed to reflect a seamless connection to the existing facility. The expansion will bring updated living facilities and an outdoor dining and landscape area. This expansion of the buildings footprint to the west will impact the circulation around the building by reducing the drive isle from a 24-foot wide two-way drive isle to a 13-foot wide drive isle. This new drive isle will still allow vehicles to circle around the building but will limit it to one-way traffic. This is not anticipated to have a significant impact on the fire station as a majority of the onsite traffic is from employees. In addition to expansion improvements, the project also includes parking areas along the north, south, and west of the building for staff and guests. A total of twelve spaces, including one ADA space, will be provided and will be available for guests visiting the fire station.

Building Architecture

The new Truckee Meadows Fire Station 46 will be an expansion of the existing building and will not contribute to more than 10% of the overall footprint. As such the new expansion is designed to blend with the existing architecture. The fire station will remain a single-story building that fits within the architectural fabric of the surrounding neighborhood without overshadowing the adjacent residences. The intent is to maintain the look of the neighborhood with the residential scale and materials used, as well as to appropriately present the public face of the facility to La Posada Drive.

The project has been designed to blend the existing residence with the building by matching the existing sloping roof line while adding articulation and matching colors and materials of the existing building. The proposed patio cover that serves the private yard helps to knit the new structure to the existing building. The new landscape will help to soften the front of the building providing a welcoming focal point.



Materials have been chosen to balance the robust demands of a public facility within the context of a residential neighborhood. The station incorporates asphalt shingle roofing and horizontal lap siding to coordinate with the existing residence including a warm tone painted to blend with the existing residence. The design incorporates 525 square feet to include an expansion of the living quarters for the crew. Two bedrooms are created from the space along with two bathrooms and a laundry room for a new total of six bedrooms.

The office, exercise room, and ADA restroom are arranged along the public face of the building to provide easy access from the entry, with direct visibility into the apparatus bay. Direct access to the apparatus bay is available from the office, kitchen, and storage/exercise rooms. The hallway between the living quarters and the apparatus bay provides clear and direct access to the main support spaces. To the south of the apparatus bay, an outdoor service area includes a water station at the corner of La Posada Dr. and Rockwell Blvd. To the west of the facility, an outdoor staging area is screened with landscaping and a solid fence. A formally landscaped area along Rockwell Blvd softens the building to the residential subdivision to the east and presents the facility signage.

The apparatus bay has been designed to accommodate two fire trucks and one ambulance with ample space on both sides for circulation and emergency equipment storage. Large windows along the south of the apparatus bay provide direct line of site for fire trucks as they exit the apparatus bay and allows natural light into the space to reduce the need for lighting during the day.

Site Circulation and Parking

The project site has been designed with multiple access points from La Posada Drive and Rockwell Boulevard. The apparatus bay allows ingress/egress via a minimum 33-foot wide driveway from La Posada to the south and Rockwell Boulevard to the east. This is not proposed to change with this expansion and is consistent with the current design of the station. The improvements will not restrict the site circulation and are expected to operate similarly to current operations. When trucks return to the station after calls, they will back into the bay rather than circulating around the facility. Although there is a single bay access from the rear the of the building, this is typically not utilized. As needed, trucks can access the water station located in the southeast corner of the site for refilling prior to parking in the apparatus bay.

A second driveway on Rockwell Drive will provide access to the rear of the building including the apparatus bay. This access is typically used for employees and visitors to access the improved parking area located along the north of the building. As noted previously, the two-way circulation to the west of the building will be reduced to one-way access that will allow the circulation of the site to continue while accommodating the building expansion. The new parking areas along the south and west will serve both guests visiting the fire station and/or crews as well as the public. The parking area will include one van accessible space with access to an ADA route to/from the apparatus bay and crew offices. A majority of the parking for will be for firemen's personal vehicles while they are on duty. It is worth noting that this parking will also provide adequate parking during shift changes, which typically occur every 48 hours and last for approximately 30 minutes.

Landscaping

Twenty percent of the developed site is required to be landscaped. In terms of landscaping, the project area consists of ± 1.47 acres, resulting in 12,806 square feet (± 0.29 acres) of required landscaping. Currently, the project includes 17,882 square feet of landscaping in and around the fire station with 712 square feet of additional landscaping for a total of 18,594 square feet (25%). The project also includes 13 trees, with a minimum of 1 new tree proposed with the proposed improvements. New landscape will primarily drought tolerant plantings that will be maintained by fire personnel on-duty (*Refer to Landscape Exhibit in Section*).

In addition to new landscaping, existing trees and shrubs will be maintained adjacent to the fence along the northern and west property boundary. Where appropriate, rock mulch and/or decomposed granite mulch (DG) will also be used for ground cover.

As designed a majority of the landscape is located along the eastern boundary to help screen the station from residential uses. The southeast corner and southern boundary do not have any street trees as these interfere with the line of site from fire trucks exiting the apparatus bay and entering La Posada Drive and Rockwell Boulevard. As such, the Applicant is seeking relief regarding Section 110.412.50 (c)(1), which requires a buffer on the entire width of the required yard, in this case 20-foot front yard, for the entire length of the property line where it adjoins residential uses (i.e. – east along Rockwell Boulevard). Since access needs to be along Rockwell Boulevard, this is not feasible. However, a 58-foot wide landscape buffer exists between the firestation and the residential properties to the east.

Fencing

The existing fencing is not anticipated to change with this request. Solid view six-foot tall fencing is located along the north, west, and a portion of the southern property boundaries. The outdoor staging area to the west is completely fenced. Landscaping and trees that exist along this shared boundary will be maintained as they further aid in screening between the uses. Where the proposed project fronts La Posada Drive, an existing three foot tall fence helps to provide screening while still maintaining a direct site patch for fire trucks when exiting the fire station onto La Posada Drive.



Existing 3-foot fencing along La Posada Drive.

Lighting

The project is not anticipated to impact existing lighting, which is minimal and situated around the exterior of the building. All outdoor lighting is shielded in accordance with “dark sky lighting” requirements.

Signage

There is a monument sign located in the landscape area on Rockwell Drive which is not anticipated to change with this request. The existing sign is in compliance with Washoe County standards and is complimentary to the architectural style and character of the building and the neighborhood.

Utilities

As the site is already being served, minimal impacts to utility service and/or connections are anticipated as the expansion of the facility is less than 10% of the original floor plan. Utilities that serve the current project site are summarized as follows:

- Water – The existing site will continue to be served by Truckee Meadows Water Authority (TMWA).
- Sewer – Washoe County is currently serving the fire station and the single-family residence with an existing public sewer main that runs adjacent to the project site along La Posada Drive. A preliminary sewer report addressing sewer generation and connectivity is not needed at this time as this is an existing facility and the expansion is less than 10% of the original floor plan.
- Gas and Electricity – Natural gas and electricity are provided by NV Energy.
- Telephone, Cable and Fiber Optic – Telephone, cable, and fiber optic services are provided by AT&T and Spectrum Communications.

