

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: Ladera Ranch Ph. 1			
Project Description: Regrading of remaining lots to eliminate walk-out basement lots and replace them with flat lots.			
Project Address: Dream Catcher Dr. Washoe County, NV 89433			
Project Area (acres or square feet): ±4.94 Acres			
Project Location (with point of reference to major cross streets AND area locator): South of Golden Valley Rd./W. 7th Ave. in Sun Valley			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
See attached sheet for APN's & Parcel Acreage			
Indicate any previous Washoe County approvals associated with this application: Case No.(s). TM05-011			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: D.R. Horton, Inc.		Name: KLS Planning & Design	
Address: 5190 Neil Rd. Suite 310		Address: 1 East 1st Street, Suite 1400	
Reno, NV	Zip: 89502	Reno, NV	Zip: 89501
Phone: 775-85-8423	Fax:	Phone: 775-857-7710	Fax: N/A
Email: THWarley@drhorton.com		Email: Johnk@klsdesigngroup.com	
Cell:	Other:	Cell: 775-857-7710	Other: N/A
Contact Person: Tom Warley		Contact Person: John Krmpotic, AICP	
Applicant/Developer:		Other Persons to be Contacted:	
Name: same as above		Name: Summit Engineering	
Address:		Address: 5405 Mae Anne Ave	
	Zip:	Reno, NV	Zip: 89523
Phone:	Fax:	Phone: 775-747-8550	Fax: 747-8559
Email:		Email: robert@summitnv.com	
Cell:	Other:	Cell: 775-787-4331	Other: N/A
Contact Person:		Contact Person: Robert Gelu	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Property Owner Affidavit

Applicant Name: D.R Horton, Inc.

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
)
COUNTY OF WASHOE)

I, THOMAS H. WARLEY
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 502-711-08, 502-711-07, 502-711-08, 502-712-08, 502-722-37, 502-722-36, 502-722-35, 502-722-34, 502-722-33, 502-722-32, 502-722-31, 502-722-30, 502-722-23, 502-722-22, 502-722-21, 502-722-20, 502-722-19, 502-722-18, 502-732-10, 502-732-09, 502-732-08, 502-732-07, 502-732-06, 502-732-05, 502-732-04, 502-732-03, 502-732-02-502-732-01

Printed Name THOMAS H. WARLEY

Signed [Signature]

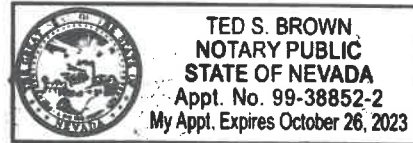
Address 590 Neil Rd, Suite 310
RENO, NV 89502

Subscribed and sworn to before me this 6th day of April, 2021.

(Notary Stamp)

[Signature]
Notary Public in and for said county and state

My commission expires: 10/26/23



*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

CERTIFICATE OF ASSISTANT SECRETARY

The undersigned hereby certifies as follows:

1. She is a duly elected, qualified and acting Assistant Secretary of D. R. Horton, Inc. - NNV, a Delaware corporation (*the "Company"*), is familiar with the facts herein certified and is duly authorized to certify the same.

2. The following is a true, correct and complete copy of resolutions related to the subject matter as adopted by the Consent of Sole Director of the Company dated February 4, 2019 (*the "Resolutions"*). The Resolutions have not been amended, rescinded or modified and remain in full force and effect as of the date hereof.

Election of Vice President and Land Development Manager


RESOLVED, that Tom Warley is hereby elected to the office of Vice President of the Company (*the "Vice President"*) in the Company's Reno Division (*the "Division"*), to serve until the next annual meeting of directors of the Company and until his successor is duly elected and qualified or until his earlier death, resignation or removal.

RESOLVED FURTHER, that the Vice President is hereby authorized and empowered, in the Division and in the name and on behalf of (A) the Company, (B) any partnership of which the Company is a general partner, manager or agent, and (C) any limited liability company of which the Company is a member, manager or agent (*collectively, the "Entities"*), to execute and deliver maps, plats, permits, contracts, agreements and other documents and instruments for the subdivision, development and/or improvement of real property.

RESOLVED FURTHER, that the Vice President is hereby authorized on behalf of the Entities to sign, modify and terminate, from time to time as he deems it to be in the best interest of the Entities, all agency applications relating to development, construction contracts, purchase orders, consultant agreements, permits, engineering agreements and other similar or equivalent agreements or documents for the Division relating to the business of the Entities.

RESOLVED FURTHER, that the Vice President is hereby authorized on behalf of the Entities to sign, modify and terminate, from time to time as he deems it to be in the best interest of the Entities, various agreements and documents for the Division including, but not limited to, conditions, subcontract agreements, general contract agreements, bonds, improvement/development agreements and other similar or equivalent agreements or documents for the Division relating to the business of the Entities.

IN WITNESS WHEREOF, the undersigned has signed on the 11th day of February, 2019.



Ashley Dagley
Assistant Secretary

Amendment of Conditions Application Supplemental Information

(All required Information may be separately attached)

Required Information

1. The following information is required for an Amendment of Conditions:
 - a. Provide a written explanation of the proposed amendment, why you are asking for the amendment, and how the amendment will modify the approval.
 - b. Identify the specific Condition or Conditions that you are requesting to amend.
 - c. Provide the requested amendment language to each Condition or Conditions, and provide both the *existing* and *proposed condition(s)*.

Regrading of lots 7-9, 15, 31-38,45-50,73-82 to eliminate walk-out basement lots and replace them with flat lots. There are no conditions of approval that require walk-out basement lots. The existing grade outside of the rear property lines will not be disturbed.

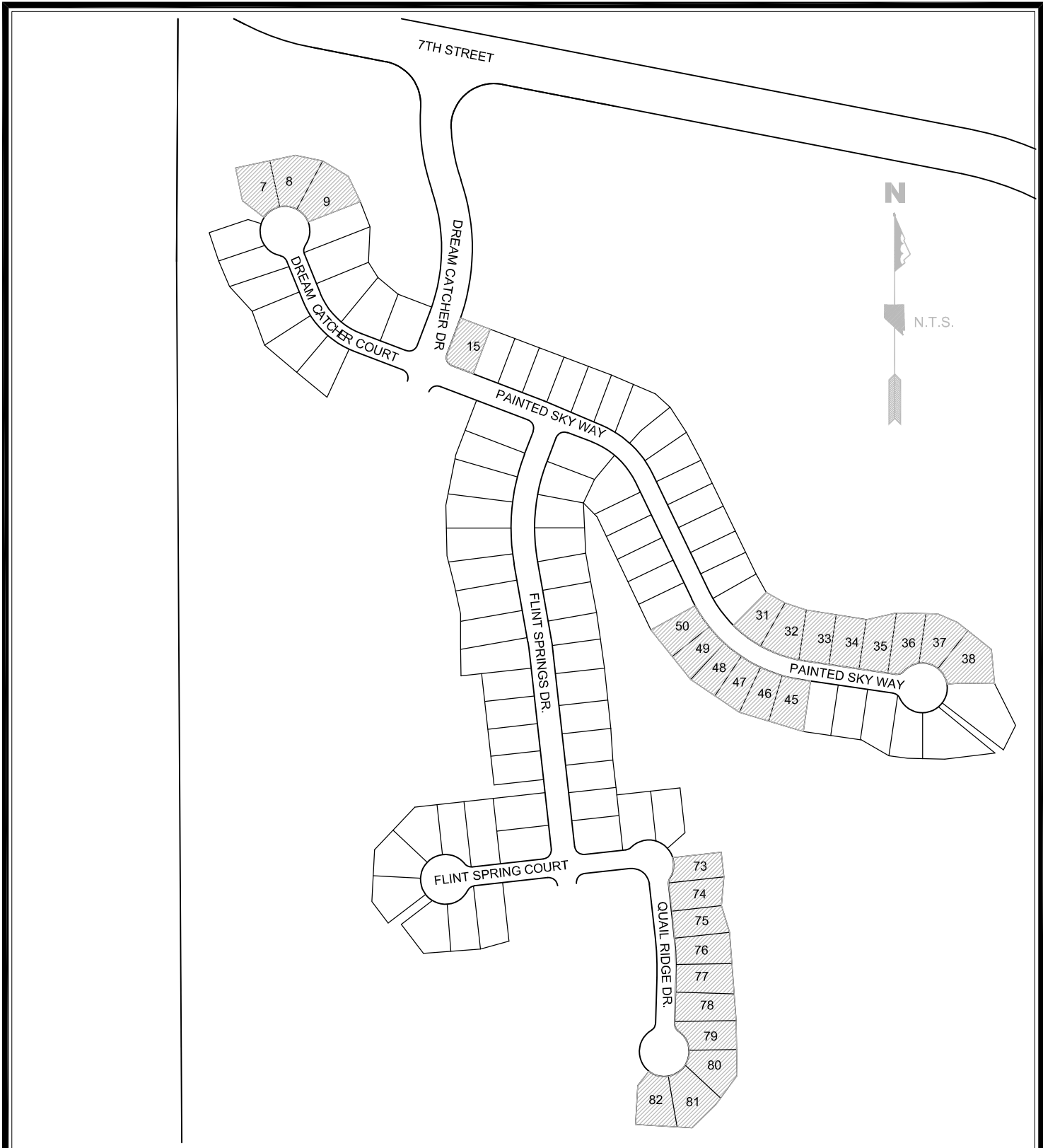
2. Describe any potential impacts to public health, safety, or welfare that could result from granting the amendment. Describe how the amendment affects the required findings as approved.

There are no potential impacts to public health, safety, or welfare that could result from the condition change. This change is driven by buyer preference and market preference for homes that do not include walk-out basements. The grading internal to the lot will change but existing grades outside of the boundary of each lot will remain the same. It will change the use of the rear yard area but that change is known to the home buyer and not a public good issue.



