

Sanctuary of God Church

Washoe County - Special Use Permit

Submittal Date: July 8, 2025





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Sanctuary of God Church SUP

Section 1 - Application Material

- Washoe County Development Application



Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: Sanctuary of God Church			
Project Description: To initiate the Special Use Permit process for the establishment of a place of worship within the Low Density Suburban (LDS) zoning district, as required by Washoe County Development Code. The proposed development consists of a ±15,000 square-foot building on a ±5-acre site, including associated parking, access, and utility infrastructure.			
Project Address: 3485 Rolling Ridge Rd			
Project Area (acres or square feet): 5.003 acres total site-			
Project Location (with point of reference to major cross streets AND area locator):			
The project is located at the terminus of Rolling Ridge Rd. This is approximately 1,354 feet east of the intersection of Rolling Ridge Rd and Spearhead Way.			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
082-512-32	5.003		
Indicate any previous Washoe County approvals associated with this application: Case No.(s). N/A			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: Lopez, Abner et al		Name: Aryte Group LLC	
Address: 882 Trebol Ct.		Address: 321 East 5th Street	
Sparks, NV	Zip: 89436	Reno, NV	Zip: 89501
Phone: 775-722-7776	Fax:	Phone: 801-413-8535	Fax:
Email:		Email: boswald@arytegroup.com	
Cell:	Other:	Cell: 801-413-8535	Other:
Contact Person:		Contact Person: Brooklyn Oswald	
Applicant/Developer:		Other Persons to be Contacted:	
Name: Sierra Builders of Nevada		Name:	
Address: 8755 Technology Way, Suite I		Address:	
Reno, NV	Zip: 89521		Zip:
Phone: 775-848-1734	Fax:	Phone:	Fax:
Email: bob@sierrabuilders.biz		Email:	
Cell:	Other:	Cell:	Other:
Contact Person: Bob Cotter		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

**Special Use Permit Application
for Grading
Supplemental Information**
(All required information may be separately attached)

1. What is the purpose of the grading?

In association with the site improvements for a new Church

2. How many cubic yards of material are you proposing to excavate on site?

18,000

3. How many square feet of surface of the property are you disturbing?

158,500 of which all is paving, concrete, building, landscaping or rock stabilized.

4. How many cubic yards of material are you exporting or importing? If none, how are you managing to balance the work on-site?

None, the site has been designed to balance

5. Is it possible to develop your property without surpassing the grading thresholds requiring a Special Use Permit? (Explain fully your answer.)

No. Although the slopes on this site are less than 30% we would cross one threshold or another. ie: if the max fill height was under the threshold the export would exceed the threshold

6. Has any portion of the grading shown on the plan been done previously? (If yes, explain the circumstances, the year the work was done, and who completed the work.)

No

7. Have you shown all areas on your site plan that are proposed to be disturbed by grading? (If no, explain your answer.)

Yes

8. Can the disturbed area be seen from off-site? If yes, from which directions and which properties or roadways?

Yes, from all directions the site is visible and therefore any grading or site improvements could be seen. The disturbed areas will be developed and screened with landscaping.

9. Could neighboring properties also be served by the proposed access/grading requested (i.e. if you are creating a driveway, would it be used for access to additional neighboring properties)?

No, this is the last property in the area. The surrounding properties are already developed.

10. What is the slope (horizontal/vertical) of the cut and fill areas proposed to be? What methods will be used to prevent erosion until the revegetation is established?

The maximum slope onsite is a 2:1 and is limited to where necessary. These slopes are to be rip rapped or otherwise stabilized as recommended by geotech during final design.

11. Are you planning any berms?

Yes	NoX	If yes, how tall is the berm at its highest?
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12. If your property slopes and you are leveling a pad for a building, are retaining walls going to be required? If so, how high will the walls be and what is their construction (i.e. rockery, concrete, timber, manufactured block)?

No walls are proposed.

13. What are you proposing for visual mitigation of the work?

Landscaping and/or rock stabilization is proposed for all disturbed areas along with landscape screening around the site.

14. Will the grading proposed require removal of any trees? If so, what species, how many and of what size?

No, there are no trees onsite.

15. What type of revegetation seed mix are you planning to use and how many pounds per acre do you intend to broadcast? Will you use mulch and, if so, what type?

Generic Upland Seed Mix, Hand broadcast 30.4 pls lbs/acre without mulch

16. How are you providing temporary irrigation to the disturbed area?

No temporary irrigation, permanent irrigation is proposed

17. Have you reviewed the revegetation plan with the Washoe Storey Conservation District? If yes, have you incorporated their suggestions?

No, but we have incorporated standard practices.

18. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit the requested grading?

Yes

NoX

If yes, please attach a copy.

Sanctuary of God Church SUP

Section 2 - Project Narrative and Justification

- Project Narrative and Overview
- Site Location and Photos
- Project Request
- Site Plan and Development Limits
- Supplemental Information Overview
- Findings and Justification
- Traffic Analysis



Project Narrative and Overview

The proposed project is the development of a place of worship on an approximately 5-acre vacant parcel located at 3485 Rolling Ridge Road in unincorporated Washoe County, Nevada. The property is zoned Low Density Suburban (LDS) and is located directly adjacent to the City of Reno boundary to the south.

The surrounding area is primarily composed of single-family residential homes situated on large lots, consistent with the LDS zoning district. The proposed use—a quasi-public facility (church)—is allowed in the LDS zone with the approval of a Special Use Permit (SUP). The development has been designed with sensitivity to neighborhood character, minimizing potential impacts through thoughtful site layout, landscaping, and buffering.

The parcel features ascending topography from west to east, creating a natural elevation change across the site. This characteristic has been used to inform the tiered site design, which reduces the visual and physical impact of grading. The parcel is currently undeveloped, offering a clean slate for integrated design that respects the site's physical constraints and surrounding context.

Proposed Use: The project consists of a ±15,000 square foot single-story church, including approximately 9,000 square feet of worship/assembly space (sanctuary, stage, and circulation) and 6,000 square feet of support areas, such as classrooms, offices, restrooms, and foyer. The building height will remain under 23 feet. Exterior materials—cultured stone and painted metal siding with a dark metal roof—have been selected to complement the residential neighborhood and provide a subdued, attractive presence.

Vehicular access will be taken from Rolling Ridge Road, with internal drive aisles and parking designed to follow the natural slope of the land. The site includes 154 parking spaces, including ADA-accessible spaces and a fire apparatus turnaround. Parking is tiered to reduce visual and grading impacts. No shared access or cut-through traffic is proposed.

The project provides a low-intensity, community-serving use in a location well-suited to accommodate it due to its size, topography, and separation from adjacent homes. All components of the design—including architecture, civil engineering, landscaping, and lighting—have been developed in compliance with Washoe County Code. The proposal ensures compatibility with surrounding residential uses and enhances community benefit while minimizing potential impacts.



Site Location and Photos



General Location and Surrounding Context



View From Terminus of Rolling Ridge Road



View Looking North



Project Request

This application requests approval of a Special Use Permit (SUP) for the development of a place of worship on an approximately 5-acre parcel located at 3485 Rolling Ridge Road in unincorporated Washoe County, within the Low Density Suburban (LDS) zoning district.

A place of worship is classified as a quasi-public use, which is permitted in the LDS zone subject to the approval of a Special Use Permit per Washoe County Development Code Section 110.302.05.1. The proposed project includes a ±15,000 square foot single-story church with associated parking, landscaping, and site improvements. The design has been carefully planned to ensure compatibility with surrounding residential uses and to minimize potential impacts through appropriate buffering, lighting, and circulation design.

Additionally, the proposed grading activity associated with site development exceeds the thresholds established in Washoe County Code Section 110.438.35, thereby triggering the need for a grading-related Special Use Permit. Site grading will involve approximately 18,000 cubic yards of earth movement, with no import or export required. The site has been designed to balance grading on-site and preserve existing topography where feasible, with tiered parking, ADA access, and a detention basin integrated into the layout.

Therefore, this application seeks Special Use Permit approval to:

1. Establish a place of worship as a quasi-public use in the LDS zoning district.
2. Allow grading that exceeds the allowable volume and/or area thresholds requiring an SUP.

All proposed development will comply with applicable sections of the Washoe County Development Code, including but not limited to Chapters 110.302 (Allowed Uses), 110.438 (Grading), and 110.412 (Landscaping). Supporting narratives, civil and architectural plans, and technical documentation are included to demonstrate compliance and mitigation of potential impacts.



Site Plan and Development Limits



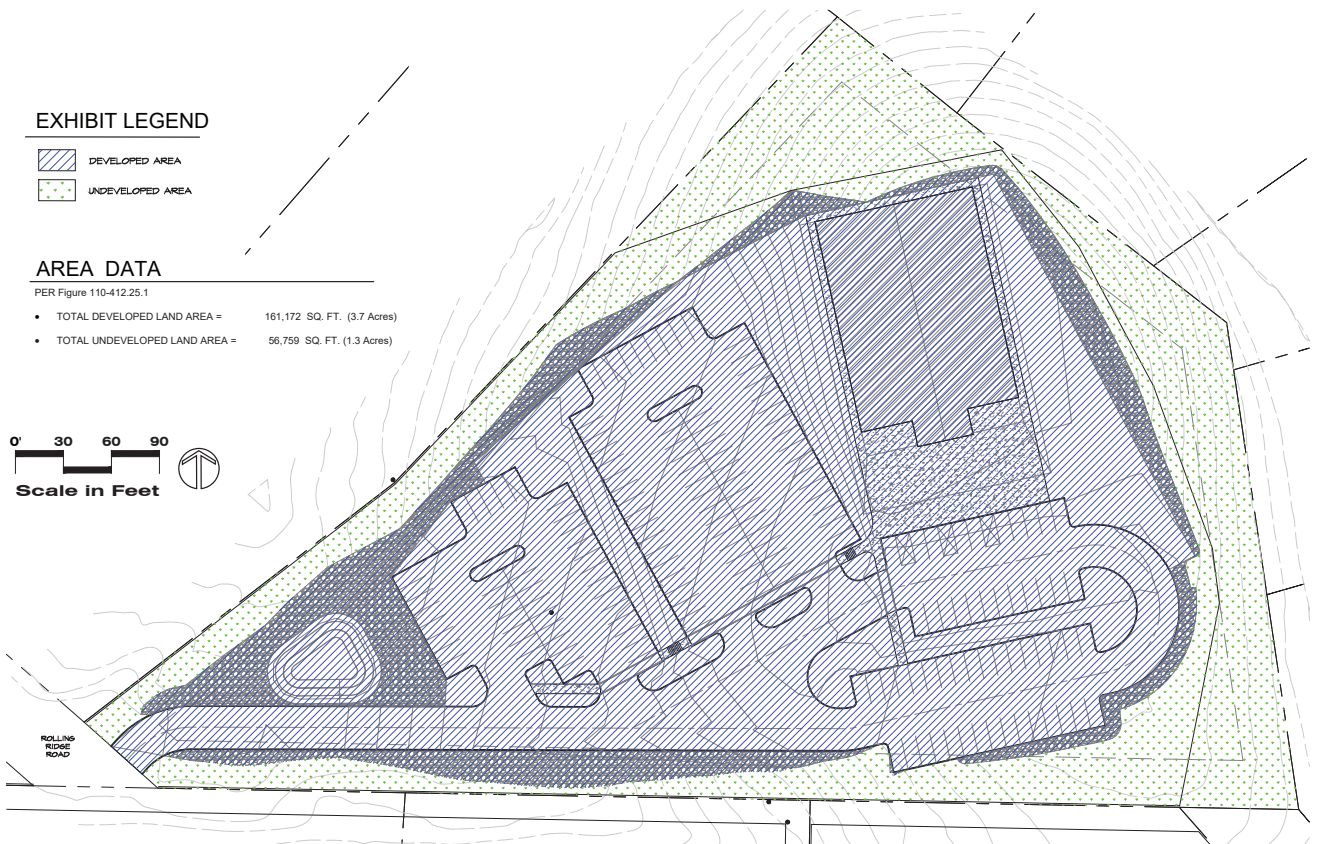
EXHIBIT LEGEND



AREA DATA

PER Figure 110-412.25.1

- TOTAL DEVELOPED LAND AREA = 161,172 SQ. FT. (3.7 Acres)
- TOTAL UNDEVELOPED LAND AREA = 56,759 SQ. FT. (1.3 Acres)





