

FLORSHEIM

HOMES

November 4, 2022

Julee Olander, Planner
Washoe County – Planning and Building Division
1001 East Ninth Street
Reno, NV 89512

Julee,

Please find the attached Amendment of Conditions Application. Within this application I have included the following: (i) check #8000065 in the amount of \$1,341.60; (ii) Amendment of Conditions Application; (iii) Vicinity Map; (iv) Site Map; and (v) Setback Display of the existing and proposed side yard setbacks being asked to be considered for amendment.

The current side yard setbacks call for 13' between dwellings, in keeping with the same concept, we are proposing an 8' minimum and a 5' minimum side yard (13' total between dwellings) to allow for better flexibility with the house placement, eliminating the nuances of shared property lines and to assist with addressing the existing terrain as related to lot grading and drainage. Please see the Setback Display exhibit for clarification on the side yard setbacks.

If you have any questions or concerns, please feel free to contact me directly at 209-595-1703 or via email at jpronoitis@florsheimhomes.com. Also, feel free to contact Patricia Lynch, Esq of Robertson, Johnson, Miller and Williamson, a local representative of Reno Sun, LLC, at 775-329-5600 or patricia@nvlawyers.com.

Thank you,



John Pronoitis
Forward Planning Manager
Reno Sun, LLC / Florsheim Homes

cc Patricia Lynch, Esq. Robertson, Johnson, Miller and Williamson

Craftsmanship. Dedication. Trust.

Amendment of Conditions Application Supplemental Information

(All required Information may be separately attached)

Required Information

1. The following information is required for an Amendment of Conditions:
 - a. Provide a written explanation of the proposed amendment, why you are asking for the amendment, and how the amendment will modify the approval.
 - b. Identify the specific Condition or Conditions that you are requesting to amend.
 - c. Provide the requested amendment language to each Condition or Conditions, and provide both the ***existing*** and ***proposed condition(s)***.

Existing Condition (Building 1w): Building setbacks for this subdivision shall be as follows: Front - 10 feet, Garage - 20 feet, Rear - 10 feet, Side - 13 feet and 0 feet.

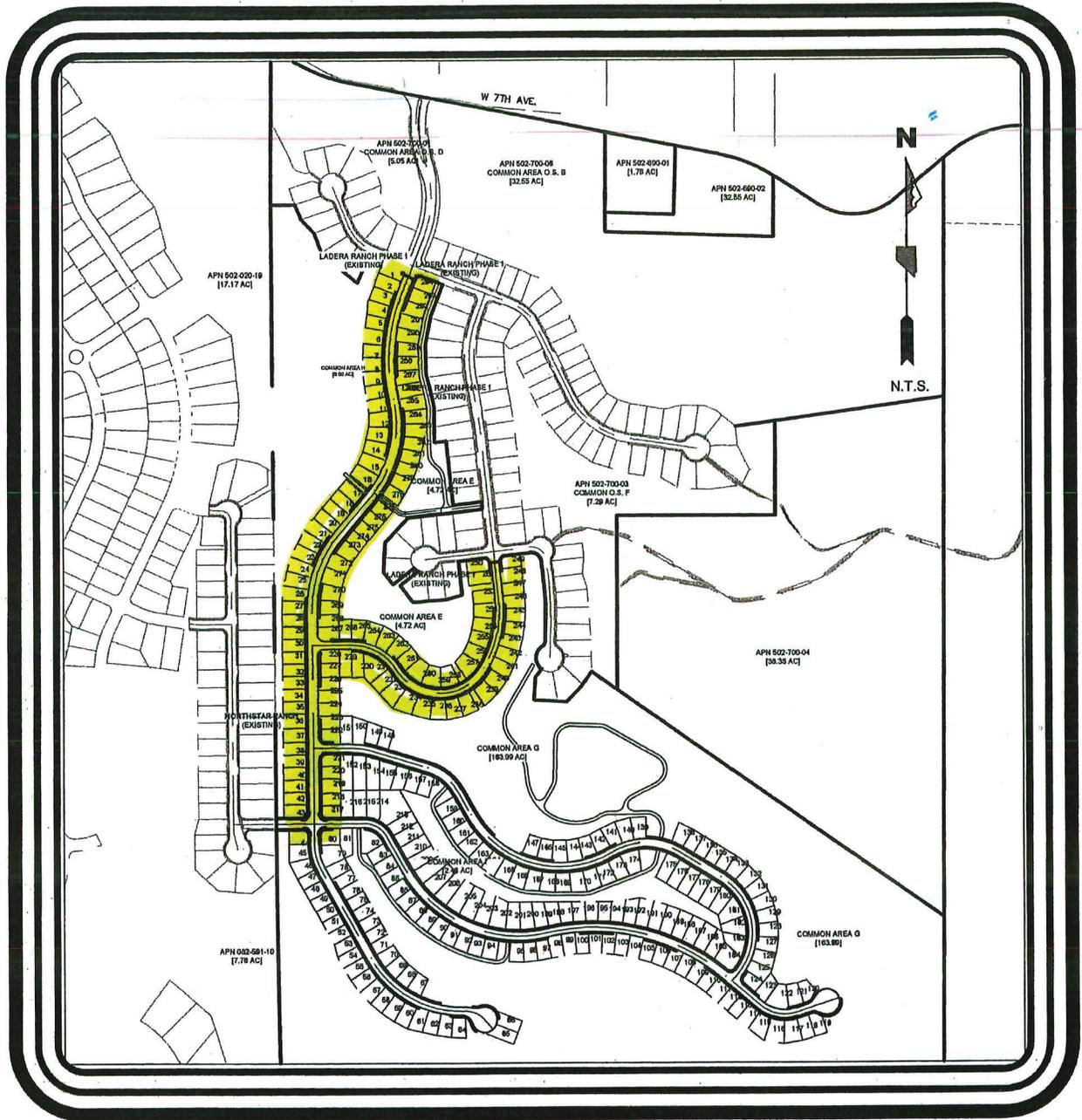
Proposed Condition: Building setbacks for Phases 2 and 3 of this subdivision shall be as follows: Front - 10 feet, Garage - 20 feet, Rear - 10 feet, Side - 8 feet min. and 5 feet min., with 13 feet min. between dwellings.