APN's and parcel acreage included in this project:

Assessor's Parcel No.(s):	Parcel Acreage	Assessor's Parcel No.(s):	Parcel Acreage
502-711-08	0.184	502-722-21	0.139
502-711-07	0.201	502-722-20	0.138
502-711-06	0.236	502-722-19	0.139
502-712-08	0.160	502-722-18	0.161
502-722-37	0.151	502-732-10	0.142
502-722-36	0.179	502-732-09	0.168
502-722-35	0.172	502-732-08	0.161
502-722-34	0.170	502-732-07	0.179
502-722-33	0.180	502-732-06	0.185
502-722-32	0.189	502-732-05	0.189
502-722-31	0.184	502-732-04	0.176
502-722-30	0.223	502-732-03	0.189
502-722-23	0.177	502-732-02	0.216
502-722-22	0.145	502-732-01	0.198



LADERA RANCH

SITE PLAN

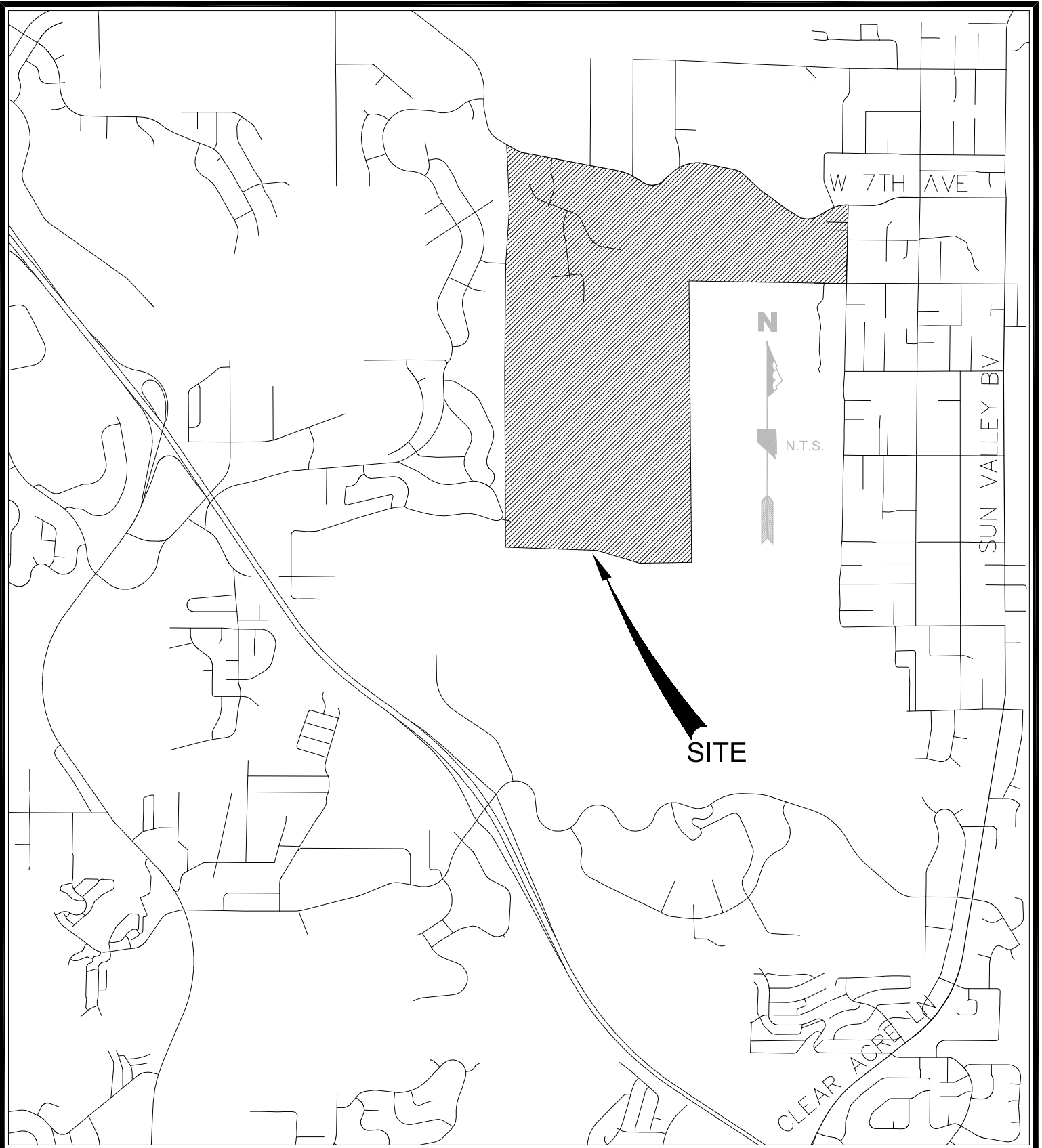
SCALE 1"=N.T.S.