Grading and Drainage

Minimal impact to the grading and drainage are anticipated with this request. The proposed disturbance will include the conversion of asphalt to either building top or landscape resulting in a net gain of permeable surfaces. Generally, onsite drainage flows from west to southeast towards Rowell Boulevard.

Development Statistics Summary

Total Site Area:	1.74± acres (75,794± sqft)
Building Area:	6,341±sq. ft. (8%)
Parking/Pavement Area:	32,039± sq. ft (42%)
Landscape Area:	18,594± sq. ft. (25%)
Landscape Area Required:	15,158 ± sq. ft. (20%)
Existing Trees:	18 trees
New Trees:	1 trees
Total Trees Provided:	19 trees
Parking Required:	6 stalls
Parking Provided:	12 stalls
Accessible Parking Required:	1 stall
Accessible Parking Provided:	1 stall

Special Use Permit Findings

Section 110.810.30 Findings. Prior to approving an application for a special use permit, the Planning Commission, Board of Adjustment or a hearing examiner shall find that all of the following are true:

- (a) Consistency. The proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the applicable area plan;**

Response: The proposed use is consistent with the Master Plan, which identifies the project site as well as the surrounding properties to the east, as Suburban Residential (SR). More specifically, the property and the surrounding land are located within the Spanish Springs Area Plan (SSAP). The conforming Public Semi Public (PSP) zoning as defined within the Washoe County Master Plan and Development Code is supported within the SSAP, and allows Safety Services with approval of this Special Use Permit.

- (b) Improvements. Adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven;**

Response: As noted previously, the project site is already developed with an active fire station so all major utilities including water and sewer are located within La Posada Drive and/or Rockwell Drive and will continue to serve the project Site. Any utility or roadway improvements needed as a result of the expansion of the facility will be done in accordance with Division Seven.

- (c) Site Suitability. The site is physically suitable for the type of development and for the intensity of development;**

Response: As noted previously, the fact that the site is currently developed and has been serving the area as Fire Station #46, makes this site physically suitable for this proposed project. This site was identified initially due to its ability to respond to the volume and type of calls frequently needed in this area. This expansion of the facility is required to help serve the growing area.

The proposed station will be an expansion of the existing facilities main building. The west side of the building will be modified to include the expansion with the addition of two bedrooms, bathroom facilities, and a laundry room. In addition, improvements to the outdoor area improvements include a new landscape area including a covered patio. The expansion will impact an area of asphalt and add additional landscape. All of the other elements of the existing facility will remain the same.

This expansion will add less than 10% of the existing facility square footage. The existing facility is currently 5,308 square feet, the expansion will add a net gain of 525 square feet for total of 5,833 square feet facility once the improvements are completed. The expansion will allow for the fire station to accommodate a larger crew, providing living quarters for on-duty fire crews. This expansion will take advantage of the existing facility while allowing the County to meet the growing need for safety services in the Spanish Springs area.

The new expansion has been designed to reflect a seamless connection to the existing facility. The expansion will bring updated living facilities and an outdoor dining and landscape area. This is not anticipated to have a significant impact on the fire station as a majority of the onsite traffic is from employees. In addition to expansion improvements, the project also includes a formalized parking area along the north, south, and west of the building for staff and guests. A total of twelve spaces, including one ADA space, will be provided and will be available for guests visiting the fire station.

The new expansion is designed to blend with the existing architecture. The fire station will remain a single-story building that fits within the architectural fabric of the surrounding neighborhood without overshadowing the adjacent residences. The intent is to maintain the look of the neighborhood with the residential scale and materials used, as well as to appropriately present the public face of the facility to La Posada Drive. Refer to building elevations and floor plans included in Section 4 of this application for more detailed information.

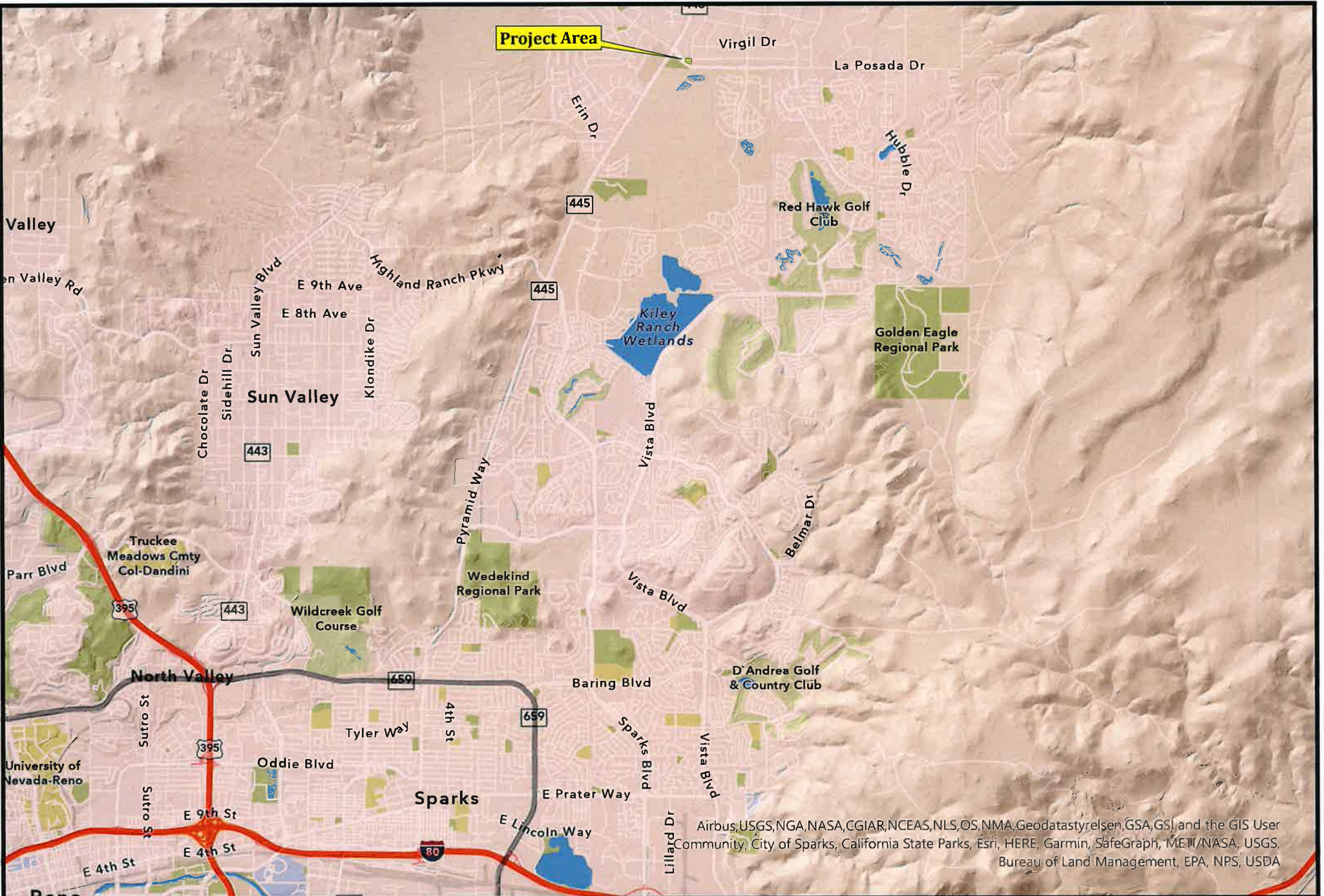
- (d) Issuance Not Detrimental. Issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area; and**

