

## Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

<b>Project Information</b>		Staff Assigned Case No.: _____	
Project Name: <b>Trautwein Additional Dwelling</b>			
Project Description: Detached accessory dwelling and garage			
Project Address: 10900 Adobe Drive			
Project Area (acres or square feet): House 1119 sq ft, Garage 1500 sq ft			
Project Location (with point of reference to major cross streets <b>AND</b> area locator): <b>The west end of Adobe Drive, nearest cross street is Red Rock Road.</b>			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
087-060-02	7.02		
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
<b>Applicant Information</b> (attach additional sheets if necessary)			
<b>Property Owner:</b>		<b>Professional Consultant:</b>	
Name: Trautwein Family Living Trust		Name:	
Address: 10900 Adobe Drive		Address:	
Zip: 89508		Zip:	
Phone: 775-787-9412	Fax:	Phone:	Fax:
Email: trautweinawana@gmail.com		Email:	
Cell: 775-530-7997	Other:	Cell:	Other:
Contact Person: John Trautwein		Contact Person:	
<b>Applicant/Developer:</b>		<b>Other Persons to be Contacted:</b>	
Name: John Trautwein		Name:	
Address: 10900 Adobe Drive		Address:	
Zip: 89508		Zip:	
Phone: 775-787-9412	Fax:	Phone:	Fax:
Email:		Email:	
Cell: 775-530-7997	Other:	Cell:	Other:
Contact Person: John Trautwein		Contact Person:	
<b>For Office Use Only</b>			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

# Administrative Review Permit Application for a Detached Accessory Dwelling Supplemental Information

(All required information may be separately attached)

1. What is the size (square footage) of the main dwelling or proposed main dwelling (exclude size of garage)?

4373 sq ft

2. What is the size of the proposed detached accessory dwelling (exclude size of garage)? If a manufactured or modular home is the secondary dwelling, list the age and size of the unit.

1119 sq ft, manufactured home will be new in 2024

3. How are you planning to integrate the main dwelling and secondary dwelling to provide architectural compatibility of the two structures?

We are matching the paint colors as best as we can with the available choices

5. How many off-street parking spaces are available? Parking spaces must be shown on site plan. Are any new roadway, driveway, or access improvements be required?

10 parking spaces. A new driveway will be added as shown on the site plan.

6. What will you do to minimize any potential negative impacts (e.g. increased lighting, removal of existing vegetation, etc.) your project may have on adjacent properties?

New lighting will be minimal, the area being developed is desert with sage brush and tumble weed being removed. We plan to add trees around the new house.

7. Is the subject property part of an active Home Owners Association (HOA) or Architectural Control Committee?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please list the HOA name.
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8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit a detached accessory dwelling on your property?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please attach a copy.
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9. Only one accessory dwelling unit, whether attached or detached, is allowed per parcel. Is there a guest apartment, mother-in-law unit, next-gen addition with kitchen or any other type of secondary dwelling on the subject property?

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No	If yes, please provide information on the secondary unit.
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10. List who the service providers are for the main dwelling and accessory dwelling:

	Main Dwelling	Accessory Dwelling
Sewer Service	Septic	Septic
Electrical Service	NV Energy	NV Energy
Solid Waste Disposal Service	Waste Management	Waste Management
Water Service	Well	Well

Site Address: 10900 Adobe Dr Reno NV 89508  
 Mailing Address: 10900 Adobe Dr Reno NV 89508  
 7.020 Acre  
 Zoning LDS WCTY - Low Density Suburban  
 Front setback 30'  
 side setback 12'  
 rear setback 30'

Flood Zone X  
 Electrical service will be from closest NVE power pole based on NVE design  
 Water will be from existing well  
 House will be all electric, no gas needed  
 With no public sewer available, sewer will be a new septic tank  
 Percolation rate: estimated 60 minutes/inch  
 Tank size will be 1000 Gal  
 Leach field type: Infiltrator "QUICK 4" Standard Chamber System  
 Number of required Chambers 68  
 Total required length of distribution 272'  
 Number of Lines 3 lines of 23 chambers  
 Length of each line 92'  
 Total actual length of distribution 276'  
 All pipe bends to be 45° or less  
 Distribution box to be set level  
 total trench depth of the infiltrator chambered system to a maximum of 5' deep.

Repair leach will be minimum 10' away from primary  
 No domestic wells are located within 100' of the proposed system  
 There are no watercourses within 500' of the proposed system  
 House will be built to 2018 IFC and IWUI code and will have a minimum 50' of defensible space due to Parcel being located in a High WUI zone with non-confirming water.  
 IR1 construction is required.

For questions please contact Tiffany at Craftsman Homes  
 at 775-853-3004  
 Tiffany@forahouse.com

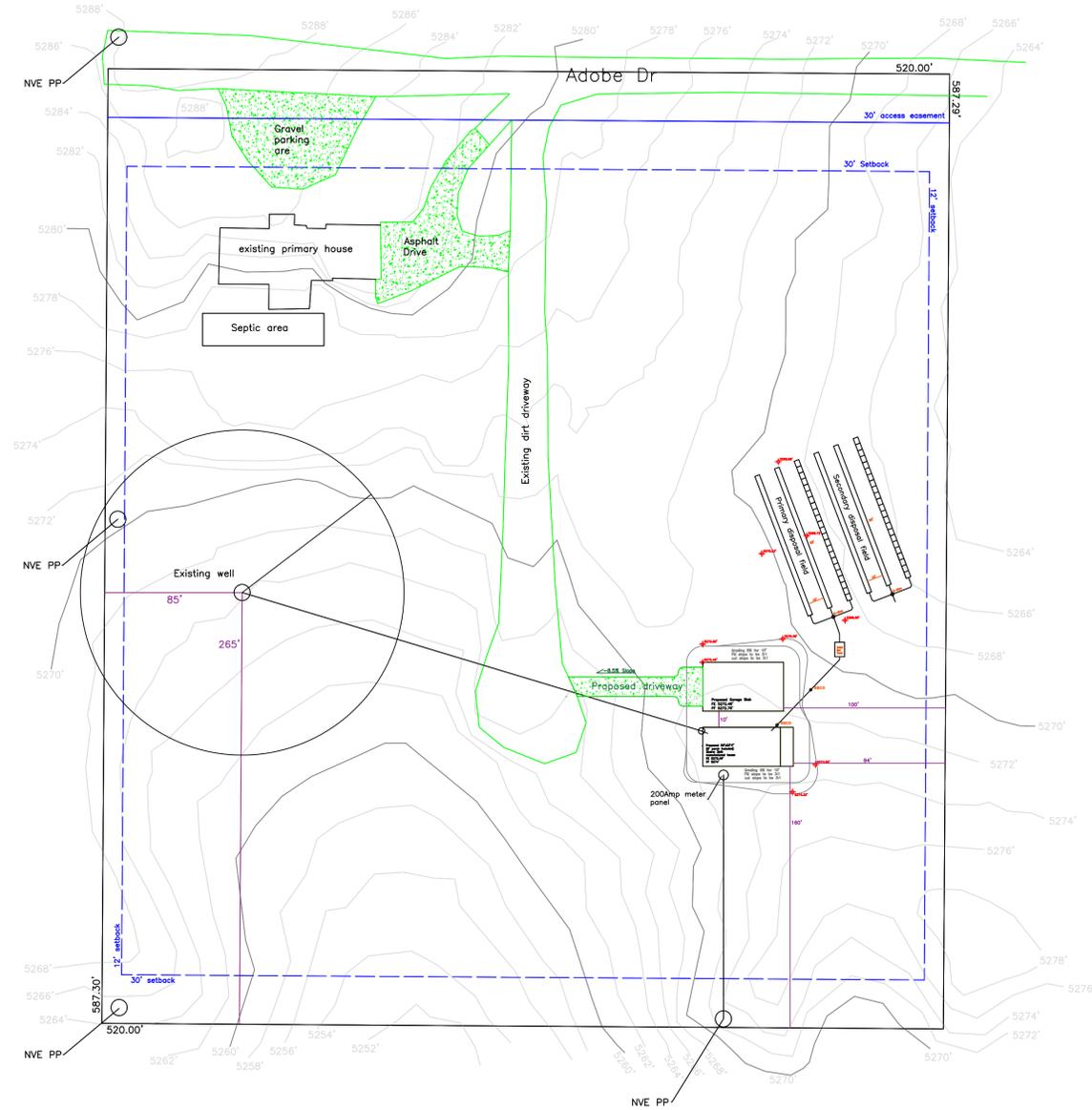
Perk test provided by homeowner

**TEST TRENCH INSPECTION FORM**

TEST TRENCH LOCATION  
 Address: 10900 Adobe Dr  
 Assessor's Parcel Number: 087-060-07

TEST TRENCH DESCRIPTION  
 Test Trench Number: 1 of 1  
 Trench Depth Range: 0-2' SANDY LOESS w/ ROOTS  
 2-14' SANDY SILT WITH CLAY, SERRATED  
 NO SPRINGING WATER

Inspector: [Signature] Date: 8/23/22



Proposed Gravel Driveway to be done by CHD  
 Driveway and right-of-way material to be gravel  
 Minimum width of driveway to be 12'  
 Total length of existing Dirt driveway approximately 375'  
 Total length of proposed Dirt driveway 80'  
 Driveway being over 200' in total length will have a fire truck turnaround at end of driveway as well as turnouts along length  
 Slope of driveway not to exceed 10%  
 Encroachment/Excavation Permit shall be obtained from Engineering Division prior to ANY work in the County right-of-way

Proposed location of new 56'x23'4" 2brdm 2bth manufactured house.

Garage slab will be 30'x50'

Home will be going on a full perimeter foundation. all cut (roughly 43.50 cubic yards) will be used in final grade of home to obtain 5% for 10' around the manufactured home.

Finished Grade (FG) at all structures will be 5% slope for 10 feet

Finished Elevation of house and garage slab will be 5272.46'

Finish Floor of House to be roughly 5274'

Finish Floor of Garage slab to be roughly 5272.75'

Contractor shall maintain an adequate dust control program to include watering of open areas. the contractor shall maintain conformity with all applicable health and air pollution regulations.

All grading work shall conform to current provisions of the county grading ordinance and maintain conformity with all other applicable agencies.

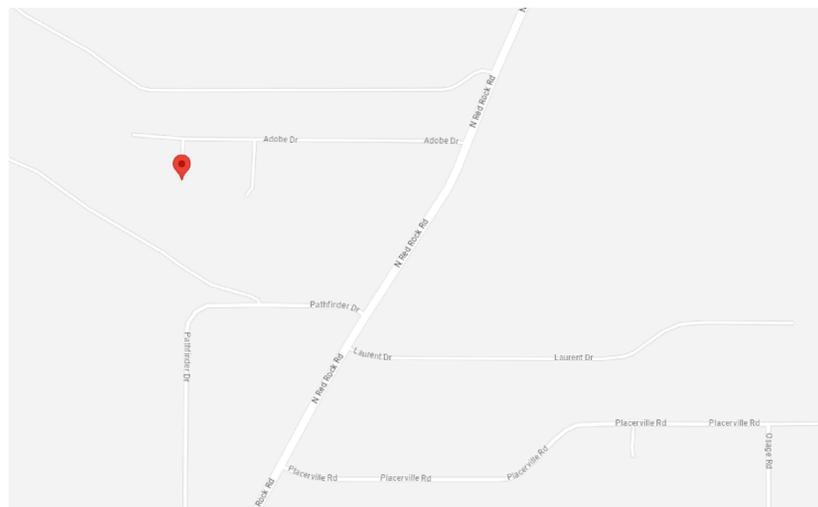
The contractor shall verify in the field, all elevations, dimensions, flow lines, existing conditions, and points of connection with adjoining properties (public or private).

Contractor shall be responsible for determining the exact location of all existing utilities within the limits of construction, whether or not said utilities are shown on the plans. this responsibility includes contracting utility companies for locations or pot holing prior to construction. any damage to existing utilities during construction is the responsibility of the contractor.

