

Community Services Department
Planning and Building
ADMINISTRATIVE PERMIT APPLICATION



Community Services Department
Planning and Building
1001 E. Ninth St., Bldg. A
Reno, NV 89512-2845

Telephone: 775.328.6100

Phillips Detached Metal Shop
15730 Dry Valley Road, Reno, NV 89508
WC APN 078-184-04

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: Phillips Detached Metal Shop			
Project Description: Proposed 3,600 square foot Detached Metal Shop / Garage			
Project Address: 15730 Dry Valley Road			
Project Area (acres or square feet): 10.03 Acres			
Project Location (with point of reference to major cross streets AND area locator): Southeast Corner of Dry Valley Road and Cinch Circle (northern part of Cinch Loop), located in the Red Rock Valley Area of Washoe County			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
078-184-04	10.03		
Indicate any previous Washoe County approvals associated with this application: Case No.(s). WBLD20-103251, 13-2482, 12-1998, 96-5663			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: Dennis Phillips and Erin Page		Name: Meridian Land Solutions and Design	
Address: 15730 Dry Valley Road		Address: 316 California Avenue, #154	
Reno	Zip: 89508	Reno	Zip: 89509
Phone: 775-636-7770	Fax:	Phone: 775 657-0097	Fax:
Email: dennisnerin@yahoo.com		Email: brian@mlsdreno.com	
Cell:	Other:	Cell: 775 657-0097	Other:
Contact Person: Erin Page		Contact Person: Brian Newman, PE	
Applicant/Developer:		Other Persons to be Contacted:	
Name: Same as Owner Above		Name:	
Address:		Address:	
	Zip:		Zip:
Phone:	Fax:	Phone:	Fax:
Email:		Email:	
Cell:	Other:	Cell:	Other:
Contact Person:		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Property Owner Affidavit

Applicant Name: Dennis A Phillips, et al

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
COUNTY OF WASHOE)

I, Erin Page
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): Washoe County Assessor Number 078-184-04

Printed Name Erin Page

Signed [Signature]

Address 15730 Dry Valley Road

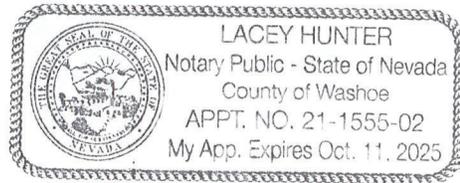
Reno, Nevada 89508

Subscribed and sworn to before me this 2 day of June, 2022.

(Notary Stamp)

Lacey Hunter Washoe Nevada
Notary Public in and for said county and state

My commission expires: 10/11/2025



*Owner refers to the following: (Please mark appropriate box.)

- [X] Owner
[] Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
[] Power of Attorney (Provide copy of Power of Attorney.)
[] Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
[] Property Agent (Provide copy of record document indicating authority to sign.)
[] Letter from Government Agency with Stewardship

Administrative Permit Application Supplemental Information

(All required information may be separately attached)

1. What is the type of project or use being requested?

Addition of detached accessory metal shop building that is 60' X 60' for a total of 3,600 square feet of floor space. Electricity is the only utility proposed to serve the building.

2. What section of the Washoe County code requires the Administrative permit required?

Section 110.306.10 Detached Accessory Structures.

3. What currently developed portions of the property or existing structures are going to be used with this permit?

None

4. What improvements (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.) will have to be constructed or installed and what is the projected time frame for the completion of each?

A small amount of clearing (approximately 5,000 square feet) and site grading to prepare the foundation and exterior site drainage around the perimeter of the building. Utility poles for power supply will be provided sometime in the future but not at this current time.

5. Is there a phasing schedule for the construction and completion of the project?

The applicant wishes to build as soon as possible. Based on approval of this entitlement and subsequent building / grading permit procurement, it is anticipated that the project will be built in the fall / early winter or 2022.

6. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

The project area is located in a very low density rural area with all lots within the vicinity of the area being 10 acres in size or larger. The site relatively flat (1 to 2% overland drainage flow with good soil conductivity for infiltration. The proposed 3,600 square feet footprint is less than 1% of the site area. The project is setback 100' inward 100'.

7. What are the anticipated beneficial aspects or effect your project will have on adjacent properties and the community?

The applicant will have the ability to maintain upkeep on their property's equipment that may be used to maintain their property's landscaping and general upkeep. The shop will additionally add value to the property's value which in turn adds value to the neighbor's property.