Response: As this is an existing use on the site and in the neighborhood, the proposed project will not be detrimental to the public health, safety or welfare of adjacent properties. The proposed improvements are needed to keep up with community growth and need for adequate fire response times. La Posada Drive is designated as a Collector roadway and has capacity to handle traffic associated with the improved fire station. Fire trucks will continue to access the site as they do today. The proposed project will serve as a community benefit providing fire protection to the Spanish Springs/Washoe County area and therefore not be detrimental to the health, safety or welfare, of the surrounding area.

- (e) Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.**

Response: N/A.

Section 3



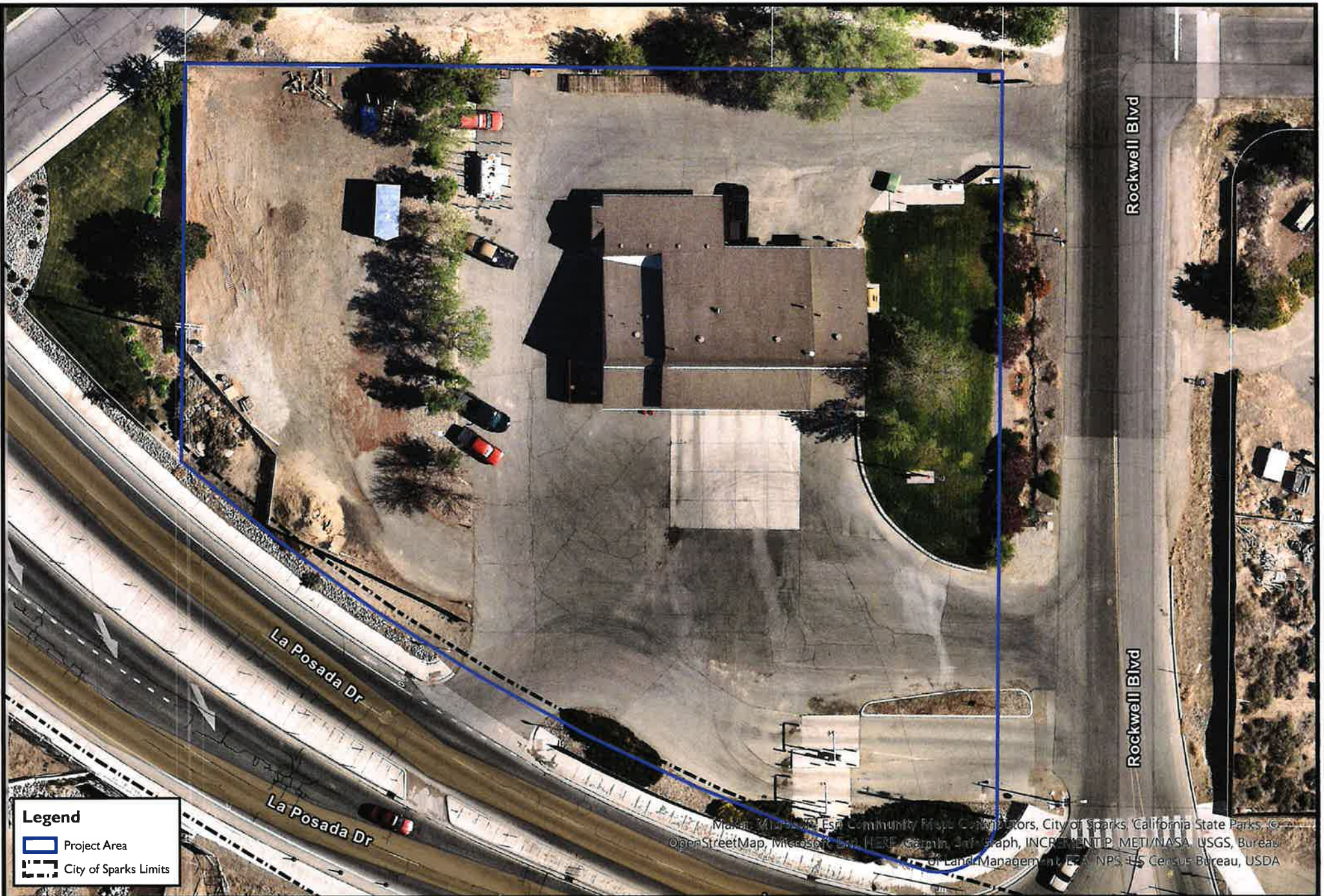
Airbus, USGS, NGA, NASA, CGIAR, NCEAS, NLS, OS, NMA, Geodastylelsen, GSA, GSI, and the GIS User Community, City of Sparks, California State Parks, Esri, HERE, Garmin, SafeGraph, METI/NASA, USGS, Bureau of Land Management, EPA, NPS, USDA



Vicinity Map
TMFPD Station 46 SUP
February 2022



WOOD RODGERS
 BUILDING RELATIONSHIPS ONE PROJECT AT A TIME
 1361 Corporate Boulevard
 Reno, NV 89502
 Tel: 775.823.4068
 Fax: 775.823.4068

