

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name:			
Project Description:			
Project Address:			
Project Area (acres or square feet):			
Project Location (with point of reference to major cross streets AND area locator):			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone: Fax:		Phone: Fax:	
Email:		Email:	
Cell: Other:		Cell: Other:	
Contact Person:		Contact Person:	
Applicant/Developer:		Other Persons to be Contacted:	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone: Fax:		Phone: Fax:	
Email:		Email:	
Cell: Other:		Cell: Other:	
Contact Person:		Contact Person:	
For Office Use Only			
Date Received: Initial:		Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Special Use Permit Application Supplemental Information

(All required information may be separately attached)

1. What is the project being requested?

2. Provide a site plan with all existing and proposed structures (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.)

3. What is the intended phasing schedule for the construction and completion of the project?

4. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

5. What are the anticipated beneficial aspects or affects your project will have on adjacent properties and the community?

6. What are the anticipated negative impacts or affect your project will have on adjacent properties? How will you mitigate these impacts?

7. Provide specific information on landscaping, parking, type of signs and lighting, and all other code requirements pertinent to the type of use being purposed. Show and indicate these requirements on submitted drawings with the application.

As stated in the Washoe County Development code section 110.412.10 "Uses classified under the Energy Production – Renewable use type [are] exempt" from landscaping provisions. It is requested that all parking design requirements (section 110.410.25) be waived. See Attachment F: Site Plans.

8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the special use permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input type="checkbox"/> No
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9. Utilities:

a. Sewer Service	
b. Electrical Service	
c. Telephone Service	
d. LPG or Natural Gas Service	
e. Solid Waste Disposal Service	
f. Cable Television Service	
g. Water Service	

For most uses, Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required.

h. Permit #		acre-feet per year	
i. Certificate #		acre-feet per year	
j. Surface Claim #		acre-feet per year	
k. Other #		acre-feet per year	

Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources).

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10. Community Services (provided and nearest facility):

a. Fire Station	
b. Health Care Facility	
c. Elementary School	
d. Middle School	
e. High School	
f. Parks	
g. Library	
h. Citifare Bus Stop	

**Special Use Permit Application
for Grading
Supplemental Information**
(All required information may be separately attached)

1. What is the purpose of the grading?

2. How many cubic yards of material are you proposing to excavate on site?

3. How many square feet of surface of the property are you disturbing?

4. How many cubic yards of material are you exporting or importing? If none, how are you managing to balance the work on-site?

5. Is it possible to develop your property without surpassing the grading thresholds requiring a Special Use Permit? (Explain fully your answer.)

6. Has any portion of the grading shown on the plan been done previously? (If yes, explain the circumstances, the year the work was done, and who completed the work.)

7. Have you shown all areas on your site plan that are proposed to be disturbed by grading? (If no, explain your answer.)

8. Can the disturbed area be seen from off-site? If yes, from which directions and which properties or roadways?

9. Could neighboring properties also be served by the proposed access/grading requested (i.e. if you are creating a driveway, would it be used for access to additional neighboring properties)?

10. What is the slope (horizontal/vertical) of the cut and fill areas proposed to be? What methods will be used to prevent erosion until the revegetation is established?

11. Are you planning any berms?

Yes	No	If yes, how tall is the berm at its highest?
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12. If your property slopes and you are leveling a pad for a building, are retaining walls going to be required? If so, how high will the walls be and what is their construction (i.e. rockery, concrete, timber, manufactured block)?

13. What are you proposing for visual mitigation of the work?

14. Will the grading proposed require removal of any trees? If so, what species, how many and of what size?

15. What type of revegetation seed mix are you planning to use and how many pounds per acre do you intend to broadcast? Will you use mulch and, if so, what type?

16. How are you providing temporary irrigation to the disturbed area?

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17. Have you reviewed the revegetation plan with the Washoe Storey Conservation District? If yes, have you incorporated their suggestions?

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18. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit the requested grading?