8. What will you do to minimize the anticipated negative impacts or effect your project will have on adjacent properties?

There are no anticipated negative impacts, but instead, positive impacts as this will assist in maintaining equipment that keeps the property in good shape. The property owner shows pride in ownership based on inspection of their property.

9. Please describe any operational parameters and/or voluntary conditions of approval to be imposed on the administrative permit to address community impacts.

The applicant will be able to maintain equipment that services the property in a enclosed area that will be efficient in storage of necessary tools. The applicant's current pride in ownership and skill of being mechanic are ample to maintain excellent property management.

10. How many improved parking spaces, both on-site and off-site, are available or will be provided? (Please indicate on site plan.)

The project is 10 acres in size and areas that are improved are graded decomposed granite road areas that have suitable drainage / infiltration capacities. The project is residential in nature and the site is suitable for parking.

11. What types of landscaping (e.g. shrubs, trees, fencing, painting scheme, etc.) are proposed? (Please indicate location on site plan.)

No landscaping is proposed at this time. Future landscaping will be in keeping with the existing neighborhood landscaping theme.

12. What type of signs and lighting will be provided? On a separate sheet, show a depiction (height, width, construction materials, colors, illumination methods, lighting intensity, base landscaping, etc.) of each sign and the typical lighting standards. (Please indicate location of signs and lights on site plan.)

No lighting is proposed at this time. Any future exterior lighting will be facing northwest, towards the existing residence and is not anticipated to a negative impact on neighboring properties.

13. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the administrative permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
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14. Utilities:

a. Sewer Service	Not applicable
b. Water Service	Not applicable

For most uses, the Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required:

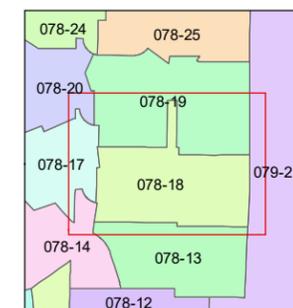
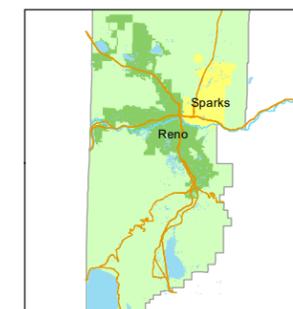
c. Permit #		acre-feet per year	
d. Certificate #		acre-feet per year	
e. Surface Claim #		acre-feet per year	
f. Other, #		acre-feet per year	

Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources):

Not applicable. No wet utilities are proposed for this use. Electricity may be added a later date but is not proposed at this time.



1 inch = 500 feet



created by: TWT 3/25/2011

updated: JKF 10/19/20

area previously shown on map(s):