Site earthwork: cut=43.50 cubic yards; fill=43.50 cubic yards; net balance=(43.50cy-43.50cy)=0cy. Structural fill to be approved by engineer prior to use.

All disturbed areas (roughly 14000 square feet) will be occupied by permanent structures or flatwork improvements (driveways, etc.) or receive localized landscaping. areas which are not landscaped may be revegetated the application of seed mixtures of sodar wheatgrass, sagebrush, ryegrass and/or plant mix in accordance with the truckee meadows structural controls design and low impact development manual prepared by nce, dated april 2015.  
 Disturbed area includes all defensible space and area disturbed for septic system

All drainage to be surface flow, Owner is responsible to perpetuate natural drainage



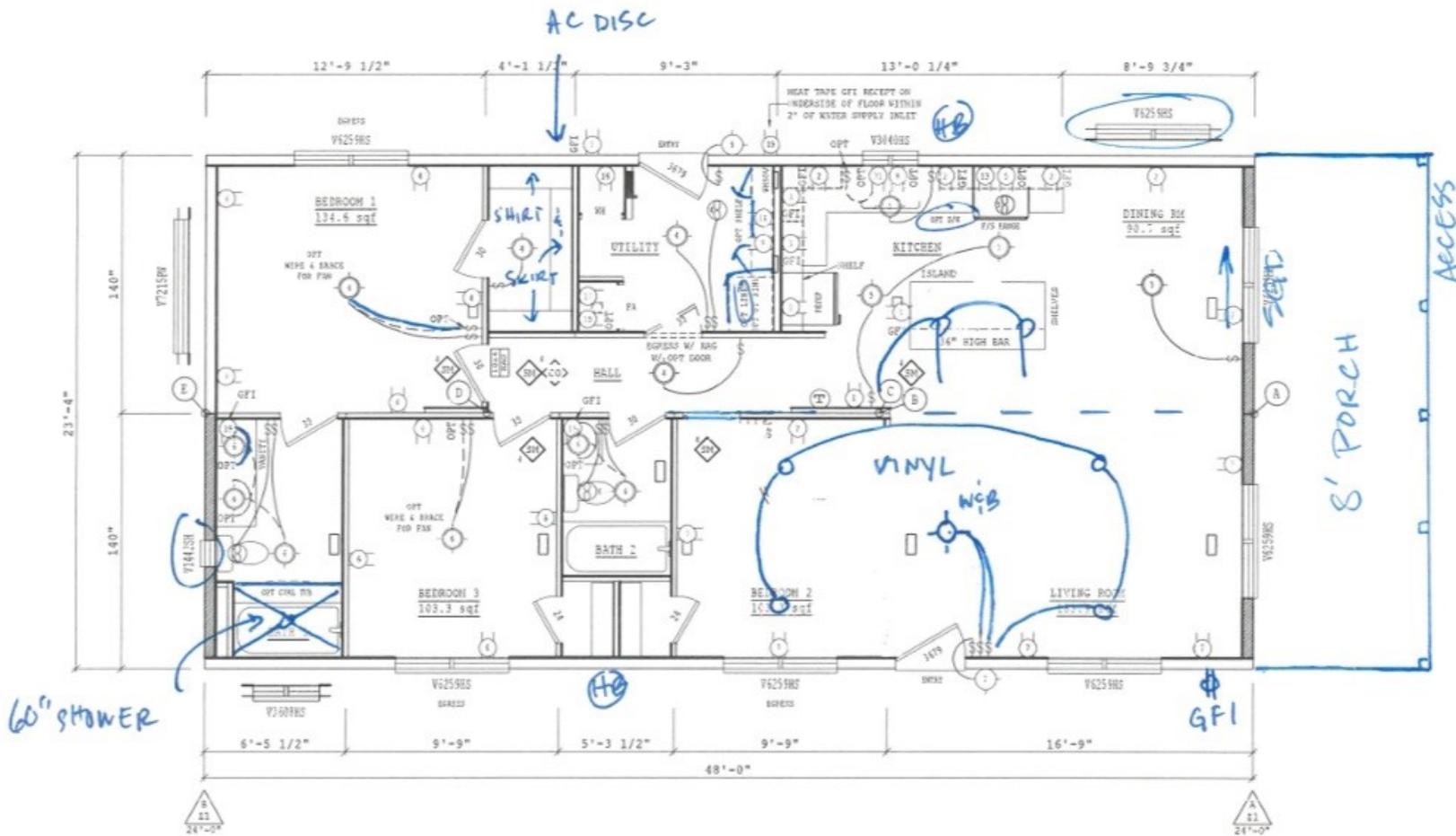
Customer Trautwein  
 APN: 08706002  
 10900 Adobe Dr Reno NV 89508

Rev	Date

CH Development  
 990 Glendale Ave  
 Sparks, NV 89431  
 NVCL# 062327  
 NVGS# 1502

**CONTRACTOR**  
 These Plans Are Prepared And Submitted By The Contractor As An Exemption To NRS 623.330 For Work Under The Contractor's License Category Authorized Under RRS 624.  
 CH Development  
 Company Name: CH Development  
 Company Representative: John Nielsen  
 Contractor License Number: 062327  
 Signature (Contractor, Maker, or Q.I.): [Signature]

Project: Trautwein  
 Date: 10/21/2023  
 Scale: 1"=50'



- NOTES:**
1. RECEPT SHALL NOT BE INSTALLED WITHIN 30" OF TUB/SHOWER SPACE.
  2. ELECTRICAL WALL PLATES SHALL NOT BE INSTALLED WITHIN 6" OF A RANGE OR COOKTOP.
  3. ROOM TITLES INCLUDING (#) INDICATES SQUARE FOOTAGE HAS BEEN COMBINED FOR GLAZING/VENTING REQUIREMENTS.
  4. THIS FLOOR PLAN MAY BE BUILT IN AN EXACT MIRROR IMAGE ABOUT ITS LENGTH (SIDE TO SIDE) AND/OR WIDTH (END TO END) AXIS. POST AND SPICE RANGE DIMENSIONS (FROM THE CHARTS) ARE TO BE STARTED AT THE REAR OF END-TO-END MIRROR IMAGES.
  5. FLAT CEILING THROUGHOUT.
  6. PERIMETER PIERING REQUIRED.

WU1

THIS FLOOR PLAN AND ATTACHED OPTION DETAILS (IF APPLICABLE) IS DESIGNED TO MEET THE FOLLOWING STRUCTURAL REQUIREMENTS:  
 WIND ZONE(S) 1 ROOF LOAD(S) 30 LBS.

**LEGEND**

- RECEPTACLE
- ⊕ THERMOSTAT
- ⚡ SWITCH
- LIGHT FIXTURE
- RECESSED LIGHT
- ⊖ EXHAUST FAN
- ⊠ PANEL BOX
- ☀ SOLAR TUBE / L.E.
- ⊕ AIR SUPPLY
- ⊖ 1" RETURN AIR
- ⊖ RETURN AIR GRILLE
- ⊠ OVERHEAD REGISTER
- ⊠ FLOOR REGISTER
- ⊠ CROSS-OVER LOCATION
- ⊠ SUPPORT POST
- ⊠ SHEARMAN
- ⊠ SMOKE ALARM
- ⊠ OPT CO ALARM (STD W/GAS)

- (A) 140 x 48'
- (B) 140 x 48'
- (C) X

**Cavco**  
INDUSTRIES, INC.

NAMPA  
230

PRODUCT NAME  
BROADMORE

MODEL NO.  
24483M

DRAWING TITLE  
FLOOR PLAN

DRAWN BY:  
AIVAR K.

DATE:  
10/04/22

SHT  
FP.1

REV  
B



# JOHN TRAUTWEIN

10900 ADOBE DR, RENO, NV 89508

(WASHOE COUNTY, NV)

30' X 50' X 14'

## SCOPE OF PLANS:

1. TO PROVIDE STRUCTURAL DESIGN FOR THE PRE-FAB METAL BUILDING PER THE SPECIFIED DESIGN LOADS, AND APPLICABLE BUILDING CODES. ANY DISCREPANCIES IN DESIGN LOADS SHALL BE BROUGHT TO THE ATTN. OF THE ENGINEER OF RECORD.
2. **DOES NOT PROVIDE** ANY ARCHITECTURAL, SITE, ZONING, HVAC, ELEC, MECH DESIGN OR REQUIREMENTS. THESE ITEMS MUST BE ADDRESSED BY THEIR RESPECTIVE PROFESSIONALS IN CHARGE.

## GENERAL STRUCTURAL DESIGN NOTES

1. ALL CONSTRUCTION SHALL BE PROVIDED IN ACCORDANCE WITH , IBC 2018, ASCE7-16, OSHA, AISC 360, AISI S100, AWS D1.3 CODES AND ALL OTHER APPLICABLE LOCAL CITY OR COUNTY REQUIREMENTS.
2. ALL WELDS ARE TO BE SHOP WELDS. **FIELD WELDING IS NOT PERMITTED NOR REQUIRED.** WELDING ELECTRODES PER AWS CODE, E70XX UNLESS NOTED OTHERWISE ON PLANS.
3. ALL STRUCTURAL FIELD CONNECTIONS SHALL BE #12-14 x 3/4" SDS (ESR-2196) **U.N.O.**
4. ALL STRUCTURAL LIGHT GAUGE TUBING SHALL BE ASTM A500 GRADE C (Fy = 50 KSI, Fu = 62 KSI) OR EQUAL. ALL CHANNELS SHALL BE A653 (HSLA) GRADE 50 STEEL (Fy = 50 KSI, Fu = 65 KSI) OR EQUAL.
5. STRUCTURAL TUBE TS 2 1/2" x 2 1/2" x 14GA (0.083") IS EQUIVALENT TO TS 2 1/4" x 2 1/4" x 12GA (0.109") AND EITHER ONE MAY BE USED IN LIEU OF THE OTHER.
6. GYPSUM BOARD OR DRYWALL FINISH OR ANY BRITTLE BASE MATERIAL IS NOT CONSIDERED OR ACCOUNTED FOR ON THE DESIGN CRITERIA OF THIS STRUCTURE, U.N.O.

## STRUCTURAL DESIGN CRITERIA

PREVAILING CODE: IBC 2018  
 OCCUPANCY / USE GROUP: U (PRIVATE GARAGE / SHED)  
 CONSTRUCTION TYPE: V B (ANY MAT'L - IBC 602.5)  
 RISK CATEGORY: II  
 BUILDING FOOTAGE: 1500 SQ.FT

1. DEAD LOAD (D)  
COLLATERAL LOAD 2.0 PSF
2. ROOF LIVE LOAD (Lr) Lr = 34 PSF
3. SNOW LOAD (S)  
GROUND SNOW LOAD Pg = 40 PSF  
IMPORTANCE FACTOR Is = 1.00  
THERMAL FACTOR Ct = 1.2  
EXPOSURE FACTOR Ce = 1.0  
ROOF SLOPE FACTOR Cs = 1.0  
FLAT ROOF SNOW LOAD Pf = 34 PSF  
SLOPED ROOF SNOW LOAD Ps = 34 PSF
4. WIND LOAD (W)  
DESIGN WIND SPEED Vult = 120 MPH  
EXPOSURE C
5. SEISMIC LOAD (E)  
Ss / S1 1.509/0.503  
SDs / SD1 1.207/0.603  
DESIGN CATEGORY D  
SITE CLASS D (DEFAULT)  
IMPORTANCE FACTOR Ie = 1.00

### ASD LOAD COMBINATIONS:

1. D + (Lr OR S)
2. D + (0.6W OR ±0.7E)
3. D + 0.75 (0.6W OR ±0.7E) + 0.75 (Lr OR S)
4. 0.6D + (0.6W OR ±0.7E)

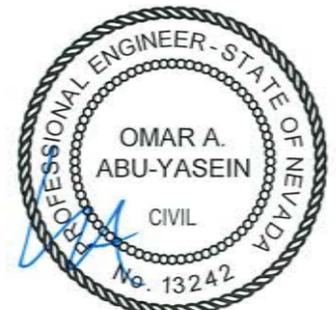
## STRUCTURAL DRAWING INDEX

- 1 ..... COVER SHEET
- 2 ..... ELEVATIONS
- 3A ..... FOUNDATION PLAN
- 3B ..... FOUNDATION DETAILS
- 4 ..... COLUMN LAYOUT PLAN & DETAILS
- 5 ..... FRAME SECTION & DETAILS
- 6A ..... SIDE WALL FRAMING
- 6B ..... SIDE WALL DETAILS
- 7A ..... END WALL FRAMING
- 7B..... END WALL DETAILS

REVISIONS LIST		
MARK	COMMENTS	DATE
-	ISSUED FOR PERMIT & CONST.	OCT 30 2023

SPECIAL INSPECTION SCHEDULE	PERIODIC	CONTINUOUS
	P	C
ANCHORAGE		
POST-INSTALLED CONCRETE ANCHOR BOLTS (PER ICC-ESR REQUIREMENTS - REF SHEET 3B)	X	-

THE OWNER SHALL HIRE LICENSED SPECIAL INSPECTOR AT THEIR OWN COST. THE OWNER MAY BRING TO THE ATTENTION OF THE ENGINEER, ANY ISSUES OF CONCERN NOTED BY THE INSPECTOR.



