

Copart 10 Acre Sublot - Amendment to Conditions for Time Extension

Community Services Department

Planning and Building

**AMENDMENT OF CONDITIONS
APPLICATION**



Community Services Department
Planning and Building
1001 E. Ninth St., Bldg. A
Reno, NV 89512-2845

Telephone: 775.328.6100

Amendment of Conditions Development Application Submittal Requirements

Applications are accepted on the 8th of each month. If the 8th falls on a non-business day, applications will be accepted on the next business day.

- X 1. **Fees:** See Master Fee Schedule. **Most payments can be made directly through the OneNV.us portal.** If you would like to pay by check, please make the check payable to Washoe County and bring your application and payment to the Community Services Department (CSD).
- X 2. **Development Application:** A completed Washoe County Development Application form.
- X 3. **Owner Affidavit:** The Owner Affidavit must be signed and notarized by all owners of the property subject to the application request.
- X 4. **Proof of Property Tax Payment:** The applicant must provide a written statement from the Washoe County Treasurer's Office indicating all property taxes for the current quarter of the fiscal year on the land have been paid.
- X 5. **Application Materials:** The completed Amendment of Conditions Application materials.
- X 6. **Site Plan Specifications:** 11" X 17" copies of Building permit civil and landscape plans provided (WBLD21-105404)
 - a. Lot size with dimensions drawn using standard engineering scales (e.g. scale 1" = 100', 1" = 200', or 1" = 500') showing all streets and ingress/egress to the property.
 - b. Show the location and configuration of all proposed buildings (with distances from the property lines and from each other), all existing buildings that will remain (with distances from the property lines and from each other), all existing buildings that will be removed, and site improvements on a base map with existing and proposed topography expressed in intervals of no more than five (5) feet.
 - c. Show the location and configuration of wells, septic systems and leach fields, overhead utilities, water and sewer lines, and all easements.
 - d. Show locations of parking, landscaping, signage and lighting.
- NA 7. **Application Map Specifications:** Map to be drawn using standard engineering scales (e.g. scale 1" = 100', 1" = 200', or 1" = 500') clearly depicting the area subject to the request, in relationship to the exterior property lines. All dimensions and area values shall be clearly labeled and appropriate symbols and/or line types shall be included in the map legend to depict the map intent.
- NA 8. **Building Elevations:** All buildings and structures, including fences, walls, poles, and monument signs proposed for construction within the project shall be clearly depicted in vertical architectural drawings provided in accurate architectural scale. Architectural elevations of all building faces shall be presented.
- X 9. **Submission Packets:** One (1) packet and a flash drive. Any digital documents need to have a resolution of 300 dpi. If materials are unreadable, you will be asked to provide a higher quality copy. The packet shall include one (1) 8.5" x 11" reduction of any applicable site plan, development plan, and/or application map. Labeling on these reproductions should be no smaller than 8 point on the 8.5" x 11" display. Large format sheets should be included in a slide pocket(s). Any specialized reports identified above shall be included as attachments or appendices and be annotated as such.

NA
already on
file w/bldg
permit

Notes:

- (i) Application and map submittals must comply with all specific criteria as established in the Washoe County Development Code and/or the Nevada Revised Statutes.
- (ii) Appropriate map engineering and building architectural scales are subject to the approval of the Planning and Building and/or Engineering and Capital Projects.

- (iii) All oversized maps and plans must be folded to a 9" x 12" size.
- (iv) Based on the specific nature of the development request, Washoe County reserves the right to specify additional submittal packets, additional information and/or specialized studies that clarify the potential impacts and potential conditions of development in order to minimize or mitigate impacts resulting from the project. No application shall be processed until the information necessary to review and evaluate the proposed project is deemed complete by the Director of Planning and Building.
- (v) **Labels:** If the assigned planner determines the abandonment will affect the access to a mobile home park, the applicant will be required to submit a list of mailing addresses for every tenant residing in the mobile home park.

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name:			
Project Description:			
Project Address:			
Project Area (acres or square feet):			
Project Location (with point of reference to major cross streets AND area locator):			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone: Fax:		Phone: Fax:	
Email:		Email:	
Cell: Other:		Cell: Other:	
Contact Person:		Contact Person:	
Applicant/Developer:		Other Persons to be Contacted:	
Name:		Name:	
Address:		Address:	
Zip:		Zip:	
Phone: Fax:		Phone: Fax:	
Email:		Email:	
Cell: Other:		Cell: Other:	
Contact Person:		Contact Person:	
For Office Use Only			
Date Received: Initial:		Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

ENTITY INFORMATION**ENTITY INFORMATION****Entity Name:**

COPART OF ARIZONA, INC.

Entity Number:

C6295-1998

Entity Type:

Foreign Corporation (80)

Entity Status:

Active

Formation Date:

03/23/1998

NV Business ID:

NV19981177286

Termination Date:

Perpetual

Annual Report Due Date:

3/31/2023

Domicile Name:**Jurisdiction:**

Arizona

REGISTERED AGENT INFORMATION

Name of Individual or Legal Entity:

CORPORATION SERVICE COMPANY

Status:

Active

CRA Agent Entity Type:**Registered Agent Type:**

Commercial Registered Agent

NV Business ID:

NV20101844335

Office or Position:**Jurisdiction:**

DELAWARE

Street Address:

112 NORTH CURRY STREET, Carson City, NV, 89703, USA

Mailing Address:**Individual with Authority to Act:**

Not Available

Fictitious Website or Domain Name:**OFFICER INFORMATION** **VIEW HISTORICAL DATA**

Title	Name	Address	Last Updated	Status
President	JEFFREY LIAW	14185 DALLAS PARKWAY, SUITE 300, DALLAS, TX, 75254, USA	02/02/2021	Active
Treasurer	STEPHEN T POWERS	14185 DALLAS PARKWAY, SUITE 300, DALLAS, TX, 75254, USA	02/02/2021	Active
Director	STEPHEN T POWERS	14185 DALLAS PARKWAY, SUITE 300, DALLAS, TX, 75254, USA	02/02/2021	Active

Title	Name	Address	Last Updated	Status
Director	JEFFREY LIAW	14185 DALLAS PARKWAY, SUITE 300, DALLAS, TX, 75254, USA	02/02/2021	Active
Secretary	GREGORY R DEPASQUALE	14185 DALLAS PARKWAY, SUITE 300, DALLAS, TX, 75254, USA	03/04/2019	Active

Page 1 of 2, records 1 to 5 of 6

CURRENT SHARES

Class/Series	Type	Share Number	Value
No records to view.			
<input type="radio"/>	Unlimited Foreign Entities Only		
<input type="radio"/>	No Stock Foreign Entities Only		
Number of No Par Value Shares:			
100000			
Total Authorized Capital:			
100,000			
		Filing History	Name History
		Mergers/Conversions	

[Return to Search](#) [Return to Results](#)

Amendment of Conditions Application Supplemental Information

(All required Information may be separately attached)

Required Information

1. The following information is required for an Amendment of Conditions:
 - a. Provide a written explanation of the proposed amendment, why you are asking for the amendment, and how the amendment will modify the approval.
 - b. Identify the specific Condition or Conditions that you are requesting to amend.
 - c. Provide the requested amendment language to each Condition or Conditions, and provide both the **existing** and **proposed condition(s)**.

2. Describe any potential impacts to public health, safety, or welfare that could result from granting the amendment. Describe how the amendment affects the required findings as approved.

Copart 10 Acre Sublot – Amendment to Condition for Time Extension

Request Description

This request to amend condition 1.c from the approval of WSUP20-0027 is made due to delays in working with Union Pacific Railroad (UPRR) for the formal permit approval for the rail crossing improvements. Condition 1.o. from the county approval requires that documentation of the applicant's right to traverse the UPRR line be provided prior to the approval of any building permit for the project. Significant work and coordination have been accomplished with UPRR inclusive of design of the crossing improvements to meet the UPRR standards and requirement, however UPRR's process can be very slow. The project applicant had been previously informed by UPRR that the final approval of our permit would likely come in September of 2022, but that did not occur. We are hopeful for the permit to be approved soon but cannot jeopardize our Washoe County approval while awaiting the final permit approval.

To safeguard the County approval in light of this outside party approval that is out of the control of the applicant, it is requested that condition #1.c be amended. The specific request is to change the current date/deadline for approval of initial building permits from February 4, 2023 to February 4, 2025. This request equates to a two-year extension of time. We are very hopeful that the UPRR permit approval is provided very soon. However, since we have no control over the review and approval timeframe of UPRR, we have requested a two-year extension to provide (what we feel) is more than sufficient time to assure that the UPRR approval can be provided, allowing for the issuance of the building permit by Washoe County. We do not want to find ourselves in the situation where we must come back to request additional time should a shorter timeframe be requested or approved.

Following is the identification of the existing and proposed condition language.

Existing Condition Language

1.c The applicant shall submit construction plans, with all information necessary for comprehensive review by Washoe County, and initial building permits shall be issued on or before February 4, 2023. The applicant shall complete construction within the time specified by the building permits. Compliance with this condition shall be determined by the Planning and Building Division.

Proposed Condition Language

1.c The applicant shall submit construction plans, with all information necessary for comprehensive review by Washoe County, and initial building permits shall be issued on or before February 4, 2025. The applicant shall complete construction within the time specified by the building permits. Compliance with this condition shall be determined by the Planning and Building Division.



WASHOE COUNTY
COMMUNITY SERVICES DEPARTMENT
Planning and Building

1001 EAST 9TH STREET
 RENO, NEVADA 89512-2845
 PHONE (775) 328-6100
 FAX (775) 328.6133

Board of Adjustment Action Order
Special Use Permit Case Number WSUP20-0027 (Copart Sublot)

Decision: Approval with Conditions
 Decision Date: February 4, 2021
 Mailing/Filing Date: February 10, 2021
 Applicant: Copart of Arizona, Inc.
 Assigned Planner: Roger Pelham, Senior Planner
 Washoe County Community Services Department
 Planning and Building Division
 Phone: 775.328.3622
 E-Mail: rpelham@washoecounty.us

Special Use Permit Case Number WSUP20-0027 (Copart Sublot) – For possible action, hearing, and discussion to approve a special use permit for Inoperable Vehicle Storage Use Type and to approve Major Grading in the amount of approximately 6,465 cubic yards and a disturbance of approximately 9.3 acres (approximately 405,336 square feet) and to eliminate all required landscaping in accordance with Article 412, Landscaping, and to eliminate all required pavement in accordance with Article 410, Parking and Loading on two parcels of land.

- Applicant: Copart of Arizona, Inc
- Property Owner: White Lake Properties, LLC
- Location: 19905 Reno Park Boulevard, approximately ½ mile southwest of its intersection with North Virginia Street
- APN: 081-131-35 and 081-131-34
- Parcel Size: ± 10.268 and ± .057 acres
- Master Plan: Industrial
- Regulatory Zone: Industrial
- Area Plan: Cold Springs
- Citizen Advisory Board: North Valleys
- Development Code: Authorized in Article 302, Allowed Uses and Article 438 Grading
- Commission District: 5 – Commissioner Herman

Notice is hereby given that the Washoe County Board of Adjustment granted approval with conditions for the above referenced case number based on the findings in accordance with Washoe County Development Code Article 302, Allowed Uses, and 810, Special Use Permit. If no appeals have been filed within 10 calendar days from the Mailing/Filing Date shown on this Action Order, the approval by the Washoe County Board of Adjustment is final. If filed, an appeal stays any further action on the decision until final resolution of the appeal. An appeal shall be filed in accordance with the provisions found in Article 912 of the Washoe County Development Code.