2. Describe any potential impacts to public health, safety, or welfare that could result from granting the amendment. Describe how the amendment affects the required findings as approved.

None

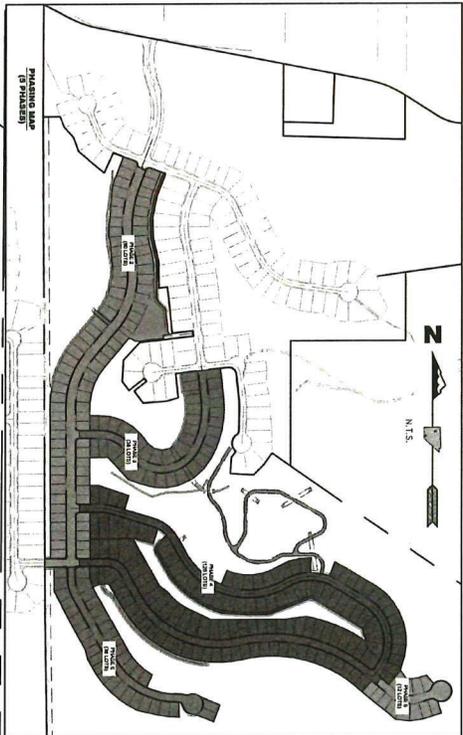
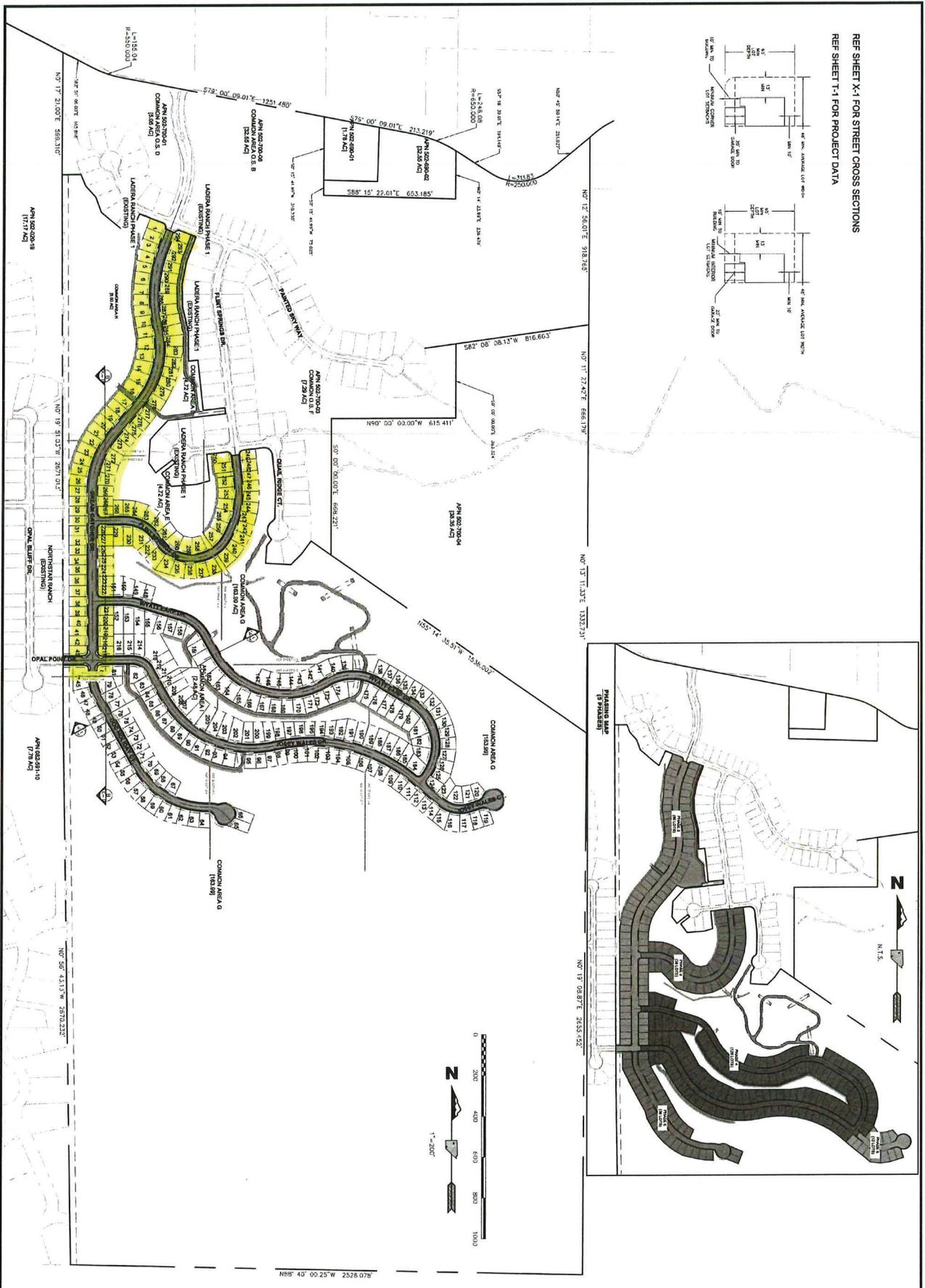
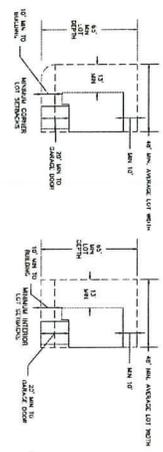