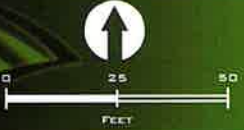


Legend

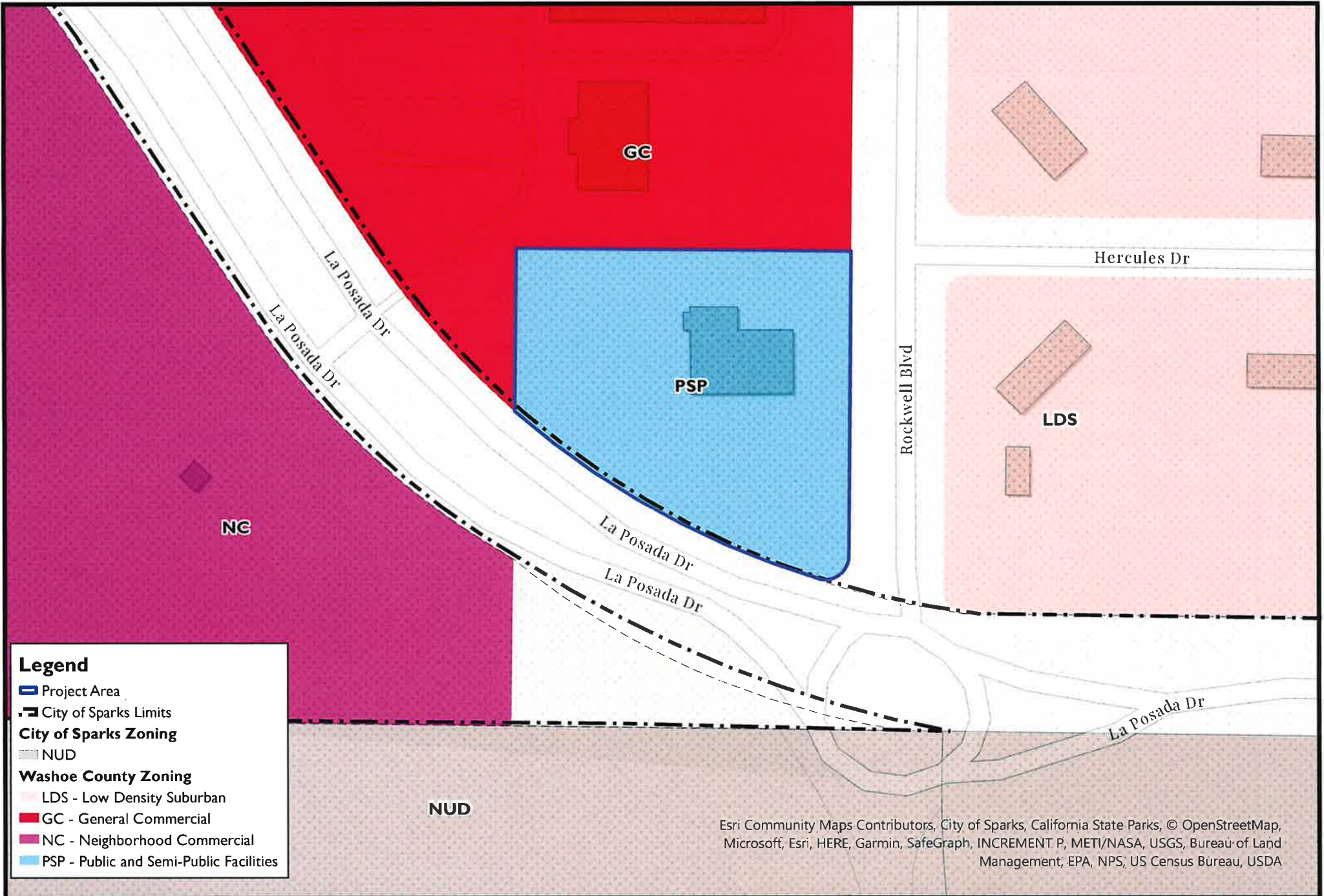
-  Project Area
-  City of Sparks Limits

Map data © OpenStreetMap contributors, City of Sparks, California State Parks, © OpenStreetMap contributors, HERE, Garmin, Bing, INCREMENT P, METI/NASA, USGS, Bureau of Land Management, Esri, NPS, US Census Bureau, USDA

Existing Conditions
TMFPD Station 46 SUP
 February 2022




WOOD RODGERS
 BUILDING RELATIONSHIPS ONE PROJECT AT A TIME
 1361 Corporate Boulevard Tel: 775.823.4068
 Reno, NV 89502 Fax: 775.823.4068



Legend

- Project Area
- City of Sparks Limits

City of Sparks Zoning

- NUD

Washoe County Zoning

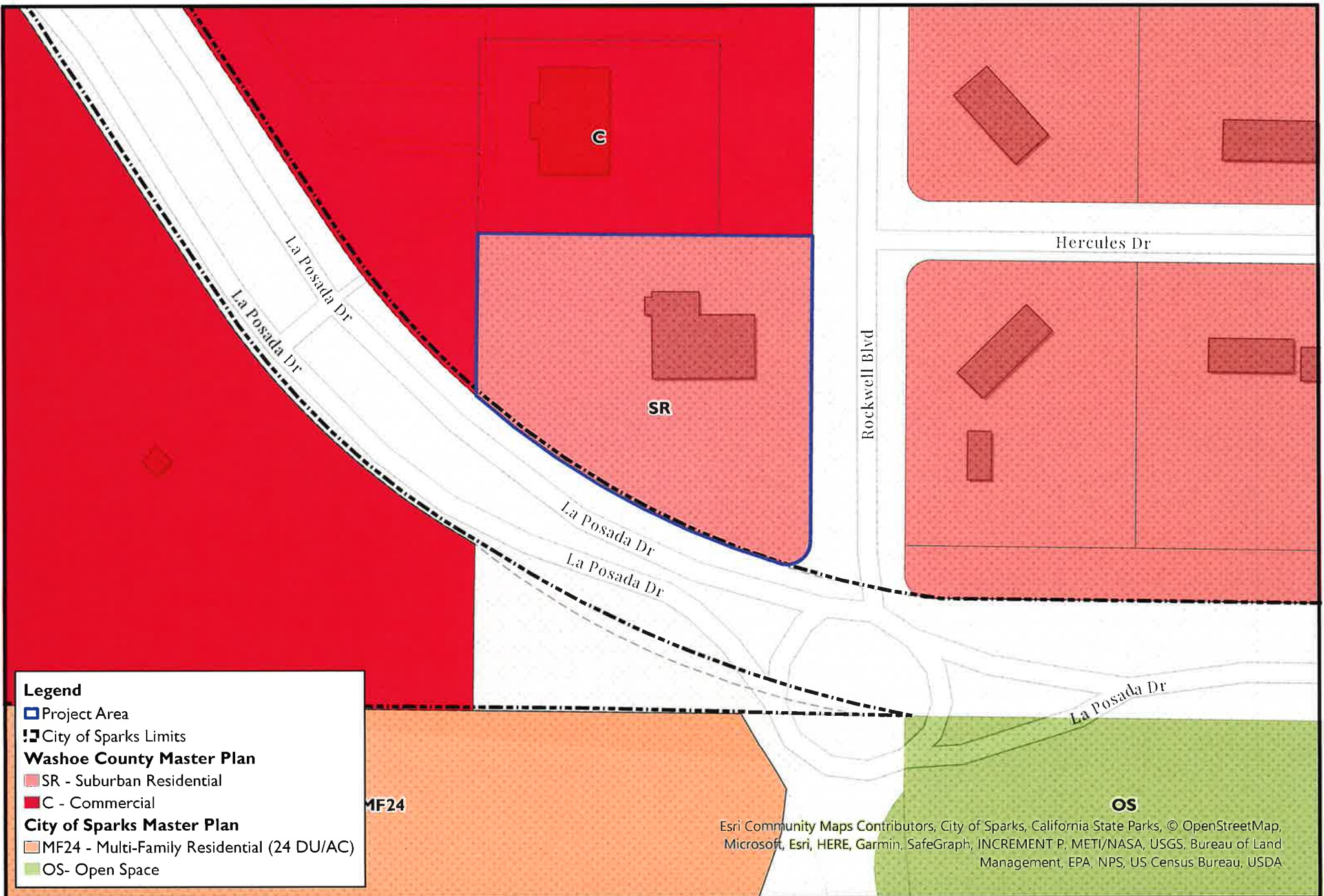
- LDS - Low Density Suburban
- GC - General Commercial
- NC - Neighborhood Commercial
- PSP - Public and Semi-Public Facilities