INTEGRITY



EFFECTIVE COMMUNICATION



QUALITY PUBLIC SERVICE

To: Copart of Arizona, Inc.
Subject: Special Use Permit Case Number WSUP20-0027
(Copart Sublot)
Date: February 10, 2021
Page: 2

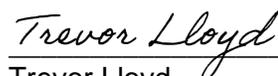
The action was based on the following findings in accordance with Washoe County Code Section 110.810:30:

1. Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Cold Springs Area Plan;
2. Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven;
3. Site Suitability. That the site is physically suitable for the Inoperable Vehicle Storage use type and for Major Grading, and for the intensity of such a development;
4. Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area;
5. Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

This Action Order is issued subject to the attached conditions and Washoe County development standards. Please contact the planner assigned to your project at the above-referenced phone number within 7 days of receipt of this Order to review the steps necessary to satisfy the Conditions of Approval. Any business license, certificate of occupancy, or final approval shall not be issued until all of the Conditions of Approval are satisfied. Additionally, compliance shall be required with all federal, state, and local statutes, ordinances, and regulations applicable to the approved project.

This Action Order does not authorize grading or building without issuance of the necessary permits from the Washoe County Planning and Building Division.

Washoe County Community Services Department
Planning and Building Division



Trevor Lloyd
Secretary to the Board of Adjustment

TL/RP/df

Attachments: Conditions of Approval

Applicant: Copart of Arizona, Inc.
Attn: Amy Clark and Randy Racine
14185 Dallas Parkway, Suite 300
Dallas, TX 75254

To: Copart of Arizona, Inc.
Subject: Special Use Permit Case Number WSUP20-0027
(Copart Sublot)
Date: February 10, 2021
Page: 3

Owner: White Lake Properties, LLC
Attn: Joel Coviello
18124 Wedge Parkway, Suite 207
Reno, NV 89511

Representatives: CFA, Inc
Attn: Dave Snelgrove
1150 Corporate Blvd,
Reno, NV 89502

Action Order xc: Mike Large, District Attorney's Office; Keirsten Beck, Assessor's Office;
Rigo Lopez, Assessor's Office; Tim Simpson, Utilities; Leo Vesely,
Engineering and Capital Projects; Dale Way, Truckee Meadows Fire
Protection District; Nevada Division of Environmental Protection, 901
South Stewart Street, Suite. 4001, Carson City, NV 89701-5249; Regional
Transportation Commission; Truckee Meadows Regional Planning
Agency; North Valleys Citizen Advisory Board



Conditions of Approval

Special Use Permit Case Number WSUP20-0027

The project approved under Special Use Permit Case Number WSUP20-0027 shall be carried out in accordance with the conditions of approval granted by the Board of Adjustment on February 4, 2021. Conditions of approval are requirements placed on a permit or development by each reviewing agency. These conditions of approval may require submittal of documents, applications, fees, inspections, amendments to plans, and more. These conditions do not relieve the applicant of the obligation to obtain any other approvals and licenses from relevant authorities required under any other act.

Unless otherwise specified, all conditions related to the approval of this special use permit shall be met or financial assurance must be provided to satisfy the conditions of approval prior to issuance of a grading or building permit. The agency responsible for determining compliance with a specific condition shall determine whether the condition must be fully completed or whether the applicant shall be offered the option of providing financial assurance. All agreements, easements, or other documentation required by these conditions shall have a copy filed with the County Engineer and the Planning and Building Division.

Compliance with the conditions of approval related to this special use permit is the responsibility of the applicant, his/her successor in interest, and all owners, assignees, and occupants of the property and their successors in interest. Failure to comply with any of the conditions imposed in the approval of the special use permit may result in the institution of revocation procedures.

Washoe County reserves the right to review and revise the conditions of approval related to this Special Use Permit should it be determined that a subsequent license or permit issued by Washoe County violates the intent of this approval.

For the purpose of conditions imposed by Washoe County, “may” is permissive and “shall” or “must” is mandatory.

Conditions of approval are usually complied with at different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e., grading permits, building permits, etc.).
- Prior to obtaining a final inspection and/or a certificate of occupancy.
- Prior to the issuance of a business license or other permits/licenses.
- Some “conditions of approval” are referred to as “operational conditions.” These conditions must be continually complied with for the life of the project or business.

FOLLOWING ARE CONDITIONS OF APPROVAL REQUIRED BY THE REVIEWING AGENCIES. EACH CONDITION MUST BE MET TO THE SATISFACTION OF THE ISSUING AGENCY.

Washoe County Planning and Building Division

1. The following conditions are requirements of Planning and Building, which shall be responsible for determining compliance with these conditions.

Contact Name – Roger Pelham, 775.328.3622, rpelham@washoecounty.us

- a. **The applicant shall attach a copy of the action order approving this project to all permits and applications (including building permits) applied for as part of this special use permit.**
- b. The applicant shall demonstrate substantial conformance to the plans approved as part of this special use permit, and as required to be modified to comply with these conditions of approval. The Planning and Building Division shall determine compliance with this condition.
- c. The applicant shall submit construction plans, with all information necessary for comprehensive review by Washoe County, and initial building permits shall be issued on or before February 4, 2023. The applicant shall complete construction within the time specified by the building permits. Compliance with this condition shall be determined by the Planning and Building Division.
- d. A note shall be placed on all construction drawings and grading plans stating:

NOTE

Should any cairn or grave of a Native American be discovered during site development, work shall temporarily be halted at the specific site and the Sheriff's Office as well as the State Historic Preservation Office of the Department of Conservation and Natural Resources shall be immediately notified per NRS 383.170.

- d. A business license must be obtained for the new use, prior to any industrial activity on the subject site.
- e. The required screening fence shall be setback at least 5 feet from the property lines on the eastern and western sides of the site. The required screening fence shall be placed at the front yard setback line on the south. The fence shall be 8 feet in height. The fence shall be tan, sage, or another color acceptable to the Director of Planning and Building that blends in with the surrounding topography. The fence shall be constructed of metal panels as noted in the application materials. Barbed wire may not be installed above the metal panels.
- f. Landscaping shall consist of one evergreen tree for each 20 feet of site frontage on Reno Park Boulevard. Trees may be clustered for a more natural appearance. The trees shall be placed between the screening fence and the property line, adjacent to the roadway. Permanent irrigation shall be provided to all trees in accordance with Article 412.
- g. All disturbed areas shall be permanently stabilized with native vegetation, including the required landscape area adjacent to Reno Park Boulevard. Temporary irrigation shall be provided to all disturbed areas for a period of not less than three years, and for as long as necessary until the disturbed areas contain native vegetation equal to 70 percent of native vegetation on adjacent, undisturbed areas.
- h. Plans for this project shall demonstrate compliance with all generally applicable Development Code requirements, with the exception of Landscaping, which shall be modified as noted in Conditions 1f and 1g.
- i. Grading shall include importation of fill on the south side of the project, such that the front yard setback area is raised in elevation approximately level with Reno Park Boulevard.
- j. No well may be drilled or utilized on this parcel for commercial purposes without the benefit of valid ground water rights as required and approved by the Nevada State Engineer's

office. The applicant shall also be aware that the acquisition of any ground water rights in the Cold Springs Valley will be extremely challenging and may be impossible.

- k. Operation of the facility shall be limited to daylight hours only.
- l. All interior drive isles and driveways shall be permanently stabilized with asphalt surfacing acceptable to the County Engineer.
- m. All required parking areas shall be permanently stabilized with asphalt surfacing acceptable to the County Engineer, and in conformance with applicable standards of Article 412.
- n. The following **Operational Conditions** shall be required for the life of the business:
 - i. This special use permit shall remain in effect until or unless it is revoked or is inactive for one year.
 - ii. Failure to comply with any of the conditions of approval shall render this approval out of conformance and subject to revocation.
 - iii. The applicant and any successors shall direct any potential purchaser/operator of the site and/or the administrative permit to meet with Planning and Building to review conditions of approval prior to the final sale of the site and/or the administrative permit. Any subsequent purchaser/operator of the site and/or the administrative permit shall notify Planning and Building of the name, address, telephone number, and contact person of the new purchaser/operator within 30 days of the final sale.
 - iv. This special use permit shall remain in effect as long as the business is in operation and maintains a valid business license.
- o. Prior to approval of any building or grading permit for the proposed use, the applicant shall provide documentation, acceptable to Washoe County, that the applicant has a right to traverse the Union Pacific Railroad to access the subject site, for an industrial use.
- p. At least 8 parking spaces shall be provided on site (one of which will be an accessible parking space) to accommodate employees who will need to come to the site from time-to-time to move, pick-up or place a vehicle at the site. Should a formal building or structure be placed on the site in the future allowing employees to be based at this site for daily work, parking will need to be increased to meet the code requirement at the time of building permit submittal for the building/structure.

Washoe County Engineering and Capital Projects

- 2. The following conditions are requirements of the Engineering Division, which shall be responsible for determining compliance with these conditions.

Contact Name – Leo Vesely, P.E. (775) 328-2041

- a. A complete set of construction improvement drawings, including an on-site grading plan/slope stabilization plan, shall be submitted when applying for a building/grading permit. Grading shall comply with best management practices (BMPs) and shall include detailed plans for grading, site drainage, erosion control (including BMP locations and installation details), slope stabilization, and mosquito abatement. Placement or removal of any excavated materials shall be indicated on the grading plan. Silts shall be controlled on-site and not allowed onto adjacent property.

- b. The applicant shall obtain from the Nevada Division of Environmental Protection a Stormwater Discharge Permit and submit a copy to the Engineering Division prior to issuance of a grading or building permit.
- c. The applicant shall complete and submit the Construction Permit Submittal Checklist and pay the Construction Stormwater Inspection Fee prior to obtaining a grading permit.
- d. A grading bond of \$2,000/acre of disturbed area shall be provided to the Engineering Division prior to any grading revegetation bond shall be provided to the Engineering Division prior to approval of the grading or building permit.
- e. All grading shall be in accordance with Washoe County Code Article 438 Grading Standards.
- f. The pavement on Reno Park Boulevard shall be extended to the project entry and shall meet Washoe County standards for private streets.
- g. All disturbed areas not covered with hardscape, gravel or road base shall be revegetated. Seed mix shall be designed by a licensed landscape architect.
- h. A drainage report prepared by a licensed engineer shall be submitted to the Engineering Division for review and approval. The report shall include the locations, points of entry and discharge, flow rates and flood limits of all 5- and 100-year storm flows impacting both the site and offsite areas and the methods for handling those flows. The report shall include all storm drain pipe and ditch sizing calculations and a discussion of and mitigation measures for any impacts on existing offsite drainage facilities and properties.
- i. Any increase in peak stormwater runoff flow rate resulting from the development and based on the 5 year and 100 storm(s) shall be detained onsite.

Truckee Meadows Fire Protection District

- 3. The following conditions are requirements of the Truckee Meadows Fire Protection District, which shall be responsible for determining compliance with these conditions.

Contact Name – Dale Way / Brittany Lemon, 775.326.6000, dway@tmfpd.us / blemon@tmfpd.us

- a. The Truckee Meadows Fire Protection District (TMFPD) will require that this project meet all applicable requirements of Washoe County Code 60 to include infrastructure, access, and water for fire suppression.