EXPIRES: 12/31/2024

SIGNED: NOV 02 2023

2.23.295.1

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FOR QUESTIONS, MODIFICATIONS, REVISIONS OR CORRECTIONS NEEDED TO PLANS, PLEASE CONTACT THE METAL BUILDINGS MANUFACTURER LISTED ON PLANS. ENGINEER OF RECORD REQUIRES AUTHORIZATION FROM THE METAL BUILDINGS MANUFACTURER TO MAKE ANY CHANGES TO PLANS.

SHEET TITLE: COVER SHEET

PROJECT TITLE: JOHN TRAUTWEIN

LOCATION: 10900 ADOBE DR RENO, NV 89508

SHEET NO: 1 OF 7

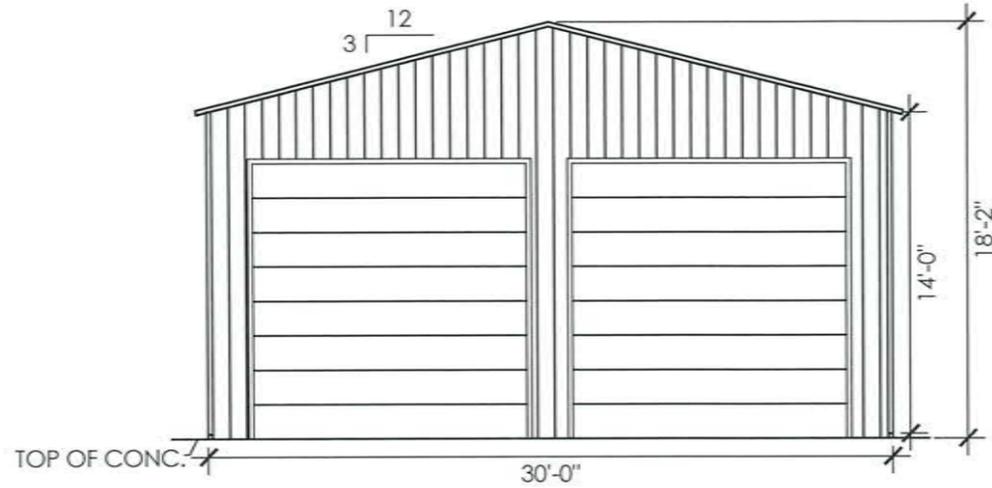
PROJECT NO: 233-23-3062

DRAWN BY: Tariq

DATE: 10/30/2023

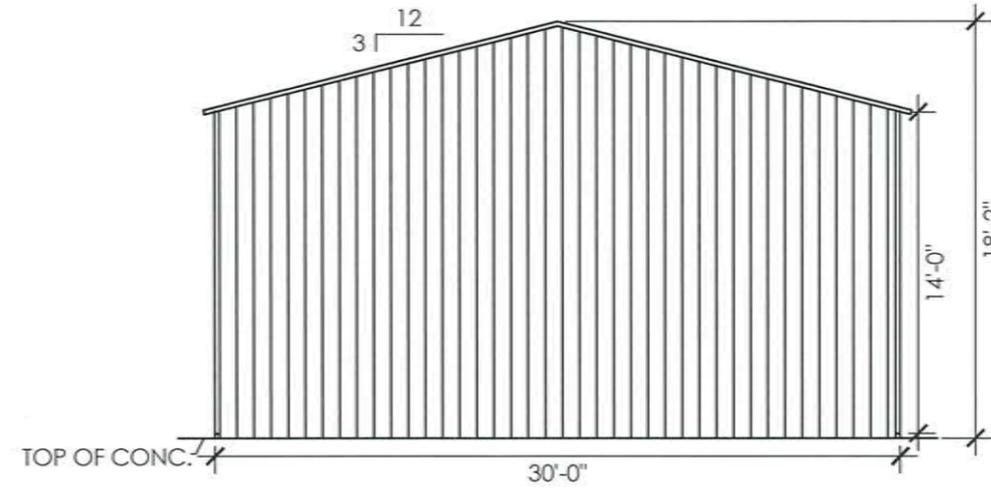
METAL BUILDING MANUFACTURER

457 N. Broadway, Joshua, TX 76058  
1-866-730-9865



**FRONT END WALL ELEVATION**

SCALE: 1/8" : 1'



**BACK END WALL ELEVATION**

SCALE: 1/8" : 1'

**DESIGN NOTES**

1. THE INTENTION OF ELEVATIONS PROVIDED ON THIS SHEET IS TO INDICATE STRUCTURAL COMPONENTS, DIMENSIONS, AND BUILDING ORIENTATION ONLY.
2. ARCHITECTURAL DESIGN REQUIREMENTS ARE NOT COVERED IN THIS PLAN SET. THESE DESIGN REQUIREMENTS SHALL BE ADDRESSED IN A SEPARATE ARCHITECTURAL SET BY RESPONSIBLE LICENSED PROFESSIONALS IN CHARGE, AS NEEDED.
3. ALL EXT ROOF SHEATHING SHALL BE: CLASS A RATED 29GA. 3/4" RIB HT - GALV OR PAINTED STEEL (FY=80 KSI) OR EQ.
4. ALL EXT WALL SHEATHING SHALL BE: CLASS A RATED 29GA. 3/4" RIB HT - GALV OR PAINTED STEEL (FY=80 KSI) OR EQ.
5. SHEATHING CONNECTIONS SHALL BE #12-14 X 3/4" SDS. NEOPRENE WASHERS ARE REQUIRED.

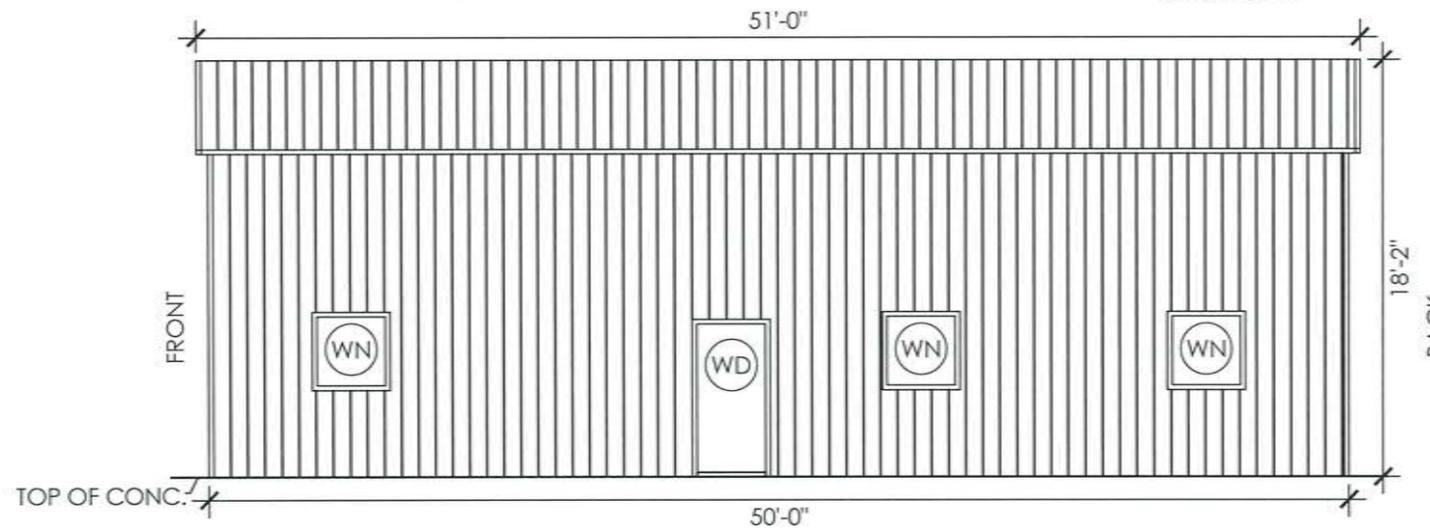
**LEGEND**

(WN) WINDOWS (REF WINDOW MFG)

(WD) WALK-IN DOORS (REF DOOR MFG)

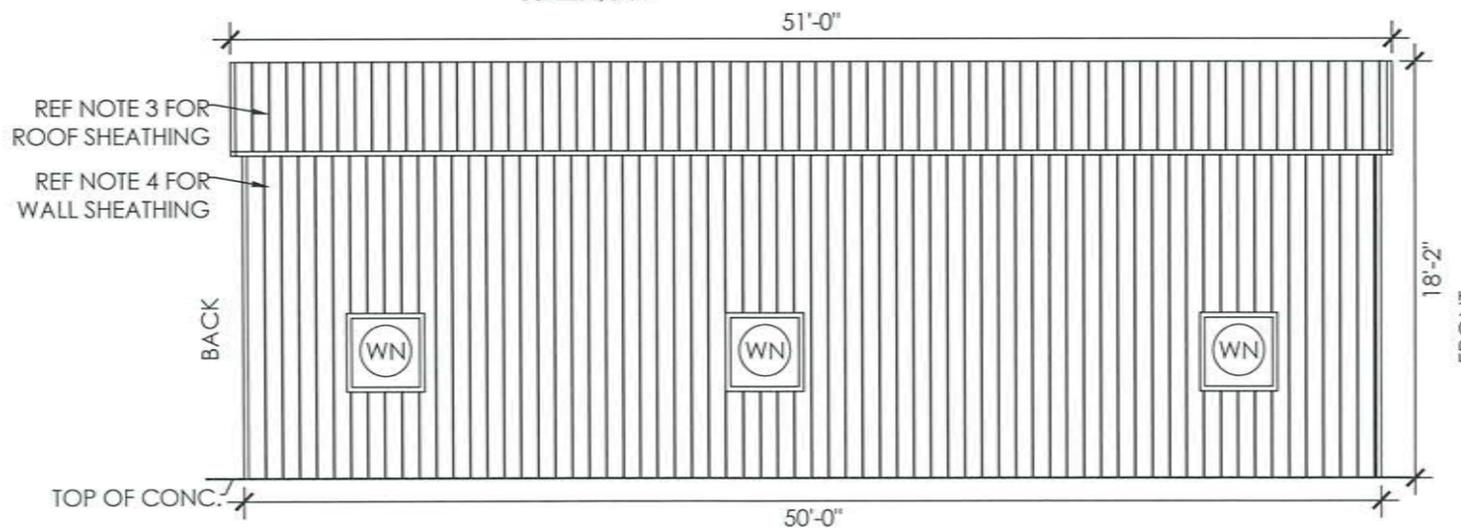
**NOTE 1:** ANY DOOR OR WINDOW DESIGN INFORMATION IS NOT COVERED IN THIS PLAN SET AND SHALL BE ADDRESSED BY OTHERS.