Copyright SUMMIT ENG 2021



SHEET
1

OF
1



LADERA RANCH

VICINITY MAP

Copyright SUMMIT ENG 2021



SHEET
1

OF
1

OWNER / DEVELOPER

D.R. HORTON
5190 NEIL ROAD, SUITE 310
RENO, NV 89502
(775) 856-8450

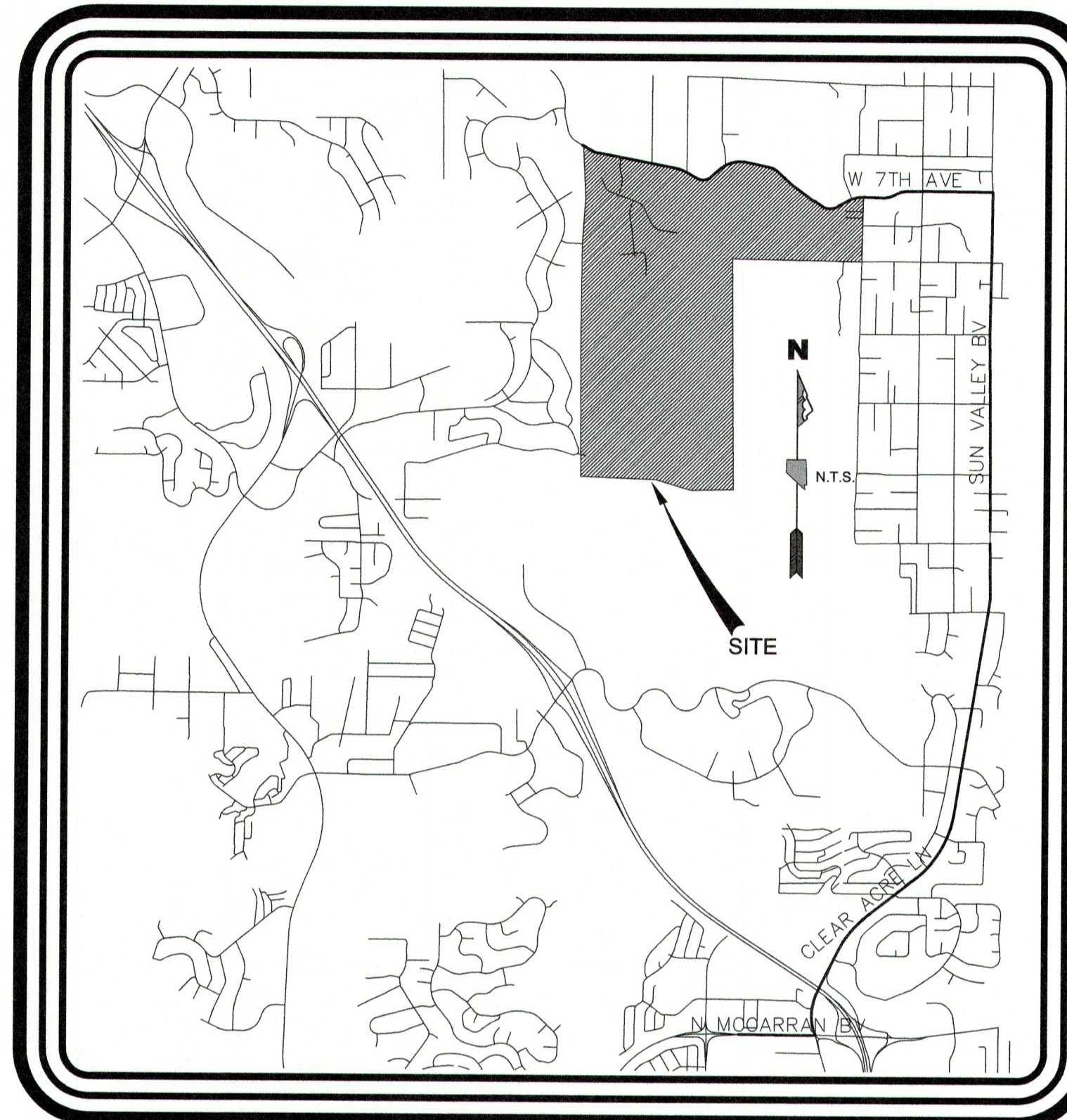
**AMENDMENT OF CONDITIONS
FOR
LADERA RANCH PHASE 1
WASHOE CO. NEVADA**

ENGINEER

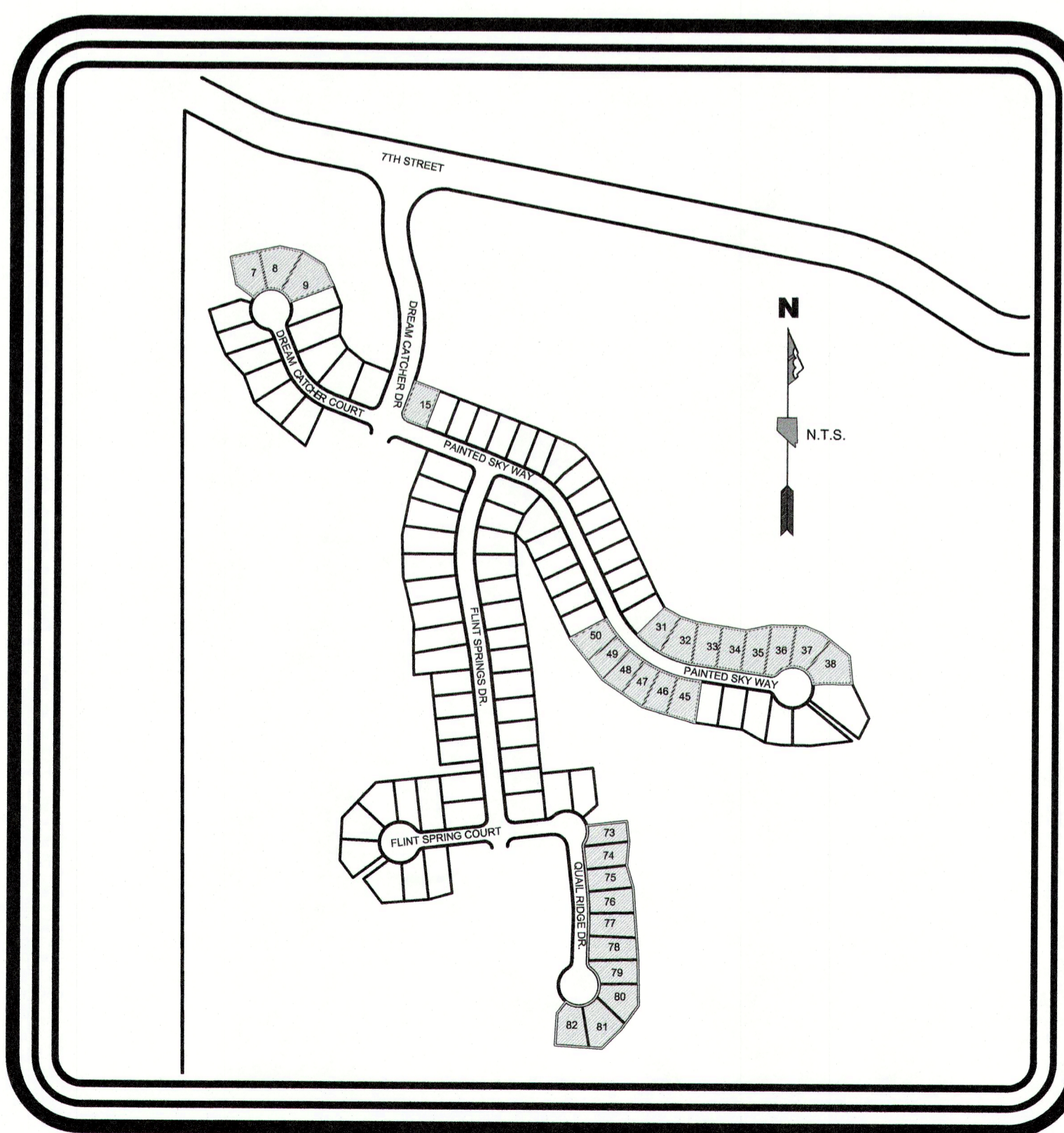


GENERAL NOTES

- THESE NOTES REPRESENT GENERAL INFORMATION NECESSARY FOR THE PROPER EXECUTION OF THE WORK CONTAINED ON THESE IMPROVEMENT PLANS. THESE NOTES APPLY TO ALL PLAN SHEETS. THE CONTRACTOR IS RESPONSIBLE TO READ AND COMPLY WITH ALL NOTES.
- THE CONTRACTOR IS RESPONSIBLE FOR THE SAFETY OF ALL CONSTRUCTION PERSONNEL IN ACCORDANCE WITH ALL APPLICABLE FEDERAL, STATE, COUNTY AND CITY CODES AND ORDINANCES GOVERNING CONSTRUCTION SAFETY.
- THE CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL NECESSARY TRAFFIC AND PEDESTRIAN CONTROL DURING CONSTRUCTION AND TO PROVIDE ALL NECESSARY WARNING SIGNS AND CONSTRUCTION FENCING.
- THE DEVELOPER IS RESPONSIBLE TO OBTAIN THE SERVICES OF A TESTING AND INSPECTION FIRM FOR INSPECTION AND TESTING OF ALL IMPROVEMENTS. WASHOE COUNTY IS RESPONSIBLE FOR INSPECTION AND TESTING OF PUBLIC IMPROVEMENTS. THE CONTRACTOR IS RESPONSIBLE TO NOTIFY ANY AFFECTED PARTY 48 HOURS IN ADVANCE OF ANY REQUIRED TESTING AND/OR INSPECTION.
- ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (PWC) AND THE LATEST DETAILS FOR (PWC) ADOPTED BY WASHOE COUNTY.
- THE CONTRACTOR SHALL MAINTAIN A 24-HOUR DUST CONTROL PROGRAM TO INCLUDE WATERING OF OPEN AREAS AND SHALL MAINTAIN CONFORMANCE WITH SECTION 40.030 OF THE WASHOE COUNTY AIR POLLUTION REGULATIONS AND THE APPROVED DUST CONTROL PERMIT FOR THE PROJECT.
- THE EXISTING UTILITIES SHOWN ON THESE IMPROVEMENT PLANS WERE OBTAINED FROM VARIOUS SOURCES AND ARE FOR THE CONTRACTOR'S GENERAL INFORMATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY LOCATION, SIZE, TYPE, ETC. THIS ENGINEER ASSUMES NO RESPONSIBILITY FOR THE UTILITIES NOT SHOWN OR NOT IN THE LOCATION SHOWN ON THESE PLANS. THE CONTRACTOR IS DIRECTED TO NOTIFY THE ENGINEER IN CASE OF ANY CONFLICT BETWEEN NEW AND EXISTING UTILITIES.
- IT IS THE INTENT OF THESE SPECIFICATIONS AND IMPROVEMENT PLANS THAT THE WORK PERFORMED UNDER THE CONTRACT SHALL RESULT IN A COMPLETE OPERATING SYSTEM IN SATISFACTORY WORKING CONDITION WITH RESPECT TO THE FUNCTIONAL PURPOSES OF THE INSTALLATION. IF THERE ARE ANY QUESTIONS REGARDING THE STATED OR IMPLIED MEANING OF THESE PLANS, THE CONTRACTOR IS DIRECTED TO CONTACT THE CONSULTING ENGINEER IMMEDIATELY.
- IN ORDER TO EXPEDITE THE INSPECTION AND TESTING OF MATERIALS, THE CONTRACTOR SHALL FURNISH COMPLETE STATEMENTS TO THE ENGINEER AS TO THE ORIGIN, COMPOSITION AND MANUFACTURE OF ALL MATERIALS TO BE USED IN THE WORK. SUCH STATEMENTS SHALL BE FURNISHED PROMPTLY AFTER EXECUTION OF THE CONTRACT, BUT IN ALL CASES PRIOR TO DELIVERY OF SUCH MATERIALS.
- SHOULD ANY PREHISTORIC OR HISTORIC REMAINS OR ARTIFACTS BE DISCOVERED DURING SITE DEVELOPMENT, WORK SHALL TEMPORARILY BE HALTED AT THE SPECIFIC SITE AND THE STATE HISTORIC PRESERVATION OFFICE OF THE DEPARTMENT OF MUSEUMS, LIBRARY AND ARTS, SHALL BE NOTIFIED TO RECORD AND PHOTOGRAPH THE SITE. THE PERIOD OF TEMPORARY DELAY SHALL BE LIMITED TO A MAXIMUM OF TWO WORKING DAYS FROM THE DATE OF NOTIFICATION.
- ALL EXCAVATION AND EMBANKMENT SHALL BE IN ACCORDANCE WITH WASHOE COUNTY STANDARDS AND THE GEOTECHNICAL INVESTIGATIONS BY WOOD RODGERS DATED JANUARY 28, 2005 AND THE "GEOTECHNICAL UPDATE REPORT LADERA RANCH" BY WOOD RODGERS, DATED JANUARY 6, 2017.
- NO MATERIALS OF ANY KIND SHALL BE STOCKPILED OR CONSTRUCTION EQUIPMENT PARKED ON CONCRETE OR ASPHALT SURFACES TO BE DEDICATED TO WASHOE COUNTY.
- A CONSTRUCTION HAIL ROUTE SHALL BE DESIGNATED TO THE SATISFACTION OF THE ENGINEERING DIVISION AND SHALL BE USED BY ALL CONTRACTORS. ALL CONSTRUCTION TRAFFIC SHALL USE WEST 7TH AND SUN VALLEY BLVD TO THE SITE.
- EXCESS OR UNSUITABLE MATERIAL SHALL BE DISPOSED OF IN CONFORMANCE WITH WASHOE COUNTY REGULATIONS OR IN APPROVED AREAS AS SHOWN ON THE APPROVED GRADING PLANS.
- DRAINAGE:
A) THE CONTRACTOR SHALL MAINTAIN ALL EXISTING DRAINAGE FACILITIES WITHIN THE CONSTRUCTION AREA UNTIL NEW DRAINAGE IMPROVEMENTS ARE IN PLACE AND FUNCTIONING.
B) NO FENCE OR OTHER OBSTRUCTION WHICH INTERFERES WITH DRAINAGE SHALL BE ALLOWED WITHIN THE DRAINAGE OR STORM DRAIN EASEMENTS.
- ALL DIMENSIONS NOTED ON THESE PLANS ARE TO FRONT FACE OF CURB UNLESS OTHERWISE NOTED.
- CONSTRUCTION OF STREET IMPROVEMENTS MUST ALLOW FOR THE PERPETUATION OF ALL EXISTING LEGAL ACCESSES AND EXISTING DRIVEWAYS. THE LOCATION AND WIDTH OF ALL LEGAL ACCESSES AND DRIVEWAYS SHALL BE IN ACCORDANCE WITH DRAWING W-16.4 OF THE STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION. AS REQUIRED, A DEPRESSED CURB AND CONCRETE APRON SHALL BE PROVIDED IN ACCORDANCE WITH STANDARD DETAIL DRAWING W-5.11. ADDITIONALLY, ALL IMPROVEMENTS NECESSARY TO PERPETUATE THE EXISTING ACCESS OR DRIVEWAY, INCLUDING ASPHALT PAVING, GRADING, PIPING, ETC., SHALL BE CONSTRUCTED TO THE SATISFACTION OF THE COUNTY ENGINEER. ALL COSTS FOR IMPROVING THE LEGAL ACCESSES AND DRIVEWAYS SHALL BE THE RESPONSIBILITY OF THE DEVELOPER.
- A 4' WIDE P.C.C. DRIVEWAY APRON OR TEMPORARY HEADER SHALL BE CONSTRUCTED IN ACCORDANCE WITH STANDARD DETAIL DRAWING W-5.11 AND W-16.4 AT ALL DEPRESSED CURBS AND ALL UNUSED DEPRESSED CURBS SHALL BE REPLACED WITH FULL HEIGHT CURBS.