Yes	No	If yes, please attach a copy.
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Special Use Permit Application for Stables Supplemental Information

(All required information may be separately attached)

1. What is the maximum number of horses to be boarded, both within stables and pastured?

2. What is the maximum number of horses owned/maintained by the owner/operator of the project, both within stables and pastured?

3. List any ancillary or additional uses proposed (e.g., tack and saddle sales, feed sales, veterinary services, etc.). Only those items that are requested may be permitted.

4. If additional activities are proposed, including training, events, competition, trail rides, fox hunts, breaking, roping, etc., only those items that are requested may be permitted. Clearly describe the number of each of the above activities which may occur, how many times per year and the number of expected participants for each activity.

5. What currently developed portions of the property or existing structures are going to be used with this permit?

6. To what uses (e.g., restrooms, offices, managers living quarters, stable area, feed storage, etc.) will the barn be put and will the entire structure be allocated to those uses? (Provide floor plans with dimensions).

7. Where are the living quarters for the operators of the stables and where will employees reside?

8. How many improved parking spaces, both on-site and off-site, are available or will be provided? (Please indicate on site plan.) Have you provided for horse trailer turnarounds?

9. What are the planned hours of operation?

10. What improvements (e.g. new structures including the square footage, roadway/driveway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.) will have to be constructed or installed and what is the projected time frame for the completion of each?

11. What is the intended phasing schedule for the construction and completion of the project?

12. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

13. What are the anticipated beneficial aspects or affects your project will have on adjacent properties and the community?

14. What are the adverse impacts upon the surrounding community (including traffic, noise, odors, dust, groundwater contamination, flies, rats, mice, etc.) and what will you do to minimize the anticipated negative impacts or effects your project will have on adjacent properties?

15. Please describe operational parameters and/or voluntary conditions of approval to be imposed on the administrative permit to address community impacts.

16. What types of landscaping (e.g. shrubs, trees, fencing, painting scheme, etc.) are proposed? (Please indicate location on site plan.)

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17. What type of signs and lighting will be provided? On a separate sheet, show a depiction (height, width, construction materials, colors, illumination methods, lighting intensity, base landscaping, etc.) of each sign and the typical lighting standards. (Please indicate location of signs and lights on site plan.)