Supplemental Information Overview

This narrative addresses the supplemental information and additional requirements found in the Washoe County Special Use Permit application guidelines (Community Services Department, Planning & Building), including the Supporting Information section (pages 7–9), for both the general SUP and grading SUP. The proposed church and grading plans meet all the supplemental information requirements and additional criteria for a Special Use Permit under Washoe County Code. Supporting documents—including architectural drawings, grading plans, landscaping plans, and technical memos—have been prepared to demonstrate compliance, minimize off-site impacts, and ensure compatibility with the surrounding neighborhood.

SUPPLEMENTAL INFORMATION REQUIREMENTS – GENERAL SPECIAL USE PERMIT

1. Description of the Proposed Use: The project is for a quasi-public use (place of worship) including a church building with sanctuary, offices, classrooms, support spaces, parking, stormwater management, and landscape improvements.
2. Location and Size of the Property: The parcel is ±5 acres, located at 3485 Rolling Ridge Road, in the LDS zone of unincorporated Washoe County, adjacent to the City of Reno to the south.
3. Current Zoning and Surrounding Uses: Zoned LDS, the property is surrounded by single-family residential uses on large lots. The church use is a conditionally allowed quasi-public use under LDS zoning and is designed to be compatible with its residential surroundings.
4. Physical Characteristics of the Site: The site is vacant with gradual slope rising west to east. The design utilizes the natural topography to tier parking and minimize grading, with much of the site left undisturbed or revegetated with native seed mix.
5. Hours and Days of Operation: The facility will primarily operate on Sundays, with occasional weekday evening activities such as classes or meetings. There will be no overnight use or intensive daily activity.
6. Expected Number of Employees and Attendees: Services will accommodate up to 400 people, with approximately 3–5 weekday staff. The building design includes seating, support space, and circulation areas consistent with this level of use.
7. Traffic, Access, and Parking:
Access is from Rolling Ridge Road. The proposed 154 parking spaces meet Washoe County requirements based on assembly occupancy and support uses. A traffic analysis exemption is justified (see separate trip generation memo), as peak-hour weekday trips are below 80. Circulation is designed for emergency vehicle turnaround, ADA accessibility, and safe internal movement.
8. Lighting: Lighting is designed for safety and security, with cut-off LED fixtures mounted at heights compliant with LDS standards (max 20 ft). Fixtures are shielded and downcast, and lighting will be on timers to reduce nighttime impact. There will be no light spillover onto adjacent residential properties.



Supplemental Information Overview

9. Signage: A monument sign will be located at the site entrance, compliant with Washoe County standards for quasi-public uses in residential areas. Additional directional and informational signage will be located throughout the site for wayfinding and safety. A modest building-mounted identification sign will be provided. All signage is designed to be non-intrusive and in harmony with the neighborhood.

10. Landscaping and Screening: Landscaping meets WCC Chapter 110, Article 412, using drought-tolerant, regionally appropriate species with automatic irrigation. A landscape buffer including evergreen trees every 20 linear feet is provided adjacent to residential properties. Areas outside development footprints will retain undisturbed upland vegetation, and all disturbed slopes will be revegetated with the Upland Seed Mix as referenced in the Truckee Meadows BMP Handbook (2015).

SUPPLEMENTAL INFORMATION REQUIREMENTS – SPECIAL USE PERMIT FOR GRADING

1. Cubic Yards of Material to Be Excavated: The site will require approximately 18,000 cubic yards of grading, exceeding the thresholds for requiring a grading SUP.
2. Surface Area to Be Disturbed: Roughly 80,000 square feet of the property will be disturbed for building, parking, and drainage improvements.
3. Import/Export of Material: No import/export is proposed. Grading will be balanced on-site.
4. Grading Thresholds Cannot Be Avoided: Due to the slope of the site and required cuts/fills for ADA access and fire access, the grading thresholds cannot be avoided.
5. Previous Grading: No prior grading has been performed on this parcel.
6. Visibility from Off-Site: Yes, the site is visible from surrounding parcels and Rolling Ridge Road. Impacts will be mitigated with screening landscaping, natural transitions, and non-intrusive lighting and architecture.
7. Slope and Erosion Control: Maximum slopes are 2:1, stabilized with riprap per the geotechnical engineer's recommendations. Erosion control will follow County BMPs.
8. Retaining Walls: No retaining walls are proposed.
9. Visual Mitigation: Landscaping and revegetation of disturbed areas will provide visual mitigation. Building design and lighting also reduce visual intrusion.
10. Tree Removal: No trees are present on site; no tree removal is needed.
11. Revegetation: Disturbed areas will be hand-broadcasted with 30.4 PLS lbs/acre of Upland Seed Mix, with permanent irrigation provided for plant establishment. No mulch is proposed.
12. Conservation District Review: Not yet reviewed by Washoe-Storey Conservation District; however, standard revegetation practices per the BMP Handbook are included.
13. Restrictive Covenants: There are no known CC&Rs or deed restrictions that would restrict the proposed grading.
14. Shared Access: Access and grading are self-contained. There is no shared or future access required for neighboring parcels. A utility access easement will be required.



Findings and Justification

Required Findings per Washoe County Development Code Section 110.810.30

Plan Consistency: Explain how the project is consistent with the policies and action programs of the Master Plan and the applicable Area Plan.

Response: The project is consistent with the Washoe County Master Plan and the applicable Area Plan policies that support community-serving facilities, such as places of worship, within residential areas where appropriate infrastructure and buffering are provided. The LDS (Low Density Suburban) zoning allows quasi-public uses—including religious institutions—subject to Special Use Permit approval. The site is located within an area designated for low-intensity uses, and the proposed church aligns with the County's vision of providing neighborhood-scaled, service-oriented uses that enhance community well-being.

Land Use Compatibility: Explain how the proposed use is compatible with existing and allowed uses in the surrounding area and will not adversely impact nearby properties.

Response: The surrounding area consists primarily of single-family residential homes on large lots, consistent with LDS zoning. The proposed place of worship is a low-impact, quasi-public use that is compatible with the residential character of the area. The project has been designed with substantial setbacks, landscape buffers, and architectural treatments to minimize visual, traffic, and noise impacts. Lighting is shielded and downcast, and outdoor activity areas are internal to the site. No adverse impacts to nearby properties are anticipated.

Site Suitability: Explain how the site is physically suitable for the type, intensity, and scale of the development.

Response: The parcel is approximately 5 acres in size and features ascending topography from west to east. The size and shape of the parcel provide adequate space for a modest-sized building ($\pm 15,000$ sq ft), circulation, tiered parking, landscape screening, and stormwater management. The site design respects existing grades, minimizes earthwork, and avoids overdevelopment. No critical slopes or natural habitat areas are impacted. The project fits comfortably within the site and surrounding context.

Non-Detriment: Explain how the project will not be detrimental to public health, safety, or welfare.

Response: The project has been designed to comply with all applicable Washoe County codes and standards for fire access, drainage, lighting, and traffic. Civil design includes an on-site detention basin, compliant ADA access, and a turnaround for emergency vehicles. Lighting will meet County code and will not result in light spillover. Grading is balanced on site and mitigated through best management practices. As such, the project will not pose any threat to public health, safety, or welfare.



Findings and Justification

Adequacy of Public Services: Explain how the project will not place an excessive burden on existing public services and infrastructure.

Response: The project will utilize existing public infrastructure, including sewer (Washoe County), electricity (NV Energy), and telephone/data services. Water service will be provided by Truckee Meadows Water Authority (TMWA) following annexation, and the applicant will acquire necessary water rights. Fire protection will be provided by the nearest Washoe County Fire Station. The church's intermittent use (primarily Sundays and limited weekday activities) will not place a sustained burden on public services or infrastructure.

Natural Resource Conservation: Explain how the project demonstrates appropriate conservation of energy and natural resources.

Response: The development minimizes grading through a balanced earthwork design and follows existing topography. Drought-tolerant landscaping and native revegetation will be installed consistent with Washoe County standards. Irrigation will be efficient and limited to new planting zones. The building will use LED lighting and energy-efficient systems. No protected natural resources will be impacted, and stormwater will be managed on-site.

Use of Existing Transportation Facilities and Improvements: Explain how the project will make adequate use of existing infrastructure and not require the construction of new roads or facilities beyond what is approved in the Master Plan.

Response: The project will take direct access from Rolling Ridge Road, an existing public street. No new public roads or off-site improvements are required. The anticipated traffic volume does not exceed thresholds for requiring a traffic impact analysis, and internal circulation has been designed in accordance with Washoe County standards. The site's layout and orientation allow for safe and efficient access without burdening surrounding transportation infrastructure.



Traffic Analysis

This summary evaluates anticipated traffic impacts associated with a proposed place of worship located at 3485 Rolling Ridge Road. The project consists of a ±15,000 square foot building including approximately 9,000 square feet of A-3 assembly area (worship hall, stage, seating) and 6,000 square feet of B-occupancy support space (offices, classrooms, restrooms, foyer). The proposed development is subject to Washoe County's SUP requirements. Per Washoe County Code: Traffic impact reports are required whenever the proposed development project will generate 80 or more weekday peak hour trips as determined using the latest edition of the Institute of Transportation Engineers (ITE) Trip Generation Manual.