- CONSTRUCTION OF WEAKENED PLANE JOINTS IN ALL CURBS, GUTTERS AND SIDEWALKS SHALL BE INSTALLED IN ACCORDANCE WITH STANDARD DETAIL DRAWING W-16.1, W-16.2, AND W-16.3.
- STORM DRAIN LARGER THAN 36" SHALL BE RCP CL. IV. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN COVER OVER STORM DRAINS DURING CONSTRUCTION TO PROTECT THE INTEGRITY OF THE STORM DRAIN.
- ALL SANITARY SEWER LINES SHALL BE SDR CLASS 35 PVC. IN ADDITION, ALL SANITARY SEWER LATERALS SHALL BE 6" DIAMETER AND SHALL BE STUBBED, PLUGGED AND MARKED TO EVERY LOT WITH CLEAN OUT. ALL SEWERS SHALL BE "TV" INSPECTED. ALL SEWER SHALL BE BALL, PLUSH, MANDRELL AND PRESSURE TESTED.
- ALL SANITARY SEWER MANHOLES SHALL BE VACUUM TESTED.
- AT ALL POINTS WHERE SEWER AND WATER LINES CROSS, A MINIMUM VERTICAL CLEARANCE OF 18" SHALL BE MAINTAINED, ELSE THE SEWER PIPE SHALL BE CLASS 150 CAST IRON FOR 10 FEET ON EACH SIDE OF THE CROSSING POINT. A MINIMUM OF 10' HORIZONTAL SEPARATION SHALL BE MAINTAINED FOR ALL SEWER AND WATER LINES RUNNING PARALLEL. REFER TO THE DETAIL ON SHEET D-1 FOR FURTHER INFORMATION.
- ALL SIGN LOCATIONS AND MATERIALS SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
- A PRECONSTRUCTION CONFERENCE SHALL BE HELD WITH WASHOE COUNTY, SVGD, & PUBLIC UTILITIES PRIOR TO ANY CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE TO INSURE THAT ALL IMPROVEMENTS ARE CONSTRUCTED ACCORDING TO THESE PLANS AND SPECIFICATIONS. ANY CHANGES TO THE LOCATION (HORIZONTAL OR VERTICAL), OR ANY OTHER PLAN DESIGNATION, SHALL BE APPROVED BY THE ENGINEER PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR IS RESPONSIBLE TO KEEP THE NECESSARY RECORDS TO ENABLE THE ENGINEER TO PREPARE AS-BUILT DRAWINGS OF THE FINAL CONSTRUCTED IMPROVEMENTS.
- THE CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS WITH THE APPROPRIATE UTILITY COMPANY.
- THE CONTRACTOR SHALL SUPPLY THE WASHOE COUNTY COMMUNITY SERVICES DEPARTMENT WITH A REPRODUCIBLE (I.E. MYLARS, SEPIAS) SET OF AS-BUILT DRAWINGS PRIOR TO ACCEPTANCE. THE AS-BUILT DRAWINGS SHALL IDENTIFY THE FOLLOWING:
GENERAL:
A. ANY CHANGES IN SLOPE OR ALIGNMENT.
B. DIMENSIONS FROM CURB TO SEWER AND WATER LINES.
C. SIZE AND TYPE OF SEWER AND WATER PIPE.
D. DIMENSIONS TO END CAPS.
SEWER:
A. DIMENSIONS TO WYES FROM DOWN STREAM SANITARY SEWER MANHOLES.
B. DIMENSIONS BETWEEN SANITARY SEWER MANHOLES.
C. DIMENSIONS TO END OF LATERALS FROM SANITARY SEWER MAIN.
- ALL GAS AND ELECTRIC IMPROVEMENTS NOTED ON THESE PLANS ARE FOR REFERENCE ONLY. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN DESIGN PLANS FROM NV ENERGY FOR ALL GAS AND ELECTRIC CONSTRUCTION INFORMATION.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING CONFORMANCE WITH ALL PERMITS, INCLUDING GRADING, BUILDING, DUST CONTROL SWPPP AND THE N.D.P.E.S. PERMIT ISSUED BY THE STATE OF NEVADA DIVISION OF ENVIRONMENTAL PROTECTION.
- ALL PARCELS WITHIN AN APPROVED SUBDIVISION SHALL REQUIRE THAT THE INDIVIDUAL SITE AND DRAINAGE PLANS SUBMITTED FOR BUILDING PERMITS SHALL SHOW ALL FINISHED GRADE ELEVATIONS, HIGH POINT LOCATIONS, AND DRAINAGE SWALE LOCATIONS WITH A MINIMUM SLOPE OF ONE PERCENT (1%) ON THE SWALE. THIS INFORMATION SHALL BE SHOWN ON BOTH THE SITE AND DRAINAGE PLAN AND THE APPROVED CONSTRUCTION GRADING PLANS. ALL INDIVIDUAL SITE AND DRAINAGE PLANS SUBMITTED TO THE BUILDING AND SAFETY DIVISION AND APPROVED CONSTRUCTION DRAWINGS SHALL BE STAMPED BY A NEVADA REGISTERED CIVIL ENGINEER.
- ALL PARCELS WITHIN ANY APPROVED SUBDIVISION SHALL REQUIRE THAT A NEVADA REGISTERED CIVIL ENGINEER OR A NEVADA REGISTERED LAND SURVEYOR SUBMIT A CERTIFICATION LETTER TO THE BUILDING OFFICIAL PRIOR TO THE SCHEDULING OF INSPECTIONS FOR THE FOLLOWING:
1. NEVADA REGISTERED CIVIL ENGINEER TO CERTIFY THAT:
1.1 SOILS INVESTIGATION REPORT INDICATING SOILS CLASSIFICATION AND DESIGN PRIOR TO THE FOUNDATION INSPECTION.
1.2 ELEVATION, GRADING AND DRAINAGE CERTIFICATION PER THE APPROVED CONSTRUCTION PLANS PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
2. NEVADA REGISTERED CIVIL ENGINEER OR A NEVADA REGISTERED LAND SURVEYOR TO CERTIFY:
2.1 FOUNDATION ELEVATION AND BUILDING SETBACK CERTIFICATION AS PER THE APPROVED PLOT PLAN PRIOR TO THE FOUNDATION INSPECTION.



VICINITY MAP



SITE PLAN

- T-1 TITLE SHEET
G-2 GRADING PLAN
G-4 GRADING PLAN
G-5 GRADING PLAN
X-1 TYPICAL CROSS SECTIONS

ABBREVIATIONS

- AC ASPHALTIC CONCRETE
AGG. AGGREGATE
BC BEGIN CURVE
BF BOTTOM OF FOOTING
BVC BEGIN VERTICAL CURVE
BW BACK OF SIDEWALK
CB CATCH BASIN
CBU CLUSTER BOX UNIT
C CENTERLINE
C CONCRETE
CONST. CONSTRUCT
ELEV. ELEVATION
EC END OF CURVE
EVC END OF VERTICAL CURVE
EXIST. EXISTING
(e) EXISTING
FF FINISHED FLOOR
FFC FRONT FACE OF CURB
FG FINISHED GRADE
FHA FIRE HYDRANT
FL FLOW LINE
FLG FLANGE
G GAS
GB GRADE BREAK
HP HIGH POINT
IE INVERT ELEVATION
LF LINEAL FEET
LP LOW POINT
LT LEFT
MH MANHOLE
P PAD ELEVATION
PI POINT OF INTERSECTION
PRC POINT OF REVERSE CURVATURE
PVC POLYVINYL CHLORIDE PIPE
PO PUSH ON
P.U.E. PUBLIC UTILITY EASEMENT
P PROPERTY LINE
O10 10-YEAR STORM FLOW
O100 100-YEAR STORM FLOW
(R) RADIAL
R RADIUS
REF. REFERENCE
RCP REINFORCED CONCRETE PIPE
RP RADIUS POINT
RT RIGHT
R/W RIGHT OF WAY
S SLOPE
SS SANITARY SEWER
SW SIDEWALK
STA. STATION
SD STORM DRAIN
TC TOP OF CURB
TYP TYPICAL
VC VERTICAL CURVE
VPI VERTICAL POINT OF INTERSECTION
W WATER
Δ CURVE DELTA

SHEET INDEX

BASIS OF BEARINGS

NEVADA STATE PLANE COORDINATE SYSTEM, WEST ZONE GRID, NAD83/94. COORDINATES SHOWN ARE MODIFIED BY A COMBINATION FACTOR OF 1.000197939 AND CONVERTED TO THE U.S. SURVEY FOOT. ALL DIMENSIONS ARE GROUND DISTANCES.