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Zoning
TMFPD Station 46 SUP
 February 2022

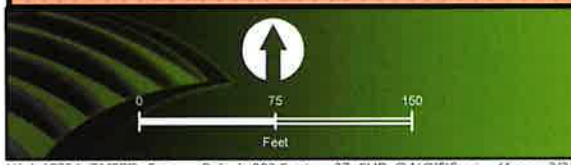
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Legend

- Project Area
- City of Sparks Limits
- Washoe County Master Plan**
- SR - Suburban Residential
- C - Commercial
- City of Sparks Master Plan**
- MF24 - Multi-Family Residential (24 DU/AC)
- OS- Open Space

Esri Community Maps Contributors, City of Sparks, California State Parks, © OpenStreetMap, Microsoft, Esri, HERE, Garmin, SafeGraph, INCREMENT P, METI/NASA, USGS, Bureau of Land Management, EPA, NPS, US Census Bureau, USDA



Master Plan
TMFPD Station 46 SUP
 February 2022

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 BUILDING RELATIONSHIPS ONE PROJECT AT A TIME
 1361 Corporate Boulevard
 Reno, NV 89502
 Tel: 775.823.4068
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HERCULES DR

Building Addition

ROCKWELL BLVD

LA POSADA DR

- Legend**
-  Project Area
 -  Existing Landscaping
 -  New Landscaping
 -  City of Sparks Limits



Landscaping Exhibit

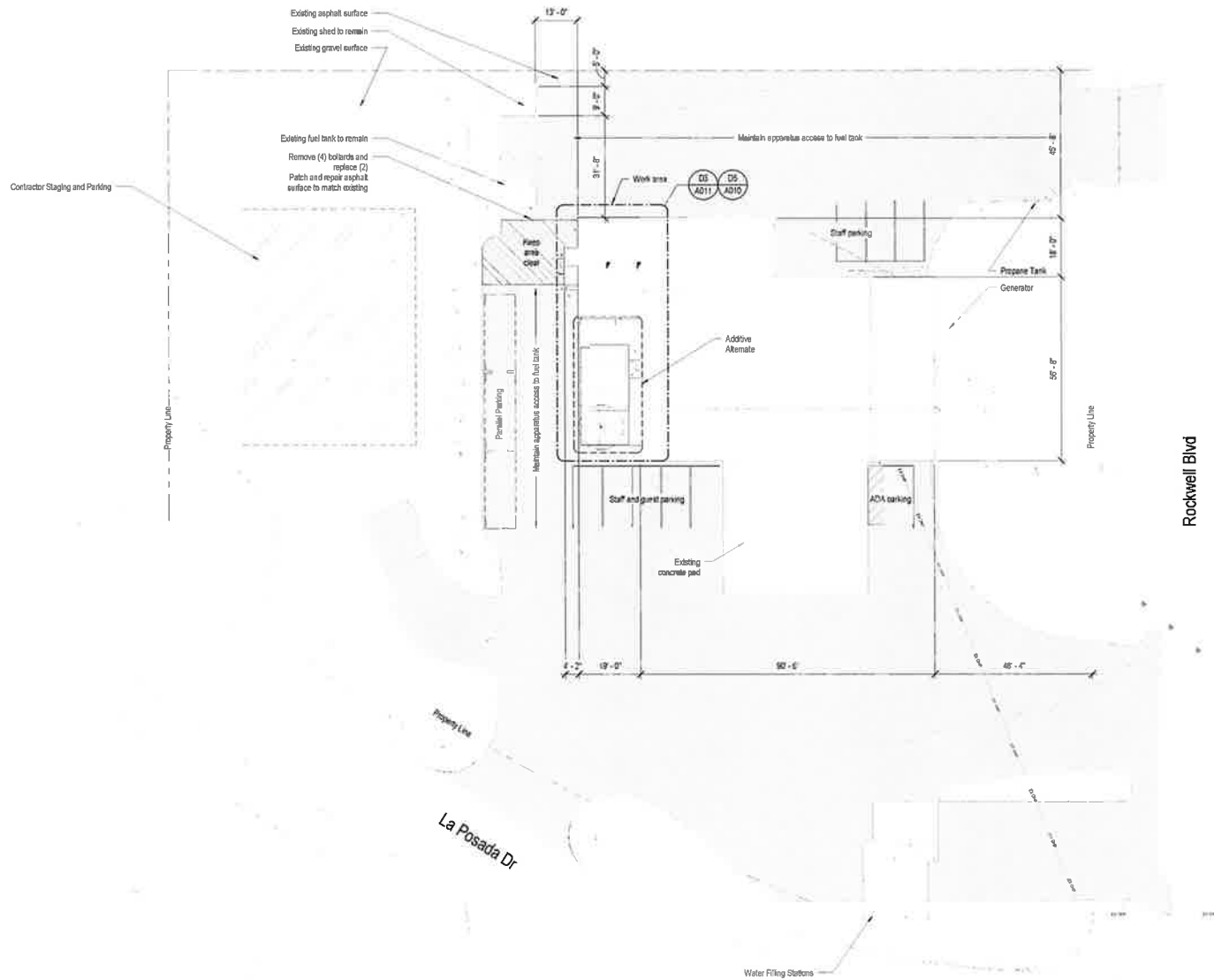
TMFPD Station 46 SUP

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 1361 Corporate Boulevard Tel: 775.823.4068
 Reno, NV 89502 Fax: 775.823.4068



Site Plan Notes

1. Coordinate construction operations, schedule and sequencing with Washoe County Project Manager and Truckee Meadows Fire Protection Department staff.
2. Refer to the Project Manual for additional information and requirements.
3. Refer to Mechanical Drawings and Specifications for additional information, requirements, and improvements.
4. Refer to Plumbing Drawings and Specifications for additional information, requirements, and improvements.
5. Refer to Electrical Drawings and Specifications for additional information, requirements, and improvements.
6. Refer to Structural Drawings and Specifications for additional information, requirements, and improvements.
7. Contractor is responsible for safety and security of the Contractor parking and staging area. Temporary fencing is recommended for securing construction materials, vehicles, equipment, etc. at the staging area.
8. The Contractor parking and staging area must maintain a clear path for emergency vehicles to circulate around the building at all times.
9. At the conclusion of the project the Contractor shall clean the site area and restore to original appearance, including but not limited to replacement of the existing AC paving if damaged beyond original condition.