Trip Generation Analysis:

Trip generation estimates are based on the ITE Trip Generation Manual, 11th Edition, Land Use Code 560 – Church. These trip volumes are significantly below the 80-trip threshold and therefore exempt from further Traffic Impact Report requirements under Washoe County Code.

Time Period	ITE Rate (per 1,000 SF)	Project Size (SF)	Estimated Trips
Weekday PM Peak	0.49 trips	15,000 SF	7.4 trips
Saturday Peak	0.68 trips	15,000 SF	10.2 trips
Sunday Peak	~0.75 trips (est.)	15,000 SF	11.25 trips

Multi-Passenger Mitigation Measures:

Places of worship trips often involve more than one passenger. In addition, programming is structured to avoid traffic surges:

- Primary services occur on weekends, with limited weekday use.
- Office and classroom uses generate minimal traffic, typically outside of standard commuter peak periods.
- Parking is tiered and internal circulation has been designed to ensure safe, efficient vehicle flow.

The proposed place of worship will generate well under 80 peak hour trips, as confirmed by ITE trip rates and site-specific programming. Shared transportation, minimal weekday demand, and staggered activity periods ensure the project will not have significant off-site traffic impacts.

No formal Traffic Impact Report is required for this application.

Sanctuary of God Church SUP

Section 3 - Development Plans

- Development Plan Summary
- Civil Engineering Narrative and Plans
- Architectural Narrative and Plans
- Landscape Narrative and Plan
- Lighting Narrative and Plan



Development Plan Summary

The design thoughtfully integrates architecture, civil engineering, landscape, and lighting to ensure compatibility with surrounding residential uses and minimize adverse impacts.

The proposed building is a single-story structure under 23 feet in height, approximately 15,000 square feet in size. It includes 9,000 square feet of A-3 assembly space for worship, seating, and stage use, and 6,000 square feet of B-occupancy support areas including offices, classrooms, foyer, and restrooms. The exterior features a natural-tone cultured stone wainscot with painted metal siding above and a darker standing seam metal roof. Storefront glazing on the south elevation defines the main entry, while other elevations include office window openings and contextual glazing to soften the structure within the neighborhood.

The site grading has been carefully designed to balance on-site with no import or export, totaling approximately 18,000 cubic yards of earthwork. Parking is tiered to reduce bulk and cut/fill impacts. A detention basin is located at the low point to manage stormwater runoff. Graded slopes will be stabilized with riprap or landscaping per geotechnical recommendations. No trees will be removed, and the site will be revegetated using a native upland seed mix with permanent irrigation.

Landscaping follows Washoe County Code Article 412 and includes drought-tolerant species and perimeter screening. A 6-7 ft tall solid vinyl earth-tone fence and evergreen trees every 20 linear feet buffer the site from adjacent residential uses.

Lighting complies with Washoe County standards using full cutoff LED fixtures at code-allowed pole heights. Lighting is concentrated near drive aisles and parking areas, avoiding spillover. Timers ensure lights operate only during active use hours, enhancing safety while minimizing impacts.

This project meets the intent of the LDS zoning and Development Code, ensuring a respectful, well-buffered, and high-quality quasi-public use within a residential context.



Civil Engineering Plans

The civil design supports a responsible and respectful integration of a new place of worship into the neighborhood. Through balanced grading, controlled drainage, strategic layout, and naturalistic transitions, the project mitigates impacts on adjacent properties and promotes a compatible, stable, and aesthetically cohesive development in compliance with Washoe County's civil, grading, and drainage requirements. This approach allows the project to meet its functional needs while maintaining a natural, undisturbed edge and reducing visual and physical intrusion on neighboring homes. The subject site has moderate topographic variation, and the grading design has been carefully balanced to:

- Minimize excessive cut and fill, with earthwork limited to ~18,000 cubic yards and no import or export of material, reducing haul traffic and off-site disruption.
- Avoid harsh slope transitions by creating tiered parking areas, integrating the built form into the landscape and reducing the perceived mass from neighboring views.
- Maintain natural buffers and transition zones near the site perimeter, preserving existing vegetation or revegetating with native upland seed mix to soften visual impacts and provide a gradual edge between the development and surrounding properties.
- Retaining walls are not proposed, if determined necessary, will be limited in height and constructed using visually compatible materials to ensure a natural appearance.

Drainage and Stormwater Management

All disturbed slopes will be stabilized with riprap or landscaping and revegetated using a standard upland native seed mix to prevent erosion and blend visually with the surrounding environment. To avoid off-site impacts from increased runoff, a detention basin is located at the site's low point near the main entry, adjacent to the primary drive aisle. This basin will:

- Capture and control peak stormwater flows in accordance with Washoe County and Truckee Meadows BMP standards.
- Be easily accessible for long-term maintenance and functionality.
- Prevent downstream flooding or erosion, protecting neighboring parcels from unintended runoff effects.

Access and Circulation

The site provides controlled, single-entry access off Rolling Ridge Rd, with a secondary connection at Opal Station Drive to distribute vehicle circulation. Additionally, since no off-site grading is required and all construction is internal to the site, adjacent properties will not experience changes in grade or new topographic constraints.

- The drive aisles have been located to the interior of the site, away from residential property lines, minimizing vehicular noise and headlights affecting adjacent homes.
- The site layout ensures that fire access and turnarounds are accommodated without creating additional access roads along residential edges.
- ADA parking and general parking are distributed in tiers to reduce the extent of disturbance and reduce bulk.



Civil Engineering Plans

Utility Design and Coordination

- Water service will be established through annexation into Truckee Meadows Water Authority (TMWA), with new water rights purchased as required, ensuring no disruption to neighboring water systems.
- Sewer service will connect to existing municipal systems per Washoe County standards.
- All utilities are located internally to the site and routed to avoid shared easements or encroachments onto residential properties.

Visual Mitigation and Neighborhood Transition

The proposed improvements are entirely within the property boundaries and are designed exclusively for this development; no shared access or grading with adjacent parcels is proposed.

Given the visibility of the site from all directions, the civil design includes several features to reduce the visual and environmental impact on neighboring residents:

- Landscaped perimeter buffers with native and drought-tolerant plantings.
- No grading in setback areas, preserving undisturbed edge vegetation wherever feasible.
- Full revegetation of disturbed slopes using an approved upland seed mix with permanent irrigation.
- Slopes are treated with landscaping and/or rockery to blend with the natural terrain and reduce visual contrast.
- No berms are proposed that would alter neighborhood viewsheds.

Construction Considerations

No grading has been completed previously, and all disturbed areas are shown on the civil plans. During construction:

- Dust and erosion will be controlled using BMPs.
- Revegetation will be installed immediately after grading.
- The site will be monitored for slope stability and sediment control.



Civil Engineering Plans

This **SUP** for grading is necessary due to site topography and design needs. The grading is limited to the minimum extent necessary, balanced on-site, and mitigated through engineering, landscaping, and visual screening measures. The proposal ensures compatibility with surrounding properties and compliance with Washoe County Code and the goals of the Master Plan. Pursuant to Washoe County Development Code Section 110.438.35 and Article 438 – Grading, a Special Use Permit is required because the proposed grading for this development exceeds the threshold limits set forth for disturbance and volume. Specifically:

- The project proposes approximately 18,000 cubic yards of earth movement, exceeding the 5,000 cubic yard threshold for unincorporated Washoe County residential zones.
- The total disturbed area exceeds one acre, further triggering the SUP requirement.
- The site design requires a combination of cut and fill to accommodate building pads, parking tiers, and drainage features on this sloped site.

Purpose and Intent of Grading

The design avoids grading within setback areas and maintains undisturbed buffers where feasible to preserve compatibility with adjacent residential uses. The grading is necessary to:

- Establish a functional, code-compliant building pad for the proposed church facility.
- Construct tiered parking areas that reduce visual bulk and respect existing grades.
- Facilitate the construction of a detention basin for stormwater management at the natural low point of the site.
- Provide safe vehicular access and fire turnaround areas per TMFPD standards.

Mitigation of Grading Impacts

The grading plan has been developed to minimize off-site impacts and meet the intent of Article 438:

- Balanced site: No import or export is proposed—earthwork is balanced to reduce truck traffic and environmental impacts.
- Slopes: All slopes are 2:1 or flatter and will be stabilized with riprap and/or native plantings, per geotechnical recommendations.
- Visual mitigation: Graded areas visible from off-site will be landscaped or revegetated using a native upland seed mix to blend with the natural environment.
- Drainage: A detention basin is included to manage runoff and protect adjacent properties from erosion or increased flow.
- No trees removed: The site contains only low-growing upland vegetation, and no tree removal is necessary.
- Retaining walls: If needed, retaining walls will be visually compatible with the residential character and will minimize cut and fill extents.

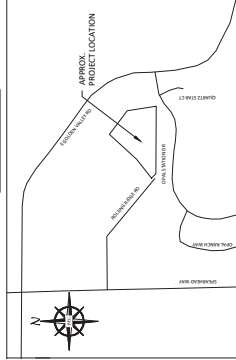
SANCTUARY OF GOD CHURCH

SPECIAL USE PERMIT

3485 ROLLING RIDGE RD

PREPARED FOR:
SIERRA BUILDERS OF NEVADA

VICINITY MAP



CONTACT INFORMATION:

CONTRACTOR:
BLUESTONE ENGINEERING AND CONSULTING
REBECCA C. BERNIER
PO BOX 19722
RENO, NV 89511
(775) 338-2348
rebecca@bec-nv.com

OWNER:
LOPEZ & AL ARNER
3485 ROLLING RIDGE RD
RENO NV 89506

3475 ROLLING RIDGE RD
002-512-31
GOODFELLOW FAMILY TRUST

CONTACT INFORMATION:

CONTRACTOR:
BLUESTONE ENGINEERING AND CONSULTING
REBECCA C. BERNIER
PO BOX 19722
RENO, NV 89511
(775) 338-2348
rebecca@bec-nv.com

OWNER:
LOPEZ & AL ARNER
3485 ROLLING RIDGE RD
RENO NV 89506

3475 ROLLING RIDGE RD
002-512-31
GOODFELLOW FAMILY TRUST

SITE SUMMARY:

JURISDICTION: WASHOE COUNTY
APN: 002-512-31
ZONING: R1
FEMA FLOOD ZONE: 3301C0206/2003C001G
PROJECT SUMMARY: CONSTRUCTION OF NEW CHURCH WITH ASSOCIATED PARKING, ACCESS, UTILITY EXTENSIONS AND LANDSCAPING.
PARKING REQUIRED: 200 SPACES (1 SPACE PER 3 SEATS)
PARKING PROVIDED: 107 SPACES INCLUDING 6 ADA SPACES

SHEET INDEX:

C1 SITE UTILITY PLAN
C2 CHANGING CROSS SECTIONS
C3 CUT AND FILL DEPTHS

PRELIMINARY
NOT FOR
CONSTRUCTION

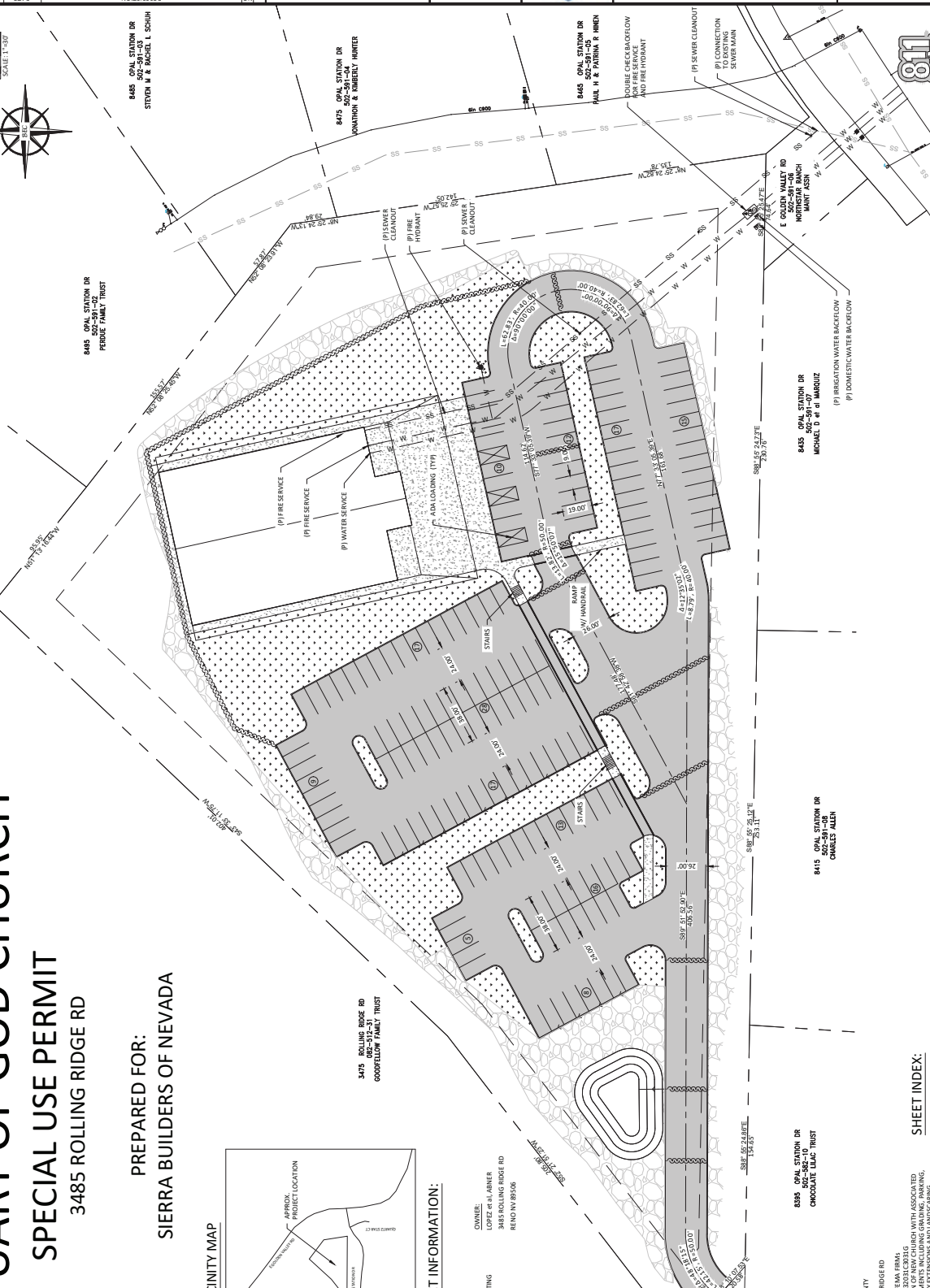


SANCTUARY OF GOD
SPECIAL USE PERMIT
C1
SITE/UTILITY PLAN
WASHOE COUNTY
RENO, NV 89511
P.O. BOX 19722
RENO, NV 89511
BLUESTONE
ENGINEERING AND CONSULTING
RENO, NV 89511
JULY 2025

APPROVALS
C1
SHEET 1 OF 5



Know where you dig.
Call before you dig.



1. ALL SLOPES GREATER THAN 3:1 SHALL BE ROCK STABILIZED OR AS RECOMMENDED BY GEOTECHNICAL ENGINEER DURING FINAL DESIGN
2. SEE SHEETS C3 AND C4 FOR CROSS SECTION PLAN AND PROFILE OF PROPOSED GRADING
3. SEE SHEET C5 FOR APPROXIMATE PROPOSED MAX CUT AND FILL DEPTHS

AREA OF DISTURBANCE: 3.71 ACRE

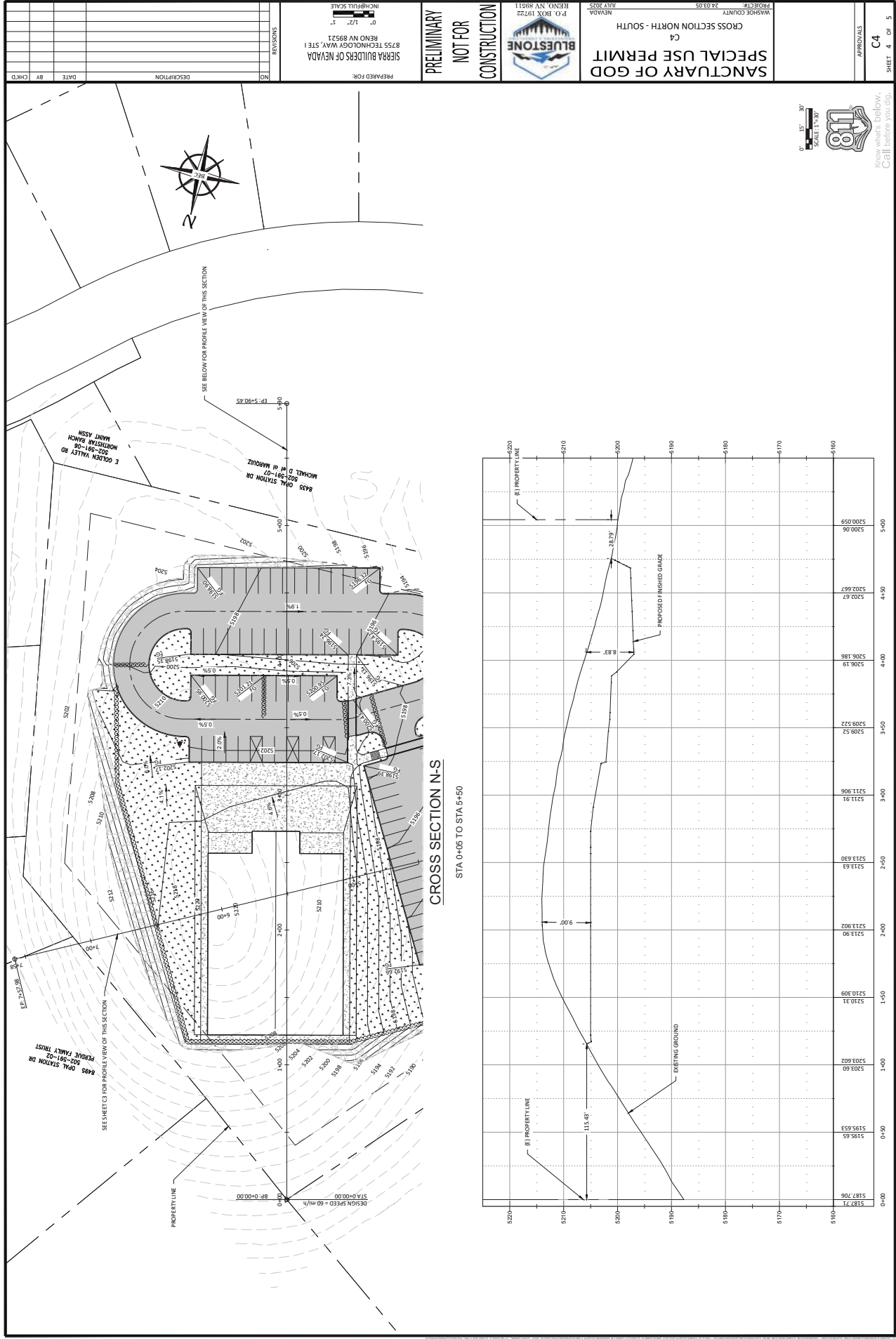
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FILL	18,000	CY
NET	BALANCED	

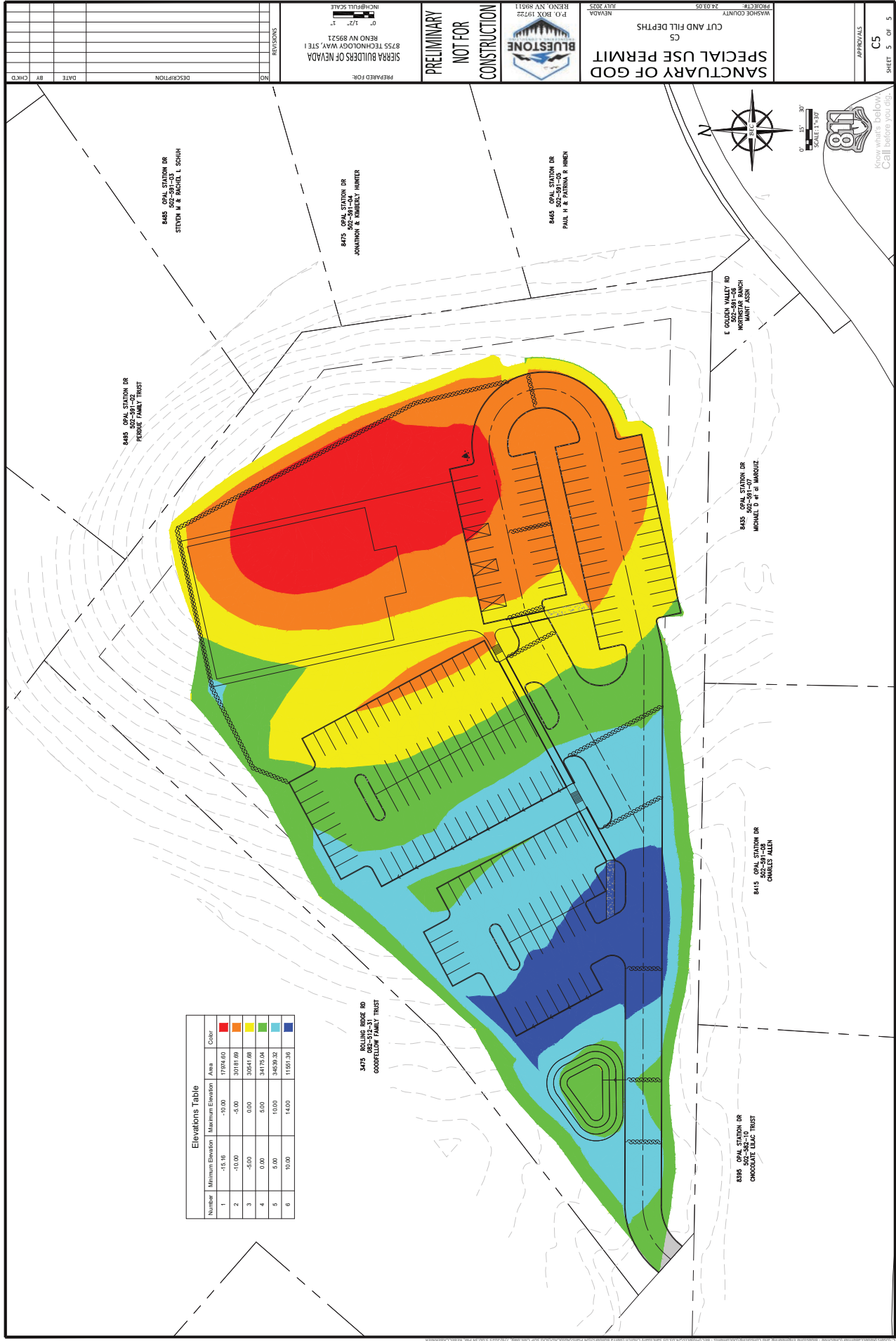
EARTHWORK QUANTITIES ARE ESTIMATES FOR PERMITTING PURPOSES ONLY.
CONTRACTOR IS RESPONSIBLE FOR CALCULATING QUANTITIES FOR CONSTRUCTION