BASIS OF ELEVATION

NORTH AMERICAN VERTICAL DATUM OF 1988 DETERMINED WITH REAL TIME KINEMATIC (RTK) GPS OBSERVATIONS WITH CORRECTIONS TRANSMITTED BY WASHOE COUNTY CONTINUOUSLY OPERATING REFERENCE STATION (CORS) "STEAD" USING THE CONTINENTAL UNITED STATES GEOID MODEL OF 1999 (CONUS99).

SPECIFICATIONS

ALL CONSTRUCTION SHALL CONFORM TO THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION SPONSORED AND DISTRIBUTED BY RENO, SPARKS, AND WASHOE COUNTY, AND THE RECOMMENDATIONS ESTABLISHED BY THE SOILS INVESTIGATION OF THIS SITE AS PREPARED BY WOOD RODGERS, DATED JANUARY 28, 2005 AND THE "GEOTECHNICAL UPDATE REPORT LADERA RANCH" BY WOOD RODGERS, DATED JANUARY 6, 2017

ENGINEER'S STATEMENT

THESE PLANS (SHEETS T-1 OF 5 THROUGH X-1 OF 5) HAVE BEEN PREPARED IN ACCORDANCE WITH THE APPROVED TENTATIVE MAP, COUNTY COMMISSION CONDITIONS OF APPROVAL, WITH ACCEPTED ENGINEERING PROCEDURES AND GUIDELINES AND ARE IN SUBSTANTIAL COMPLIANCE WITH APPLICABLE STATUTES, COUNTY ORDINANCES, AND CODES. IN THE EVENT OF CONFLICT BETWEEN ANY PORTION OF THESE PLANS AND COUNTY CODES, THE COUNTY CODES SHALL PREVAIL.

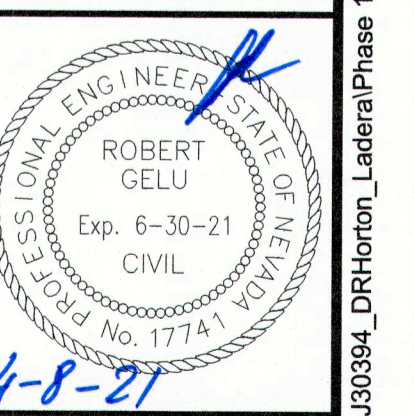


REV.	DATE	DESCRIPTION	BY	APPD

**AMENDMENT OF CONDITIONS
LADERA RANCH PHASE 1
TITLE SHEET**
 NEVADA
 WASHOE COUNTY

DESIGNED BY: KF
CHECKED BY: RG

SCALE
HORIZ: 1"=40'
VERT:



4-8-21
SHEET T-1 OF 5

oblh

LADERA RANCH ~ PHASE 1

OWNER'S CERTIFICATE:

THIS IS TO CERTIFY THAT THE UNDERSIGNED, LADERA RANCH 390, LLC, A NEVADA LIMITED LIABILITY COMPANY, IS THE OWNER OF THE TRACT OF LAND REPRESENTED ON THIS PLAT AND HAS CONSENTED TO THE PREPARATION AND RECORDATION OF THIS PLAT AND THAT THE SAME IS EXECUTED IN COMPLIANCE WITH AND SUBJECT TO THE PROVISIONS OF N.R.S. CHAPTER 278 AND 116, AND THAT THE STREETS, AVENUES, HIGHWAYS AND ALL APPURTENANCES THERETO, EXCLUDING THE EQUESTRIAN AND PEDESTRIAN TRAILS, AS SHOWN ARE HEREBY GRANTED, DEDICATED AND SET APART TO BE USED AS PUBLIC THOROUGHFARES FOREVER; AND HEREBY GRANTS TO ALL PUBLIC UTILITIES AND THE COUNTY OF WASHOE PERMANENT EASEMENTS SHOWN ON THIS PLAT FOR PLOWED SNOW STORAGE AND THE CONSTRUCTION AND MAINTENANCE OF TRAFFIC CONTROL SIGNAGE, DRAINAGE AND UTILITY SYSTEMS TOGETHER WITH THE RIGHT OF ACCESS THERETO FOREVER. THE OWNERS AND ASSIGNEES AGREE TO THE USE OF RESIDENTIAL WATER METERS, THE SEWER FACILITIES AND ASSOCIATED APPURTENANCES ARE HEREBY DEDICATED TO SUN VALLEY GENERAL IMPROVEMENT DISTRICT.

SILVERSTAR ASSOCIATES, INC., A NEVADA CORPORATION, MANAGER OF LADERA RANCH 390, LLC, A NEVADA LIMITED LIABILITY COMPANY

Chris M. Judson
CHRIS M. JUDSON
TITLE: CEO/TREASURER
DATE: 4/6/07

NOTARY PUBLIC CERTIFICATE:

STATE OF NEVADA S.S.
COUNTY OF WASHOE
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON April 7, 2007, BY
CHRIS M. JUDSON, AS CEO/TREASURER OF SILVERSTAR, INC., A NEVADA CORPORATION, MANAGER OF
LADERA RANCH 390, LLC, A NEVADA LIMITED LIABILITY COMPANY



Leisha S. Makinano
NOTARY PUBLIC

TITLE COMPANY CERTIFICATE:

THE UNDERSIGNED HEREBY CERTIFIES THAT THIS PLAT HAS BEEN EXAMINED AND THAT LADERA RANCH 390, LLC, A NEVADA LIMITED LIABILITY COMPANY, OWNS OF RECORD AN INTEREST IN THE LAND DELINEATED HEREON AND THAT THEY ARE THE ONLY OWNERS OF RECORD OF SAID LAND; THAT ALL THE OWNERS OF RECORD OF THE LAND HAVE SIGNED THE FINAL MAP; THAT PFMC MORTGAGE, AS ATTORNEY IN FACT FOR THE PARTIES BEING NAMED AS BENEFICIARIES UNDER THAT CERTAIN DEED OF TRUST RECORDED MAY 18TH, 2007, AS DOCUMENT NUMBER 3533917, HOLDS A RECORD OF A SECURITY INTEREST IN THE LANDS TO BE DIVIDED AND HAS SIGNED THE FINAL MAP;

AND THAT THEY ARE THE ONLY HOLDERS OF RECORD OF A SECURITY INTEREST IN SAID LAND; AND THAT THERE ARE NO LIENS OF RECORD AGAINST THE COMMON INTEREST COMMUNITY OF DELINQUENT STATE, COUNTY, MUNICIPAL, FEDERAL, OR LOCAL TAXES OR ASSESSMENTS COLLECTED AS TAXES OF SPECIAL ASSESSMENTS, AND THAT A GUARANTEE DATED MARCH 30, 2007 FOR THE BENEFIT OF THE COUNTY OF WASHOE, STATE OF NEVADA, HAS BEEN ISSUED WITH REGARD TO ALL OF THE ABOVE.

TICOR TITLE OF NEVADA, INC.
Melissa Azeul
BY: MELISSA AZEUL
TITLE: ASSISTANT VICE PRESIDENT
DATE: 4/3/07

SECURITY INTEREST HOLDERS CERTIFICATE:

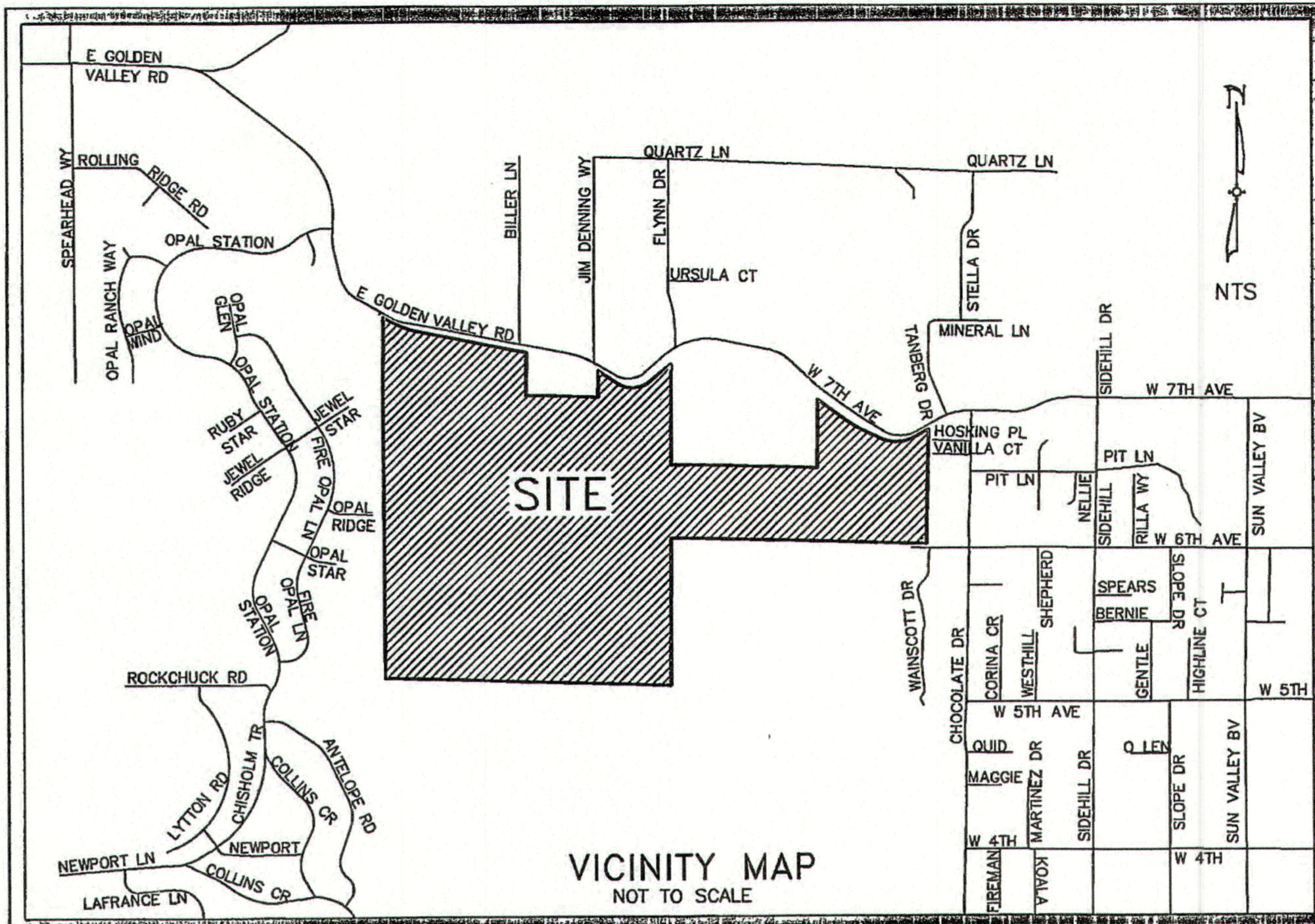
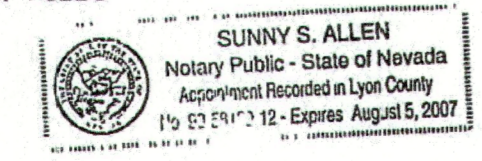
THIS IS TO CERTIFY THE UNDERSIGNED PFMC MORTGAGE, AS ATTORNEY IN FACT FOR THE PARTIES BEING NAMED AS BENEFICIARIES UNDER THAT CERTAIN DEED OF TRUST RECORDED MAY 18TH, 2007, AS DOCUMENT NUMBER 3533917, HEREBY CONSENTS TO THE PREPARATION AND RECORDATION OF THIS PLAT.