*** End of Conditions ***

COPART - 10 ACRE SUBLLOT

19905 RENO PARK BLVD.

RENO, NV 89508

APN: 081-131-35

OWNER/DEVELOPER:

COPART, INC.
14185 DALLAS PARKWAY, SUITE 300
DALLAS, TX 75254

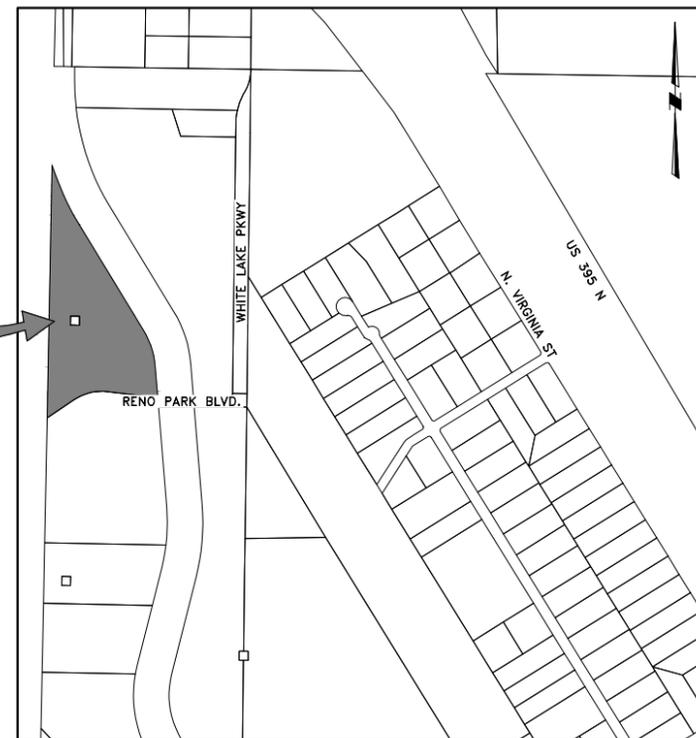
CIVIL ENGINEER:



GEOTECHNICAL ENGINEER

CORESTONE ENGINEERING
10751 GRAYSLAKE DR.
RENO, NEVADA 89521

PROJECT SITE



VICINITY MAP

SCALE: NTS

Sheet List Table

Sheet Number	Sheet Title
C1.0	TITLE SHEET
C1.1	GENERAL NOTES
C2.0	SITE PLAN
C3.0	GRADING PLAN
C4.0	SWPPP
C5.0	UTILITY PLAN
C5.1	UTILITY DETAILS
C5.2	UTILITY DETAILS
C6.0	CIVIL DETAILS
C6.1	CIVIL DETAILS
L1	LANDSCAPE COVER SHEET
L2	LANDSCAPE PLAN
L3	IRRIGATION PLAN
L4	LANDSCAPE AND IRRIGATION DETAILS



BASIS OF BEARINGS

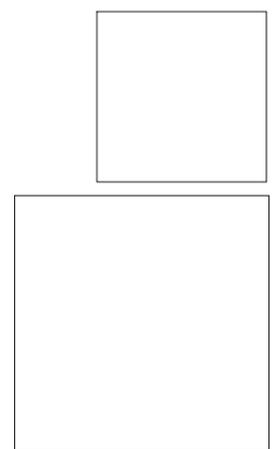
THE BASIS OF BEARINGS FOR THIS SURVEY IS NEVADA STATE PLANE COORDINATE SYSTEM, WEST ZONE NAD83(94) BASED UPON WASHOE COUNTY STEAD (STEA) CORS BASE STATION COORDINATES AND DISTANCES SHOWN HEREON ARE AT GROUND LEVEL BASED ON A COMBINED GRID TO GROUND FACTOR OF 1.000197939.

BASIS OF ELEVATIONS

THE BASIS OF ELEVATIONS FOR THIS SURVEY IS THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) BASED UPON GPS OBSERVATIONS UTILIZING GEIOD 99.

DATE	MARK	REVISIONS	BY

PERMIT RESUBMITTAL
04/05/2022



GENERAL NOTES

- ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE LATEST WASHOE COUNTY STANDARDS, THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (SSPWC), 2012 EDITION, AND THE STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION (SDPWC), LATEST EDITION, AS ADOPTED BY WASHOE COUNTY, AND SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER. ALL SPECIFICATIONS REFERENCED HEREIN REFER TO THE SSPWC UNLESS INDICATED OTHERWISE.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN ALL NECESSARY TRAFFIC CONTROL, THROUGHOUT CONSTRUCTION, IN ACCORDANCE WITH APPLICABLE PARTS OF SPECIFICATION SECTION 332, AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, (MUTCD, LATEST EDITION).
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE GENERAL SAFETY DURING CONSTRUCTION, AND ALL WORK SHALL CONFORM TO PERTINENT SAFETY REGULATIONS AND CODES. THE CONTRACTOR SHALL FENCE AND OR BARRICADE THE CONSTRUCTION AREA AS REQUIRED TO PROTECT ADJACENT SITES, VEHICULAR TRAFFIC, AND PEDESTRIAN TRAFFIC. THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE PROVISIONS OF OSHA AND NRS CHAPTER 618, IN THE CONSTRUCTION PRACTICES FOR ALL EMPLOYEES DIRECTLY ENGAGED IN THE CONSTRUCTION OF THIS PROJECT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND/OR PROTECTION OF ALL EXISTING AND PROPOSED PIPING, UTILITIES, TRAFFIC SIGNAL EQUIPMENT (BOTH ABOVE GROUND AND BELOW GROUND), STRUCTURES ADJACENT TO STREETS, AND ALL OTHER EXISTING IMPROVEMENTS THROUGHOUT CONSTRUCTION.
- THE CONTRACTOR SHALL PURSUE WORK IN A CONTINUOUS AND DILIGENT MANNER TO ENSURE A TIMELY COMPLETION OF THE PROJECT.
- ALL CONSTRUCTION SHALL BE CLOSELY COORDINATED WITH THE OWNER SO THAT THE QUALITY OF WORK CAN BE CHECKED FOR APPROVAL.
- THE CONTRACTOR SHALL INCORPORATE ADEQUATE DRAINAGE PROCEDURES DURING THE CONSTRUCTION PROCESS TO ELIMINATE EXCESSIVE PONDING AND/OR EROSION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE SITE IN A NEAT AND ORDERLY MANNER THROUGHOUT THE CONSTRUCTION PROCESS. ALL MATERIALS SHALL BE STORED WITHIN APPROVED CONSTRUCTION AREAS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTINUOUS DUST CONTROL THROUGHOUT THE CONSTRUCTION OF ALL ITEMS SHOWN ON THESE DRAWINGS IN CONFORMITY WITH SECTION 40.030 OF WASHOE COUNTY AIR POLLUTION REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REGULAR CLEANING OF ALL MUD, DIRT, DEBRIS, ETC., FROM ANY AND ALL ADJACENT STREETS AND SIDEWALKS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AS REQUIRED BY WASHOE COUNTY. THE DUST CONTROL PERMIT SHALL BE AT THE CONTRACTOR'S EXPENSE.
- ALL DIMENSIONS ARE TO FRONT FACE OF CURB UNLESS NOTED OTHERWISE.
- SHOULD ANY PREHISTORIC OR HISTORIC REMAINS OR ARTIFACTS BE DISCOVERED DURING SITE DEVELOPMENT, WORK SHALL BE TEMPORARILY HALTED AT THE SPECIFIC SITE AND THE STATE HISTORIC PRESERVATION OFFICE OF THE DEPARTMENT OF MUSEUMS, LIBRARY AND ARTS, SHALL BE NOTIFIED TO RECORD AND PHOTOGRAPH THE SITE. THE PERIOD OF TEMPORARY DELAY SHALL BE LIMITED TO A MAXIMUM OF TWO (2) WORKING DAYS FROM THE DATE OF NOTIFICATION.
- NO MATERIALS OF ANY KIND SHALL BE STOCKPILED OR CONSTRUCTION EQUIPMENT PARKED ON CONCRETE OR ASPHALT SURFACES IN PUBLIC RIGHT-OF-WAY.
- CONSTRUCTION OF STREET IMPROVEMENTS MUST ALLOW FOR THE PERPETUATION OF ALL EXISTING LEGAL ACCESSES AND EXISTING DRIVEWAYS.
- THE CONTRACTOR SHALL FURNISH PRODUCT SUBMITTALS FOR PUBLIC IMPROVEMENTS INCLUDING MANUFACTURER'S SPECIFICATIONS, SHOP DRAWINGS, CONCRETE MIX DESIGNS, ASPHALT MIX DESIGNS, GRADATION CERTIFICATIONS, ETC. FOR REVIEW BY THE ENGINEER OF RECORD. SUBMITTALS SHALL BE FURNISHED PROMPTLY AFTER EXECUTION OF THE CONTRACT, BUT IN ALL CASES PRIOR TO DELIVERY OF SUCH MATERIALS.
- THE CONTRACTOR UPON COMPLETION OF THE PROJECT, SHALL PREPARE AND SUBMIT RECORD DRAWINGS TO THE OWNER. SUBMITTAL SHALL BE IN THE FORM OF A CD IN 300 DPI, MULTIPAGE PDF FORMAT.
- THE OWNER OR CONTRACTOR IS REQUIRED TO FILE A NOTICE OF INTENT (NOI) WITH THE NEVADA DEPARTMENT OF ENVIRONMENTAL PROTECTION. THE CONTRACTOR SHALL COMPLY AND MAINTAIN THE CONSTRUCTION SITE INSPECTION CHECKLIST, LOCATED IN APPENDIX D OF THE TRUCKEE MEADOWS BMP HANDBOOK. THE CHECKLIST SHALL BE ONSITE FOR REVIEW BY STATE AND LOCAL GOVERNMENT INSPECTORS. THE CONTRACTOR SHALL INSPECT THE SITE DAILY, PRIOR TO FORECASTED RAIN EVENTS AND WITHIN 24 HOURS OF ANY RAIN EVENT. IF AN INSPECTOR DETERMINES THAT INSTALLED STORM WATER CONTROLS PLACE THE CITY AT RISK OF VIOLATING ITS NPDES PERMIT, THE INSPECTOR MAY ORDER A CHANGE TO THE STORM WATER CONTROLS. IF THE CHANGE IS NOT ACCEPTABLE OR IS NOT IMMEDIATELY IMPLEMENTED, A VIOLATION POSSIBLY RESULTING IN A FINE MAY BE ISSUED. THE CONTRACTOR SHALL NOT DISPOSE OR PLACE DEBRIS IN ANY CITY OF RENO MANHOLE, CATCH BASIN OR FACILITY.

DEMOLITION NOTES

- THE REMOVAL OF EXISTING IMPROVEMENTS SHALL BE PERFORMED IN ACCORDANCE WITH THE SPECIAL TECHNICAL SPECIFICATIONS AND THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (SSPWC, 2012), SECTION 301.00.
- EXISTING IMPROVEMENTS, ADJACENT PROPERTY, FENCING, WALLS, UTILITIES AND OTHER FACILITIES, TREES AND PLANTS THAT ARE NOT TO BE REMOVED SHALL BE PROTECTED FROM INJURY OR DAMAGE RESULTING FROM THE CONTRACTORS OPERATIONS IN ACCORDANCE WITH SPECIFICATION SECTION 301.04 AND 300.04.
- THE CONTRACTOR SHALL ADJUST ALL EXISTING MANHOLE RIMS, WATER & GAS VALVE COVERS, & UTILITY BOXES AND FRAME AND COVERS, BOTH HORIZONTALLY AND VERTICALLY, AS REQUIRED TO FIT THE NEW WORK. THE CONTRACTOR SHALL REPLACE ANY APPURTENANCE DAMAGED DURING RELOCATION AT THE COST OF THE CONTRACTOR.
- ALL EXISTING FEATURES IN CONFLICT WITH PROPOSED SHALL BE REMOVED, RELOCATED AND/OR REPLACED. CONTRACTOR SHALL OBTAIN APPROVAL FROM THE ENGINEER AND THE GOVERNING AGENCIES PRIOR TO SUCH REMOVAL, RELOCATION AND/OR REPLACEMENT.