Know what's below.
Call before you dig.

<p>SANCTUARY OF GOD SPECIAL USE PERMIT C2 GRADING PLAN</p> <p>NEVADA WASHOE COUNTY PROJECT NO. 24-03-05 JULY 2025</p>										<p>BLUESTONE</p> <p>P.O. BOX 19722 RENO, NV 89511</p>										<p>INCHES 0" 1/2" 1"</p>										<p>PREPARED FOR: SIERRA BUILDERS OF NEVADA 8755 TECHNOLOG WAY, STE 1 RENO NV 89521</p>										<p>APPROVALS</p>									
NO.										DATE										BY										CHKD										DESCRIPTION									





NO. _____

REVISIONS

DATE _____

BY _____

CHECKED _____

PREPARED FOR:

SIERRA BUILDERS OF NEVADA

8755 TECHNOLOGY WAY, STE 1

RENO, NV 89521

INCHES/FOOT SCALE

0" = 1/2"

1" = 1'

PRELIMINARY

NOT FOR

CONSTRUCTION

BLUESTONE

P.O. BOX 19722

RENO, NV 89511

SANCTUARY OF GOD

SPECIAL USE PERMIT

C5

CUT AND FILL DEPTHS

NEVADA

JULY 2025

PROJECT: 24.03.05

WASHOE COUNTY

APPROVALS

C5

SHEET 5 OF 5

0' 15' 30'

SCALE: 1"=30'

8

18

8

Know what's below.

Call before you dig.



Architectural Plans

The proposed building is a single-story, 15,000 square foot church facility. The structure has been carefully designed to balance the spatial needs of a modern worship center with a scale and appearance that are compatible with adjacent residential uses. The proposed church facility is designed to serve the community while preserving the residential character of the neighborhood. Careful attention has been given to architectural scale, building materials, transparency, and site function. The maximum building height is limited to 23 feet at the ridge, well below typical height allowances in the zoning district. The building includes two primary functional areas:

- Approximately 9,000 square feet of Assembly (A-3) space to accommodate worship services. This area includes seating, a central stage, and arcade-style open circulation.
- Approximately 6,000 square feet of Business (B) support space, which includes offices, classrooms, restrooms, a breakroom/kitchenette, and a welcoming entrance foyer.

The building is classified as a Type VB, unseparated mixed-use structure, with clear delineation of the two primary occupancy types.

Occupancy and Capacity

The estimated occupancy of the building is 531 persons, calculated in accordance with Table 1004.5 of the International Building Code. This occupancy count does not include general circulation areas such as the arcade, which are not classified as occupiable space under IBC standards.

The breakdown includes:

- Worship area (6,000 SF at 1 occupant per 15 SF): 400 occupants
- Foyer area (1,666 SF at 1 per 15 SF): 111 occupants
- Office and breakroom areas (2,500 SF at 1 per 150 SF): 17 occupants
- Restrooms and accessory spaces (900 SF at 1 per 300 SF): 3 occupants

Architectural Design and Exterior Materials

The proposed architectural design emphasizes compatibility with the surrounding neighborhood and incorporates durable, attractive materials. The materials and design choices contribute to a subdued and welcoming architectural character, appropriate for a civic/religious use adjacent to residential properties. The exterior will feature:

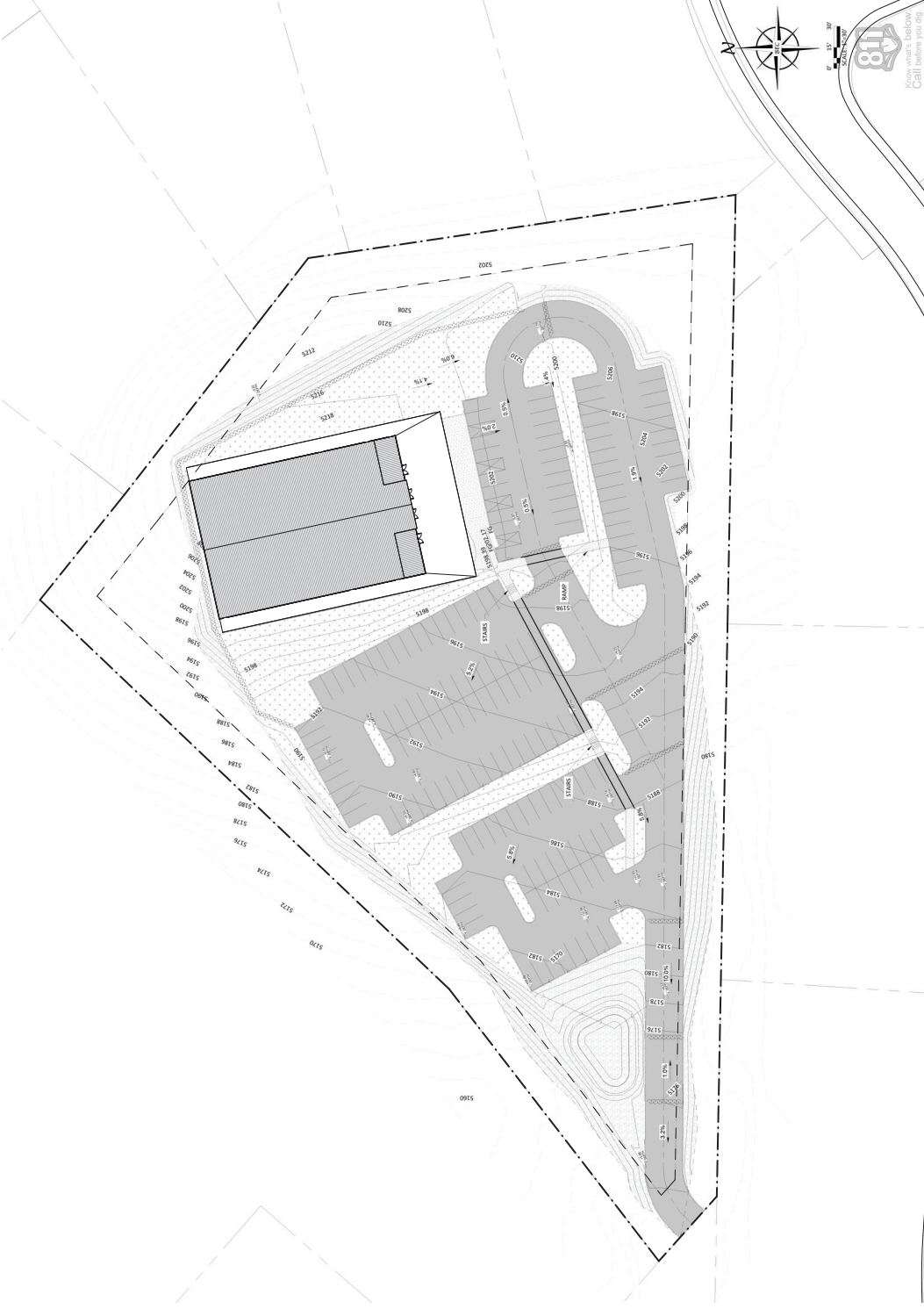
- A stone wainscot base using cultured stone in natural earth tones/ visual grounding
- Painted architectural metal siding above the stone base /complementary neutral tones
- A dark standing seam metal roof, adding visual contrast and long-term weather resistance

Glazing and Transparency

Glazing is used intentionally to soften the building's appearance and establish a welcoming presence:

- The south (front) elevation includes a glass storefront system that designates the main entrance and creates visual transparency into the foyer area.
- East and west elevations feature windows serving office and classroom spaces.
- Overall glazing is used to break up wall planes, introduce light into interior spaces.

This approach will help the building read at a more residential scale. This reinforces compatibility with nearby homes and avoids the appearance of a large institutional structure.