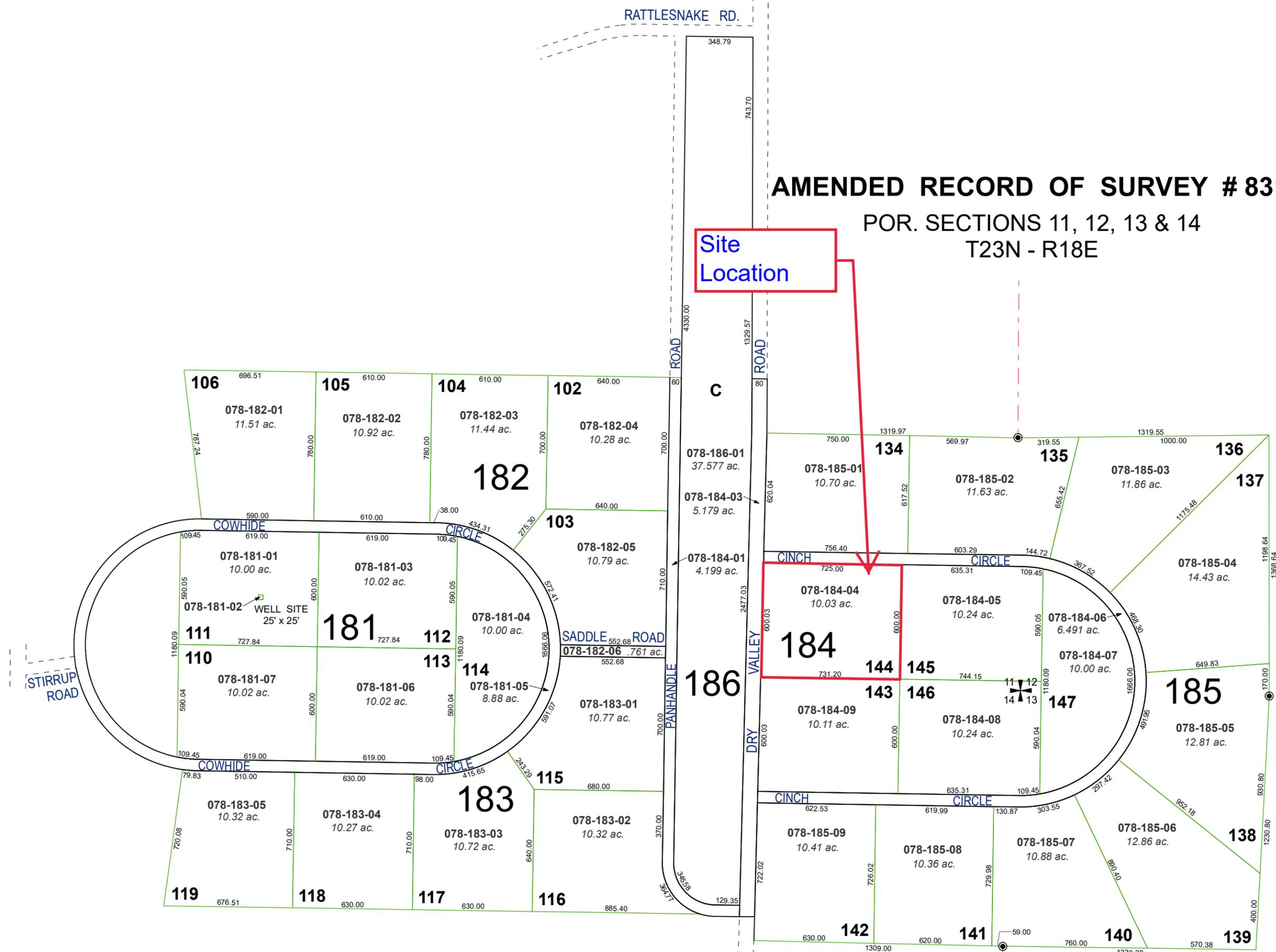
049-06

NOTE: This map was prepared for the use of the Washoe County Assessor for assessment and illustrative purposes only. It does not represent a survey of the premises. No liability is assumed as to the sufficiency or accuracy of the data delineated hereon.