Asphalt Replacement Notes:

1. Saw asphalt for clean edges. Demo and remove cut and damaged asphalt.
2. Re-compact existing base material to 95% relative compaction.
3. Type II AB shall be used should import be required. 6" min. In areas where needed.
4. Raise the base layer to meet the thickness guidelines of the pavement.
5. Apply a tack coat of SS1-H oil to edges of existing AC pavement.
6. Place a new 3" minimum compacted lift of Type 3 PG64-22 hot mix asphalt, or thickness to match existing, 4" preferred where possible.
7. Crack seal the edges where the new/existing interface is using a hot applied rubberized crack sealer.

Paul Cavin Architect LLC

1575 Delucchi Lane, Suite 120
Reno, Nevada 89502

office: (775) 284-7083
mobile: (775) 842-0261

www.paulcavin.design.com
paul@paulcavin.design

professional seal



consultant

project
Addition to Truckee Meadows Fire Protection District (TMFPD) Station 46

Truckee Meadows Fire Protection District
 500 Rockwell Blvd
 Spanish Springs, NV 89441

revisions

No.	Description	Date

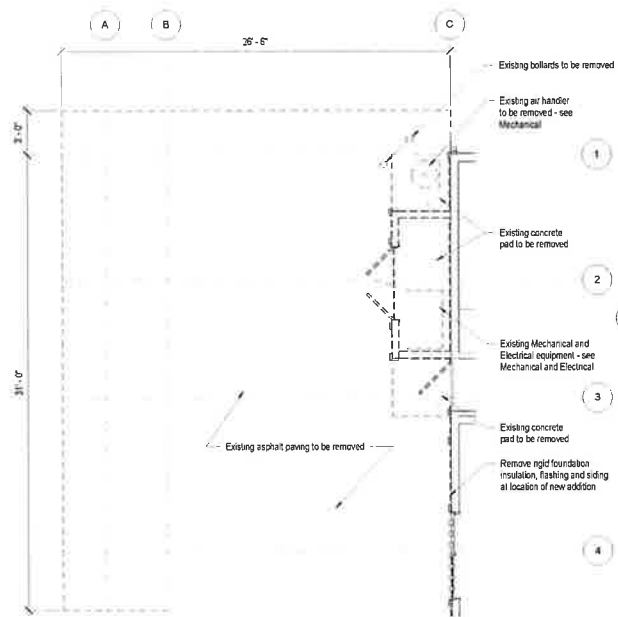
drawn by AF
 reviewed by PAC
 date January 27, 2022
 project number 21045
 drawing name

Architectural Site Plan

sheet number

A001





(A4) Existing West Elevation Photo

Existing shed to be removed
 Existing door to be removed
 Existing siding to be removed - see Demolition Elevation below
 Existing window to be removed
 Existing bollards to be removed
 Existing air handler to be removed - see Mechanical
 Existing Mechanical and Electrical equipment - see Mechanical and Electrical
 Existing concrete pads to be removed



(A2) Existing West Elevation Photo
1 1/2" = 1'-0"



(B4) Existing West Elevation Photo
1 1/2" = 1'-0"

Existing construction to remain - protect and restore as necessary
 Existing concrete pad to be removed



(B2) Existing West Elevation Photo
1 1/2" = 1'-0"

Demolition Notes

- For purposes of Architectural work, all items not shown to be removed or altered on this sheet shall remain in its existing condition. Notify the Architect of any components which vary from those shown on the drawings.
- The Contractor is to protect adjacent surfaces from damage. The Contractor is to repair or replace all finishes that are damaged or removed due to the installation or removal of any materials, fixtures, accessories or construction noted on these drawings. Repaired or replaced finishes shall match adjacent finishes.
- The Contractor will be responsible for setting the exact limits of demolition required in order to perform the work.
- Dimensions are from face of finish, unless noted otherwise.
- Remove accessories, board nails, panels, signs etc. on interior and exterior walls to facilitate complete patching and painting of walls.

Demolition Legend

- Wall, material or component to be removed
- Existing wall or material to remain
- - - Existing asphalt, concrete, bollards and site to be removed for new construction
- - - Existing wall to be removed
- - - Remove existing exterior finish

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project
Addition to Truckee Meadows Fire Protection District (TMFPD) Station 46
 Truckee Meadows Fire Protection District
 500 Rockwell Blvd
 Spanish Springs, NV 89441

revisions

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 drawing name:

Demolition Floor Plan and Elevation

sheet number:

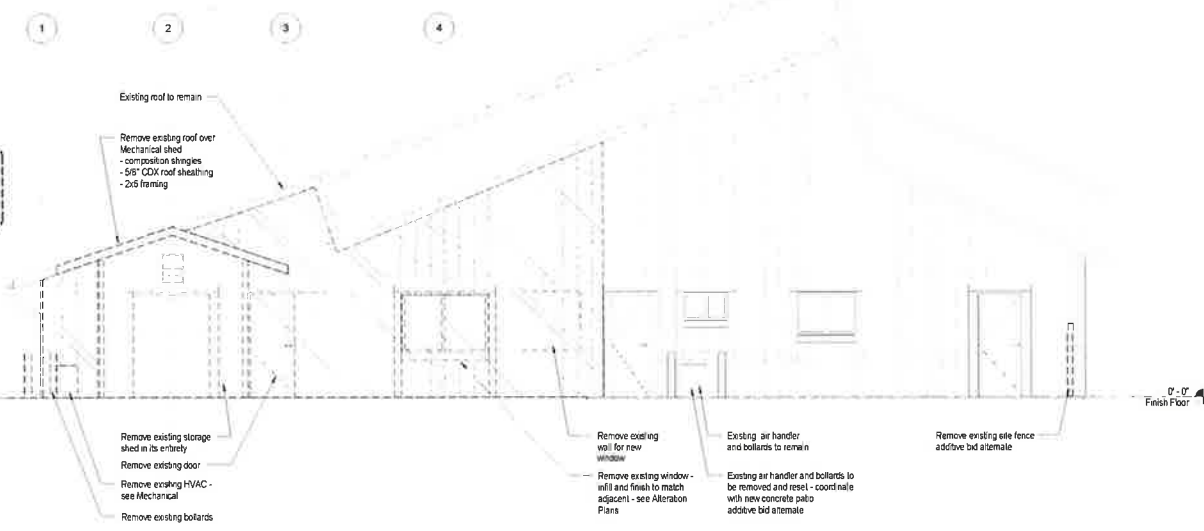
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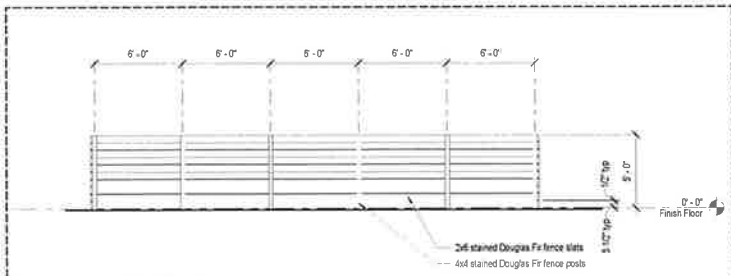