811
Call before you dig

① SITE
1" = 30.0'

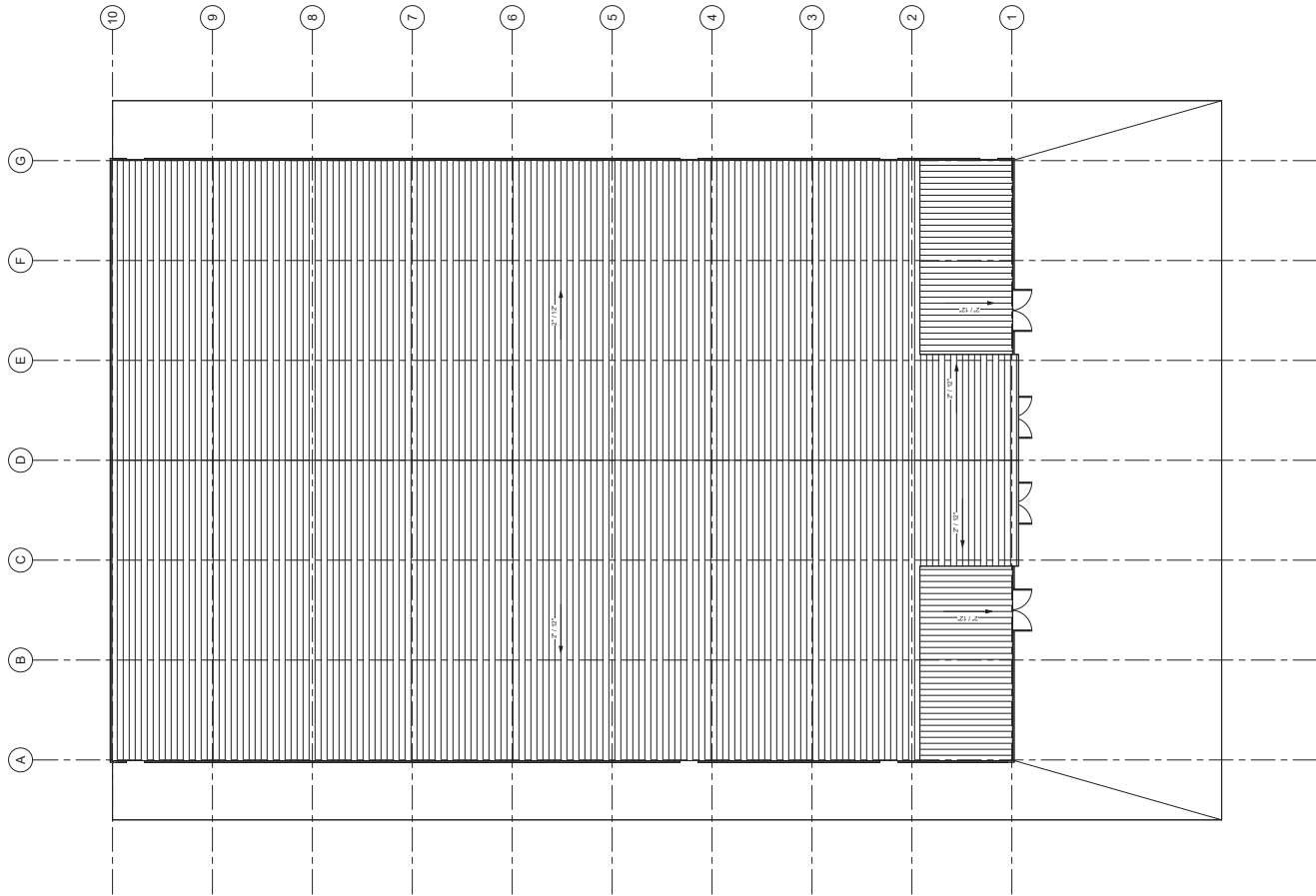
- PARKING REQUIREMENTS**
- 1. 100% of the total number of parking spaces shall be provided for the use of the building.
 - 2. The minimum number of parking spaces shall be determined in accordance with the following table:
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- PARKING PROVIDED:**
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KEY NOTES

- CONCRETE FOOTING, REFER TO FOUNDATION PLAN FOR SIZE & REINFORCING.
- CONCRETE FOUNDATION WALL, SEE STRUCTURAL FOR SIZE & REINFORCING.
- CONCRETE FLOOR SLAB, REFER TO FOUNDATION PLAN FOR THICKNESS.
- EXTERIOR FINISH, SEE SPECIFICATIONS.
- OPENING HEIGHT, ADA AND NORMAL HEIGHT.
- BREAK ROOM REFRIGERATOR - PER OWNER.
- BREAK ROOM SINK - PER OWNER.
- BREAK ROOM DISH WASHER - PER OWNER.
- BREAK ROOM CUPBOARD - PER OWNER.
- LAV COUNTER TOP - ADA COMPLIANT, 34" MAX.
- LAV / SERVICE SINK / MOP SINK.
- WATER CLOSET - ADA COMPLIANT, WHERE 36"X60" BASIS SHOWN.
- URINAL.
- GLASS PARTITION ALUMINUM WINDOW FRAMES CAN GLASS, GLASS FILLLED.
- LOW VOC COATING, CLEAR FINISHES.
- CULTURED STONE.
- ELABORATED STONE.
- MANUFACTURER.
- 24 GA. PREP. METAL STANDING SEAM ROOF - COLOUR: WHITE.
- 1/2" DIA. ANCHOR, STEEL, SETTING FROM PRE-CAST SUPPORT - COLOUR: WHITE.
- PRE-INSULATED METAL TRUCK FUSION CUTTING AND WELDING LEADER COLLARS.
- BASE, TRIM, FINISH OPENING TRIM, CORNERS, PAUL - WHITE.
- SIGNAL W/ BACKLIT LIGHTING, BY OWNER, GC TO PROVIDE STRUCTURAL SUPPORT AND ELECTRICAL SERVICES, COORDINATE WITH SIGN SUPPLIER.
- 24 GA. BRIT. METAL, COP FLASHING COLOUR TO PRE-CAST TRUSS.
- INSULATED ALUM. METAL DOOR AND FRAME - COLOUR BY OWNER REFER TO DOOR SCHEDULE.
- INSULATED SECTIONAL OVERHEAD DOOR - COLOUR BY OWNER REFER TO DOOR SCHEDULE.
- DOOR LATCHER BY OWNER - COLOUR BY OWNER.
- DOOR SHUTTER BY OWNER - COLOUR BY OWNER.
- DOOR HINGES BY OWNER - COLOUR BY OWNER.
- FLUX FINISH OR BRASS LATCH, FOR WORKING OF ARCHITECTURAL CHARACTER.
- 6" CONCRETE FILLER STEEL PIPE BOLLARD - PAINT COLOUR - YELLOW.
- REMOVABLE GUARDRAILS, 1-1/2" IN DIAMETER, 42" HIGH, PAINT COLOUR - YELLOW.
- C CHANNEL STEEL STRINGER (STOPS).
- PREP. GUARDED REINFORCED METAL, 5/8" DIA. TIE BAR LANDING.
- ADA COMPLIANT 36"X60" SINK.
- SERVICE SINK.
- MOP SINK.

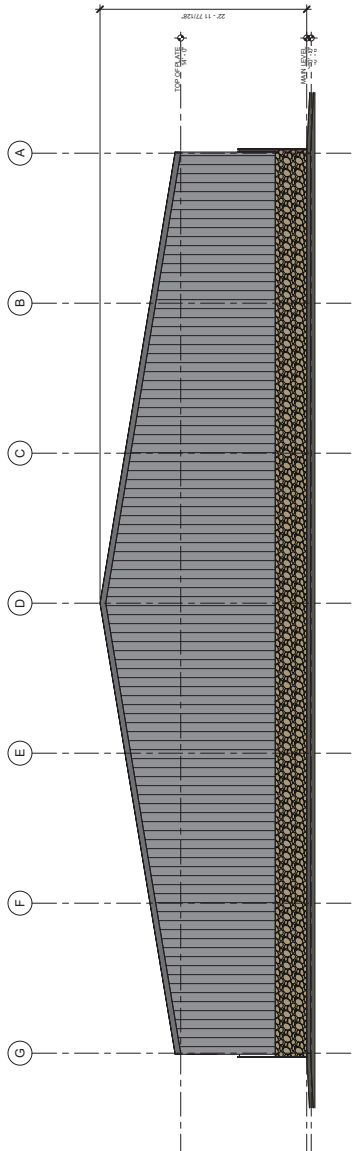


ROOF PLAN
1/8" = 1'-0"

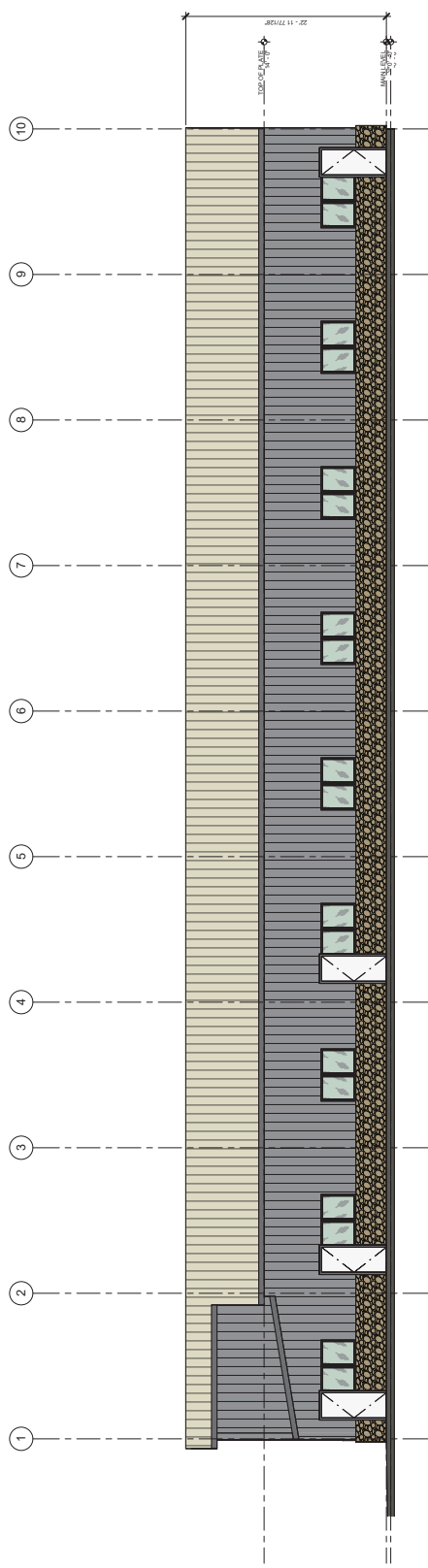


KEY NOTES

- 1. CONCRETE FOOTING: REFER TO FOUNDATION PLAN FOR SIZE & REINFORCING.
- 2. CONCRETE FOUNDATION WALL: SEE STRUCTURAL FOR SIZE & REINFORCING.
- 3. ALL EXTERIOR WALLS AND PARTITIONS ARE 8" THICK.
- 4. FINISHES: REFER TO SPECIFICATION.
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1 NORTH
300' = 1\"/>