AMENDED RECORD OF SURVEY # 831

POR. SECTIONS 11, 12, 13 & 14 T23N - R18E

Site
Location

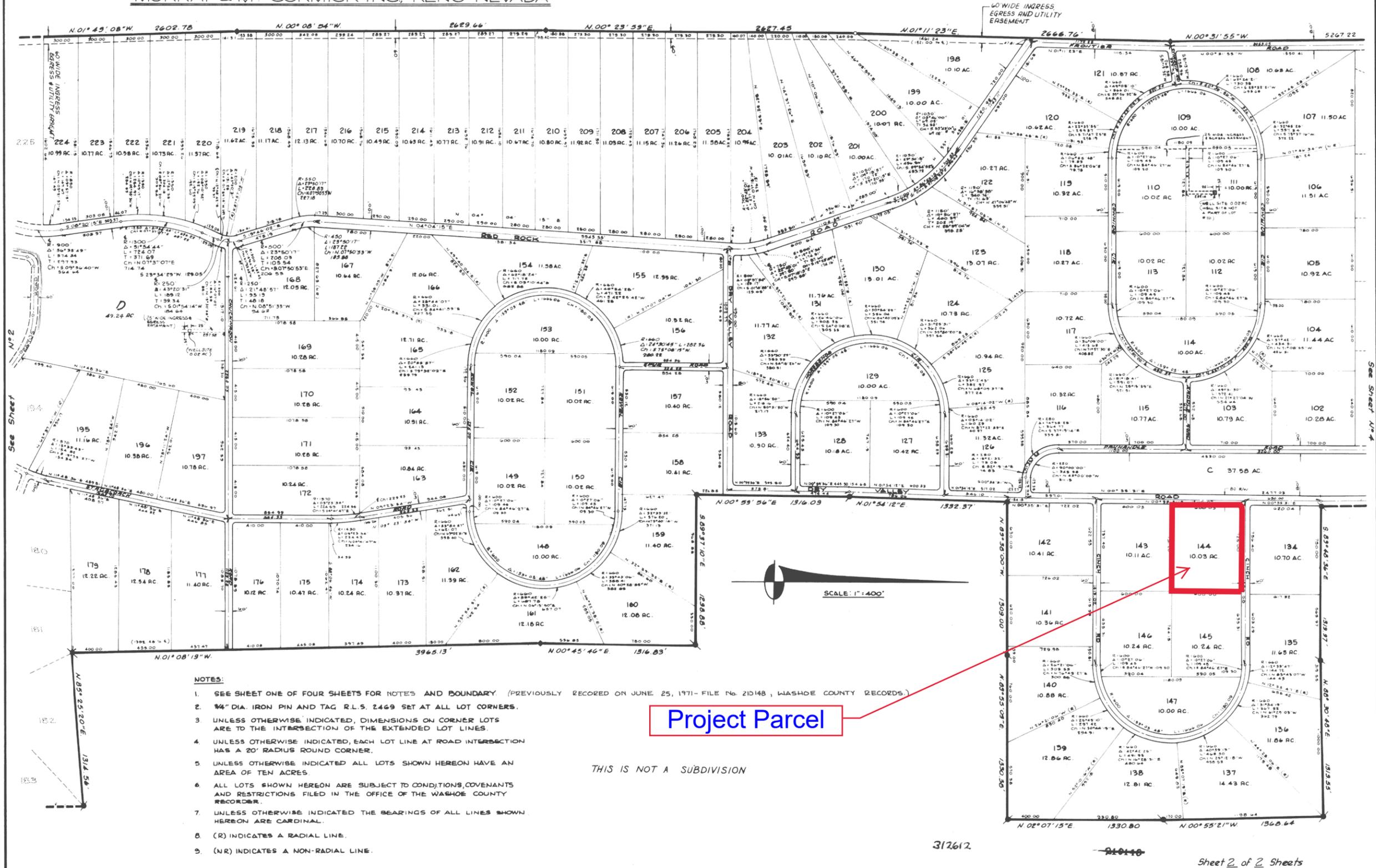


831A

AMENDED — RECORD OF SURVEY — (EAGLE PEAK DEVELOPMENT CO.)

POR. OF SEC. 1, 2, 11, 12, 13, 14, 23, 24, 26, 35, T. 23N, R. 18E.
& POR. OF SEC. 35 T. 24N, R. 18E., M.D.M.
WASHOE COUNTY NEVADA

MURRAY & M^{rs} CORMICK INC., RENO NEVADA



- NOTES:
1. SEE SHEET ONE OF FOUR SHEETS FOR NOTES AND BOUNDARY. (PREVIOUSLY RECORDED ON JUNE 25, 1971 - FILE No. 210148, WASHOE COUNTY RECORDS.)
 2. 3/4" DIA. IRON PIN AND TAG R.L.S. 2469 SET AT ALL LOT CORNERS.
 3. UNLESS OTHERWISE INDICATED, DIMENSIONS ON CORNER LOTS ARE TO THE INTERSECTION OF THE EXTENDED LOT LINES.
 4. UNLESS OTHERWISE INDICATED, EACH LOT LINE AT ROAD INTERSECTION HAS A 20' RADIUS ROUND CORNER.
 5. UNLESS OTHERWISE INDICATED ALL LOTS SHOWN HEREON HAVE AN AREA OF TEN ACRES.
 6. ALL LOTS SHOWN HEREON ARE SUBJECT TO CONDITIONS, COVENANTS AND RESTRICTIONS FILED IN THE OFFICE OF THE WASHOE COUNTY RECORDER.
 7. UNLESS OTHERWISE INDICATED THE BEARINGS OF ALL LINES SHOWN HEREON ARE CARDINAL.
 8. (R) INDICATES A RADIAL LINE.
 9. (NR) INDICATES A NON-RADIAL LINE.

Project Parcel

THIS IS NOT A SUBDIVISION

831A

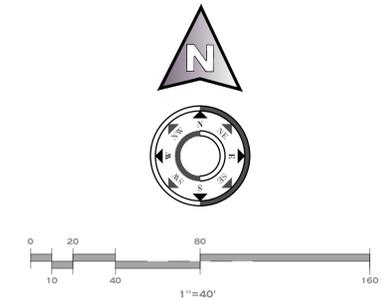
312612

210148

Sheet 2 of 2 Sheets

Survey Map # 831A

876



NOTES / LEGEND

1. ANY WELLS / SEPTIC SYSTEMS ENCOUNTERED THAT ARE NOT DEPICTED ON THESE PLANS SHALL BE PROTECTED IN PLACE.
2. ALL ONSITE MATERIALS THAT ARE REMOVED SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL LAWS AND CODES.