PAVEMENT MARKING, STRIPING AND SIGNAGE

- ALL PAVEMENT MARKING AND STRIPING SHALL BE TRAFFIC PAINT OR THERMOPLASTIC IN ACCORDANCE WITH SPECIFICATION SECTION 214.00 AND 324.00.
- THE LOCATION OF THE PAVEMENT MARKINGS SHALL BE VERIFIED WITH THE ENGINEER PRIOR TO INSTALLATION.

EARTHWORK NOTES

- CLEARING AND GRUBBING, SUBGRADE PREPARATION AND EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH SPECIFICATION SECTIONS 300.00, 302.00, 303.00, AND 304.00 AND AS SPECIFIED IN THE GEOTECHNICAL INVESTIGATION, "T" PREPARED BY CORESTONE ENGINEERING, DATED NOVEMBER 22, 2021.
- UNSUITABLE SOIL OR MATERIALS NOT TO BE INCLUDED IN THE WORK INCLUDE:
 - ORGANIC MATERIALS SUCH AS PEAT, MULCH, ORGANIC SILT OR SOD,
 - SOILS CONTAINING EXPANSIVE CLAYS,
 - MATERIAL CONTAINING EXCESSIVE MOISTURE,
 - POORLY GRADED COARSE MATERIAL,
 - PARTICLE SIZE IN EXCESS OF 6 INCHES,
 - MATERIAL WHICH WILL NOT ACHIEVE DENSITY AND/OR BEARING REQUIREMENTS.
- FINE GRADING ELEVATIONS, SLOPES, AND OTHER ELEVATIONS NOT SHOWN SHALL BE DETERMINED BY THE CONTRACTOR IN THE FIELD TO OBTAIN DRAINAGE IN THE DIRECTION AND TO THE DRAINAGE WAYS INDICATED. ALL GRADING ELEVATIONS SHALL BE APPROVED BY THE ENGINEER.
- DRAINAGE:
 - CONTRACTOR SHALL MAINTAIN ALL EXISTING DRAINAGE FACILITIES WITHIN THE CONSTRUCTION AREA UNTIL NEW DRAINAGE IMPROVEMENTS ARE IN PLACE AND FUNCTIONING.
 - NO FENCE OR OTHER OBSTRUCTION WHICH INTERFERES WITH DISCHARGE SHALL BE CONSTRUCTED WITHIN THE DRAINAGE OR STORM DRAIN EASEMENTS.
- ALL EXCESS OR UNSUITABLE MATERIAL SHALL BE DISPOSED OF IN ACCORDANCE WITH THE LATEST WASHOE COUNTY REGULATIONS.
- MECHANICAL SLOPE STABILIZATION IS TO BE USED FOR SLOPES STEEPER THAN 3:1. WHEN ROCK RIP RAP IS USED FOR SLOPE STABILIZATION, IT SHALL CONTAIN A MINIMUM OF FOUR FRACTURED FACES AND BE PLACED TO A MINIMUM DEPTH OF 12 INCHES. A MINIMUM OF 75% OF THE RIP RAP SHALL BE SPECIFIED DIAMETER ROCK OR GREATER.

CONCRETE & PAVEMENT NOTES

- ALL PORTLAND CEMENT CONCRETE (PCC) AND ASPHALT CONCRETE PAVEMENT SHALL BE PLACED IN ACCORDANCE WITH THE GEOTECHNICAL INVESTIGATION REPORT, " " PREPARED BY CORESTONE ENGINEERING, DATED NOVEMBER 22, 2021.
- REFERENCE DETAIL 1, SHEET C2.1 FOR ASPHALTIC CONCRETE SECTION.
- ASPHALT CONCRETE PAVEMENT SHALL BE PLACED IN ACCORDANCE WITH SPECIFICATION SECTION 320.00.
- PCC SHALL MEET THE REQUIREMENTS OF SPECIFICATION SECTION 202.00. PCC EXPOSED TO FREEZE-THAW ENVIRONMENTS SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4,000 PSI AND MEET THE SPECIFIC REQUIREMENTS OF SPECIFICATION SECTION 337.10.01.01.
- CURB, GUTTER AND SIDEWALK SHALL BE PLACED IN ACCORDANCE WITH SPECIFICATION SECTION 312.00.
- CONCRETE PAVEMENTS SHALL BE PLACED IN ACCORDANCE WITH SPECIFICATION SECTION 314.00.

UTILITY NOTES

- UTILITIES MAY EXIST THAT ARE NOT SHOWN ON THE PLANS. HORIZONTAL AND VERTICAL LOCATIONS OF EXISTING UTILITIES ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL VERIFY ACTUAL LOCATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL CALL UNDERGROUND SERVICES ALERT, USA, AT (811) PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITIES WHICH MAY CONFLICT WITH THE NEW WORK PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY NV ENERGY AND GREAT BASIN WATER CO. AT LEAST 48 HOURS PRIOR TO THE START OF UTILITY CONSTRUCTION.
- THE CONTRACTOR SHALL MAKE EVERY ATTEMPT TO AVOID SHUT OFF OR DISCONNECTION OF ACTIVE UTILITIES. IF SHUT OFFS ARE UNAVOIDABLE, THE CONTRACTOR SHALL COORDINATE THAT SHUT OFF WITH THE AFFECTED CUSTOMERS AND UTILITY COMPANIES AT LEAST 48 HOURS IN ADVANCE OF THE DISRUPTION OF THE SERVICE.

ABBREVIATIONS

AB	ANCHOR BOLT	E	EASTING	MD	MAXIMUM DRY DENSITY	SECT	SECTION
ABAN	ABANDONED	EX	EX OR EXIST	MECH	MECHANICAL	SF	SQUARE FOOT
ABC	AGGREGATE BASE COURSE	EA	EACH	MFR	MANUFACTURER	SI	SQUARE INCH
AC	ASPHALT CONCRETE	EC	END CURVE	MH	MANHOLE	SSE	SANITARY SEWER EASEMENT
ADD	ADDITIONAL	ECR	END CURB RETURN	MIN	MINIMUM	STA	STATION
ADJ	ADJACENT	ECC	ECCENTRIC	MISC	MISCELLANEOUS	SM	SIMILAR
APPROX	APPROXIMATE	EL	ELEVATION	MPH	MILES PER HOUR	SPEC	SPECIFICATIONS
APPR	APPROVED	ELEC	ELECTRIC	MRJ	MECHANICALLY RESTRAINED JOINT	SQ	SQUARE
ARV	AIR RELEASE VALVE	ENGR	ENGINEER	N	NORTHING	SS	SANITARY SEWER
BC	BEGIN CURVE	END	END OF VERTICAL CURVE	NOP	NO DREST PAYMENT	STD	STANDARD
BCR	BEGIN CURB RETURN	EW	EACH WAY	NTS	NOT TO SCALE	SW	SYMMETRICAL
BFC	BACK FACE OF CURB	EXP JT	EXPANSION JOINT	OC	ON CENTER	SYMM	SYMMETRICAL
BLDG	BUILDING	FES	FLARED END SECTION	OG	ORIGINAL GROUND	TAN	TANGENT
BM	BENCH MARK	FTC	FRONT FACE OF CURB	OZ	OUNCE	TB	THRUST BLOCK
BOT	BOTTOM	FG	FINISH GRADE	PC	POINT OF CURVE	TC	TOP OF CURB
BSW	BACK OF SIDEWALK	FI	FIRE HYDRANT	PCC	POINT OF COMPOUND CURVE	TC-DC	TOP OF CURB - DEPRESSED
BVC	BEGIN VERTICAL CURVE	FIG	FIGURE	PE	POLYETHYLENE	TECH	TECHNICAL
CB	CATCH BASIN	? OR FL	FLOWLINE	PI	POINT OF INTERSECTION	TEL	TELEPHONE
CFM	CUBIC FEET PER MINUTE	PFS	FEET PER SECOND	PO	PUSH ON PIPE FITTING	TEMP	TEMPERATURE
CF5	CUBIC FEET PER SECOND	FT	FOOT OR FEET	? or PL	PROPERTY LINE	TF	TOP FACE
CJ	CAST IRON	F	DEGREE FAHRENHEIT	PRC	POINT OF REVERSE CURVE	TW of TOW	TOP OF WALL
CJ	CONSTRUCTION JOINT	G	GAS	PREFAB	PREFABRICATED	TYP	TYPICAL
? or CL	CENTERLINE	GAL	GALLON	PROP	PROPERTY	V	VELOCITY
CLR	CLEAR	GALV	GALVANIZED	PSF	POUNDS PER SQUARE FOOT	VC	VERTICAL CURVE
CMP	CORRUGATED METAL PIPE	GB	GRADE BREAK	PSI	POUNDS PER SQUARE INCH	VERT	VERTICAL
CMU	CONCRETE MASONRY UNIT	OPD	GALLONS PER DAY	PT	POINT OF TANGENCY	VG	VALLEY GUTTER
CO	CLEANOUT	HORIZ	HORIZONTAL	PUE	PUBLIC UTILITY EASEMENT	W	WATER
CONC	CONCRETE	HP	HORSEPOWER	PVC	POLYVINYL CHLORIDE	WVF	WELDED WIRE FABRIC
CONN	CONNECTION	ID	INSIDE DIAMETER	PA	POINT OF VERTICAL INTERSECTION	YD	YARD
CONT	CONTINUOUS	IE	INVERT ELEVATION	PMT	PAVEMENT		
COORD	COORDINATE	IN	INCH	R	RADIUS		
CTR	CENTER	INV	INVERT	RCB	REINFORCED CONCRETE BOX CULVERT		
CU	CUBIC	IRR	IRRIGATION	PCP	REINFORCED CONCRETE PIPE		
CU FT	CUBIC FEET	KW	KILOWATT	RD	ROAD		
CU IN	CUBIC INCH	L	LENGTH	REF	REFERENCE OR REFER		
CU YD	CUBIC YARD	LAT	LATERAL	REINF	REINFORCED		
CULV	CULVERT	LB	POUNDS	REQD	REQUIRED		
DBL	DOUBLE	LB/CU FT	POUNDS PER CUBIC FOOT	RT	RIGHT		
DITL	DETAIL	LONG	LONGITUDINAL	RW or ROW	RIGHT-OF-WAY		
DI	DUCTILE IRON	LT	LEFT	SCH	SCHEDULE		
DI	DIAMETER	MAX	MAXIMUM	SD	STORM DRAIN		
DWG	DRAWING						

UTILITY NOTES (CONT'D)