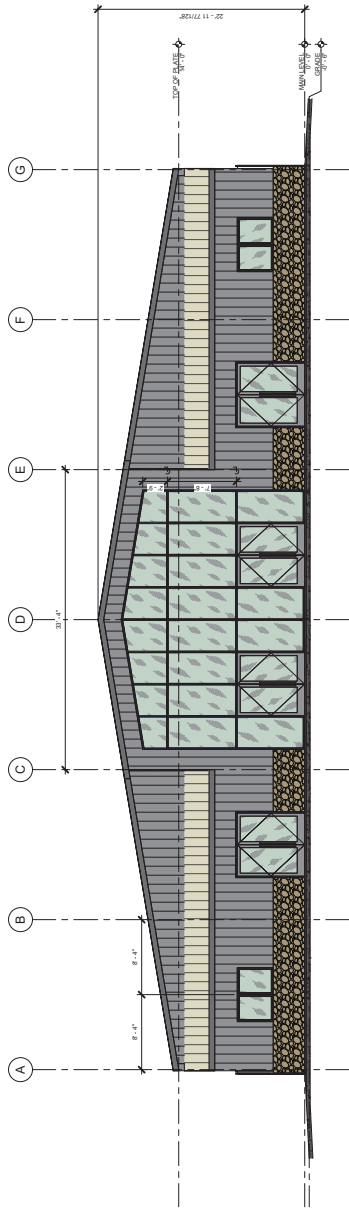


2 EAST
300' = 1\"/>

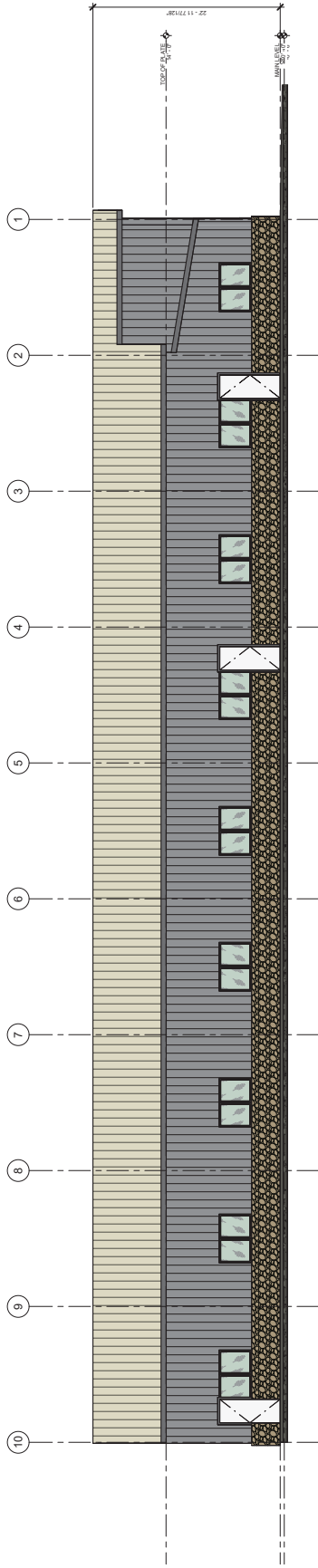


KEY NOTES

- 1 CONCRETE FOOTING, REEFER TO FOUNDATION PLAN FOR SIZE & REINFORCEMENT.
- 2 CONCRETE FOUNDATION WALL, SEE STRUCTURAL FOR SIZE & REINFORCEMENT.
- 3 ARCHITECTURAL NOTES CONTROLLED SPECIFICATION.
- 4 EMERGENCY EGRESS STATION.
- 5 DRINKING FOUNTAIN, ADA AND VERTICAL HEIGHT.
- 6 BREAK ROOM REFRIGERATOR - PER OWNER.
- 7 BREAK ROOM SINK - PER OWNER.
- 8 BREAK ROOM DISH WASHING - PER OWNER.
- 9 BREAK ROOM CASHWASH - PER OWNER.
- 10 LAV COUNTER TOP - ADA COMPLIANT, 3/4" MAX.
- 11 LAV / SERVICE SINK / MOP SINK.
- 12 WATER CLOSET - ADA COMPLIANT WHERE GRAB BARS SHOWN.
- 13 URINAL.
- 14 CLEAR ANODIZED ALUMINUM WINDOW FRAMES CAN DOUBLE GLAZED, VISION FILLED, 1/2" GLASS, 1/2" SPACERS.
- 15 CURTAIN WALLING - ELEGANT STONE.
- 16 MANUFACTURER - ELEGANT STONE.
- 17 STYLE - ELEGANT STONE.
- 18 24 GA. PREPA. METAL CEILING, EXAMINER, COLOUR: WHITE, WHITE.
- 19 1/2" x 8" x 8" PREPA. METAL, STEEL, SINKING FROM PRE-ENG SUPPLIER.
- 20 1/2" x 8" x 8" PREPA. METAL, STEEL, SINKING FROM PRE-ENG SUPPLIER.
- 21 PRE-PA. METAL, TILES, FASCIA, GUTTERS AND RAIN WATER LADER.
- 22 GABLE TRIM AND OUTLITS.
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1 SOUTH
3/8" = 1'-0"



2 WEST
3/8" = 1'-0"



Landscape Plans

The conceptual landscape plan has been designed in full compliance with Washoe County Development Code, Chapter 110, Division 4, Article 412 – Landscaping, and considers both functional and aesthetic outcomes. The proposed plan reflects the intent to create a visually compatible, environmentally responsible, and community-oriented facility that integrates harmoniously with its natural and residential surroundings.

Plant Palette and Open Space Treatment

All planting materials proposed for this project will be regionally appropriate, based on sound local horticultural practices, and selected for site suitability and water efficiency. The planting design has been intentionally developed to avoid traditional lawn or turf areas, emphasizing a xeriscape approach to reduce water consumption and minimize long-term maintenance.

Revegetation and Natural Open Space

- Areas disturbed during construction, but not otherwise developed, will be revegetated using an Upland Seed Mix as recommended in the Truckee Meadows Construction Site BMP Handbook (2015), Appendix E. This mix includes native grasses and forbs selected for erosion control, quick establishment, and habitat compatibility.
- Undeveloped portions of the site, particularly those identified as open space buffers or natural area reserves, will remain in undisturbed upland vegetation, consisting primarily of native sagebrush scrub and other non-invasive species typical of the Northern Nevada high desert ecosystem. These areas provide natural stormwater infiltration, preserve the site's existing ecological character, and reduce the need for supplemental irrigation or long-term maintenance.

Irrigation and Water Management

- All new planting areas will be supported by a fully automatic irrigation system using low-flow drip emitters, designed to comply with Truckee Meadows Water Authority (TMWA) guidelines.
- The irrigation system will include zoned controls for trees, shrubs, and groundcovers, and will be equipped with appropriate backflow prevention devices as required by code.
- Smart irrigation controllers with seasonal programming capabilities will be installed to optimize water use, prevent overwatering, and ensure the health of the installed plant material.



Landscape Plan

Perimeter Treatments, Fencing, and Screening

To ensure compatibility with adjacent residential properties, the project includes a combination of structural fencing and vegetative screening, consistent with the standards for Civic and Commercial Use Types as defined in WCC 110.412.50(d) and 110.412.50(e).

Fencing

- A solid vinyl fence will be installed along the property perimeter where appropriate, with a minimum height of 6 feet and a maximum height of 7 feet, per code.
- The fence will be finished in a neutral earth-tone color, such as beige or brown, to visually blend with surrounding desert tones and adjacent development.

Vegetative Screening

- Along all property lines that abut residential uses, the landscape plan includes the installation of evergreen trees spaced at 20-foot intervals, placed in offset and staggered groupings. This pattern softens the overall appearance of the fence line and enhances screening.
- Evergreen trees will be selected for height, density, and regional adaptability—potential species include Austrian pine, Bosnian pine, or similar drought-tolerant conifers.
- Understory shrubs and groundcovers will be planted between trees and within buffer zones to provide layered vegetation, reinforce screening, and meet the required minimum plant coverage within the first two growing seasons.

This approach ensures that visual, noise, and light impacts are minimized for neighboring properties while enhancing the aesthetic quality of the site's edge conditions.

Parking Lot Landscaping

The proposed site includes 154 off-street parking spaces. Parking lot landscaping has been designed to meet the intent and technical requirements of Washoe County Code, promoting shade, aesthetics, and environmental benefits.

- A minimum of one tree per ten parking spaces will be installed, resulting in at least 16 shade trees distributed throughout the parking area.
- Shade trees will be strategically located to reduce heat island effects, improve comfort for pedestrians, and break up the visual scale of the parking field.
- Peripheral parking lot landscaping will include low-water shrubs, ornamental grasses, and groundcovers that soften edges and reinforce circulation routes.

All parking lot plantings will be irrigated using the same efficient system described above, with drip lines routed to each tree and shrub group.



Landscape Plan

Entry and Pedestrian Areas

The landscape design highlights key pedestrian and entry points with accent planting and wayfinding elements to create a welcoming environment.

- The main building entrance will be framed by ornamental trees or flowering shrubs, such as serviceberry, Russian sage, or native lilac, to create a strong visual identity and seasonal interest.
- Pedestrian walkways will be lined with landscape planting and appropriately lit for visibility, safety, and aesthetics.
- All pedestrian areas are ADA accessible and will be designed to provide a comfortable transition between the parking area and the main facility.

Maintenance and Long-Term Compliance

All plant materials will be maintained in a healthy, clean, and attractive condition throughout the life of the project. Compliance will be verified at time of final inspection and is subject to County code enforcement. Ongoing maintenance of all landscaped areas will be the responsibility of the property owner or operator. Maintenance activities will comply with WCC 110.412.45, and include:

- Seasonal inspections and adjustment of irrigation systems
- Replacement of any dead, diseased, or damaged plant material
- Routine pruning, weed removal, and litter control
- Maintenance of fence integrity and repainting or replacement of materials as needed

Signage

All site signage—entry monument, directional, and building identification—will be carefully designed to be functional, compliant, and neighbor-friendly. The signs facilitate safe and efficient access while respecting Washoe County's visual and lighting standards and enhancing the overall sense of place for this community facility.

Entry Monument Sign

- Location & Purpose: Strategically placed at the main entrance off Rolling Ridge Rd to identify the facility and direct visitors.
- Height & Size: Designed under the LDS district standards—max 8 feet in height, with total sign area within allowable limits.
- Materials & Finish: Durable, low-reflectivity materials in natural tones to complement architecture and landscape, providing a welcoming yet understated presence.



Landscape Plan

Directional and Informational Signs

- Placement: Installed throughout the site to guide vehicles and pedestrians safely to entry points, parking zones, and ADA-accessible routes.
- Type: Simple, non-illuminated signs with reflective lettering, conforming to Article 505 (i) standards for traffic control and public safety signage.
- Scale: Small-footprint, mounted on 3–4 foot posts, ensuring visibility without visual clutter in landscaped areas and drive aisles.

Building-Mounted Signage

- Design: Modest wall-mounted sign above the main entry, sized to meet frontage-based allowances for quasi-public, non-commercial uses.
- Light and Glare: Non-illuminated or softly halo-lit to avoid glare; no spillover or skyward illumination ensures no adverse impacts on adjacent residences.

Code Compliance and Visual Mitigation

- Article 505 Conformance: Sign size, placement, content, and materials meet all LDS zoning restrictions. No electronic message boards or flashing lights are proposed.
- Residential Compatibility: Signage is low-scale, neutral-toned, and visually integrated into landscape buffers—designed to complement, not compete with, nearby homes.
- Landscape Integration: Signs are surrounded by planting, groundcover, or mulch beds to soften edges and emphasize pedestrian scale.