PER WASHOE COUNTY REAL PROPERTY ASSESSMENT DATA

(Worksheet Subarea: 078-184-04)

Building #	SubArea	Code	Description	Occupancy	Year Built	Year Eff	SqFt
1-1	1FL	FIRST FLOOR		Single Family Residence	1997	1997	1940
1-1	GRA	GARAGE ATTACHED		Single Family Residence	1997	1997	484
1-1	PCS	PORCH CONCRETE SLAB		Single Family Residence	1997	1997	128
1-1	PRW	PORCH ROOF WOOD		Single Family Residence	1997	1997	128
1-1	WDW	WOOD DECK WOOD		Single Family Residence	1997	1997	280

NO.	REVISIONS	DATE	BY

DATE: 06.08.22
DRAWN BY: MLSD
DESIGNED BY: B.E.N.
CHECKED BY: B.E.N.

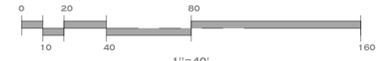
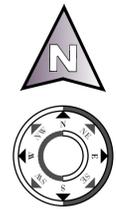
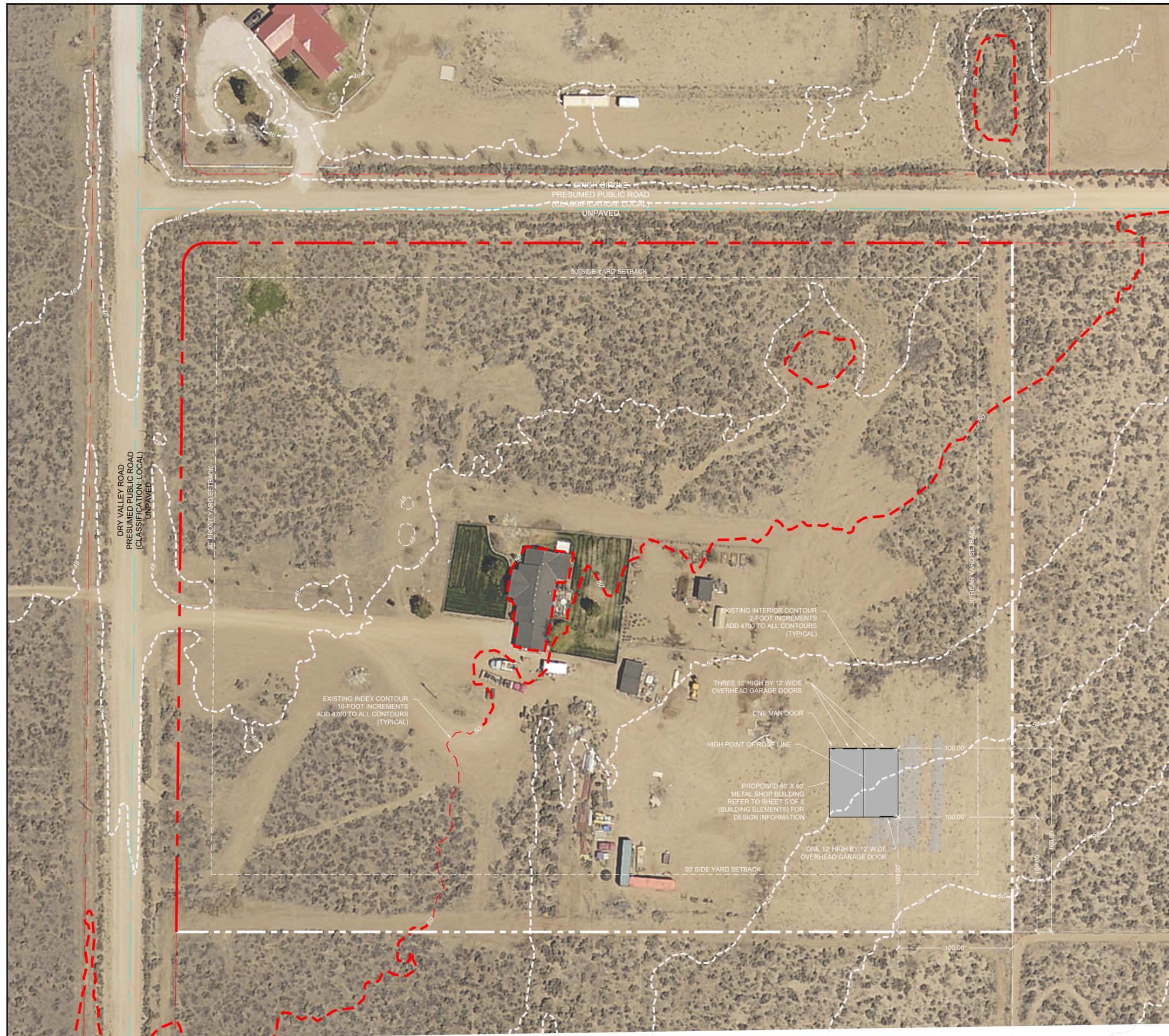