**NOTE 2:** LOC OF WALK-IN DOORS OR WINDOWS CAN BE DETERMINED ON SITE AS LONG AS THEY FALL BETWEEN BAYS (BETWEEN FULL FRAMES).



**RIGHT SIDE WALL ELEVATION**

SCALE: 1/8" : 1'



**LEFT SIDE WALL ELEVATION**

SCALE: 1/8" : 1'

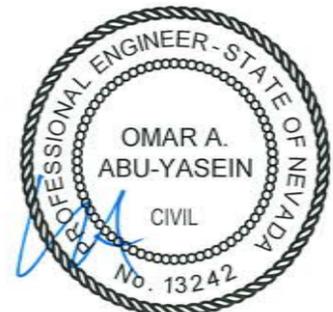
**ELEVATIONS**

SHEET TITLE:

LOCATION:  
10900 ADOBE DR  
RENO, NV 89508

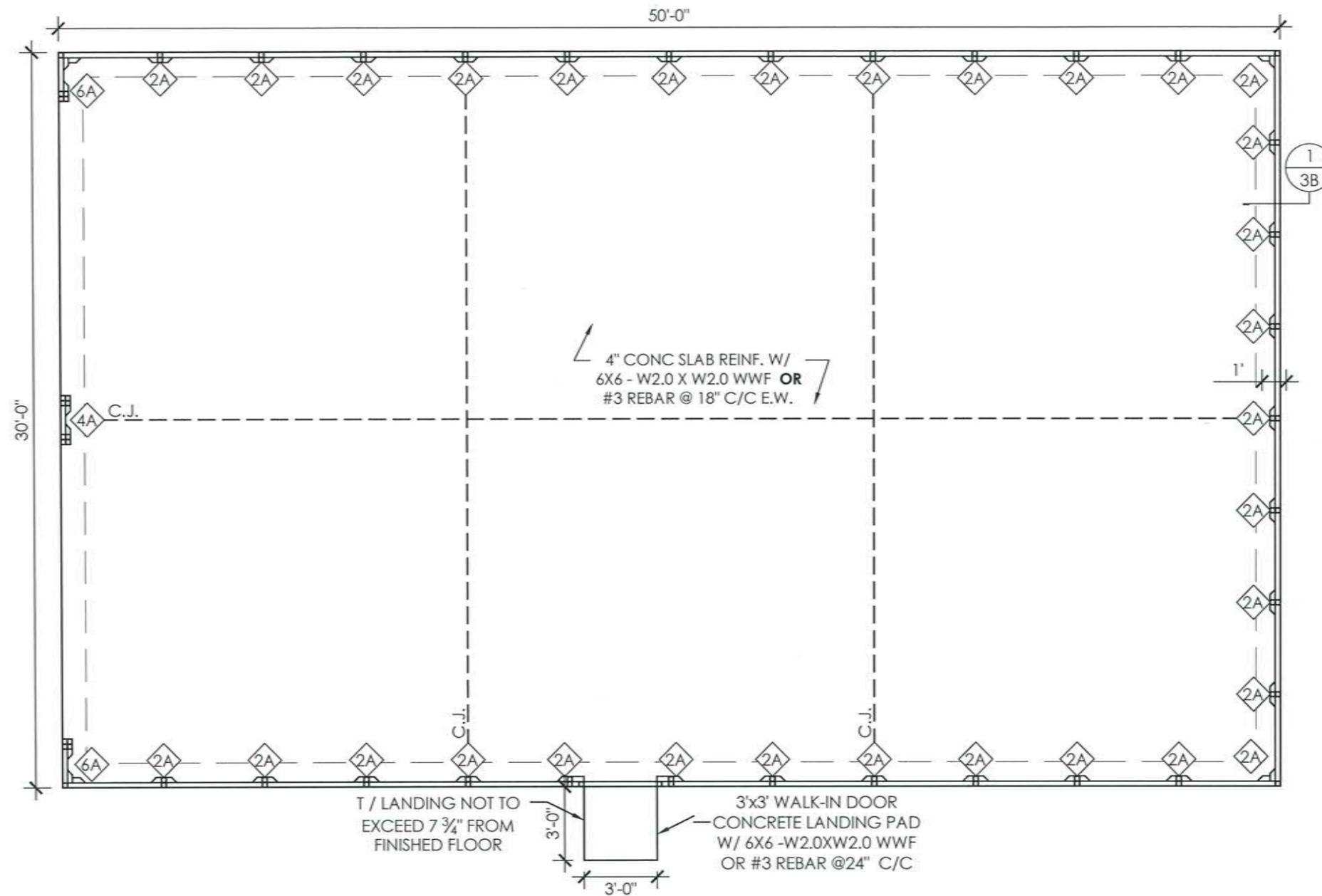
PROJECT TITLE:  
JOHN TRAUTWEIN

METAL BUILDING MANUFACTURER



EXPIRES: 12/31/2024

SIGNED: NOV 02 2023



### FOUNDATION PLAN

SCALE: 3/16" = 1'

CONCRETE ANCHORAGE	
	(2) 1/2"Ø X 6.5" LG. TITEN HD SCREWANCHOR (PER ESR 2713)
	(4) 1/2"Ø X 6.5" LG. TITEN HD SCREWANCHOR (PER ESR 2713)
	(6) 1/2"Ø X 6.5" LG. TITEN HD SCREWANCHOR (PER ESR 2713)

#### FOUNDATION NOTES:

- CONTROL JOINTS SHALL BE PLACED SO AS TO LIMIT MAX. SLAB SPANS TO 20' IN EACH DIRECTION.
- CONC ANCHORS SHALL BE LOCATED AS SHOWN ON THE FOUNDATION PLAN WITH A MINIMUM OF (2) ANCHOR'S PER POST.
- DEPTH OF FOOTINGS SHALL EXTEND INTO UNDISTURBED SOIL OR COMPACTED ENGINEERING FILL.
- MIN. FOOTING DEPTH NEEDED TO RESIST BUILDING LOADS IS INDICATED ON FOUNDATION DETAILS. HOWEVER, A GREATER FOOTER DEPTH MAYBE REQUIRED TO MEET THE LOCAL FROST LINE DEPTH PER CODE.
- ASSUMED SOIL BEARING CAPACITY IS TO BE A MIN. OF 1500 PSF.
- CONC STRENGTH TO BE A MIN OF 3000 PSI @ 28 DAYS FOR MODERATE WEATHERING POTENTIAL. SPECIAL INSPECTION IS NOT REQUIRED AS ALL CONC FOUNDATION DESIGN IS BASED ON A MAX COMPRESSIVE STRENGTH OF 2500 PSI @ 28 DAYS.
- CONC SLAB TO SLOPE A MIN OF 1/8" FOR EVERY 12" TOWARDS LARGE OPENING(S) TO ALLOW DRAINAGE, IF INTENDED USE IS A GARAGE.
- LEVELING CURB IS OPTIONAL. REF. MIN 8" WIDE CURB DETAIL PROVIDED ON SHEET 3B.

SHEET NO: 3A OF 7

PROJECT NO: 233-23-3062

DRAWN BY: Tariq DATE: 10/30/2023

FOUNDATION PLAN:  
CONCRETE SLAB

LOCATION:  
10900 ADOBE DR  
RENO, NV 89508

PROJECT TITLE:  
JOHN TRAUTWEIN

METAL BUILDING MANUFACTURER



EXPIRES: 12/31/2024

SIGNED: NOV 02 2023

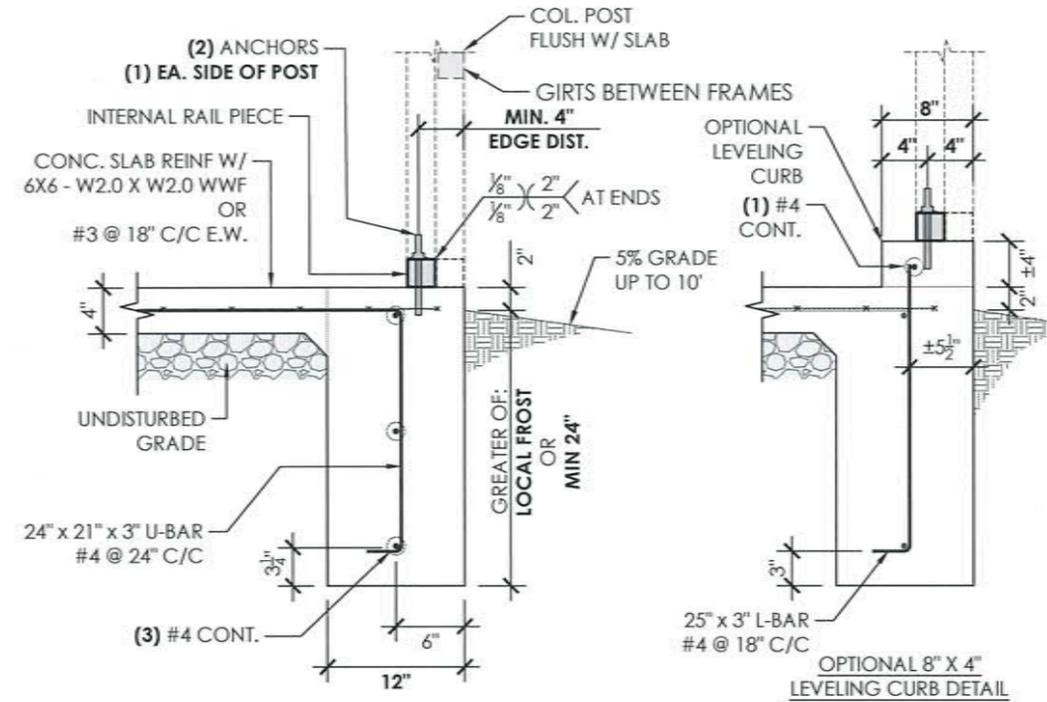
CONCRETE ANCHORAGE	
2A	(2) 1/2"Ø X 6.5" LG. TITEN HD SCREWANCHOR (PER ESR 2713)
4A	(4) 1/2"Ø X 6.5" LG. TITEN HD SCREWANCHOR (PER ESR 2713)
6A	(6) 1/2"Ø X 6.5" LG. TITEN HD SCREWANCHOR (PER ESR 2713)

**ANCHORAGE NOTES:**

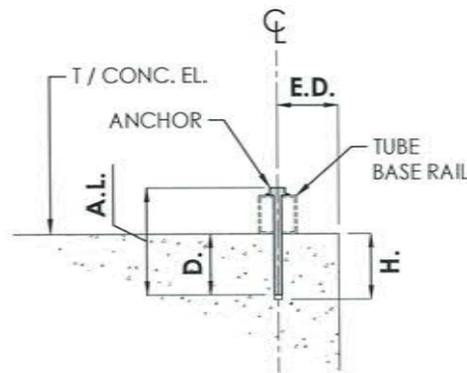
- ANCHOR INSTALLATION REQUIREMENTS (REF ANCHORAGE DETAIL):
  - A.L. - ANCHOR LENGTH: 6.50"
  - E.D. - ANCHOR EDGE DISTANCE: MIN. 4.00" OR U.N.O.
  - H. - ANCHOR HOLE DEPTH: MIN. 3.75"
  - D. - CONCRETE EMBEDMENT DEPTH: MIN. 3.25"
  - SPACING BETWEEN (2) ANCHORS: MIN. 3.00" OR U.N.O.
- ANCHORS TO BE SPACED NO MORE THAN 6" FROM POSTS OR U.N.O.
- ANCHORS TO BE INSTALLED PER MANUFACTURER'S REQ. PER SPECIFIED ESR.