VICINITY MAP



SITE PLAN

REF SHEET X-1 FOR STREET CROSS SECTIONS
 REF SHEET T-1 FOR PROJECT DATA



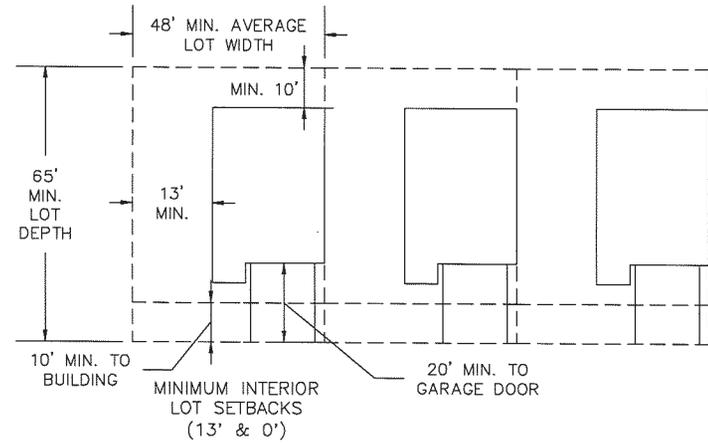
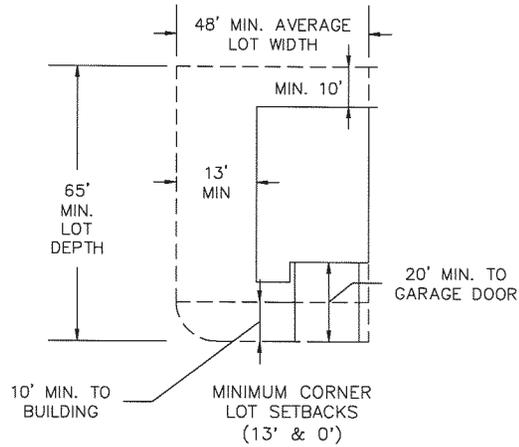
DESIGNED BY: SD
 CHECKED BY: NG
 SCALE: 1"=200'
 VERT: 1"=200'
 JOB NO: 20884

TENTATIVE MAP AND VARIANCE PLANS FOR
 LADERA RANCH PHASES 2-6
 OVERALL SITE PLAN
 WASHOE COUNTY NEVADA

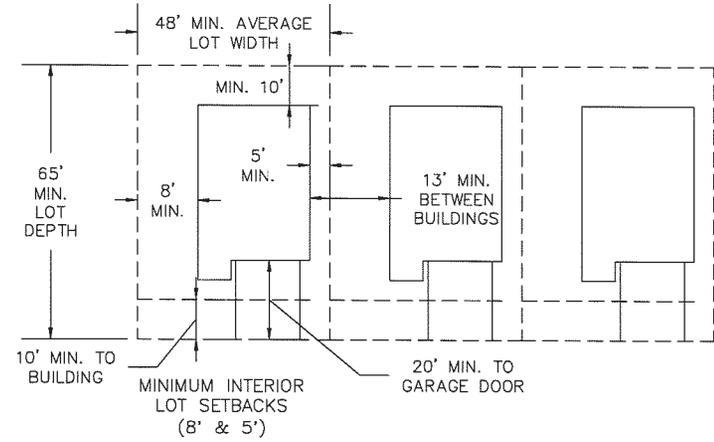
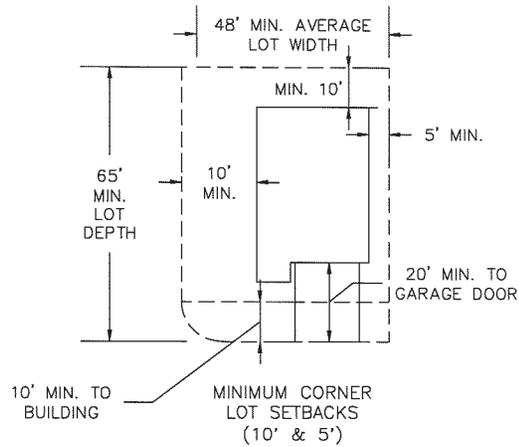
REV.	DATE	DESCRIPTION	BY	APPD

SUMMIT ENGINEERING CORPORATION
 1605 MAE ANNE AVENUE, RENO, NV 89523
 PHONE: (775) 747-8550 FAX: (775) 747-8559

13' & 0' MIN. SETBACK
APPROVED WITH
TENTATIVE MAP



8' & 5' MIN. SETBACK
PROPOSED WITH NEW
DEVELOPMENT



SCALE: 1"=30'	DESIGNED BY: KB
JOB #: 31173	CHECKED BY: RG
Copyright SUMMIT ENG 2022	DRAWN BY: kbowman
N:\DWGS\J30884_Lansing_LaderaNewTM\Civil\LaderaTM-Base.DWG - 1:47 PM * 11-OCT-2022	

LADERA
PHASES 2 & 3
SETBACK DISPLAY

SHEET
1
OF
1