MERIDIAN
LAND SOLUTIONS AND DESIGN

316 CALIFORNIA AVENUE #154
RENO, NV 89505
(775) 657-0097
BRN@MLSDRENO.COM
MLSDRENO.COM

ADMINISTRATIVE PERMIT SUBMITTAL
PHILLIPS RESIDENCE ACCESSORY SHOP BUILDING
15730 DRY VALLEY ROAD, RENO, NV 89508
WASHOE COUNTY APN 084-184-04
EXISTING CONDITIONS PLAN

DRAWING
EX-1
SHEET 2 OF 5



NOTES / LEGEND

PROPERTY DEVELOPMENT STANDARDS

PROPERTY ZONING CLASSIFICATION
 NORTH VALLEYS AREA PLAN
 BASE ZONING: LOW DENSITY RURAL (LDR)
 MASTER PLAN DESIGNATION: RURAL RESIDENTIAL (RR)

MINIMUM LOT SIZE REQUIREMENT:
 8 ACRES

TOTAL SITE AREA:
 436,907 SQUARE FEET (10.03 ACRES)

MINIMUM LOT WIDTH: TWO HUNDRED FIFTY FEET (250')

MAXIMUM HEIGHT: THIRTY FIVE FEET (35')

GRASS DENSITY:
 0.1 DWELLING UNITS PER ACRE (1 DWELLING UNIT ALLOWED)
 CURRENT DENSITY IS 0.099 DWELLING UNITS PER ACRE
 ONE EXISTING DWELLING UNIT ON PROPERTY (1,940 SQUARE FEET)

ACCESSORY USES:
 ONE 60 FOOT BY 60 FOOT METAL BUILDING SHOP (3,600 SQUARE FEET)

SETBACKS:
 FRONT YARD: THIRTY FEET (30')
 SIDE YARDS: FIFTY FEET (50')
 REAR YARD: THIRTY FEET (30')