**REINFORCEMENT NOTES:**

- REINFORCING STEEL: DEFORMED BARS CONFORMING TO ASTM A615, GRADE 40, WITH A MINIMUM YIELD OF 40 KSI FOR ALL BARS UNLESS OTHERWISE INDICATED ON DRAWINGS.
- WELDED WIRE FABRIC: ASTM A185 USING BRIGHT STEEL WIRE MEETING THE REQUIREMENTS OF ASTM A82. GAUGES AND DIMENSIONS AS NOTED ON THE DRAWINGS. PROVIDE IN FLAT SHEETS OR ROLLS.



**1 FOUNDATION DETAIL**  
SCALE: 3/4" : 1'

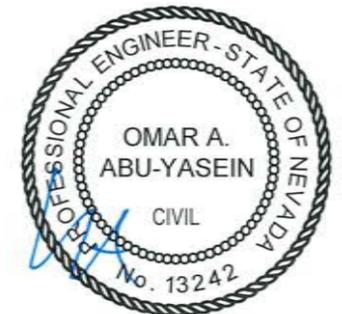


**ANCHORAGE DETAIL**  
SCALE: 1" : 1'

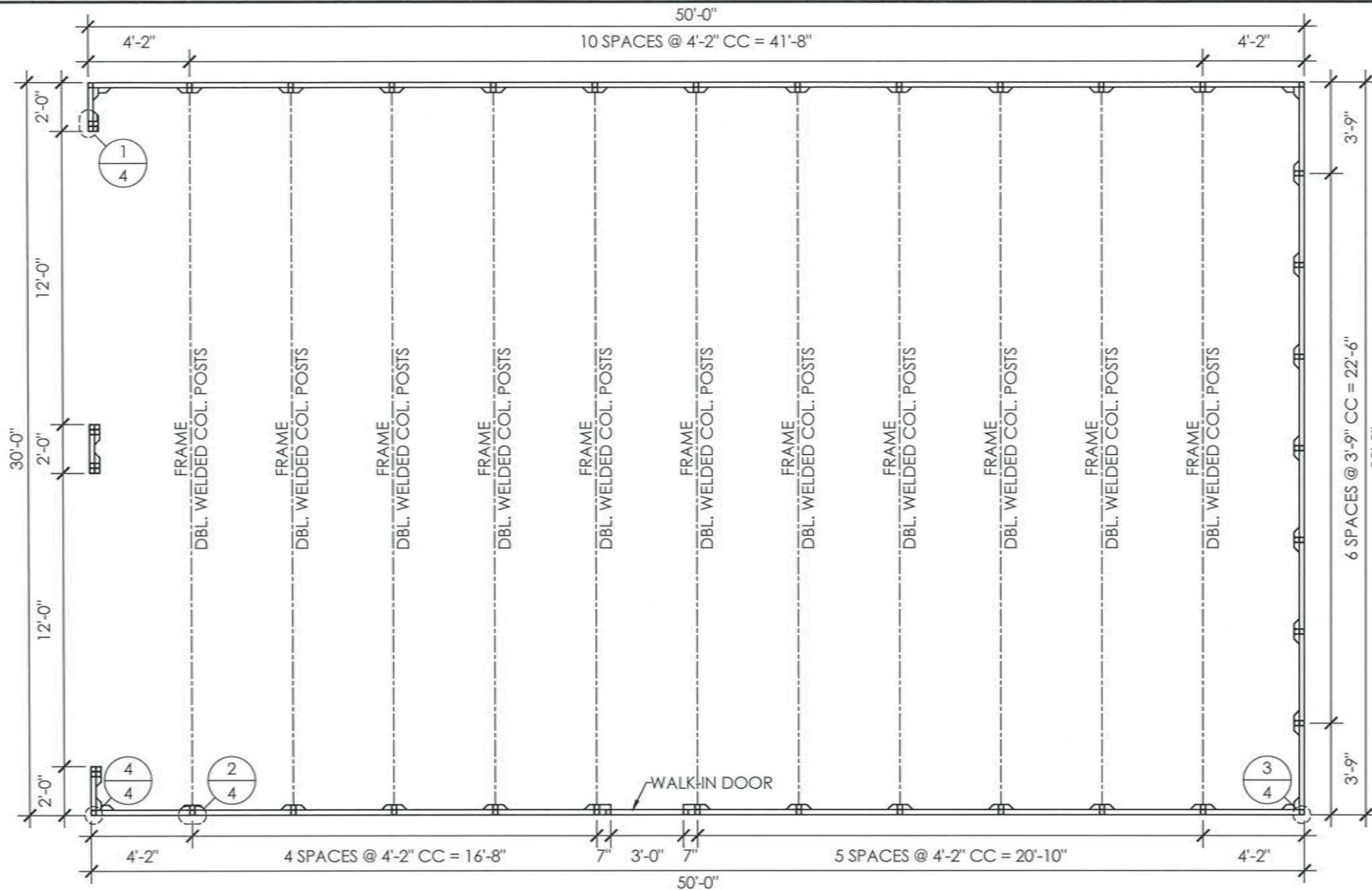
SHEET NO: <b>3B OF 7</b>	
PROJECT NO: 233-23-3062	
DRAWN BY: Tariq	DATE: 10/30/2023
FOUNDATION DETAILS: <b>CONCRETE SLAB</b>	LOCATION: 10900 ADOBE DR RENO, NV 89508
	PROJECT TITLE: JOHN TRAUTWEIN

METAL BUILDING MANUFACTURER

457 N. Broadway,  
Joshua, TX 76058  
1-866-730-9865



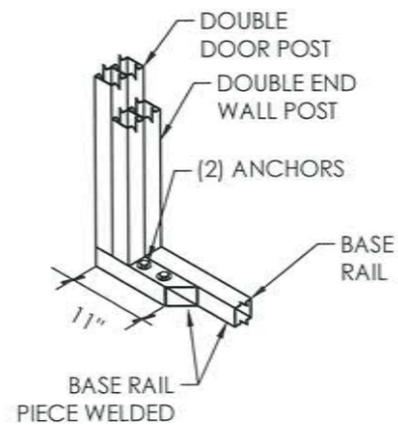
EXPIRES: 12/31/2024  
SIGNED: NOV 02 2023



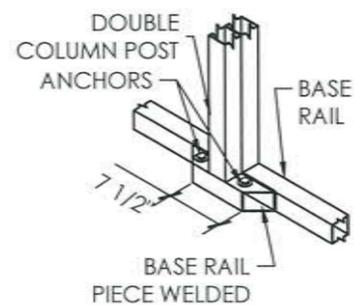
**COLUMN LAYOUT PLAN**

SCALE: 3/16" : 1'

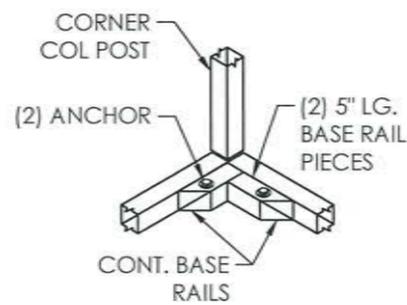
NOTE:  
SEE SHEET 3A / 3B FOR ANCHOR TYPE  
SEE SHEET 5 FOR FRAME SECTION AND DETAILS



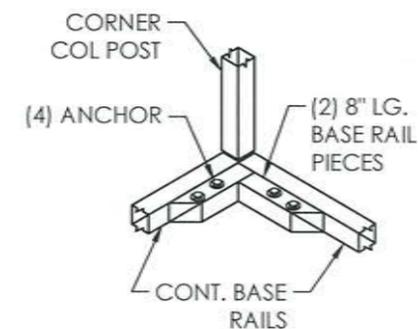
**1 ANCHOR DETAIL**  
SCALE: 1/2" : 1'



**2 ANCHOR DETAIL**  
SCALE: 1/2" : 1'



**3 ANCHOR DETAIL**  
SCALE: 1/2" : 1'

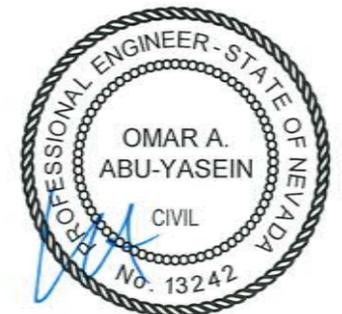


**4 ANCHOR DETAIL**  
SCALE: 1/2" : 1'

SHEET NO: <b>4 OF 7</b>	
PROJECT NO: 233-23-3062	
DRAWN BY: Tariq	DATE: 10/30/2023
<b>COLUMN LAYOUT PLAN</b>	
PROJECT TITLE: JOHN TRAUTWEIN	LOCATION: 10900 ADOBE DR RENO, NV 89508

METAL BUILDING MANUFACTURER

457 N. Broadway,  
Joshua, TX 76058  
1-866-730-9865



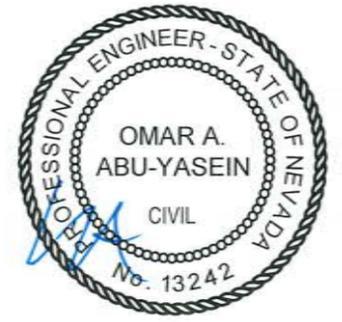
EXPIRES: 12/31/2024  
SIGNED: NOV 02 2023

**FRAME SECTION & DETAILS**

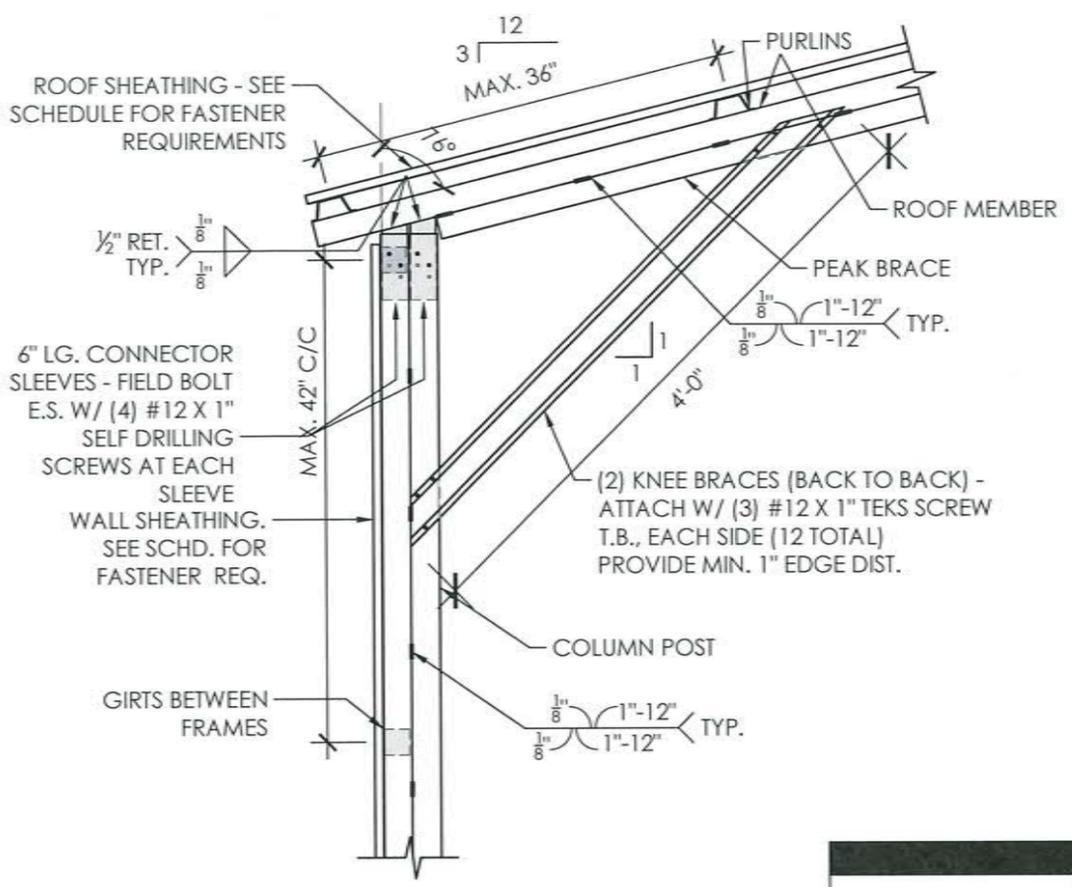
LOCATION:  
10900 ADOBE DR  
RENO, NV 89508