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18. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the administrative permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input type="checkbox"/> No
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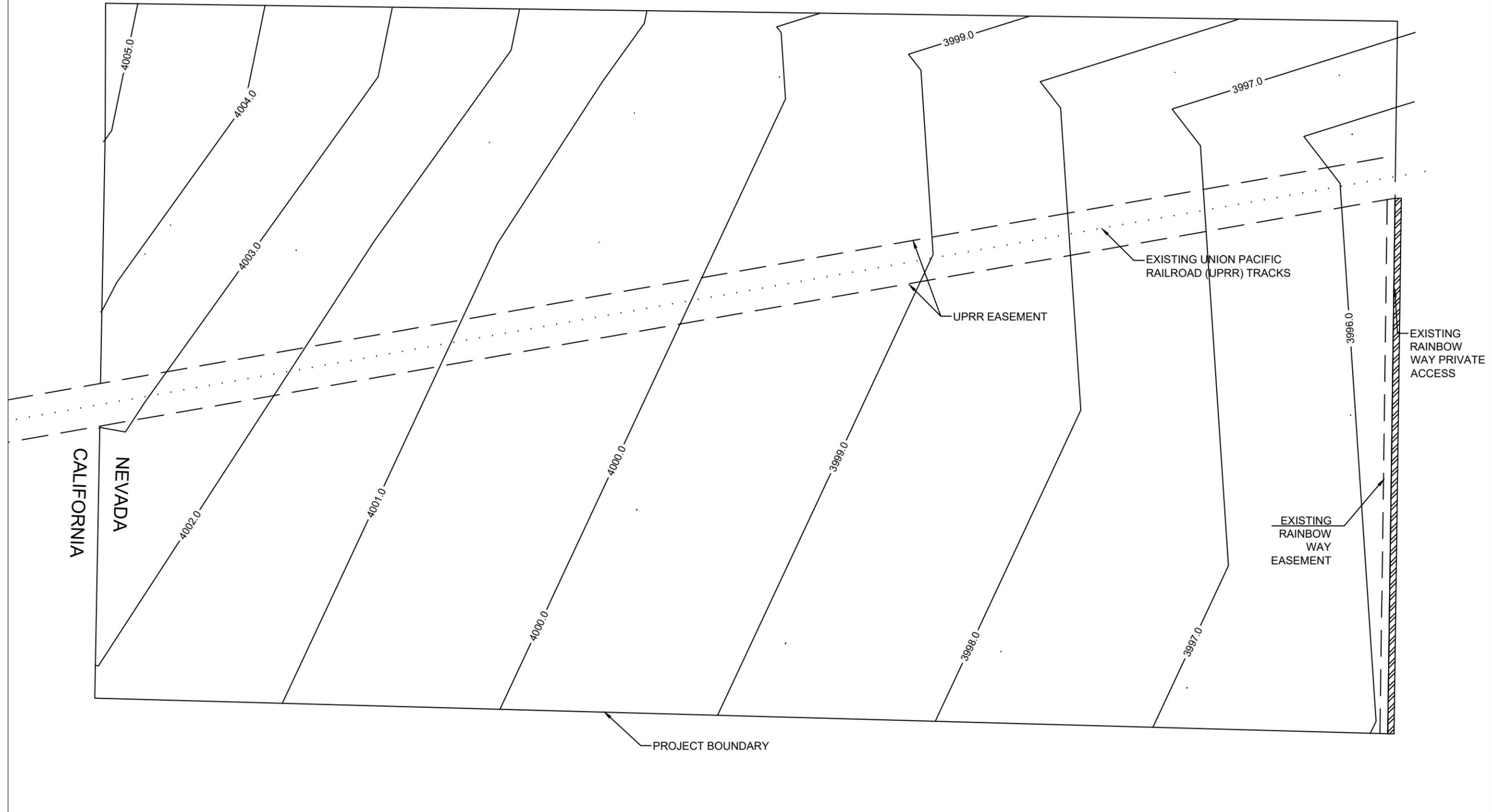
19. Community Sewer

<input type="checkbox"/> Yes	<input type="checkbox"/> No
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20. Community Water

<input type="checkbox"/> Yes	<input type="checkbox"/> No
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NOTES:
 1. SURVEY PERFORMED ON 12/17/2020 BY ERIK LEE WITH BATTLE BORN VENTURES, LLC LOCATED AT 600 GLEESON WAY, SPARKS, NV 89431. NV LICENSE # 017078



1" = 400'
 WHEN PRINTED ON 11"x17"

DRAWING SCALE
 0 1 INCH
 IF THIS BAR IS LESS THAN ONE INCH,
 IT IS A REDUCED PRINT.
 SCALE REDUCED SHEET
 ACCORDINGLY.