Lighting Plan

This lighting plan supports the operational needs of the church while preserving the quiet residential character of the area. The combination of shielded fixtures, reduced pole heights, setback-conscious placement, and automated control systems ensures full compliance with Washoe County lighting standards and demonstrates a responsible, neighbor-sensitive design. The proposed lighting plan for the place of worship has been carefully developed to meet all applicable standards of Washoe County Development Code Article 414. The exterior lighting is intended to:

- Enhance safety and visibility for pedestrians and vehicles
- Provide security lighting for the building, parking lot, and walkways.
- Minimize light trespass, glare, and visual impacts on adjacent residential properties.
- Maintain compliance with energy efficiency goals and dark sky principles.

Code Compliance Summary – Article 414

The lighting plan complies with the following key provisions of Washoe County Code:

- WCC 110.414.10 – General Lighting Standards: Fixtures are fully shielded and mounted to direct light downward and prevent glare beyond property boundaries.
- WCC 110.414.20 – Commercial and Civic Use Standards: Applicable to quasi-public uses such as places of worship; lighting is placed to ensure uniformity in coverage and avoid over-illumination.
- WCC 110.414.25 – Light Trespass and Control: All lighting is full cutoff, designed to minimize spillover beyond the site boundary, particularly near residential zoning.

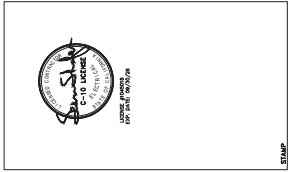
The subject property is zoned Low Density Suburban (LDS). According to WCC 110.414.20(c): “For nonresidential uses permitted in residential zones, such as quasi-public uses, pole-mounted lighting shall not exceed 15 feet in height when located within 100 feet of a residentially zoned parcel.” As such, all proposed pole lights:

- Are designed to be 12’ within 100 ft and 20’ outside of requirement, low poles are used near the perimeter where the site interfaces with residential uses.
- Are positioned within the interior of the site, away from residential property lines, primarily serving parking areas, drive aisles, and building entrances.

Fixture Type and Operation

- Fixture Type: All lighting will be LED, full cutoff (zero uplight), and comply with the IESNA definition for full shielding.
- Timer-Controlled Operation: Exterior lights will be equipped with programmable timers to reduce or turn off lighting during non-operating hours, minimizing unnecessary nighttime illumination.
- Reduced Light in Setback Areas: No light poles or fixtures are located within the setback buffer adjacent to residential zones. Illumination is focused inward for both functional and aesthetic purposes.

PROJECT
SANCTUARY OF
GOD
ADDRESS
WASHOE COUNTY
NEVADA



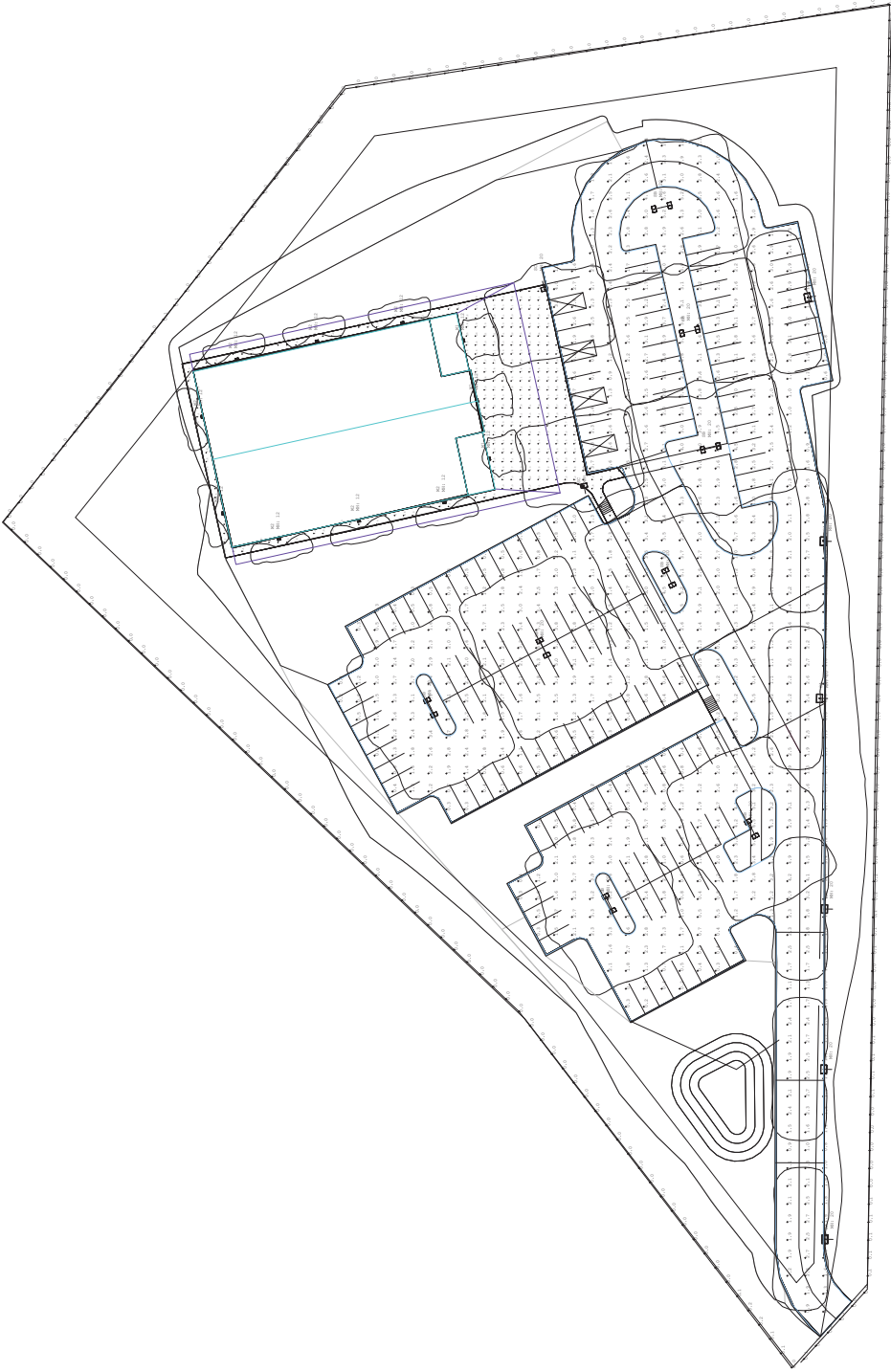
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DESIGNER
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REVISIONS
STANDARDS

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DESIGNED BY
CHECKED BY
SCALE

ELECTRICAL SITE PLAN
PHOTOMETRICS

DRAWING NUMBER
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Brooklyn Oswald
Principal, Aryte Group
boswald@arytegroup.com
07.08.2025



To:
Washoe County Planning and Building Division
Community Services Department
1001 E. Ninth Street
Reno, NV 89512

RE: Request to Deem Application Complete – Neighborhood Meeting Timing
Project: Special Use Permit – Place of Worship
Location: 3485 Rolling Ridge Road, Washoe County, NV

Dear Planning Staff,

On behalf of the applicant, Aryte Group is submitting this letter regarding the neighborhood meeting requirement related to the Special Use Permit application for 3485 Rolling Ridge Road.

We understand that Washoe County requires a neighborhood meeting be conducted prior to the first public hearing and appreciate the County's commitment to early public involvement. While we fully intend to meet this requirement, we respectfully request that the application be deemed complete at this time for the following reasons:

- A neighborhood meeting has been scheduled for July 28 at North Valleys High School, which will take place several weeks ahead of any anticipated Board of Adjustment hearing. This provides ample time for meaningful public input, discussion, and incorporation of potential project modifications or conditions.

- A courtesy notice has already been mailed to property owners within 500 feet of the project site upon submittal, consistent with County practice. The notice includes project details and applicant contact information to encourage early feedback from the community.

- The County Advisory Board (CAB), which previously served as a venue for initial public comment, is no longer active for this area. The planned neighborhood meeting fills that public engagement role.

While we understand and respect the County's policy, we believe that requiring the neighborhood meeting to be conducted before deeming the application complete may be inconsistent with timelines established under Nevada Revised Statutes (NRS) related to development application processing. Specifically, NRS requires that applications be reviewed within specified timeframes once submitted, and adding pre-submittal conditions not codified in the Development Code could raise procedural concerns.

Therefore, we respectfully request that the application be deemed complete at this time, with the neighborhood meeting to occur prior to the public hearing in accordance with Washoe County Code. This approach maintains compliance with both local code and state law while ensuring robust public engagement.

We appreciate your time and consideration and look forward to working collaboratively through the remainder of the review process.

Sincerely,
Brooklyn Oswald
Principal, Aryte Group



Washoe County Community Services Department, Planning & Building Division

Notice Card Template

Notices to be printed on:

Astrobrights® Color Card Stock, 8 1/2" x 11", 65 lb, Solar Yellow / Sunburst Yellow (or similar)

Instructions:

1. Complete the **Notice Card Template**
 - (i) Update all text in **RED**
 - *Leave text red for Planner's review*
 - (ii) Be sure to include a draft project description
2. Email DRAFT notice to Staff Planner for review
3. *The Planner will provide you with an approved notice and mailing list. APPLICANT is responsible for mailing the notices to all indicated addresses.*
4. Mailed notices must be postmarked at least ten (10) calendar days prior to the meeting.

Notice of Neighborhood Meeting

Dear Property Owner:

You are invited to attend a neighborhood meeting to discuss **SANCTUARY OF GOD CHURCH**, a proposed development project in your area. This is your opportunity to review the proposed project, ask questions and provide feedback prior to submittal of a formal development application.

Neighborhood Meeting Information:

5:30 p.m., MONDAY, JULY 28, 2025

North Valleys High School-1470 E Golden Valley Rd., Reno NV 89506

Project Description:

This project is located at 3485 Rolling Ridge Rd, parcel number(s) 082-515-32. This proposed project is to initiate the Special Use Permit process for the establishment of a place of worship within the Low Density Suburban (LDS) zoning district, as required by Washoe County Development Code. The proposed development consists of a ±15,000 square-foot building on a ±5-acre site, including associated parking, access, and utility infrastructure.

If you have questions about the meeting or would like to discuss the proposed development project, please contact: **BROOKLYN OSWALD, 801-413-8535, boswald@anytegroup.com**

This is not a public hearing, and public officials will not be present. If you have questions regarding meeting requirements, please contact the Washoe County Staff Planner for the project: **TIM EVANS, 775.328.2314, TEvans@washoecounty.gov**

To review information about neighborhood meetings, please visit: <https://neighborhood-washoe.hub.arcgis.com/>

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