PFMC
James Pfrommer
BY: JAMES PFROMMER
AS ATTORNEY IN FACT FOR BENEFICIARIES OF RECORD
DATE: 2/1/07

NOTARY PUBLIC CERTIFICATE:

STATE OF NEVADA S.S.
COUNTY OF WASHOE
THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON February 1, 2007 BY
JAMES PFROMMER, AS ATTORNEY IN FACT FOR BENEFICIARIES OF RECORD.

Sunny S. Allen
NOTARY PUBLIC



NOTES:

- PUBLIC UTILITY AND CABLE TV EASEMENTS ARE HEREBY GRANTED OVER ALL PUBLIC STREETS, 10 FEET IN WIDTH ADJACENT TO PUBLIC ROADWAYS, 10 FEET IN WIDTH CENTERED ON ALL INTERIOR LOT LINES, AND 5 FEET IN WIDTH ADJACENT TO ALL EXTERIOR BOUNDARIES.
- A PUBLIC UTILITY AND CABLE TV EASEMENT IS HEREBY GRANTED WITHIN EACH LOT FOR THE EXCLUSIVE PURPOSE OF INSTALLING AND MAINTAINING UTILITY AND CABLE TV FACILITIES TO THAT LOT AND THE RIGHT TO EXIT THAT LOT WITH SAID FACILITIES FOR THE PURPOSE OF SERVING ADJACENT LOTS AT LOCATIONS MUTUALLY AGREED UPON BY THE OWNER OF RECORD AT THAT TIME, AND THE UTILITY AND CABLE TV COMPANIES.
- NO OWNER OR TENANT SHALL OBSTRUCT A DRAINAGE EASEMENT OR CHANNEL WITHIN THE TRACT.
- A PRIVATE DRAINAGE EASEMENT IS HEREBY GRANTED 10 FEET COINCIDENT WITH SIDE LOT LINES AND 5 FEET IN WIDTH ADJACENT TO ALL REAR LOT LINES.
- NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED UNTIL THE SEWER AND WATER FACILITIES HAVE BEEN COMPLETED AND ACCEPTED BY SUN VALLEY G.I.D.
- NO FENCES, RETAINING WALLS, ROCKERY WALLS, OR PERMANENT STRUCTURES ARE ALLOWED WITHIN OR ACROSS SANITARY SEWER OR WATERLINE EASEMENTS MAINTAINED BY SUN VALLEY GENERAL IMPROVEMENT DISTRICT.
- A TRAFFIC CONTROL SIGNAGE AND PLOWED SNOW EASEMENT, 10 FEET IN WIDTH ADJACENT TO PUBLIC ROADWAYS COINCIDE WITH ALL DEDICATED STREETS AND ARE GRANTED TO WASHOE COUNTY.
- NO HABITABLE STRUCTURES SHALL BE LOCATED ON A FAULT THAT HAS BEEN ACTIVE DURING THE HOLOCENE EPOCH OF GEOLOGICAL TIME.
- THE PUBLIC UTILITY EASEMENTS SHOWN AND NOTED ON THIS PLAT INCLUDE USE FOR THE INSTALLATION AND MAINTENANCE OF CABLE TELEVISION FACILITIES.
- ALL DRAINAGE FACILITIES LOCATED OUTSIDE THE DEDICATED STREET RIGHT OF WAY OR A COUNTY MAINTAINED DRAINAGE EASEMENT ARE TO BE PRIVATELY OWNED AND MAINTAINED BY HOMEOWNERS AND THE HOMEOWNERS ASSOCIATION.
- (FOR NATURAL DRAINAGE) EACH OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF DRAINAGE FACILITIES AND THE NATURAL DRAINAGE CHARACTERISTICS WITHIN THEIR LOT SO OTHER PROPERTIES ARE NOT ADVERSELY AFFECTED. A BLANKET DRAINAGE EASEMENT IS HEREBY GRANTED WITHIN EACH LOT AND PARCEL TO THE AFFECTED PROPERTY AS MAY BE NECESSARY FOR THE PERPETUATION AND MAINTENANCE OF THE NATURAL CHARACTERISTICS AND IMPROVED DRAINAGE FACILITIES.
- A BLANKET PUBLIC UTILITY AND DRAINAGE EASEMENT IS HEREBY GRANTED OVER COMMON O.S. "B", COMMON O.S. "D", COMMON O.S. "F", AND PARCEL "G" SHOWN HEREON.
- ALL COMMON O.S. SHALL BE PRIVATELY OWNED, PERPETUALLY FUNDED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- NO ADDITIONAL PIPING OF OPEN DITCHES SHALL BE ALLOWED.
- ALL PEDESTRIAN PATHS SHALL BE PRIVATELY OWNED AND MAINTAINED, AND PERPETUALLY FUNDED BY THE HOMEOWNERS AND THE HOMEOWNERS ASSOCIATION (EXCEPTING THEREFROM THOSE PATHS WITHIN PARCEL "C").
- A BLANKET TEMPORARY DRAINAGE EASEMENT IS HEREBY GRANTED OVER PARCEL "E", SAID EASEMENT TO BE AUTOMATICALLY RELINQUISHED UPON FUTURE DEVELOPMENT WHICH PROVIDES A DRAINAGE EASEMENT BEING RECORDED ON A FINAL MAP OR SEPARATE DOCUMENT.
- A BLANKET PEDESTRIAN ACCESS EASEMENT IS HEREBY GRANTED OVER PARCEL "G" SHOWN HEREON.

SURVEYOR'S CERTIFICATE:

- DON M. MCHARG, A PROFESSIONAL LAND SURVEYOR LICENSED IN THE STATE OF NEVADA, CERTIFY THAT:
- THIS PLAT REPRESENTS THE RESULTS OF A SURVEY CONDUCTED UNDER MY DIRECT SUPERVISION AT THE INSTANCE OF LADERA RANCH 390, LLC, A NEVADA LIMITED LIABILITY COMPANY.
- THE LANDS SURVEYED LIE WITHIN SECTION 23, T20N, R19E, M.D.M. AND THE SURVEY WAS COMPLETED ON 2/1/07.
- THIS PLAT COMPLES WITH THE APPLICABLE STATE STATUTES AND ANY LOCAL ORDINANCES IN EFFECT ON THE DATE THAT THE GOVERNING BODY GAVE ITS FINAL APPROVAL.
- THE MONUMENTS DEPICTED ON THE PLAT WILL BE OF THE CHARACTER SHOWN AND OCCUPY THE POSITIONS INDICATED BY 1-16-2006 AND AN APPROPRIATE FINANCIAL GUARANTEE WILL BE POSTED WITH THE GOVERNING BODY BEFORE RECORDATION TO ENSURE THE INSTALLATION OF THE MONUMENTS.



COMMUNITY DEVELOPMENT CERTIFICATE:

THE TENTATIVE MAP FOR LADERA RANCH, TM 05-011, WAS APPROVED BY THE WASHOE COUNTY PLANNING COMMISSION ON JULY 5, 2005. THIS FINAL MAP MEETS ALL APPLICABLE STATUTES, ORDINANCES, AND CODE PROVISIONS; IS IN SUBSTANTIAL CONFORMANCE WITH THE TENTATIVE MAP AND ALL CONDITIONS HAVE BEEN MET.

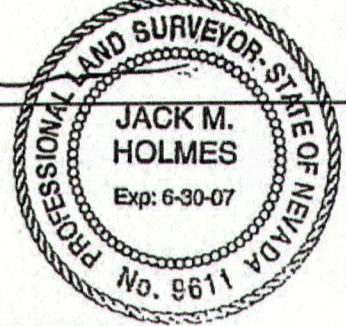
THIS FINAL MAP IS APPROVED AND ACCEPTED FOR RECORDATION THIS 7th DAY OF JUNE 2007 BY THE WASHOE COUNTY COMMUNITY DEVELOPMENT DIRECTOR. THE OFFER OF DEDICATION OF STREETS, SEWER FACILITIES, AND WATER FACILITIES, IS REJECTED AT THIS TIME, BUT WILL REMAIN OPEN IN ACCORDANCE WITH NRS CHAPTER 278.