NO.	BY.	DATE	REVISIONS DESCRIPTION

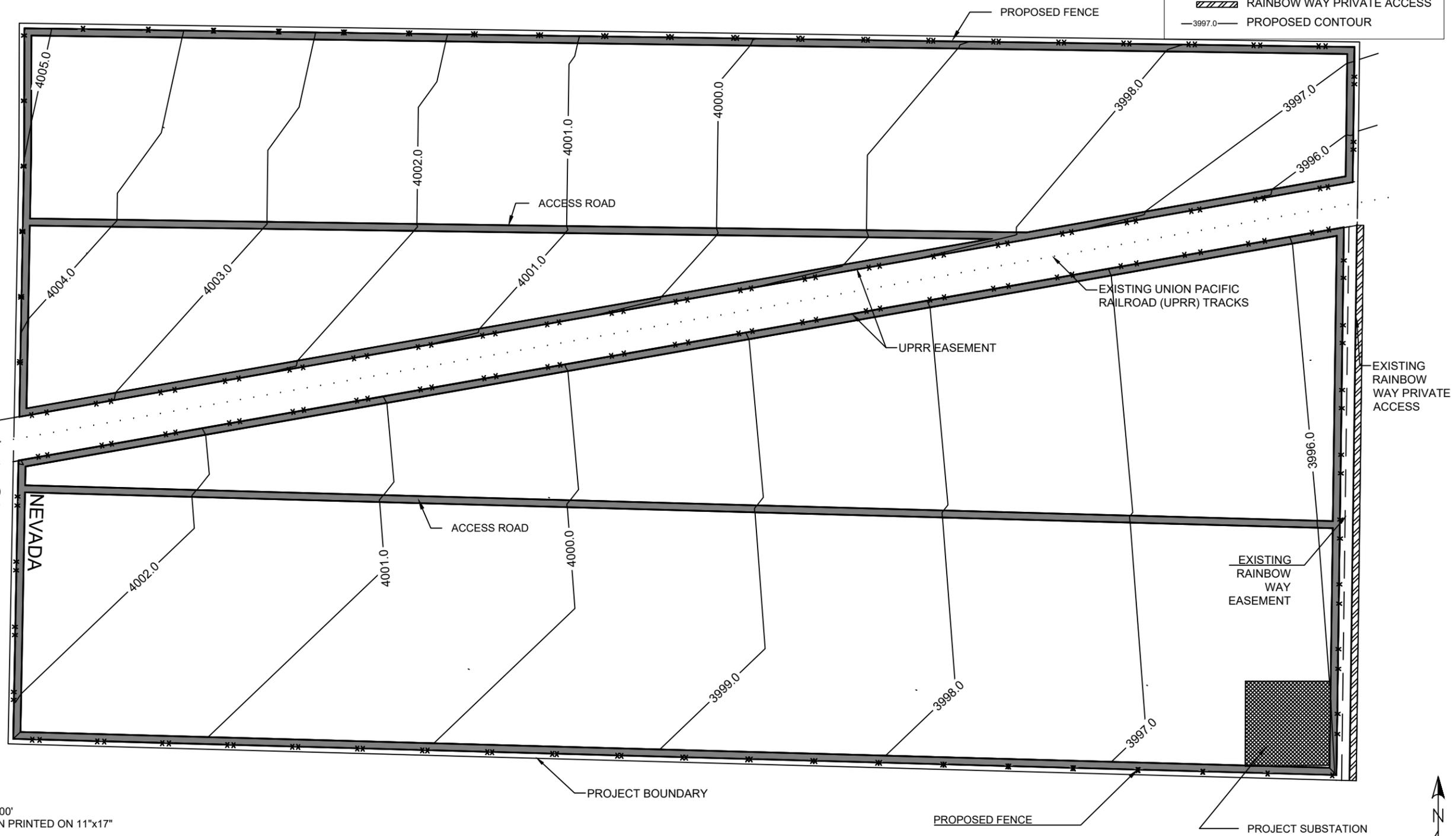
DESIGNED BY:	DATE
RN	11-14-2022
RN	11-14-2022
SV	11-14-2022
SV	11-14-2022



EXISTING CONDITIONS		JOB NO. DB22121
PRAANA RENEWABLES ENERGY, LLC		CONTRACT/TASK ORDER NO.
DWG NO. 1	SHEET 1 OF 3	

- BOUNDARY LINE
- UTILITY EASEMENT
- x- PROPOSED FENCE
- ▬ ACCESS ROAD (SEE NOTE 3)
- ▨ RAINBOW WAY PRIVATE ACCESS
- 3997.0- PROPOSED CONTOUR