PROJECT TITLE:  
JOHN TRAUTWEIN

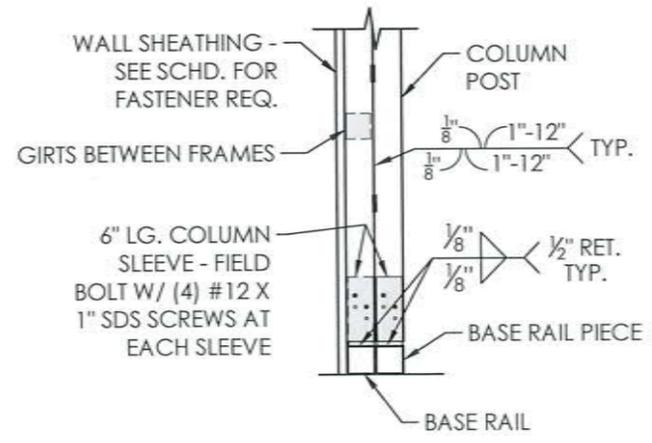
METAL BUILDING MANUFACTURER



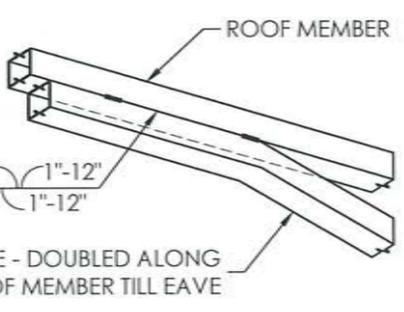
EXPIRES: 12/31/2024  
 SIGNED: NOV 02 2023



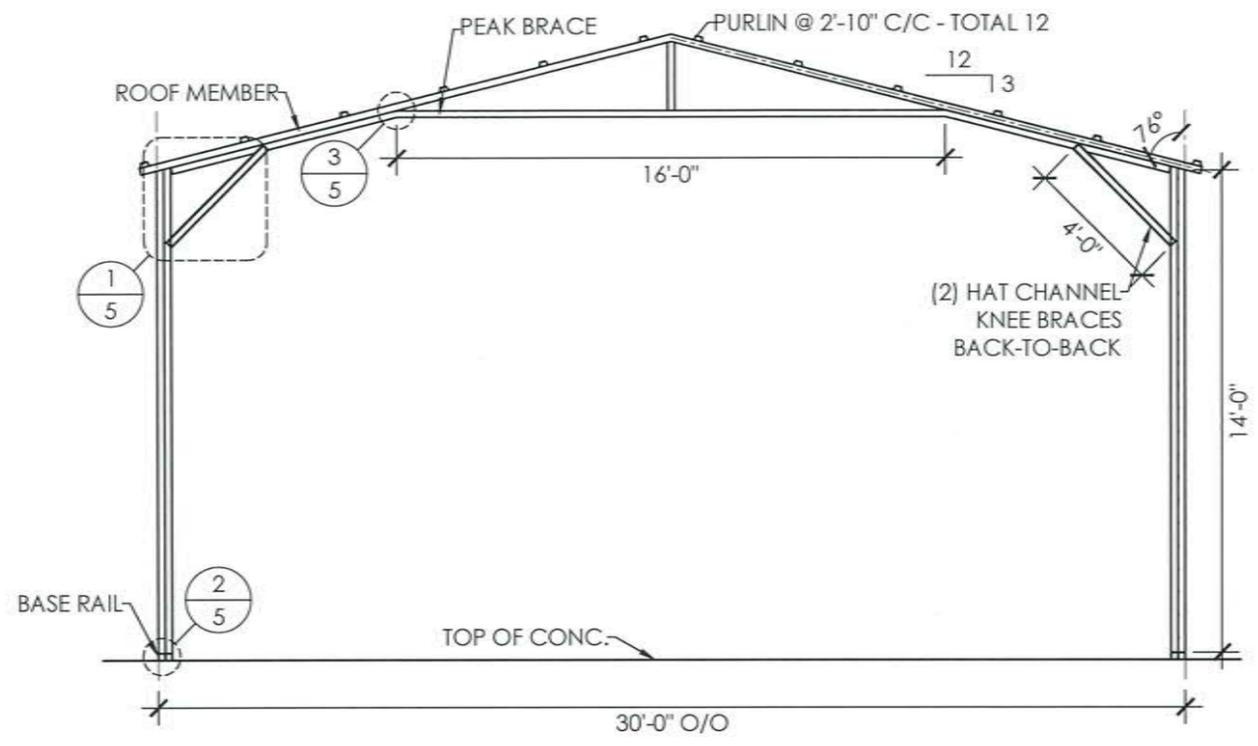
**1 FRAME DETAIL**  
SCALE: 3/4" : 1'



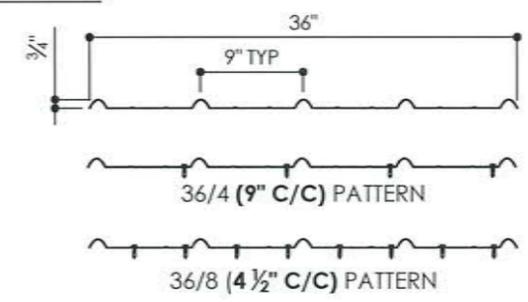
**2 BASE DETAIL**  
SCALE: 3/4" : 1'



**3 PEAK BRACE DETAIL**  
SCALE: 3/4" : 1'

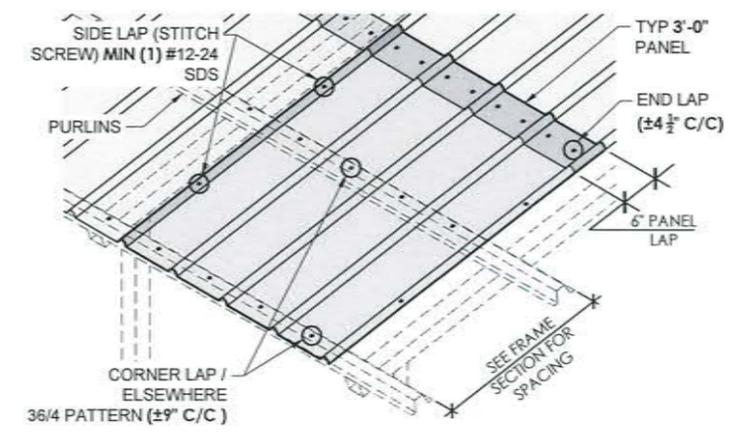


**TYPICAL FRAME**  
SCALE: 3/16" : 1'



**29GA. - 3/4" RIB - CORRUGATED SHEET**

SCALE: 3/4" : 1'



**SHEATHING FASTENER PATTERN**  
SCALE: 3/16" : 1'

MEMBER PROPERTIES	
COLUMN POST	(2) 2 1/2" SQ. X 14GA TUBE - STITCH WELDED
ROOF MEMBER	2 1/2" SQ. X 14GA TUBE
BASE RAIL	2 1/2" SQ. X 14GA TUBE
PEAK BRACE	2 1/2" SQ. X 14GA TUBE
KNEE BRACE	(2) 4" X 1" X 14GA HAT CHANNEL
CONNECTOR SLEEVE	2 1/4" SQ. X 12GA TUBE
GIRTS	2 1/2" SQ. X 14GA TUBE
PURLINS	4" X 1" X 14GA HAT CHANNEL

SHEATHING FASTENER SCHEDULE				
LOCATION	CORNER PANEL	SIDE LAPS	EDGE LAPS	ELSEWHERE
SPACING	9" CC	MIN. 1	4 1/2" CC	9" CC

FASTENER TYPE: # 12x1" SELF-DRILL SCREWS (ESR-2196) W/ NEOPRENE/STEEL WASHER

MEMBER PROPERTIES	
CORNER POST	2 1/2" SQ. X 14GA TUBE
SIDE WALL POST	(2) 2 1/2" SQ. X 14GA TUBE - STITCH WELDED
BASE RAIL	2 1/2" SQ. X 14GA TUBE
CONNECTOR SLEEVE	2 1/4" SQ. X 12GA TUBE
PURLINS	4" X 1" X 14GA HAT CHANNEL
GIRTS	2 1/2" SQ. X 14GA TUBE
HORZ. BRACE	2 1/4" SQ x 14GA TUBE
DIAGONAL BRACES	2" SQ. X 12GA TUBE

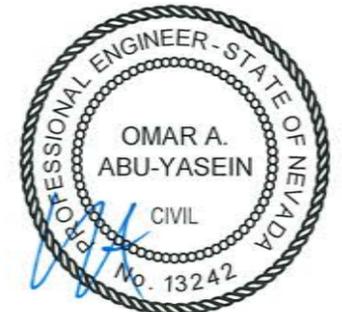
**SIDE WALL FRAMING**

LOCATION:  
10900 ADOBE DR  
RENO, NV 89508

PROJECT TITLE:  
JOHN TRAUTWEIN

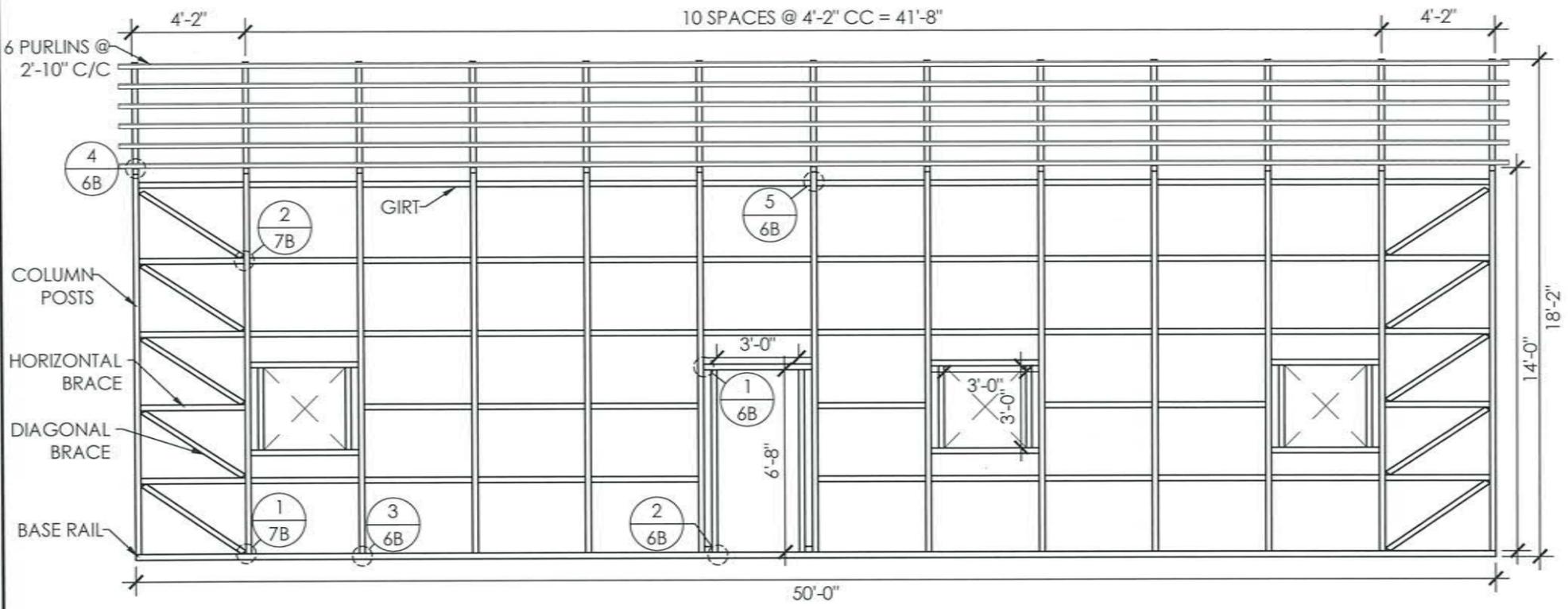
SHEET TITLE:

METAL BUILDING MANUFACTURER



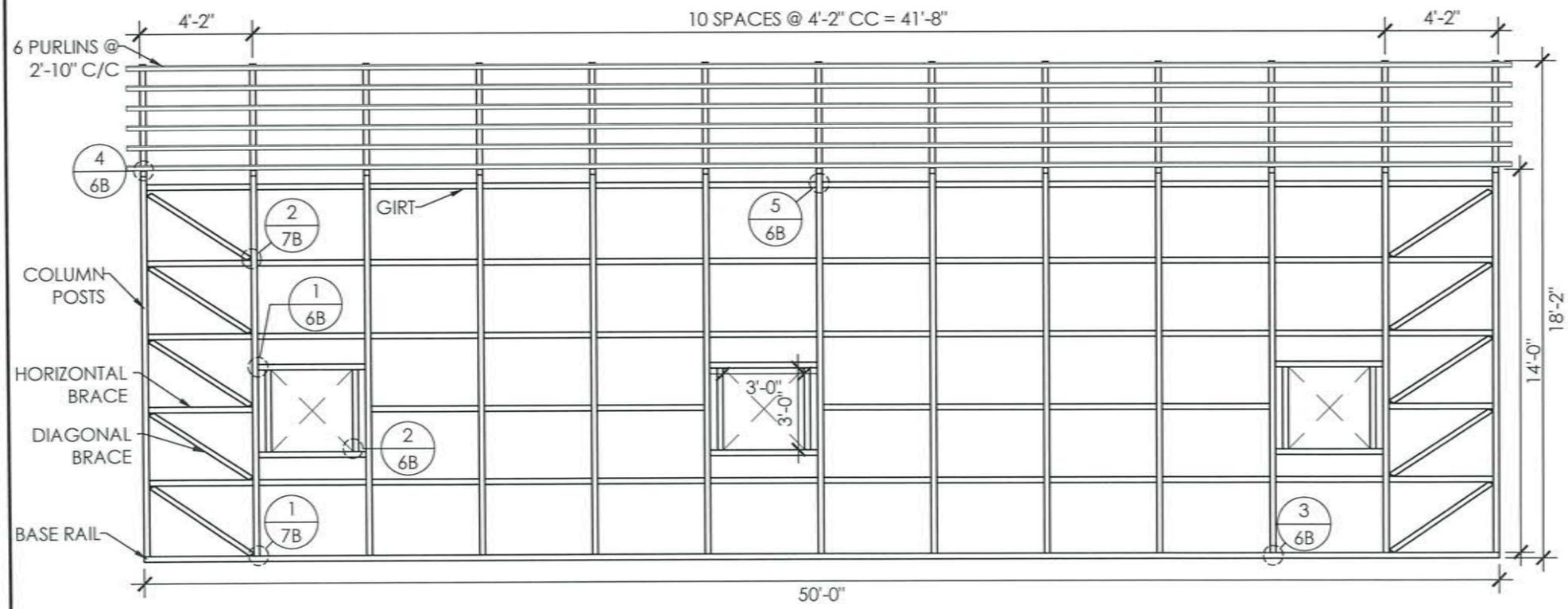
EXPIRES: 12/31/2024

SIGNED: NOV 02 2023



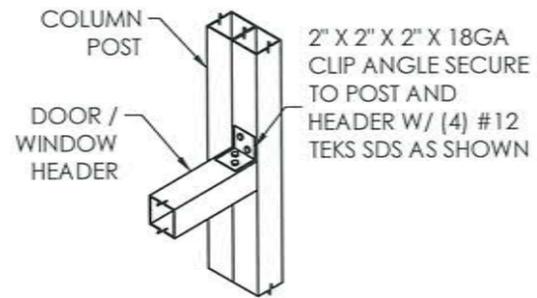
**RIGHT SIDE WALL FRAMING**

SCALE: 3/16" : 1'

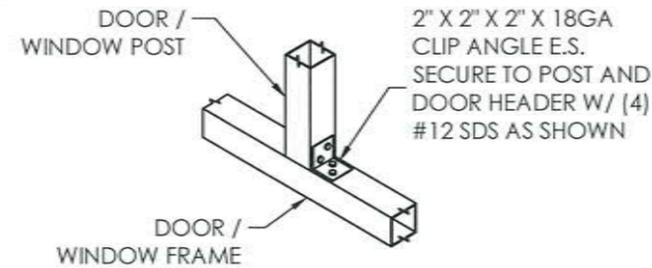


**LEFT SIDE WALL FRAMING**

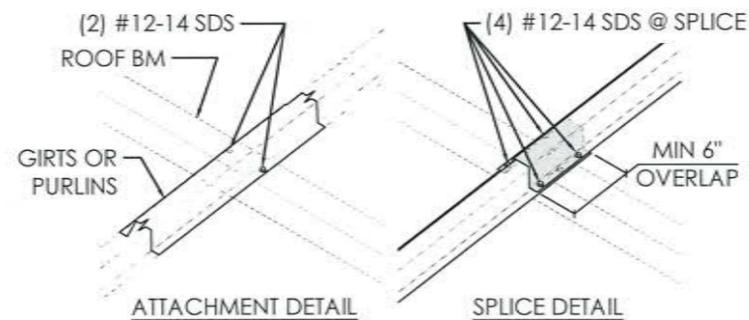
SCALE: 3/16" : 1'



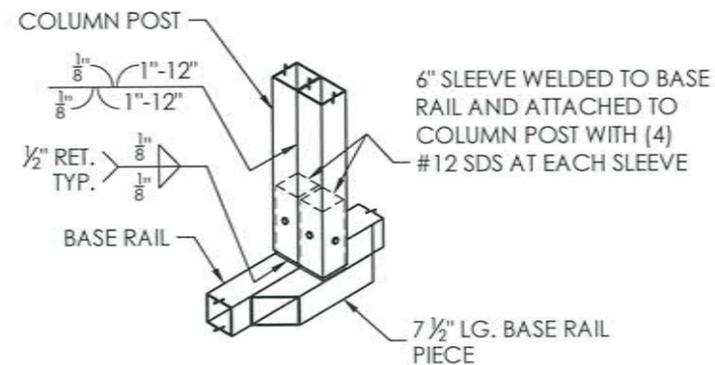
**1** WINDOW/DOOR DETAIL  
 SCALE: 3/4" : 1'



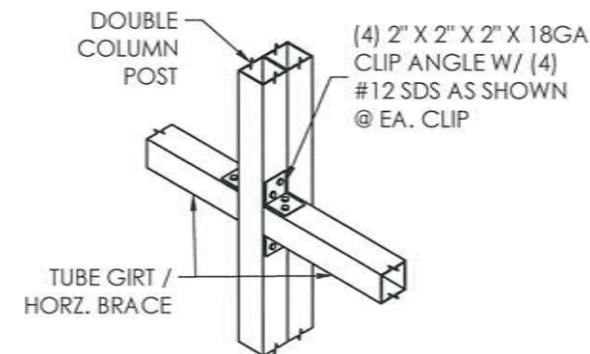
**2** WINDOW/DOOR DETAIL  
 SCALE: 3/4" : 1'