- THE CONTRACTOR IS TO PROVIDE ALL MISCELLANEOUS PIPE, FITTINGS AND APPURTENANCES AS REQUIRED TO COMPLETE THE UTILITY WORK AS SHOWN.
- TRENCH EXCAVATION AND BACKFILL SHALL BE PERFORMED IN ACCORDANCE WITH SPECIFICATION SECTION 305.00 AND AS SPECIFIED IN THE GEOTECHNICAL REPORT PREPARED BY NOVA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXCAVATION AND SHORING PROCEDURES. CONDUIT PLACEMENT SHALL BE BY OPEN TRENCH UNLESS OTHERWISE SPECIFIED OR SHOWN ON THE PLAN. SHORING BRACING AND SHEETING SHALL BE AS SET FORTH IN THE RULES, ORDERS, AND REGULATIONS OF THE OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION (OSHA).
- UTILITY CONDUIT, 8 INCHES AND SMALLER, SHALL BE BEDDED IN CLASS A PIPE BEDDING AS SPECIFIED IN SECTION 200.03. UTILITY CONDUIT, GREATER THAN 8 INCHES, SHALL BE BEDDED IN CLASS A, B OR C AS SPECIFIED IN SECTION 200.03. CLASS C BEDDING MATERIAL SHALL BE COMPACTED WITH VIBRATORY COMPACTOR UNTIL MINIMUM DENSITY REQUIREMENTS ARE MET OR UNTIL NO FURTHER SETTLEMENT OCCURS, AS APPROVED BY THE ENGINEER. THE MAXIMUM LOOSE LIFT THICKNESS SHALL BE 6 INCHES.
- TRENCH BACKFILL SHALL BE NATIVE EXCAVATED GRANULAR MATERIAL OR APPROVED IMPORT GRANULAR MATERIAL FREE FROM UNSUITABLE MATERIAL DEFINED HEREIN.
- AGGREGATE BASE COURSE (ABC) SHALL MEET THE REQUIREMENTS OF SPECIFICATION SECTION 200.00, TYPE 2, BASE B. AGGREGATE BASE COURSE SHALL BE PLACED IN ACCORDANCE WITH SPECIFICATION SECTION 308.00.
- STORM DRAIN PIPE SHALL BE REINFORCED CONCRETE PIPE, RCP, ASTM C14, ASTM C150, TYPE II CEMENT, SIZE AND CLASS AS INDICATED, MINIMUM CLASS III, PER SPECIFICATION SECTION 203.10 OR PVC WITH A MINIMUM PIPE STIFFNESS, OF 46 PSI, SIZE AS INDICATED, PER SPECIFICATION SECTION 203.15, 306.00, AND ASTM D2321. STORM DRAIN 36" DIAMETER AND LESS SHALL BE RCP OR PVC. STORM DRAIN LARGER THAN 36" DIAMETER SHALL BE RCP. WHERE STORM DRAIN IS INDICATED TO BE RCP ON THE PLANS, THE STORM DRAIN MUST BE RCP. ALL STORM DRAIN PROPOSED FOR USE SHALL HAVE A MANNING COEFFICIENT OF FRICTION NO TO EXCEED 0.014. STORM DRAIN PIPE SHALL BE CONSTRUCTED PER SPECIFICATION SECTION 306.00. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN MINIMUM COVER OVER STORM DRAINS DURING CONSTRUCTION TO PROTECT THE INTEGRITY OF THE STORM DRAIN.
- MANHOLES AND CATCH BASINS SHALL BE PORTLAND CEMENT CONCRETE PER SPECIFICATION SECTION 204.00. MANHOLES AND CATCH BASINS SHALL BE PLACED PER APPLICABLE PARTS OF SPECIFICATION SECTIONS 305.00, 306.00, AND 311.00.
- WATER PIPE SHALL BE POLYETHYLENE (PE) OR POLYVINYL CHLORIDE (PVC), AWWA C900, PER SPECIFICATION SECTION 203.00. FITTINGS, VALVES, AND APPURTENANCES SHALL MEET AWWA SPECIFICATIONS. WATER PIPE, FITTINGS AND APPURTENANCES SHALL BE INSTALLED PER APPLICABLE PARTS OF SPECIFICATION SECTIONS 305.00 AND 307.00. THE MINIMUM DEPTH OF COVER SHALL BE 36 INCHES, MEASURED FROM FINISH GRADE TO TOP OF THE PIPE.
- ALL WATER LINES SHALL BE TESTED FOR PRESSURE AND LEAKAGE PER UTILITY COMPANY REQUIREMENTS.
- BACTERIOLOGICAL TESTING SHALL BE PERFORMED BY THE CONTRACTOR PER GREAT BASIN WATER CO. STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING TEST SAMPLE EQUIPMENT AND FOR THE COLLECTION OF THE REQUIRED SAMPLES.
- COORDINATE LOCATIONS OF ALL UTILITIES WITH RESPECTIVE TRADES.
- ALL BURIED IRON PIPE, FITTINGS, AND VALVES SHALL BE WRAPPED WITH POLYETHYLENE PIPE WRAP IN ACCORDANCE WITH AWWA C105.
- ALL WATER MAIN AND ASSOCIATED FITTINGS SHALL BE CONSTRUCTED PER GREAT BASIN WATER CO. STANDARDS.
- A MANHOLE PROTECTION PLAN SHALL BE SUBMITTED AND APPROVED PRIOR TO ANY MANHOLE ADJUSTMENTS. THE PLAN SHALL CLEARLY IDENTIFY HOW THE CONTRACTOR WILL PROTECT FROM ALL DEBRIS ENTERING INTO THE SYSTEM AND A DETAIL OF HOW THE CONTRACTOR IS PREPARED FOR EMERGENCY OVERFLOWS. PRIOR TO PERFORMING ANY ADJUSTMENTS OR GROUTING, THE ENGINEER OF RECORD SHALL OBSERVE AND VERIFY THAT THE CONTRACTOR IS IN COMPLIANCE WITH THE "MANHOLE PROTECTION PLAN".
- MANHOLES AND CATCH BASINS SHALL BE PORTLAND CEMENT CONCRETE PER SPECIFICATION SECTION 204.00. MANHOLES AND CATCH BASINS SHALL BE PLACED PER APPLICABLE PARTS OF SPECIFICATION SECTIONS 305.00, 306.00, AND 311.00.
- ALL CATCH BASIN COVERS DESIGNATED TO BE RESET TO GRADE SHALL BE REPLACED WITH A NEW FRAME AND COVER AT THE CONTRACTOR'S EXPENSE.
- CONTRACTOR TO VACUUM CLEAN ALL STORM DRAIN & SANITARY SEWER MANHOLES AND CATCH BASINS AFTER REMOVING CONTAINMENT DEVICES UPON COMPLETION OF THE PROJECT.
- ALL BMPS SHALL BE REMOVED FROM CATCH BASINS & MANHOLES PRIOR TO FINAL ACCEPTANCE AND RELEASE OF RETENTION.

LEGEND

	EXISTING STREET SIGN
	EXISTING FIRE HYDRANT
	EXISTING FIRE DEPARTMENT CONNECTIONS
	EXISTING SURVEY MONUMENT
	EXISTING POWER POLE
	EXISTING TRANSFORMER PAD
	EXISTING ELECTRIC VAULT
	EXISTING TELEPHONE VAULT
	EXISTING SANITARY SEWER MANHOLE
	EXISTING STORM DRAIN MANHOLE
	EXISTING ELECTRIC MANHOLE
	EXISTING UTILITY MANHOLE
	EXISTING GAS VALVE
	EXISTING WATER METER
	EXISTING WATER VALVE
	EXISTING TREE
	EXISTING TREE TO BE REMOVED
	EXISTING CURB & GUTTER
	PROPOSED CURB & GUTTER
	EXISTING 1' CONTOUR
	EXISTING 5' CONTOUR
	PROPOSED 1' CONTOUR
	PROPOSED 5' CONTOUR
	SAWCUT
	EXISTING SPOT ELEVATION
	PROPOSED SPOT ELEVATION
	PROPERTY/BOUNDARY LINE
	EXISTING SANITARY SEWER
	EXISTING STORM DRAIN
	EXISTING ELECTRIC
	EXISTING GAS
	EXISTING TELEPHONE
	EXISTING OVERHEAD LINES
	EXISTING CABLE
	EXISTING FIBER OPTIC
	EXISTING WATER LINE
	EXISTING WATER AND GAS LINE
	EXISTING CHAINLINK FENCE



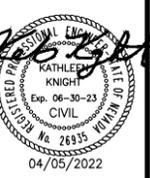
Know what's below.
Call before you dig.

CAUTION - NOTICE TO CONTRACTOR

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND FEATURES AS SHOWN ON THESE PLANS IS BASED ON THE BEST INFORMATION AVAILABLE TO THE ENGINEER. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE LOCATIONS AND/OR ELEVATIONS AT THE PROPOSED POINTS OF CONNECTION AND IN AREAS OF POSSIBLE CONFLICT PRIOR TO BEGINNING CONSTRUCTION. SHOULD THE CONTRACTOR FIND ANY DISCREPANCIES BETWEEN THE CONDITIONS EXISTING IN THE FIELD AND THE INFORMATION SHOWN ON THESE DRAWINGS, HE SHALL NOTIFY THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE OR RELOCATE ALL EXISTING UTILITIES AND FEATURES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. CONTRACTOR SHALL OBTAIN APPROVAL FROM THE GOVERNING AGENCIES, THE ENGINEER, AND THE UTILITY COMPANIES PRIOR TO SUCH REMOVAL AND/OR RELOCATION.
- THE CONTRACTOR ASSUMES ALL RISK FOR ANY CONSTRUCTION PERFORMED WITH PRELIMINARY OR NONAPPROVED PLANS.
- CONTRACTOR TO PROVIDE TRAFFIC CONTROL IN CONFORMANCE WITH THE LATEST EDITION OF MUTCD WHENEVER CONSTRUCTION IS IN PROGRESS WITHIN THE PUBLIC TRAVEL WAY.

NO.	DATE	REVISIONS

PROFESSIONAL SEAL:



CFA, INC.
LAND SURVEYORS
CIVIL ENGINEERS
LAND USE PLANNERS
1850 CORPORATE MILEWAY - RENO, NEVADA 89502
775-866-1850 MAIN • 775-866-1850 FAX • CFE@CFAINC.COM



COPART - 10 ACRE SUBLT
CIVIL IMPROVEMENT PLANS
GENERAL NOTES
19905 RENO PARK BLVD.
RENO, NV 89508

JOB NO. 20100.01
DESIGNED BY DD
CHECKED BY KK
DATE 04/05/2022

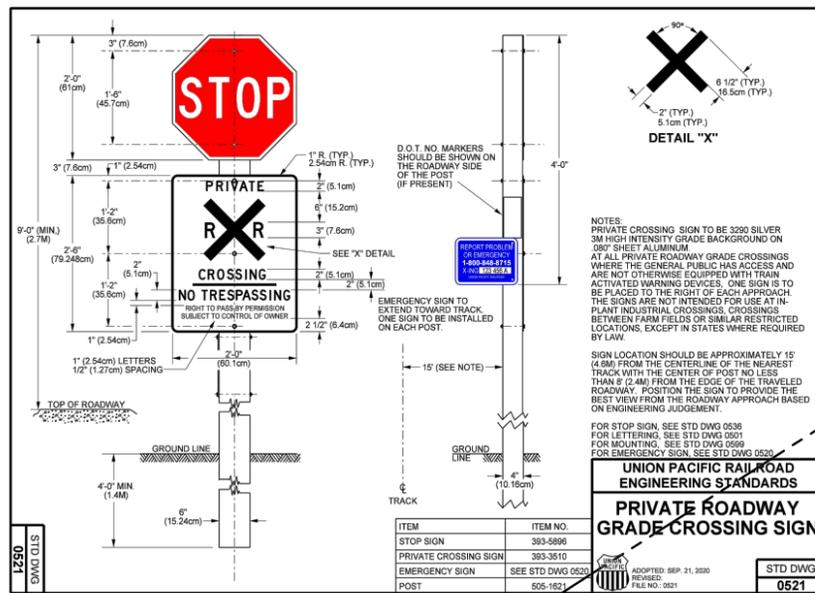
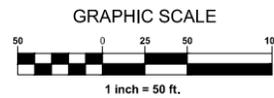
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C1.1
2 OF 14