- NOTES:
1. SURVEY PERFORMED ON 12/17/2020 BY ERIK LEE WITH BATTLE BORN VENTURES, LLC LOCATED AT 600 GLEESON WAY, SPARKS, NV 89431. NV LICENSE # 017078
 2. GRADING OPERATIONS GRADING OPERATIONS WILL CONSIST OF PLOWING THE GROUND TO TURN UNDER EXISTING VEGETATION OF THE ENTIRE PROJECT LEASE AREA, TO SUPPORT INSTALLATION OF PILING SUPPORTS, TRACKERS AND SOLAR ARRAYS. NO EXCAVATIONS (CUTS OR FILLS) ARE PLANNED. ALL GROUND DISTURBANCE ASSOCIATED WITH THIS SPECIAL USE PERMIT SHALL COMPLY WITH THE STANDARDS WITHIN WASHOE COUNTY CODE SECTION 110.438.45. A VEGETATION MANAGEMENT PLAN (VMP) HAS BEEN PREPARED WHICH PROVIDES BEST MANAGEMENT PRACTICES (BMPS) AND OBJECTIVES FOR THE CONSTRUCTION AND OPERATION ACTIVITIES. THE VMP ALSO INCLUDES NOXIOUS WEED CONTROL METHODS TO BE IMPLEMENTED TO COMPLY WITH NEVADA REVISED STATUTES (NRS) 555.170 AND NRS 555.180. THE VMP IS DEVELOPED TO GUIDE SITE PREPARATION, VEGETATION INSTALLATION, AND LONG-TERM MANAGEMENT OF OVERALL VEGETATION ON THE PROJECT LEASE AREA OF THE PROJECT PARCEL BOUNDARIES, BOTH WITHIN AND OUTSIDE OF THE FACILITY FENCE LINE.
 3. ALL ACCESS ROADS WILL BE GRADED WITH COMPACTED GRAVEL TO SUPPORT FIRE VEHICLES 80,000 GROSS.



1" = 400'
WHEN PRINTED ON 11"x17"

Earthwork Volumes for Praana Energy Washoe Solar Project			
AREA	CUT Cubic Yards (CY)	FILL Cubic Yards (CY)	TOTAL ACREAGE DISTURBED (Acres)
24' Access Road (Rainbow Way)	-	-	1.5
Project Substation and Battery Energy Storage Pad	-	-	2.5
Grading for Tracker Installation	-	-	261
Grading for Access Road	-	-	18.5
TOTAL (RAW)	-	-	283.5
TOTAL (10% SHRINKAGE)	-	-	-

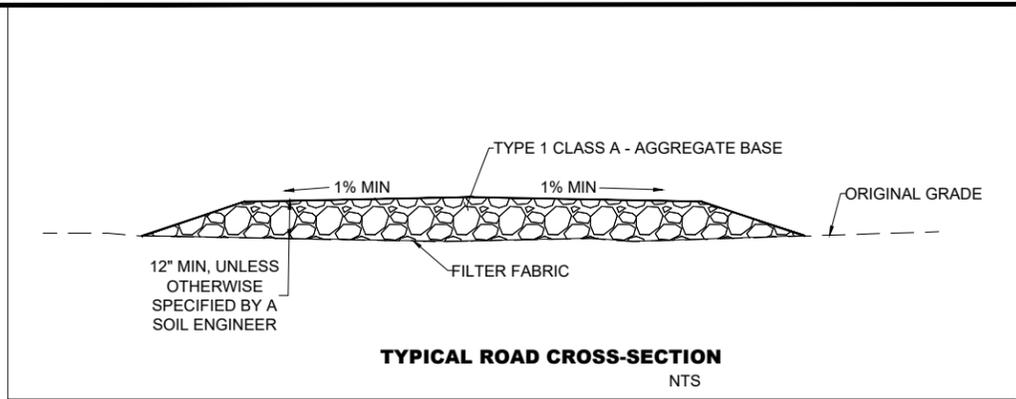
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DESIGNED BY:	RN	11-14-2022	DATE	
DRAWN BY:	RN	11-14-2022		
CHECKED BY:	SV	11-14-2022		
APPROVED BY:	SV	11-14-2022		



PRAANA TWO WASHOE BESS/PSES

PRAANA RENEWABLES ENERGY, LLC

JOB NO. DB22121	CONTRACT/TASK ORDER NO.
DWG NO. 2	SHEET 2 OF 3



NOTES:

1.1. GENERAL

PROJECT SITE IS VERY LEVEL. NO CUTS AND FILLS ARE REQUIRED. MAJOR GRADING ACTIVITIES ARE NOT ANTICIPATED FOR THE PROJECT SITE. THE MAJORITY OF GRADING THROUGHOUT SHOWN IS TO REMOVE THE VEGETATION AND TO CREATE A UNIFORM SURFACE AREA. FINAL ACCESS ROAD ELEVATIONS AND GRADES ARE INTENDED TO MATCH THE SURROUNDING EXISTING CONDITIONS TO MATCH THE DRAINAGE PATTERNS. PRESENTED BELOW ARE SPECIFICATIONS FOR THE FOLLOWING PROJECT FEATURES:

- ACCESS ROADS
- PUBLIC ROAD IMPROVEMENTS
- SUBSTATION
- TEMPORARY ROADS

1.1. SITE DEMOLITION, CLEARING AND PREPARATION

1.2.1 SITE STRIPPING

THE SITE SHOULD BE STRIPPED OF ALL SURFACE VEGETATION. WHEN PLOWING, SURFACE VEGETATION SHOULD BE STRIPPED TO A SUFFICIENT DEPTH TO REMOVE ORGANIC CONTENT WITHOUT DIGGING INTO THE NATIVE GROUND.

1.2.2 TREE AND SHRUB REMOVAL

THERE ARE NO TREES ON SITE. HOWEVER, THERE ARE SEVERAL SHRUBS. SHRUBS SHOULD HAVE THE ROOT BALLS AND ANY ROOTS GREATER THAN 1/2-INCH DIAMETER REMOVED COMPLETELY THROUGH PLOWING. GRADE DEPRESSIONS SHOULD NOT RESULT FROM ROOT BALL REMOVAL.

1.2. SUBGRADE PREPARATION

FOLLOWING PLOWING, THE SUBGRADE SHOULD BE PROOF ROLLED WITHOUT SCARIFICATION OR GROUND DISTURBANCE. NATIVE ORIGINAL GRADE SURFACE SHOULD BE MOISTURE CONDITIONED AND COMPACTED IN STRICT ACCORDANCE WITH "COMPACTION REQUIREMENTS" SECTION BELOW. ALL FINAL SUBGRADES MUST BE INSPECTED AND CERTIFIED BY QUALIFIED SOILS INSPECTOR WORKING UNDER DIRECT SUPERVISION OF THE GEOTECHNICAL ENGINEER OF RECORD (GEOR). IF FINAL SUBGRADE CANNOT BE PREPARED THROUGH PROOF ROLLING AND MOISTURE CONDITIONING, STABILIZATION

MEASURES MAY BE REQUIRED. THESE MAY INCLUDE, BUT NOT LIMITED TO GEOSYNTHETIC (GEOGRID OR FABRIC) PLACEMENT AND CRUSHED ROCK PLACEMENT. UNDER NO CIRCUMSTANCES SHALL THERE BE OVER-EXCAVATION OR NATIVE SOILS. NO GROUND DISTURBANCE IS ALLOWED. THE MOST APPROPRIATE STABILIZATION MEASURE WOULD BE SELECTED BY THE GEOR ON A CASE-BY-CASE BASIS.

1.3. MATERIAL FOR ROAD BASE

FOR THE CONSTRUCTION OF THE ACCESS ROADS AND OTHER PROJECT FEATURES LISTED IN SECTION 1.1. WE RECOMMEND THE FOLLOWING AGGREGATE BASE MATERIAL MEETING THE SPECIFICATIONS OF THE NEVADA DEPARTMENT OF TRANSPORTATION.