(D5) Demolition Floor Plan
1/4" = 1'-0"

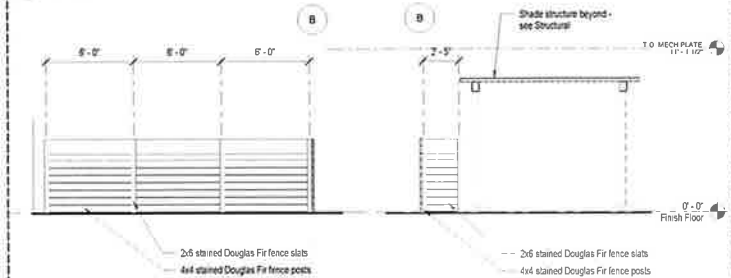


(D3) West Elevation - Demolition
1/4" = 1'-0"



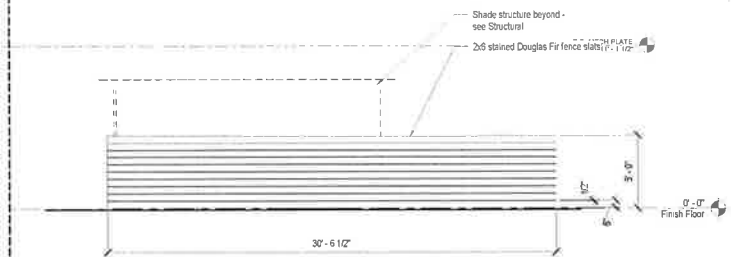


A5 Fence - Inside West Elevation
1/4" = 1'-0"

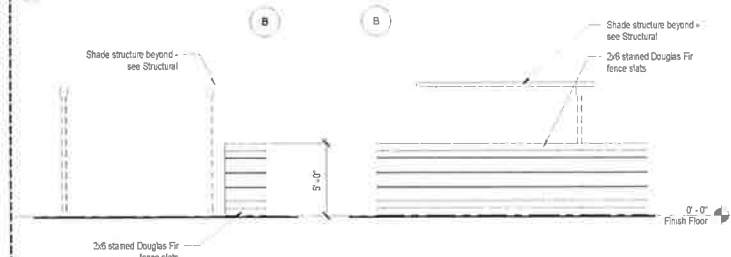


B5 Fence - Inside South Elevation
1/4" = 1'-0"

B4 Fence - Inside North Elevation
1/4" = 1'-0"

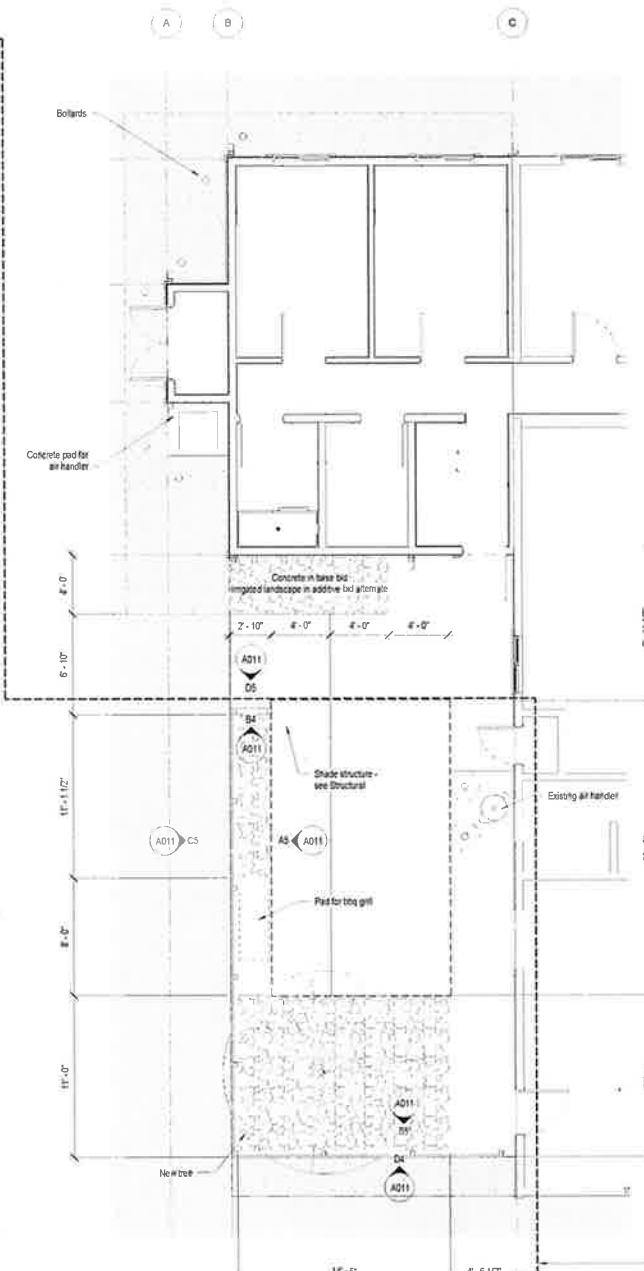


C5 Fence - West Elevation
1/4" = 1'-0"



D5 Fence - North Elevation
1/4" = 1'-0"

D4 Fence - South Elevation
1/4" = 1'-0"



D3 Enlarged Alteration Architectural Site Plan
1/4" = 1'-0"

Site Plan Notes

1. Coordinate construction operations, schedule and sequencing with Washoe County Project Manager and Truckee Meadows Fire Protection Department staff
2. Refer to the Project Manual for additional information and requirements
3. Refer to Mechanical Drawings and Specifications for additional information, requirements, and improvements
4. Refer to Plumbing Drawings and Specifications for additional information, requirements, and improvements
5. Refer to Electrical Drawings and Specifications for additional information, requirements, and improvements
6. Refer to Structural Drawings and Specifications for additional information, requirements, and improvements
7. Contractor is responsible for safety and security of the Contractor parking and staging area. Temporary fencing is recommended for securing construction materials, vehicles, equipment, etc. at the staging area
8. The Contractor parking and staging area must maintain a clear path for emergency vehicles to circulate around the building at all times
9. At the conclusion of the project the Contractor shall clean the site area and restore to original appearance, including but not limited to replacement of the existing AC paving if damaged beyond original condition

Asphalt Replacement Notes:

1. Saw asphalt for clean edges. Demo and remove cut and damaged asphalt.
2. Re-compact existing base material to 95% relative compaction.
3. Type II AB shall be used should import be required. 5' min. in areas where needed.
4. Raise the base layer to meet the thickness guidelines of the pavement.
5. Apply a tack coat of SSI-H oil to edges of existing AC pavement.
6. Place a new 3" minimum compacted lift of Type 3 PG64-22 hot mix asphalt, or thickness to match existing, 4" preferred where possible.
7. Crack seal the edges where the new/existing interface is using a hot applied rubberized crack sealer.