Adrian P. Fredrick
ADRIAN P. FREDRICK
COMMUNITY DEVELOPMENT DIRECTOR

COUNTY SURVEYOR'S CERTIFICATE:

I CERTIFY THAT I HAVE EXAMINED THIS PLAT CONSISTING OF FIVE SHEETS, AND THAT I AM SATISFIED SAID MAP IS TECHNICALLY CORRECT AND THAT AN ADEQUATE PERFORMANCE GUARANTEE HAS BEEN FILED GUARANTEEING THE MONUMENTS AS SHOWN WILL BE SET BY 4-16-2006

Jack M. Holmes
JACK M. HOLMES, PLS 9811
WASHOE COUNTY SURVEYOR
DATE: 5/24/07



UTILITY COMPANIES CERTIFICATE:

THE EASEMENTS SHOWN ON THIS PLAT HAVE BEEN CHECKED AND APPROVED BY THE UNDERSIGNED PUBLIC UTILITY AND CABLE TELEVISION COMPANIES.

- Patti Espin* 12/22/06
SIERRA PACIFIC POWER CO. DATE
- Michelle Knudsen* 12/22/06
NEVADA BELL TELEPHONE COMPANY D/B/A AT&T NEVADA DATE
- Greg S. Legie* 11/22/2006
CHARTER COMMUNICATIONS DATE
- Darwin Price* 1/31/07
SUN VALLEY GENERAL IMPROVEMENT DISTRICT DATE

TAX CERTIFICATE:

THE UNDERSIGNED HEREBY CERTIFIES THAT ALL PROPERTY TAXES ON THIS LAND FOR THE FISCAL YEAR HAVE BEEN PAID AND THAT THE FULL AMOUNT OF ANY DEFERRED PROPERTY TAXES FOR THE CONVERSION OF THE PROPERTY FROM AGRICULTURAL USE HAS BEEN PAID PURSUANT TO NRS 361A.285.

Janice D. Vaughan 2/6/07
WASHOE COUNTY TREASURER DATE

DIVISION OF WATER RESOURCES CERTIFICATE:

THIS PLAT IS APPROVED BY THE STATE OF NEVADA DIVISION OF WATER RESOURCES OF THE DEPARTMENT OF CONSERVATION AND NATURAL RESOURCES CONCERNING WATER QUANTITY, SUBJECT TO THE REVIEW OF APPROVAL ON FILE IN THIS OFFICE.

Thomas K. Gallagher 06 APR 07
DIVISION OF WATER RESOURCES DATE
THOMAS K. GALLAGHER, P.E.

DISTRICT BOARD OF HEALTH CERTIFICATE:

THIS FINAL MAP IS APPROVED BY THE WASHOE COUNTY DISTRICT BOARD OF HEALTH. THIS APPROVAL CONCERNS SEWAGE DISPOSAL, WATER POLLUTION, WATER QUALITY AND WATER SUPPLY FACILITIES, AND IS PREDICATED UPON PLANS FOR A PUBLIC WATER SUPPLY AND A COMMUNITY SYSTEM FOR DISPOSAL OF SEWAGE.

Barry 4/16/07
FOR THE DISTRICT BOARD OF HEALTH DATE

WATER RIGHT DEDICATION CERTIFICATE:

THE WATER AND SEWER RESOURCE REQUIREMENTS SET FORTH IN ARTICLE 422 OF THE WASHOE COUNTY DEVELOPMENT CODE, RELATED TO THE DEDICATION OF WATER RESOURCES, HAVE BEEN SATISFIED.

Yahid Baharam 5/23/07
WASHOE COUNTY DEPARTMENT OF WATER RESOURCES DATE

FILE NO. 3542043
FEE: 94.00
FILED FOR RECORD AT THE REQUEST OF Ladera Ranch 390 LLC
ON THIS 9th DAY OF JUNE 2007, AT 4 MINUTES PAST 3 O'CLOCK PM OFFICIAL RECORDS OF WASHOE COUNTY, NEVADA
KATHRYN L. BURKE COUNTY RECORDER
BY: *C. Bar Hley* DEPUTY

OFFICIAL PLAT FOR LADERA RANCH ~ PHASE 1

THIS IS A MERGER AND RESUBDIVISION PER N.R.S. 278 A DIVISION PARCEL A OF ROS. 4895 AND OF PORTIONS OF SECTION 13 T20N, R19E, MDM WASHOE COUNTY NEVADA

N:\DWS\Ladera-Ranch\SURVEY\LADERA_PLAT.DWG

SHEET 1 OF 5

SUMMIT ENGINEERING CORPORATION
4065 MAE ANNE AVENUE, RENO, NV, 89523
PHONE: (775) 747-8550 FAX: (775) 747-8559

CUMULATIVE INDEXES SHOULD BE EXAMINED FOR ANY SUBSEQUENT CHANGES TO THIS MAP

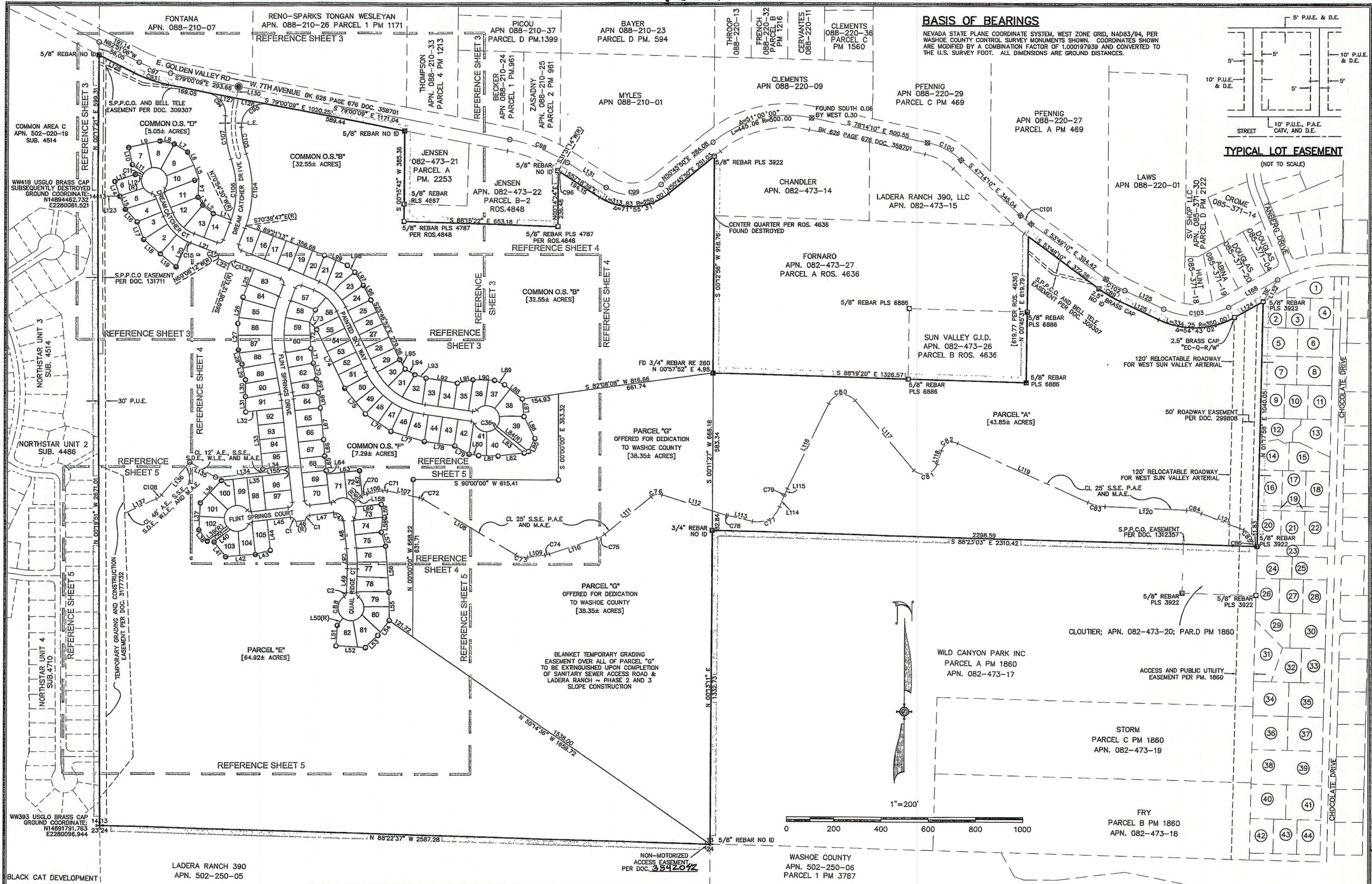
3542043

10:32 AM * 21-DEC-2006

Subdivision Tract Map 4790

CUMULATIVE INDEXES 4790 SHOULD BE EXAMINED FOR ANY SUBSEQUENT CHANGES TO THIS MAP

406LH



BASIS OF BEARINGS
 NEVADA STATE PLANE COORDINATE SYSTEM, WEST ZONE GRID, NAD83/94, PER WASHOE COUNTY CONTROL SURVEY MONUMENTS SHOWN. COORDINATES SHOWN ARE MODIFIED BY A COMBINATION FACTOR OF 1.000197939 AND CONVERTED TO THE U.S. SURVEY FOOT. ALL DIMENSIONS ARE GROUND DISTANCES.