NOT TO SCALE

704.03.02 Type 1 Class A Aggregate Base. This aggregate shall conform to the following requirements:

Sieve Size	Percent Passing by Mass
37.5 mm (1 1/2 in.)	100
25 mm (1 in.)	80-100
4.75 mm (No. 4)	30-65
1.18 mm (No. 16)	15-40
75 µm (No. 200)	2-12

Project Control Tests	Test Method	Requirements
Sieve Analysis	Nev. T206	Above
Sampling Aggregate	Nev. T200	
Fractured Faces	Nev. T230	35% Min.
Plasticity Index	Nev. T212	Table I
Liquid Limit	Nev. T210	35 Max.

Source Requirement Tests	Test Method	Requirements
Resistance (R Value)	Nev. T115	70 Min.
Percentage of Wear (500 Rev.)	AASHTO T96	45% Max.

1.4. COMPACTION REQUIREMENTS

AGGREGATE BASE SHOULD BE COMPACTED IN LOOSE LIFTS NOT EXCEEDING 6 INCHES. SUBGRADE SHOULD BE NON-YIELDING AND ALL COMPACTED LIFTS MUST BE INSPECTED AND CERTIFIED BY A QUALIFIED SOILS INSPECTOR WORKING UNDER DIRECT SUPERVISION OF GEOR. TABLE 1 PRESENTS THE MINIMUM COMPACTION CRITERIA.

TABLE 1: MINIMUM COMPACTION REQUIREMENTS

LOCATION	PER THE MODIFIED PROCTOR TEST (ASTM D 1557)		
	MINIMUM COMPACTION REQUIREMENT (%)	RANGE OF MOISTURE CONTENTS FOR COMPACTION ABOVE OPTIMUM	
		MINIMUM	MAXIMUM
PAVEMENT SUBGRADE	95%	0%	+2%
GEOR APPROVED PAVEMENT MATERIALS:			
AGGREGATE BASE	95%	0%	+2%

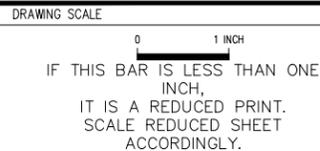
- RELATIVE COMPACTION BASED ON MAXIMUM DENSITY DETERMINED BY ASTM D1557 (LATEST VERSION)
- MOISTURE CONTENT BASED ON OPTIMUM MOISTURE CONTENT DETERMINED BY ASTM D1557 (LATEST VERSION)
- COMPACTION SHOULD BE DETERMINED BY ASTM D1557 (LATEST VERSION)

1.5. SITE DRAINAGE

THE FOLLOWING CRITERIA WILL BE FOLLOWED FOR SITE DRAINAGE.

- PONDING SHOULD NOT BE ALLOWED ON OR ADJACENT TO ROADS.
- SURFACE DRAINAGE SHOULD FOLLOW THE NATURAL DRAINAGE PATTERN OF THE SITE UNIMPEDED BY ROADS.
- ROCK LINED V-DITCHES (NO EXCAVATION) SHOULD BE SIZED BY THE CIVIL ENGINEER OF RECORD TO ACCOMMODATE THE DESIGN STORM EVENTS, IF NECESSARY.
- HEAVY COMPACTION EQUIPMENT SHOULD NOT BE ALLOWED AROUND FORMED DITCHES.
- STORM WATER POLLUTION PREVENTION PLANS (SWPPPS) SHOULD BE PREPARED FOR THE PROJECT-SPECIFIC REQUIREMENTS.
- FINAL GRADING PLANS SHOULD BE REVIEWED BY GEOR FOR COMPLIANCE WITH THESE SPECIFICATIONS.

APPROXIMATE VOLUME OF GRAVEL MATERIALS TO BE ADDED TO THE PROJECT - 40,000 CU.YDS



REVISIONS			DATE	
NO.	BY	DATE	DESCRIPTION	

DESIGNED BY:	RN	11-14-2022
DRAWN BY:	RN	11-14-2022
CHECKED BY:	SV	11-14-2022
APPROVED BY:	SV	11-14-2022



PRAANA TWO WASHOE BESS/PSES

PRAANA RENEWABLES ENERGY, LLC

JOB NO.	DB22121
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SHEET	3 OF 3