LEGEND

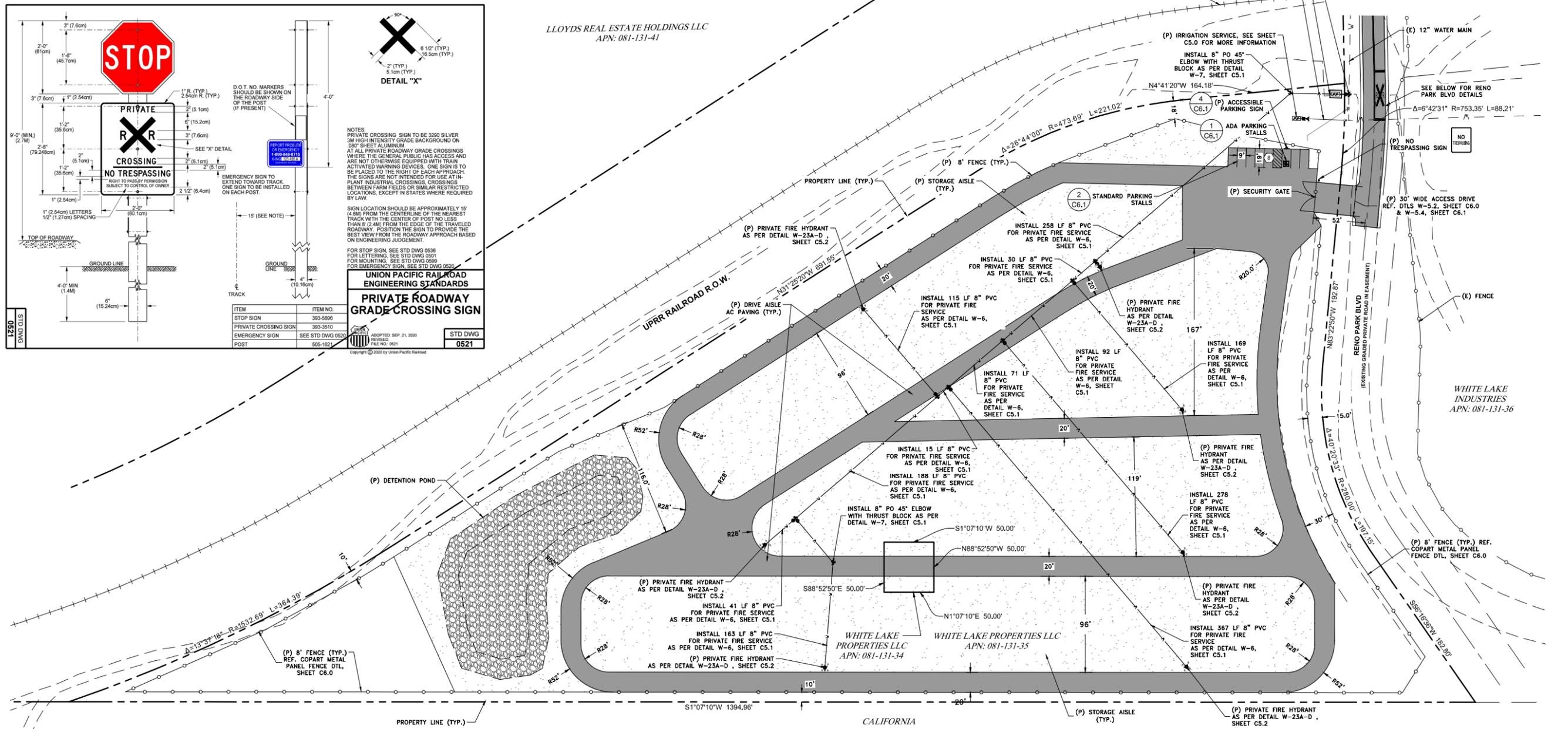
- (P) YARD SURFACING (3 C6.0)
- (P) AC (1 & 2 C6.0)
- (P) RIP RAP

SITE NOTES

1. PARCEL 1: APN: 081-131-35 (10.23 ACRES)
PARCEL 2: APN: 081-131-34 (0.057 ACRES)
2. MOTION ACTIVATED CAMERAS TO BE MOUNTED AROUND SITE FOR VISIBILITY OF ENTIRE SITE. INFRARED CAPABLE FOR NIGHT VISION WITHOUT LIGHTS. POLES FOR CAMERAS TO BE UP TO 30 FEET TALL.
3. OTHER THAN LIGHTING IN SHIPPING AND RECEIVING AREA, NO LIGHTING IS PROPOSED ON THE SITE.

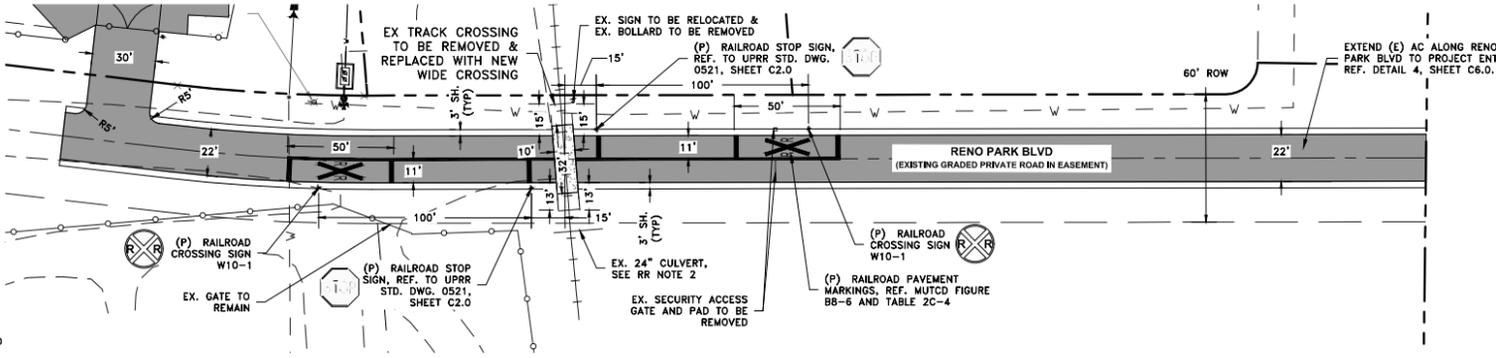
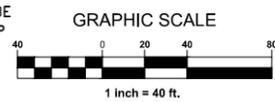


LLOYDS REAL ESTATE HOLDINGS LLC
APN: 081-131-41



RR NOTES

1. NO FENCING OR OTHER OBSTRUCTIONS ABOVE THE PLAIN OF THE RAIL ARE ALLOWED WITHIN 10 FEET OF THE RAILROAD TRACK. REMOVAL OF ALL EXISTING BARRIER'S OR FENCING IS REQUIRED IF IT IS LESS THAN 10 FEET OF THE TRACK AT THE EXISTING CROSSING.
2. REGRADE EXISTING INLET AND OUTLET OF CULVERT TO CREATE POSITIVE DRAINAGE SO THAT NO PONDING OR SCOURING EXIST. EXISTING DRAINAGE SWALES THAT DRAIN TO THE INLET AND AWAY FROM THE OUTLET WITHIN PROPERTY BOUNDARIES NEED TO BE RE-GRADED AT 1% MINIMUM. INSTALL RIP RAP AND REMOVE SOIL WHERE NEEDED.



RENO PARK BLVD ROADWAY PLAN

CAUTION - NOTICE TO CONTRACTOR

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND FEATURES AS SHOWN ON THESE PLANS IS BASED ON THE BEST INFORMATION AVAILABLE TO THE ENGINEER. THE CONTRACTOR IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE LOCATIONS AND/OR ELEVATIONS AT THE PROPOSED POINTS OF CONNECTION AND IN AREAS OF POSSIBLE CONFLICT PRIOR TO BEGINNING CONSTRUCTION. SHOULD THE CONTRACTOR FIND ANY DISCREPANCIES BETWEEN THE CONDITIONS EXISTING IN THE FIELD AND THE INFORMATION SHOWN ON THESE DRAWINGS, HE SHALL NOTIFY THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE OR RELOCATE ALL EXISTING UTILITIES AND FEATURES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. CONTRACTOR SHALL OBTAIN APPROVALS FROM THE GOVERNING AGENCIES, THE ENGINEER, AND THE UTILITY COMPANIES PRIOR TO SUCH REMOVAL AND/OR RELOCATION.
4. THE CONTRACTOR ASSUMES ALL RISK FOR ANY CONSTRUCTION PERFORMED WITH PRELIMINARY OR NONAPPROVED PLANS.
5. CONTRACTOR TO PROVIDE TRAFFIC CONTROL IN CONFORMANCE WITH THE LATEST EDITION OF MUTCD WHENEVER CONSTRUCTION IS IN PROGRESS WITHIN THE PUBLIC TRAVEL WAY.

WASHOE COUNTY REVIEW COMMENTS

04/05/22

DATE

MARK

REVISIONS

BY

PROFESSIONAL SEAL:

KATHLEEN KNIGHT
REGISTERED PROFESSIONAL ENGINEER
CIVIL
Exp. 06-30-23
No. 26935
05/26/2022

CFA, INC.
LAND SURVEYORS
CIVIL ENGINEERS
LAND USE PLANNERS
1850 CORPORATE WALKERWAY - RENO, NEVADA 89502
775-856-1100 FAX - 775-856-1100 EMAIL - CFACORPORATE@GMAIL.COM

WASHOE

NEVADA

COPART - 10 ACRE SUBLOT
CIVIL IMPROVEMENT PLANS

SITE PLAN

19905 RENO PARK BLVD.
RENO, NV 89508

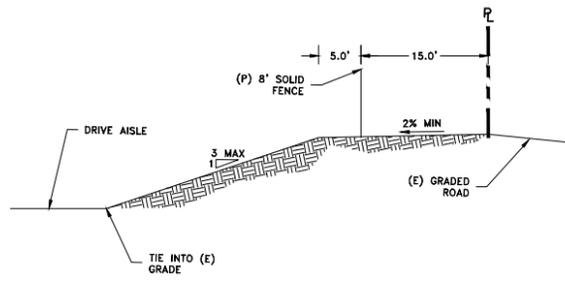
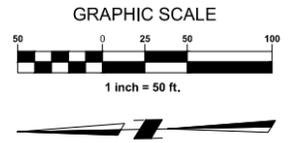
JOB NO. 20100.01
DESIGNED BY DD
CHECKED BY KK
DATE 04/05/2022