**4** PURLIN DETAIL  
 SCALE: 3/4" : 1'



**3** COLUMN-BASE DETAIL  
 SCALE: 3/4" : 1'

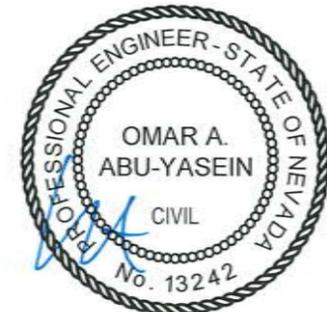


**5** GIRT DETAIL  
 SCALE: 3/4" : 1'

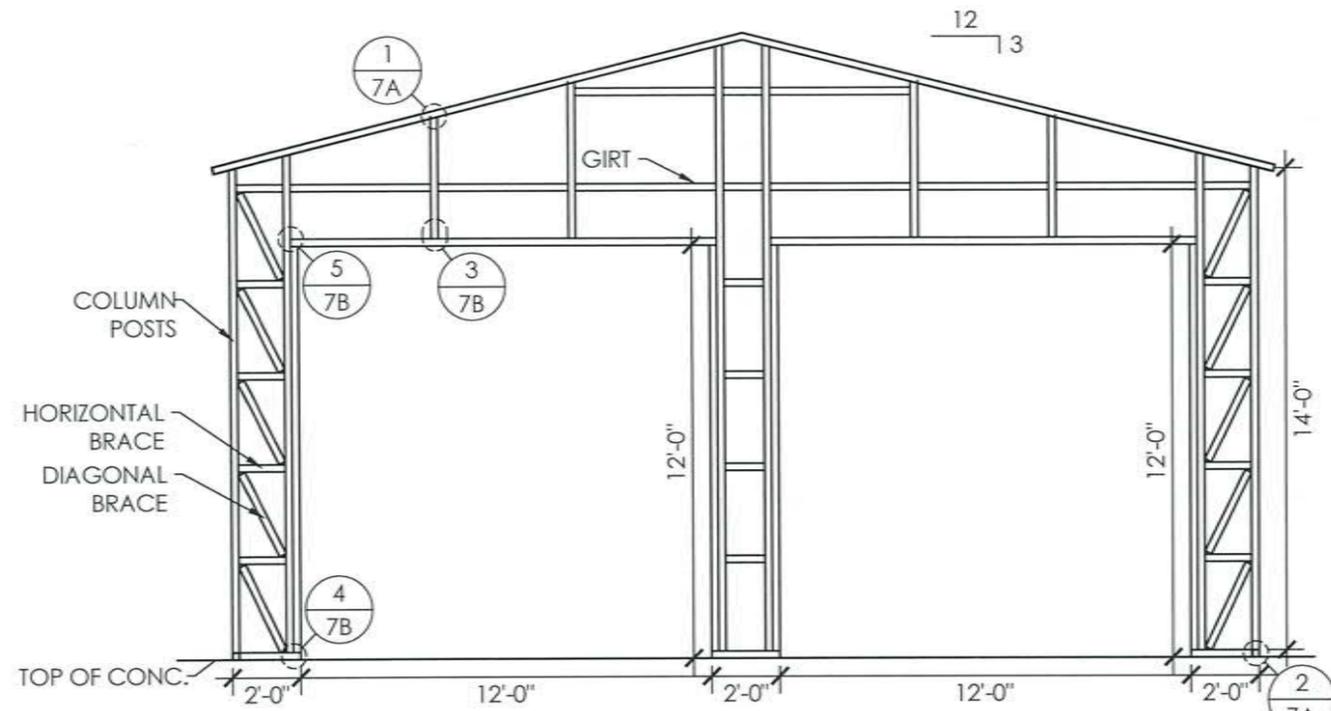
SHEET TITLE: **SIDE WALL FRAMING DETAILS**

PROJECT TITLE: **JOHN TRAUTWEIN**  
 LOCATION: **10900 ADOBE DR RENO, NV 89508**

METAL BUILDING MANUFACTURER

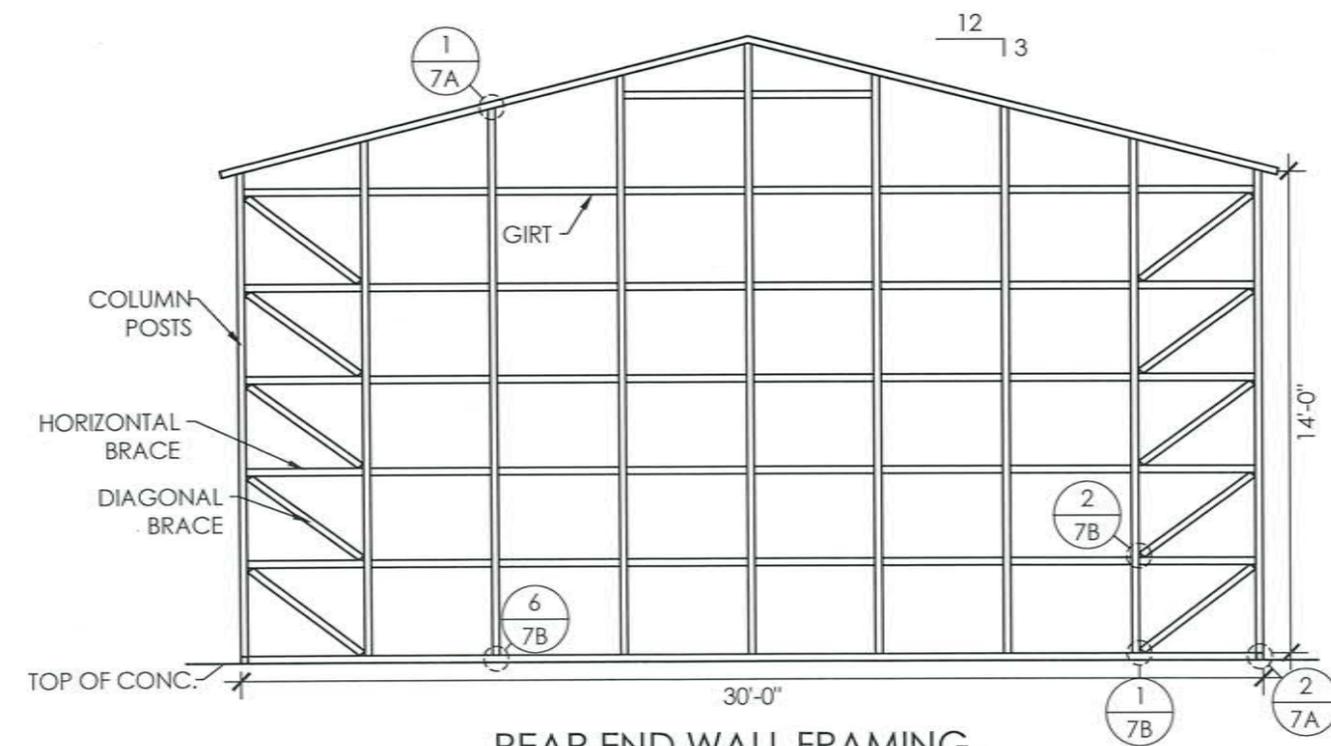


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**FRONT END WALL FRAMING**

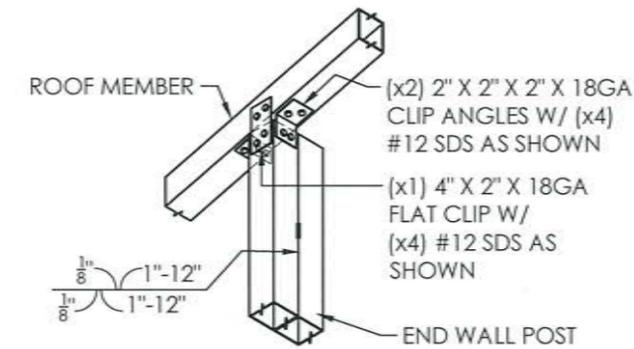
SCALE: 3/16" : 1'



**REAR END WALL FRAMING**

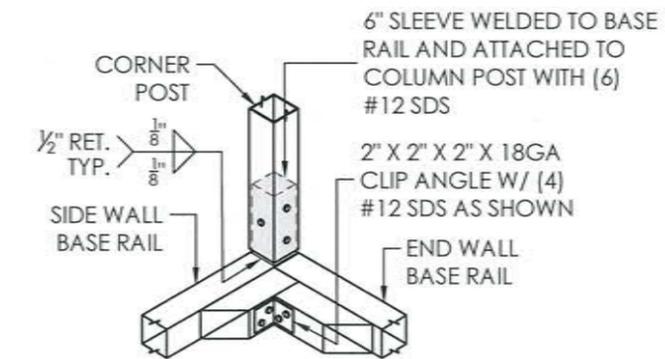
SCALE: 3/16" : 1'

MEMBER PROPERTIES	
CORNER POST	2 1/2" SQ. X 14GA TUBE
ROOF MEMBER	2 1/2" SQ. X 14GA TUBE
BASE RAIL	2 1/2" SQ. X 14GA TUBE
GIRTS	2 1/2" SQ. X 14GA TUBE
DOUBLE HEADER	(2) 2 1/2" SQ. X 14GA TUBE - STITCH WELDED
DOOR POST	2 1/2" SQ. X 14GA TUBE
END WALL POSTS	(2) 2 1/2" SQ. X 14GA TUBE - STITCH WELDED
DIAGONAL BRACES	2" SQ. X 12GA TUBE
HORZ. BRACE	2 1/4" SQ x 14GA TUBE



**1 ROOF MEMBER DETAIL**

SCALE: 3/4" : 1'



**2 CORNER DETAIL**

SCALE: 3/4" : 1'

SHEET NO: **7A OF 7**

PROJECT NO: 233-23-3062

DRAWN BY: Tariq DATE: 10/30/2023

SHEET TITLE: **END WALL FRAMING & DETAILS**

LOCATION: 10900 ADOBE DR  
RENO, NV 89508

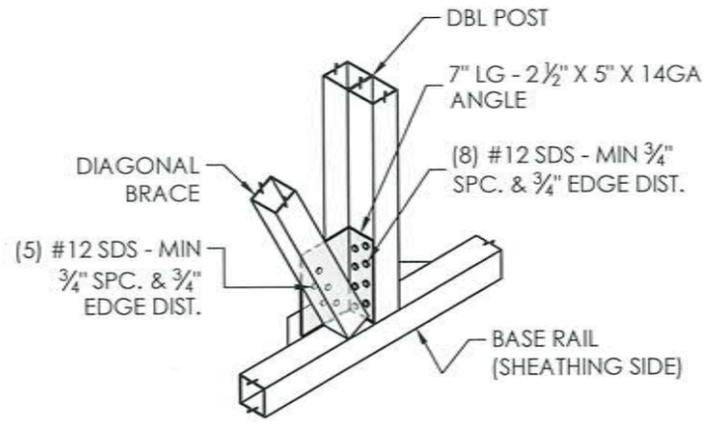
PROJECT TITLE: JOHN TRAUTWEIN

METAL BUILDING MANUFACTURER

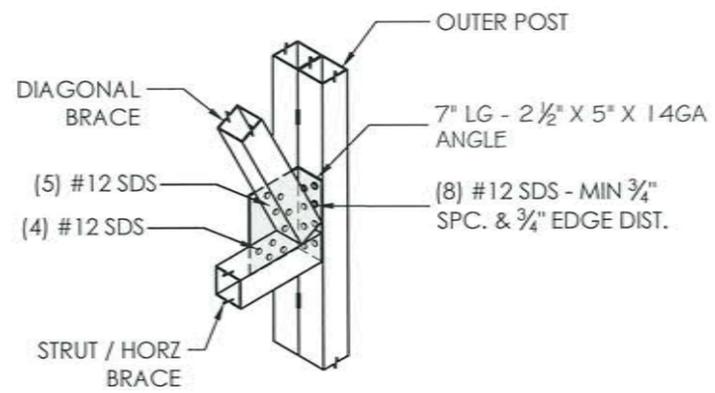


EXPIRES: 12/31/2024

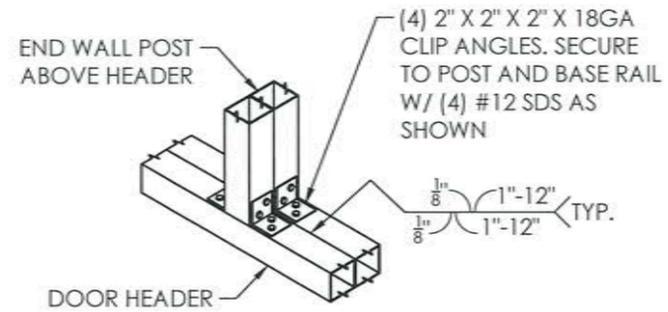
SIGNED: NOV 02 2023



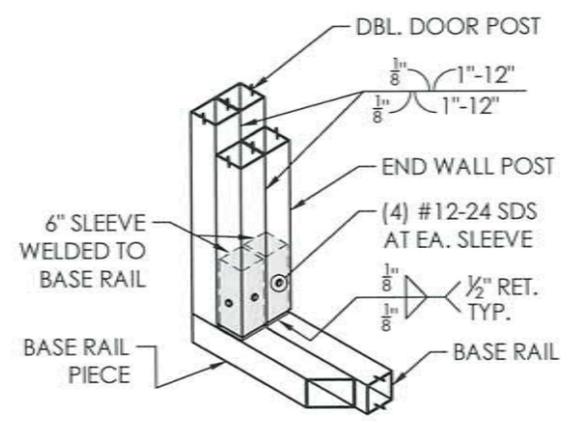
**1** LATTICE BRACE DETAIL  
 SCALE: 3/4" : 1'



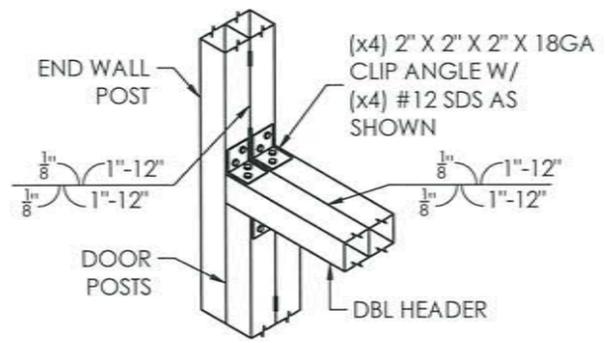
**2** LATTICE BRACE DETAIL  
 SCALE: 3/4" : 1'



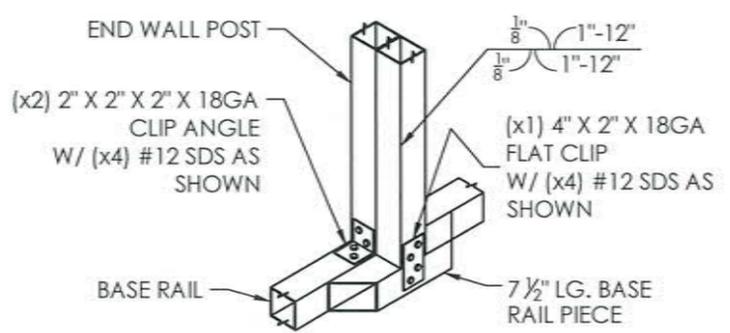
**3** ABOVE HEADER DETAIL  
 SCALE: 3/4" : 1'



**4** DOOR BASE DETAIL  
 SCALE: 3/4" : 1'



**5** DOOR HEADER DETAIL  
 SCALE: 3/4" : 1'



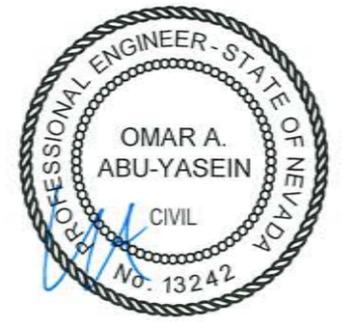
**6** COLUMN-BASE DETAIL  
 SCALE: 3/4" : 1'

SHEET TITLE: **END WALL FRAMING DETAILS**

LOCATION: 10900 ADOBE DR  
 RENO, NV 89508

PROJECT TITLE: JOHN TRAUTWEIN

METAL BUILDING MANUFACTURER



EXPIRES: 12/31/2024  
 SIGNED: NOV 02 2023