Enlarged Site Plan Legend

- Replace Asphalt: Paving Around New Addition - To Match Existing
- New concrete deck with expansion joints - broom finish
- New landscape - connect to existing irrigation system

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professional seal



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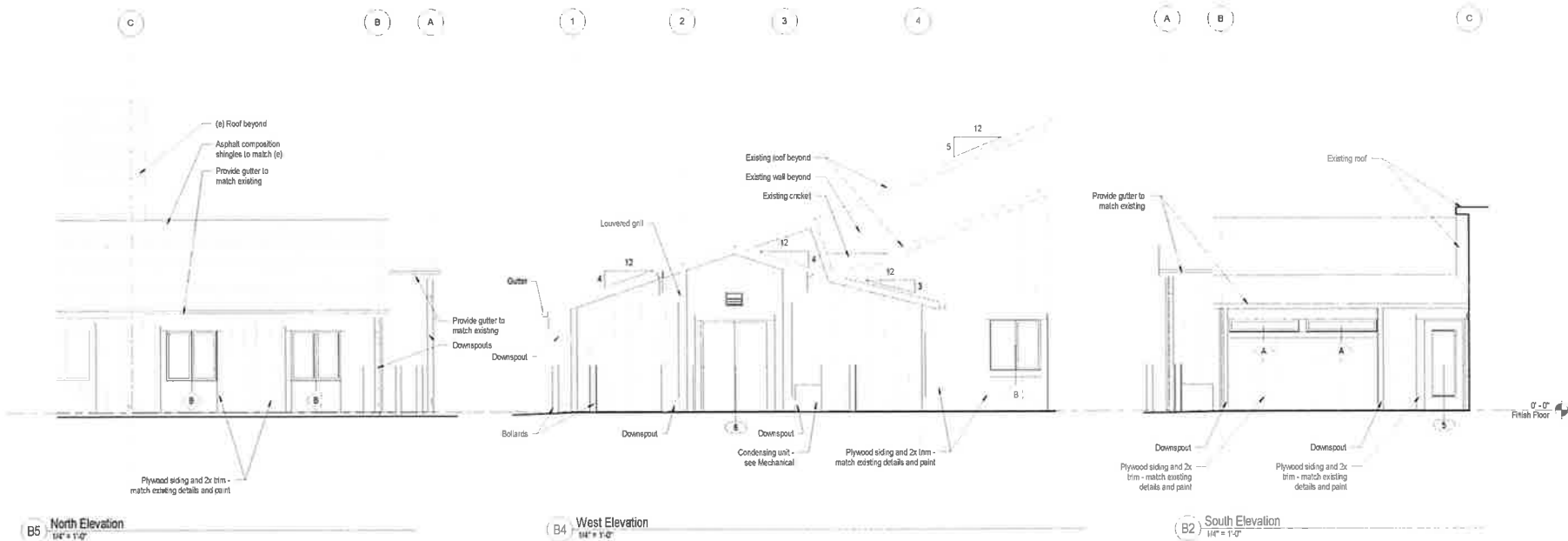
No.	Description	Date

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reviewed by: PAC
date: January 27, 2022
project number: 21045
drawing name:

Enlarged Site Plan
Additive Bid
Alternate

sheet number

A011



B5 North Elevation
1/4" = 1'-0"

B4 West Elevation
1/4" = 1'-0"

B2 South Elevation
1/4" = 1'-0"

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Exterior Elevations

sheet number
A301

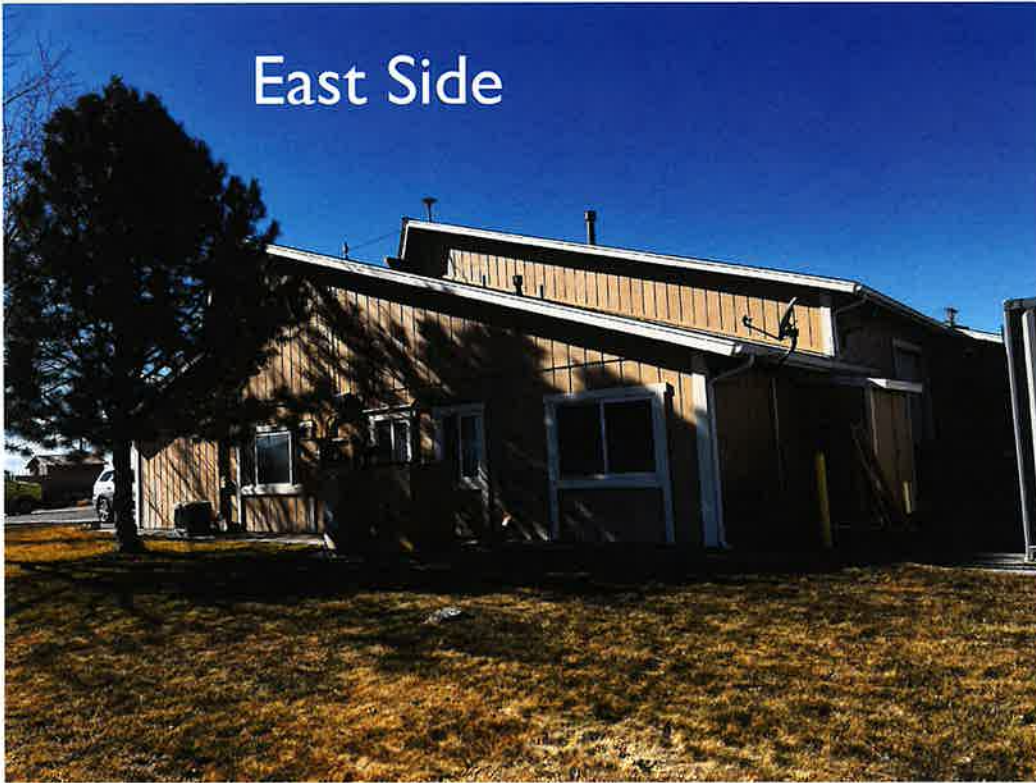
Front



Rear



East Side



West Side