1. ADD 4700 TO ALL GRADE ELEVATIONS.
2. THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE FROM A COMBINATION OF GIS INFORMATION GATHERED FROM WASHOE COUNTY AND THE CITY OF RENO, AERIAL PHOTOGRAPHY AND SITE RECONNAISSANCE.
3. THE FLOOD ZONE DESIGNATION FOR THE PROPERTY IS ZONE X, DEFINED AS AN AREA OF MINIMAL FLOOD HAZARD, WITH THE DELINEATION SHOWN AS DEPICTED ON FEMA FIRM MAP 32031C2625H EFFECTIVE DATE 03/16/2008.
4. REFER TO SHEET 4 OF 5, NOTES AND ENLARGED GRADING PLAN, FOR DETAIL OF GRADING FOR THE IMPROVEMENTS.
5. THE PRELIMINARY ESTIMATE OF EARTHWORK IS IN THE THRESHOLD OF 100 CUBIC YARDS CUT TO 100 CUBIC YARDS OF FILL. FINAL EARTHWORK VOLUMES WILL BE DETERMINED DURING FINAL DESIGN OF THE BUILDING.
6. FINISH GRADE REPRESENTS THE ELEVATION OF THE FINISH SURFACE. IF LOCATED WITHIN THE PROJECT BOUNDARY, THE GRADE REPRESENTS THE FINAL SURFACE. IF TOP SOIL IS TO BE PLACED AS IN LANDSCAPED AREAS, THEN THE CONTRACTOR SHALL ADJUST ROUGH GRADE TO ACCOMMODATE THE ADDITIONAL SOIL OR FINAL PRODUCT. IF THE GRADE IS SHOWN ADJACENT TO A BUILDING STRUCTURE THEN THE GRADE REPRESENTS THE FINISH GRADE AT THE EXTERIOR OF THE BUILDING AS IT MEETS GRADE.
7. CONTRACTOR SHALL PROVIDE ANY NECESSARY DE-WATERING IF GROUND WATER OR OTHER NUISANCE WATER IS ENCOUNTERED DURING CONSTRUCTION.
8. THE TESTING AND INSPECTION OF SOILS AND MATERIALS SHALL BE COORDINATED WITH THE OWNER'S ENGAGED ENGINEER OF RECORD AND WASHOE COUNTY PRIOR TO COMMENCEMENT OF WORK. ALL REQUIREMENTS BY WASHOE COUNTY FOR INSPECTION AND TESTING SHALL BE FOLLOWED INCLUDING THE PREPARATION OF INSPECTION REPORTS.
9. ALL AREAS DISTURBED AND LEFT UNDEVELOPED FOR A PERIOD OF MORE THAN FOURTEEN (14) DAYS SHALL BE STABILIZED BY THE APPLICATION OF AN APPROVED DUST PALLIATIVE AT THE COST OF THE CONTRACTOR.
10. THE CONTRACTOR SHALL ELIMINATE ALL MOSQUITO BREEDING PLACES WITHIN THE GRADED AREAS.
11. CONTRACTOR TO PROVIDE DRAINAGE AWAY FROM BUILDING FOUNDATIONS PER FHA REQUIREMENTS. IF A DISCREPANCY OCCURS DURING LAYOUT OF THE BUILDINGS WITH THESE PLANS THAN THE CONTRACTOR SHALL NOTIFY THE ENGINEER TO MAKE REVISIONS.

NO.	REVISIONS	DESCRIPTION	DATE	BY

DATE: 06.08.22
 DRAWN BY: MLSD
 DESIGNED BY: B.E.N.
 CHECKED BY: B.E.N.

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ADMINISTRATIVE PERMIT SUBMITTAL
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 SITE AND GRADING PLAN

National Flood Hazard Layer FIRMette



Washoe County, Nevada, South Part

1141—Bedell loamy sand, 2 to 4 percent slopes

Map Unit Setting

National map unit symbol: twcp
 Elevation: 4,500 to 6,000 feet
 Mean annual precipitation: 8 to 12 inches
 Mean annual air temperature: 46 to 50 degrees F
 Frost-free period: 100 to 110 days
 Farmland classification: Farmland of statewide importance, if irrigated

Map Unit Composition

Bedell and similar soils: 85 percent
 Minor components: 15 percent
 Estimates are based on observations, descriptions, and transects of the mapunit.

Description of Bedell

Setting

Landform: Fan remnants
 Down-slope shape: Linear
 Across-slope shape: Convex
 Parent material: Mixed alluvium

Typical profile

H1 - 0 to 15 inches: loamy sand
 H2 - 15 to 54 inches: sandy loam
 H3 - 54 to 65 inches: sandy loam

Properties and qualities

Slope: 2 to 4 percent
 Depth to restrictive feature: More than 80 inches
 Drainage class: Somewhat excessively drained
 Runoff class: Very low
 Capacity of the most limiting layer to transmit water (Ksat): High (1.98 to 5.95 in/hr)
 Depth to water table: More than 80 inches
 Frequency of flooding: Rare
 Frequency of ponding: None
 Available water supply: 0 to 60 inches: Low (about 5.3 inches)

Interpretive groups

Land capability classification (irrigated): 2e
 Land capability classification (nonirrigated): 7s
 Hydrologic Soil Group: A
 Ecological site: R026XV008NV - GRANITIC FAN 10-12 P.Z.
 Hydro soil rating: No

Minor Components

Linhart

Percent of map unit: 5 percent
 Landform: Alluvial fans
 Down-slope shape: Linear
 Across-slope shape: Convex