SHEET **C2.0**

3 OF 14

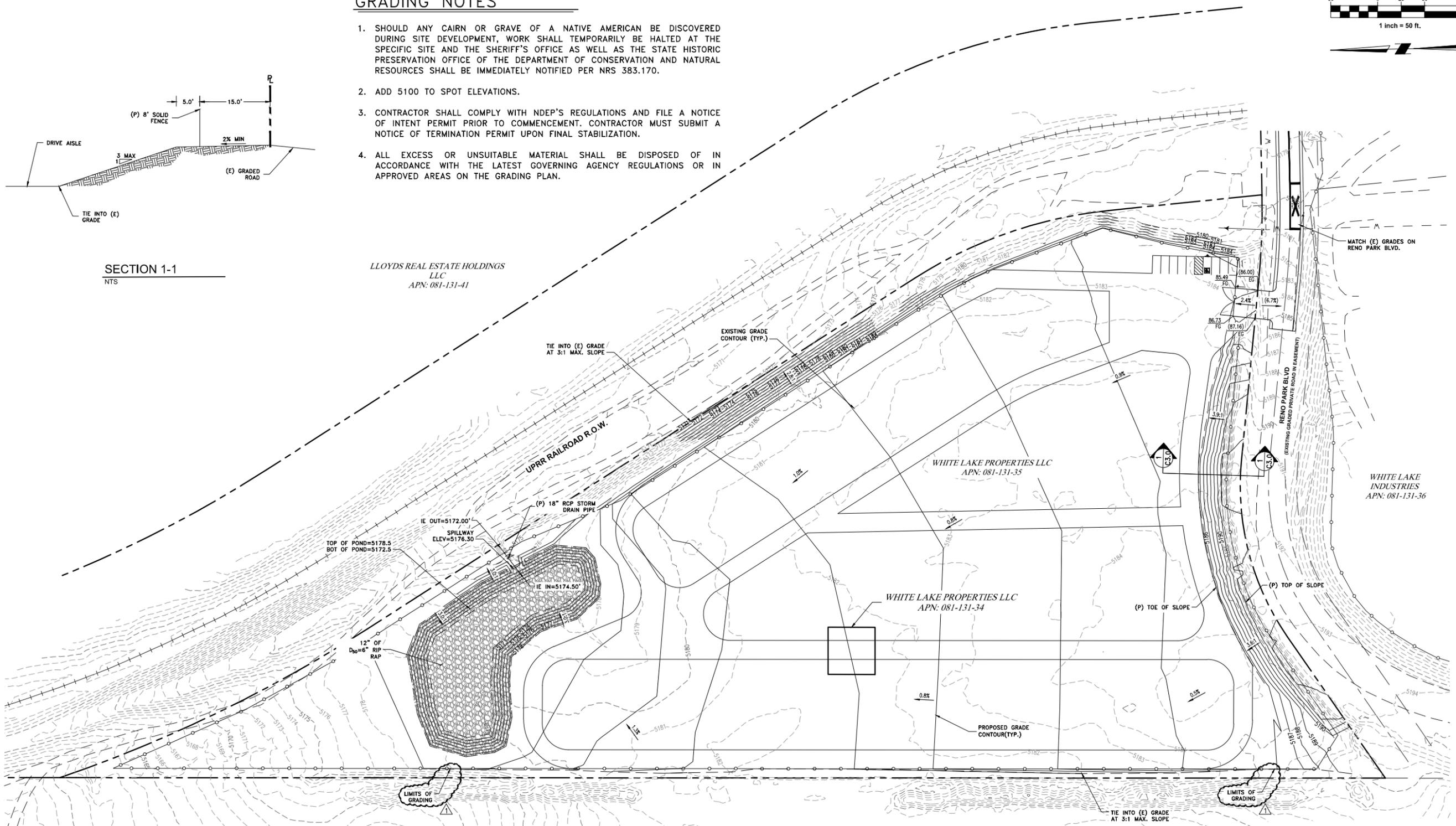
GRADING NOTES

1. SHOULD ANY CAIRN OR GRAVE OF A NATIVE AMERICAN BE DISCOVERED DURING SITE DEVELOPMENT, WORK SHALL TEMPORARILY BE HALTED AT THE SPECIFIC SITE AND THE SHERIFF'S OFFICE AS WELL AS THE STATE HISTORIC PRESERVATION OFFICE OF THE DEPARTMENT OF CONSERVATION AND NATURAL RESOURCES SHALL BE IMMEDIATELY NOTIFIED PER NRS 383.170.
2. ADD 5100 TO SPOT ELEVATIONS.
3. CONTRACTOR SHALL COMPLY WITH NDEP'S REGULATIONS AND FILE A NOTICE OF INTENT PERMIT PRIOR TO COMMENCEMENT. CONTRACTOR MUST SUBMIT A NOTICE OF TERMINATION PERMIT UPON FINAL STABILIZATION.
4. ALL EXCESS OR UNSUITABLE MATERIAL SHALL BE DISPOSED OF IN ACCORDANCE WITH THE LATEST GOVERNING AGENCY REGULATIONS OR IN APPROVED AREAS ON THE GRADING PLAN.



SECTION 1-1
NTS

LLOYDS REAL ESTATE HOLDINGS
LLC
APN: 081-131-41



CALIFORNIA

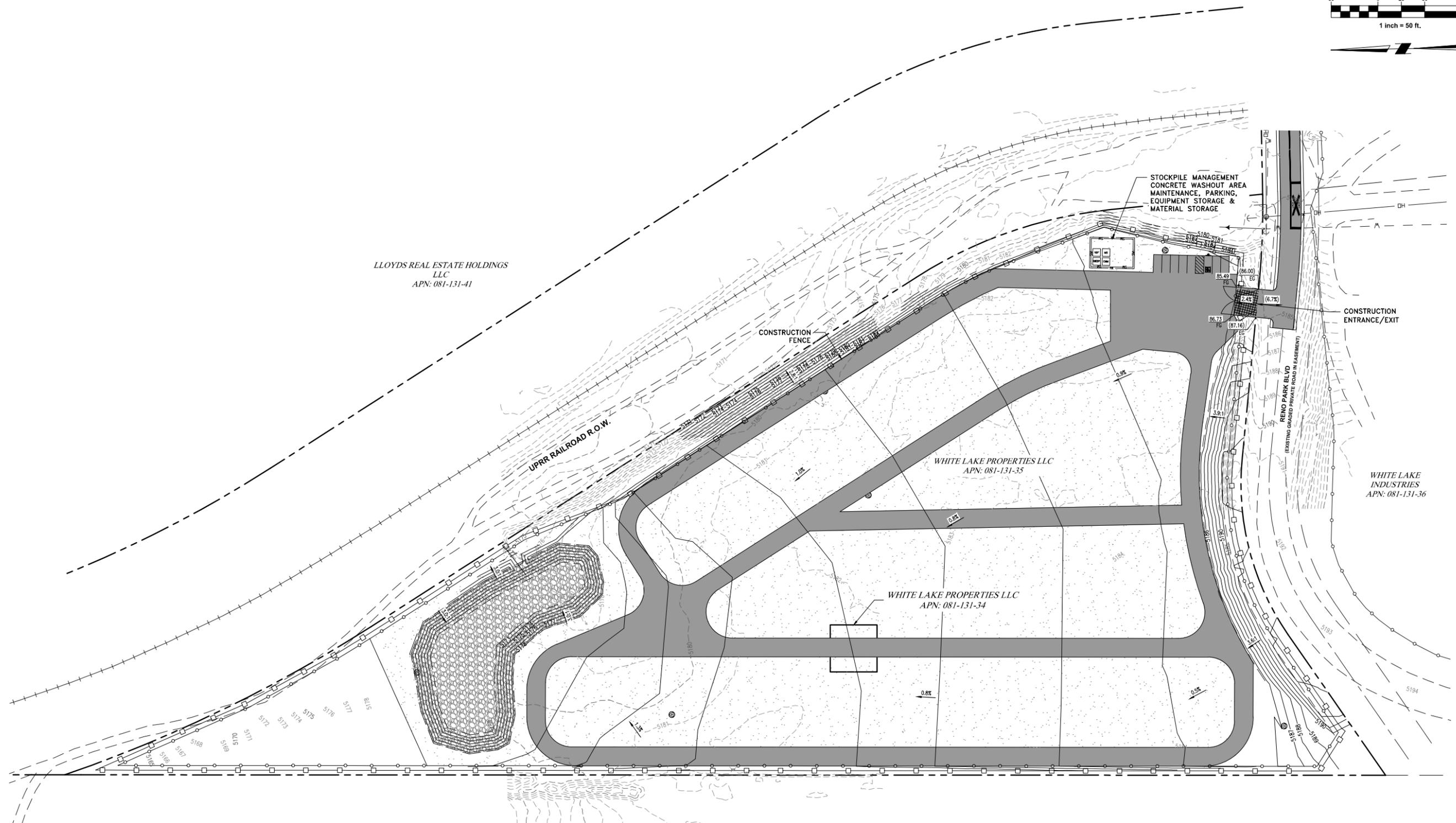
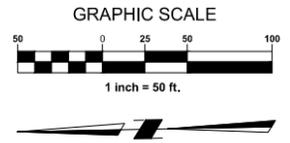
Cut/Fill Summary

Name	Cut Factor	Fill Factor	2d Area	Cut	Fill	Net
Surface2	1.000	1.000	388629 Sq. Ft.	4995 Cu. Yd.	13096 Cu. Yd.	8101 Cu. Yd.<Fill>
Totals			388629 Sq. Ft.	4995 Cu. Yd.	13096 Cu. Yd.	8101 Cu. Yd.<Fill>

CAUTION - NOTICE TO CONTRACTOR

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AND FEATURES AS SHOWN ON THESE PLANS IS BASED ON THE BEST INFORMATION AVAILABLE TO THE ENGINEER. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THESE LOCATIONS AND/OR ELEVATIONS AT THE PROPOSED POINTS OF CONNECTION AND IN AREAS OF POSSIBLE CONFLICT PRIOR TO BEGINNING CONSTRUCTION. SHOULD THE CONTRACTOR FIND ANY DISCREPANCIES BETWEEN THE CONDITIONS EXISTING IN THE FIELD AND THE INFORMATION SHOWN ON THESE DRAWINGS, HE SHALL NOTIFY THE ENGINEER BEFORE PROCEEDING WITH CONSTRUCTION.
3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REMOVE OR RELOCATE ALL EXISTING UTILITIES AND FEATURES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. CONTRACTOR SHALL OBTAIN APPROVALS FROM THE GOVERNING AGENCIES, THE ENGINEER, AND THE UTILITY COMPANIES PRIOR TO SUCH REMOVAL AND/OR RELOCATION.
4. THE CONTRACTOR ASSUMES ALL RISK FOR ANY CONSTRUCTION PERFORMED WITH PRELIMINARY OR NONAPPROVED PLANS.
5. CONTRACTOR TO PROVIDE TRAFFIC CONTROL IN CONFORMANCE WITH THE LATEST EDITION OF MUTCD WHENEVER CONSTRUCTION IS IN PROGRESS WITHIN THE PUBLIC TRAVEL WAY.

<p>PROFESSIONAL SEAL:</p> <p>04/05/2022</p> <p>CFA, INC. LAND SURVEYORS CIVIL ENGINEERS LAND USE PLANNERS 1750 CORPORATE WILLOWARD • RENO, NEVADA 89502 775-856-1100 FAX • 775-856-1101 EMAIL • CFACORPORATE@GMAIL.COM</p>	<p>REVISIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr><th>NO.</th><th>DATE</th><th>MARK</th><th>BY</th></tr> <tr><td> </td><td> </td><td> </td><td> </td></tr> </table> <p>NEVADA</p> <p>WASHOE</p> <p>COPART - 10 ACRE SUBLOT CIVIL IMPROVEMENT PLANS GRADING PLAN 19905 RENO PARK BLVD. RENO, NV 89508</p> <p>JOB NO. 20100.01 DESIGNED BY DD CHECKED BY KK DATE 04/05/2022</p> <p>SHEET C3.0 4 OF 14</p>	NO.	DATE	MARK	BY				
NO.	DATE	MARK	BY						



LLOYDS REAL ESTATE HOLDINGS
LLC
APN: 081-131-41

WHITE LAKE PROPERTIES LLC
APN: 081-131-35

WHITE LAKE PROPERTIES LLC
APN: 081-131-34

WHITE LAKE
INDUSTRIES
APN: 081-131-36

BMP NO.	BMP NAME	MAP SYMBOL	BMP NO.	BMP NAME	MAP SYMBOL
SC-8	CONSTRUCTION SITE ENTRANCES AND EXITS		GM-10	MATERIAL DELIVERY, HANDLING, STORAGE, AND USE	
DP-3	SAND BAG BARRIERS (STORM DRAIN INLET PROTECTION)		SC-1	FIBER ROLLS (WATTLES)	
GM-2	STOCK PILE MANAGEMENT		SC-5	SILT FENCE (MAY BE ATTACHED TO TEMP. CONSTRUCTION FENCE.)	
GM-5	STREET SWEEPING				
GM-8	VEHICLE AND EQUIPMENT MAINTENANCE AND FUELING				
GM-9	HANDLING AND DISPOSAL OF CONCRETE AND CEMENT				