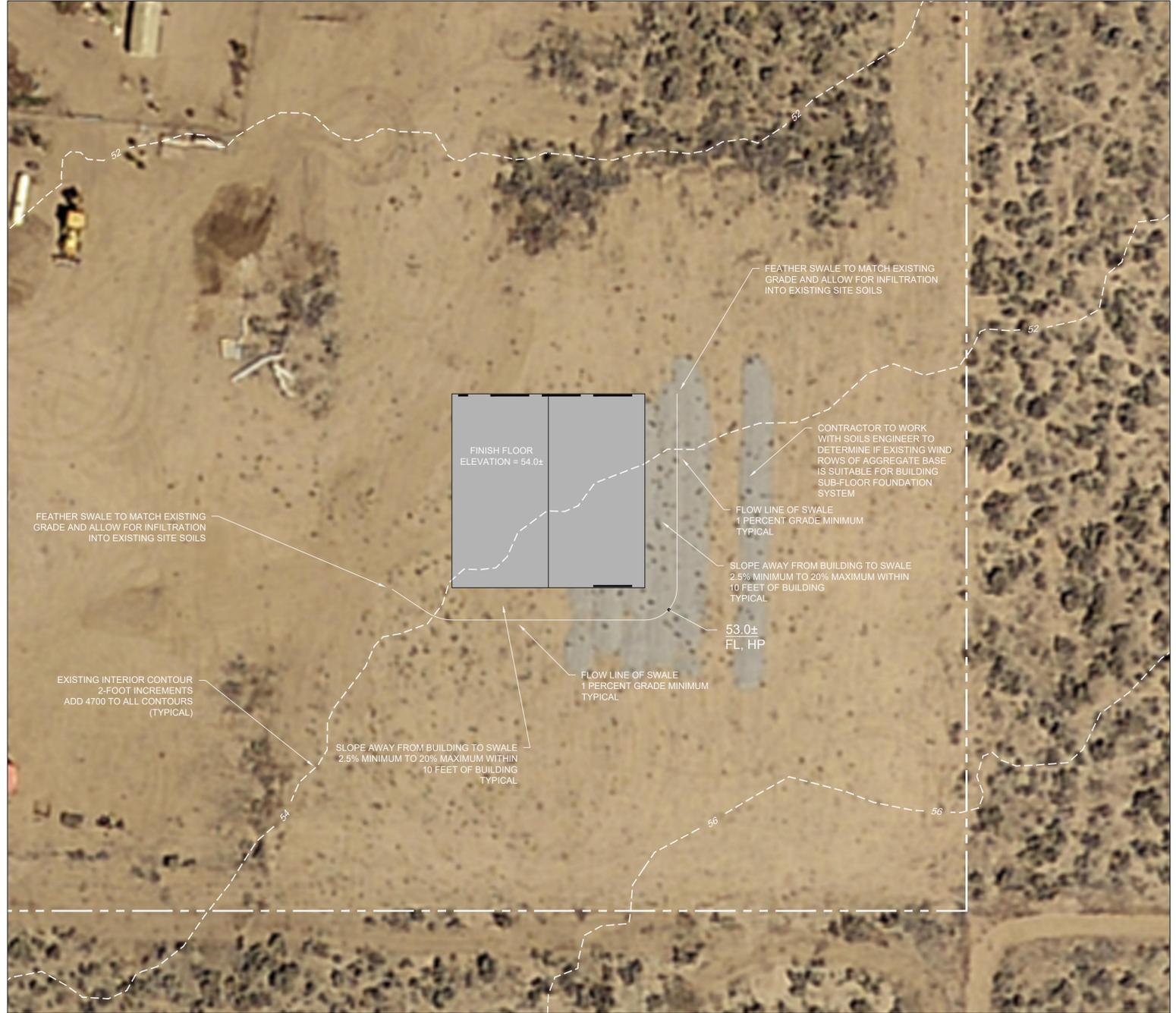
Ecological site: R026XY008NV - GRANITIC FAN 10-12 P.Z.
 Hydro soil rating: No

Wadetz

Percent of map unit: 5 percent
 Landform: Fan remnants
 Down-slope shape: Linear
 Across-slope shape: Convex
 Ecological site: R026XY016NV - LOAMY 8-10 P.Z.
 Hydro soil rating: No

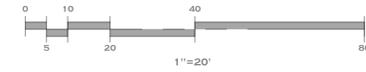
Ort

Percent of map unit: 5 percent
 Landform: Fan remnants
 Down-slope shape: Linear
 Across-slope shape: Convex
 Ecological site: R026XY010NV - LOAMY 10-12 P.Z.
 Hydro soil rating: No



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FL = FLOW LINE ELEVATION
 HP = HIGH POINT ELEVATION



NO.	DESCRIPTION	DATE	BY

DATE: 06.08.22
 DRAWN BY: M.L.S.D.
 DESIGNED BY: B.E.N.
 CHECKED BY: B.E.N.

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GENERAL SITE INFORMATION