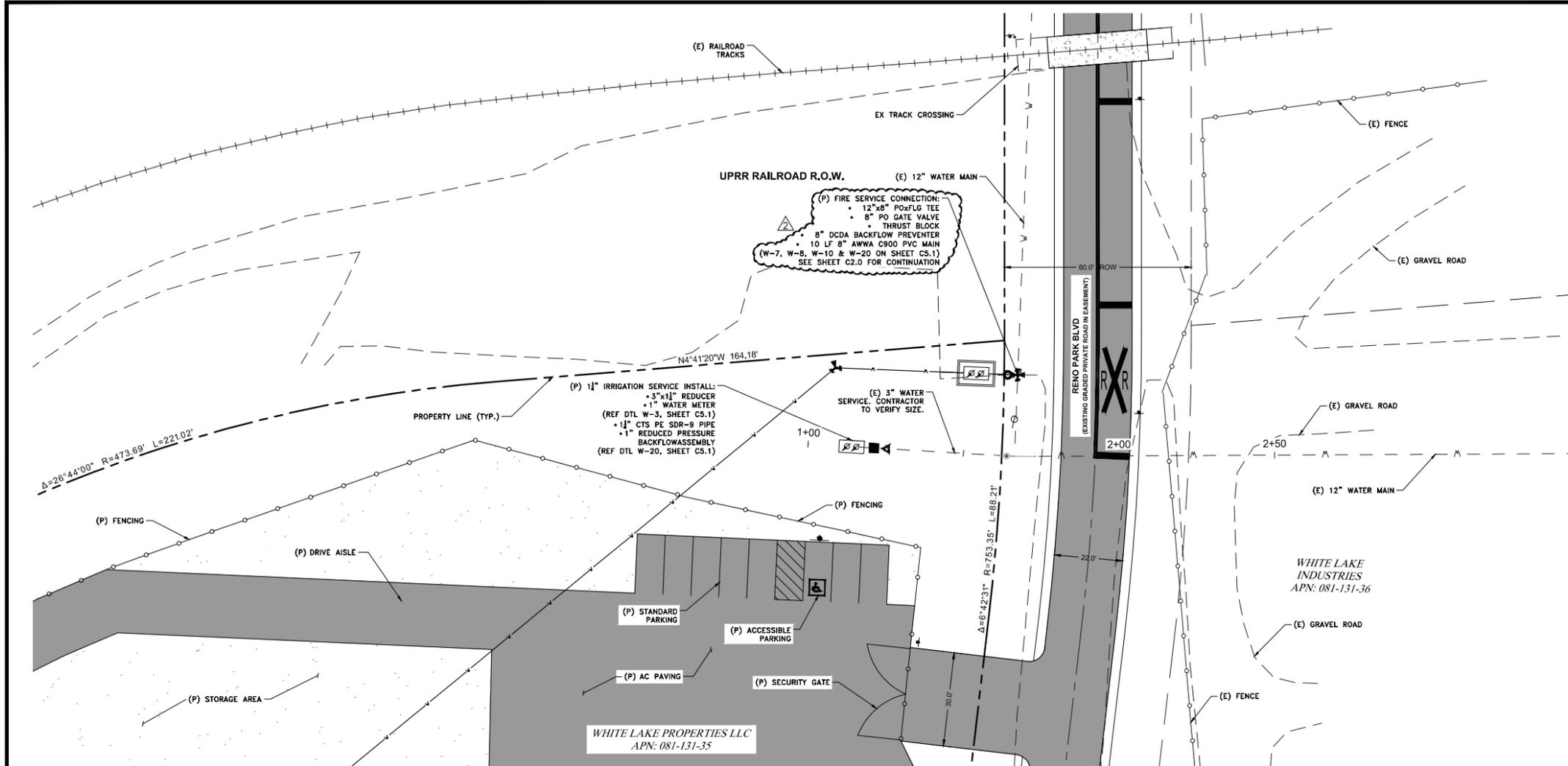
CALIFORNIA
STORMWATER QUALITY NOTES

- STANDARD NOTE NO. 1: THE OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL EACH DAY REMOVE ALL SEDIMENT, MUD, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED TO, OR ACCUMULATE IN, THE PUBLIC RIGHTS OF WAYS OF THE CITY OF RENO OR WASHOE COUNTY AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS DEVELOPMENT OR CONSTRUCTION PROJECT. SUCH MATERIAL SHALL BE PREVENTED FROM ENTERING THE STORM SEWER SYSTEM.
- STANDARD NOTE NO. 2: ADDITIONAL CONSTRUCTION SITE DISCHARGE BEST MANAGEMENT PRACTICES MAY BE REQUIRED OF THE OWNER AND HIS OR HER AGENTS DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT MEET THE PERFORMANCE STANDARDS SPECIFIED IN WASHOE COUNTY CODE AND THE TRUCKEE MEADOWS CONSTRUCTION SITE BEST MANAGEMENT PRACTICES HANDBOOK.
- STANDARD NOTE NO. 3: TEMPORARY OR PERMANENT STABILIZATION PRACTICES WILL BE INSTALLED ON DISTURBED AREAS AS SOON AS PRACTICABLE AND NO LATER THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. SOME EXCEPTIONS MAY APPLY; REFER TO STORMWATER GENERAL PERMIT NVR100000, SECTION 1.B.1.b.(2).
- STANDARD NOTE NO. 4: AT A MINIMUM, THE CONTRACTOR OR HIS AGENT SHALL INSPECT ALL DISTURBED AREAS, AREAS USED FOR STORAGE OF MATERIALS AND EQUIPMENT THAT ARE EXPOSED TO PRECIPITATION, VEHICLE ENTRANCE AND EXIT LOCATIONS AND ALL BMPs WEEKLY, PRIOR TO A FORECASTED RAIN EVENT AND WITHIN 24 HOURS AFTER ANY ACTUAL RAIN EVENT. THE CONTRACTOR OR HIS AGENT SHALL UPDATE OR MODIFY THE STORMWATER POLLUTION PREVENTION PLAN AS NECESSARY. SOME EXCEPTIONS TO WEEKLY INSPECTIONS MAY APPLY, SUCH AS FROZEN GROUND CONDITIONS OR SUSPENSION OF LAND DISTURBANCE ACTIVITIES. REFER TO STORMWATER GENERAL PERMIT NVR100000, SECTION 1.B.1.g.
- STANDARD NOTE NO. 5: ACCUMULATED SEDIMENT IN BMPs SHALL BE REMOVED WITHIN SEVEN DAYS AFTER A STORMWATER RUNOFF EVENT OR PRIOR TO THE NEXT ANTICIPATED STORM EVENT WHICHEVER IS EARLIER. SEDIMENT MUST BE REMOVED WHEN BMP DESIGN CAPACITY HAS BEEN REDUCED BY 50 PERCENT OR MORE.
- STANDARD NOTE NO. 6: UPON COMPLETION OF CONSTRUCTION, CONTRACTOR SHALL PERMANENTLY REVEGETATE ALL AREAS DISTURBED WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED.
- TEMPORARY BMPs SHALL BE REMOVED UPON COMPLETION OF CONSTRUCTION.

REFERENCE TRUCKEE MEADOWS CONSTRUCTION SITE BEST MANAGEMENT PRACTICES (BMP) HANDBOOK FOR DETAILS ON INSTALLATION, INSPECTION AND MAINTENANCE PROCEDURE.

REVISIONS	DATE	MARK	BY
PROFESSIONAL SEAL: 			
CFA, INC. LAND SURVEYORS CIVIL ENGINEERS LAND USE PLANNERS 1750 CORPORATE WALKWAY • RENO, NEVADA 89502 775-866-1100 FAX • 775-866-1101 FAX • CFACORPORATE.COM			
COPART - 10 ACRE SUBLLOT CIVIL IMPROVEMENT PLANS SWPPP 19905 RENO PARK BLVD. RENO, NV 89508			
JOB NO. 20100.01 DESIGNED BY DD CHECKED BY KK DATE 04/05/2022			
SHEET C4.0 5 OF 14			

WARNING: WRITTEN CONSENT IS REQUIRED OF CFA, OWNER OF DESIGNS & DRAWINGS AS INSTRUMENTS OF SERVICE, FOR DUPLICATION AND/OR DISTRIBUTION OF DOCUMENTS.



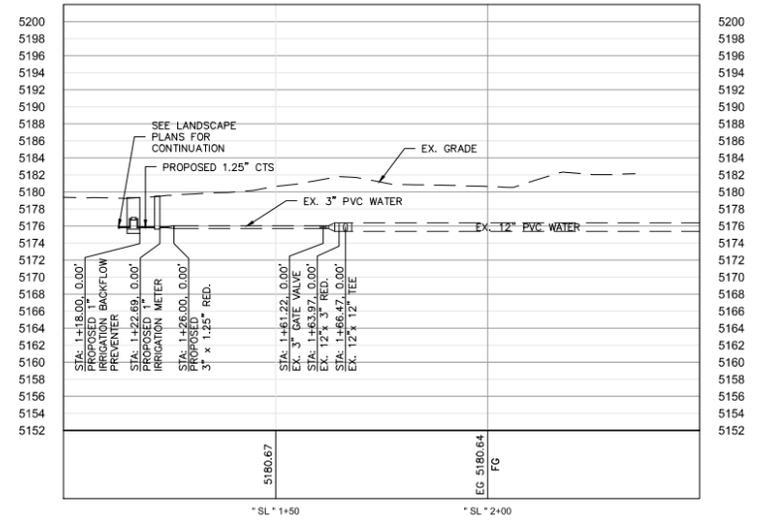
GRAPHIC SCALE

1 inch = 20 ft.

GENERAL WATER NOTES

- ALL WATER SYSTEM COMPONENTS AND MATERIALS IN CONTACT WITH POTABLE WATER ARE REQUIRED TO BE NSF61 CERTIFIED TO BE COMPATIBLE WITH POTABLE WATER.
- ALL WATERLINES TO BE DISINFECTED AND SAMPLED IN ACCORDANCE WITH AWWA C651 AND DISPOSAL OF ALL CHLORINATED WATER MUST BE COORDINATE WITH THE BUREAU OF WATER POLLUTION CONTROL.
- ANY OPENINGS IN UNFINISHED PIPING AND APPURTENANCES MUST BE SEALED AT THE END OF EACH WORKING DAY IN SUCH A MANNER TO PREVENT THE ENTRY OF BIRDS AND OTHER ANIMALS, DIRT, TRENCH WATER AND OTHER SOURCES OF POLLUTION OR CONTAMINATION IN ACCORDANCE WITH NAC 445A.67145.8.
- ALL PVC WATERLINES TO BE PRESSURE TESTED IN ACCORDANCE WITH AWWA C605 AND ALL DUCTILE IRON PIPE TO BE PRESSURE TESTED IN ACCORDANCE WITH AWWA C600. (NAC 445A.67145.7)

A
C5.0 **UTILITY PLAN**
SCALE: 1"=20'



B
C5.0 **WATER SERVICE PROFILE**
SCALE: V: 1"=20', H: 1"=10'

811
Know what's below.
Call before you dig.

GENERAL WATER NOTES

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NO.									
REVISIONS	DATE	MARK							
BY	DATE	MARK							
REVISIONS	DATE	MARK							

PROFESSIONAL SEAL:

KATHLEEN KNIGHT
Exp. 06-30-23
CIVIL
No. 26935
05/26/2022

CFA, INC.
LAND SURVEYORS
CIVIL ENGINEERS
LAND USE PLANNERS
1700 CORPORATE WILLOW - RENO, NEVADA 89502
775-866-1160 FAX - 775-866-1161 FAX - CFASURVEY.COM

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COPART - 10 ACRE SUBLOT
CIVIL IMPROVEMENT PLANS
UTILITY PLAN
19905 RENO PARK BLVD.
RENO, NV 89508

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SHEET
C5.0
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