TYPICAL LOT EASEMENT
 (NOT TO SCALE)

TOTAL AREA = 216.33± ACRES
 TOTAL LOT AREA = 18.55± ACRES
 TOTAL R/W AREA = 5.78± ACRES
 TOTAL COMMON AREA = 44.88± ACRES
 TOTAL PARCEL AREA = 147.12± ACRES
 TOTAL NUMBER LOTS = 105
 TOTAL NUMBER COMMON AREAS = 3
 TOTAL NUMBER PARCELS = 3

1 BURTON; APN.085-600-53; PAR. 4 PM 3977	12 SIMONSON; APN.085-610-44; PAR. 1 PM 1874	23 WASHOE COUNTY TREASURER; APN.085-203-25	34 BELLETICH; APN.085-632-02
2 DAVIS; APN.085-600-50; PAR. 1 PM 3977	13 CANFIELD; APN.085-610-58; PAR. 1 PM1874	24 SAGE HAWK; APN.085-203-02 PAR. B PM 1378	35 CANFIELD; APN.085-632-01
3 HOSKING; APN.085-600-51; PAR. 2 PM 3977	14 KIRBY; APN.085-610-60; PAR. 3 PM 1874	25 TRAUTMAN; APN.085-203-01; PAR. A PM 1376	36 DEL SOLDATO; APN.085-632-04
4 HOSKING; APN.085-600-52; PAR. 3 PM 3977	15 CASEY; APN.085-610-59; PAR. 2 PM 1874	26 CORTES; APN.085-203-42; PAR. A PM 1991	37 JUDD; APN.085-632-03
5 DAVIS; APN.085-600-33; PAR. 4 PM 1519	16 CROSSLEY; APN.085-610-50 PAR. A PM 1723	27 CORTES; APN.085-203-43; PAR. B PM 1991	38 KAUFFMANN; APN.085-632-06
6 SPURGEON; APN.085-600-30; PAR. 1 PM 1519	17 BAKER; APN.085-610-51 PAR. B PM 1723	28 GOODIN; APN.085-203; PAR. C PM 1991	39 SIMMONS; APN.085-632-05
7 JOHNSON; APN.085-600-32; PAR. 3 PM 1519	18 BAKER; APN.085-610-52 PAR. C PM 1723	29 DRY CREEK INC.; 085-203-47; PAR.A PM2223	40 O'CONNELL; APN.085-632-08
8 SMITH; APN.085-600-31 PAR. 2 PM 1519	19 SCHMIDT; APN.085-610-31	30 KEENER; APN.085-203-04	41 KAIN; APN.085-632-07
9 SIMONSON; APN.085-610-44 PAR. 1 PM 967	20 ENZMINGER; APN.085-610-47 PAR. A PM 1662	31 DRYCREEK INC.; 085-203-48 PAR. B PM2223	42 A&M DEVELOPMENT; 085-632-11 PAR. A PM 2169
10 CAIN; APN.085-610-45 PAR. 2 PM 967	21 YOUNGERE-REISINGER; 85-610-47 PAR.BPM1662	32 BIGELOW; APN.085-203-49 PAR. C PM 2223	43 ANDREWS; 85-632-12; PAR. PM 2169
11 SAGE HAWK; APN.085-610-46 PAR. 3 PM 967	22 MCMULLIN; APN.085-610-49 PAR. C PM 1662	33 DOUGHERTY; APN. 085-203-06	44 CROOM; 85-632-13; PAR.B PM 2169

3542043

4790A

OFFICIAL PLAT FOR
LADERA RANCH ~ PHASE 1
 THIS IS A MERGER AND RESUBDIVISION PER N.R.S. 278
 A DIVISION OF PARCEL A OF ROS. 4848 AND
 OF PORTIONS OF SECTION 13 T20N, R19E, MDM
 WASHOE COUNTY NEVADA

N:\DWSS\Ladera-Ranch\SURVEY\LADERA_PLAT.DWG

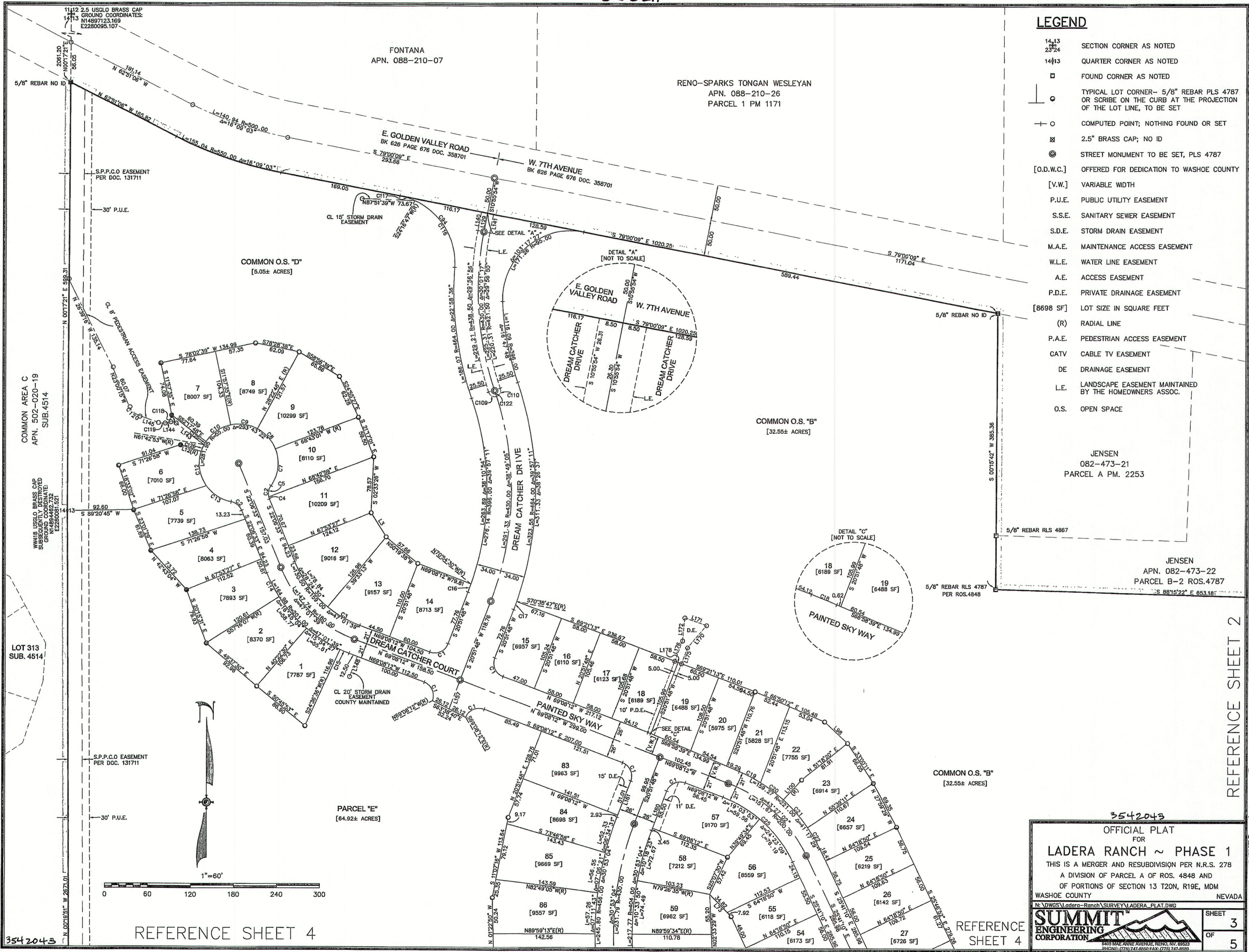
SUMMIT ENGINEERING CORPORATION
 8405 W. ARNE AVENUE, RENO, NV, 89521
 PHONE: (775) 747-8800 FAX: (775) 747-8808

SHEET 2 OF 5

CUMULATIVE INDEXES SHOULD BE EXAMINED FOR ANY SUBSEQUENT CHANGES TO THIS MAP

Subdivision Tract Map 4790A

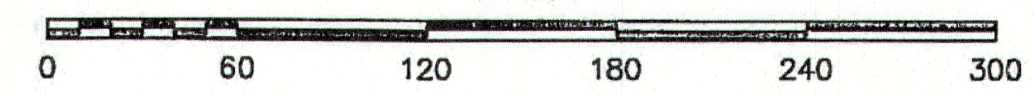
806Lh



LEGEND

14.13 23.24	SECTION CORNER AS NOTED
14.13	QUARTER CORNER AS NOTED
□	FOUND CORNER AS NOTED
○	TYPICAL LOT CORNER - 5/8" REBAR PLS 4787 OR SCRIBE ON THE CURB AT THE PROJECTION OF THE LOT LINE, TO BE SET
⊕	COMPUTED POINT; NOTHING FOUND OR SET
⊗	2.5" BRASS CAP; NO ID
⊙	STREET MONUMENT TO BE SET, PLS 4787
[O.D.W.C.]	OFFERED FOR DEDICATION TO WASHOE COUNTY
[V.W.]	VARIABLE WIDTH
P.U.E.	PUBLIC UTILITY EASEMENT
S.S.E.	SANITARY SEWER EASEMENT
S.D.E.	STORM DRAIN EASEMENT
M.A.E.	MAINTENANCE ACCESS EASEMENT
W.L.E.	WATER LINE EASEMENT
A.E.	ACCESS EASEMENT
P.D.E.	PRIVATE DRAINAGE EASEMENT
[8698 SF]	LOT SIZE IN SQUARE FEET
(R)	RADIAL LINE
P.A.E.	PEDESTRIAN ACCESS EASEMENT
CATV	CABLE TV EASEMENT
DE	DRAINAGE EASEMENT
L.E.	LANDSCAPE EASEMENT MAINTAINED BY THE HOMEOWNERS ASSOC.
O.S.	OPEN SPACE

CUMULATIVE INDEXES SHOULD BE EXAMINED FOR ANY SUBSEQUENT CHANGES TO THIS MAP



REFERENCE SHEET 4

3542043

OFFICIAL PLAT FOR LADERA RANCH ~ PHASE 1

THIS IS A MERGER AND RESUBDIVISION PER N.R.S. 278 A DIVISION OF PARCEL A OF ROS. 4848 AND OF PORTIONS OF SECTION 13 T20N, R19E, MDM WASHOE COUNTY NEVADA

SUMMIT ENGINEERING CORPORATION

3542043

REFERENCE SHEET 4

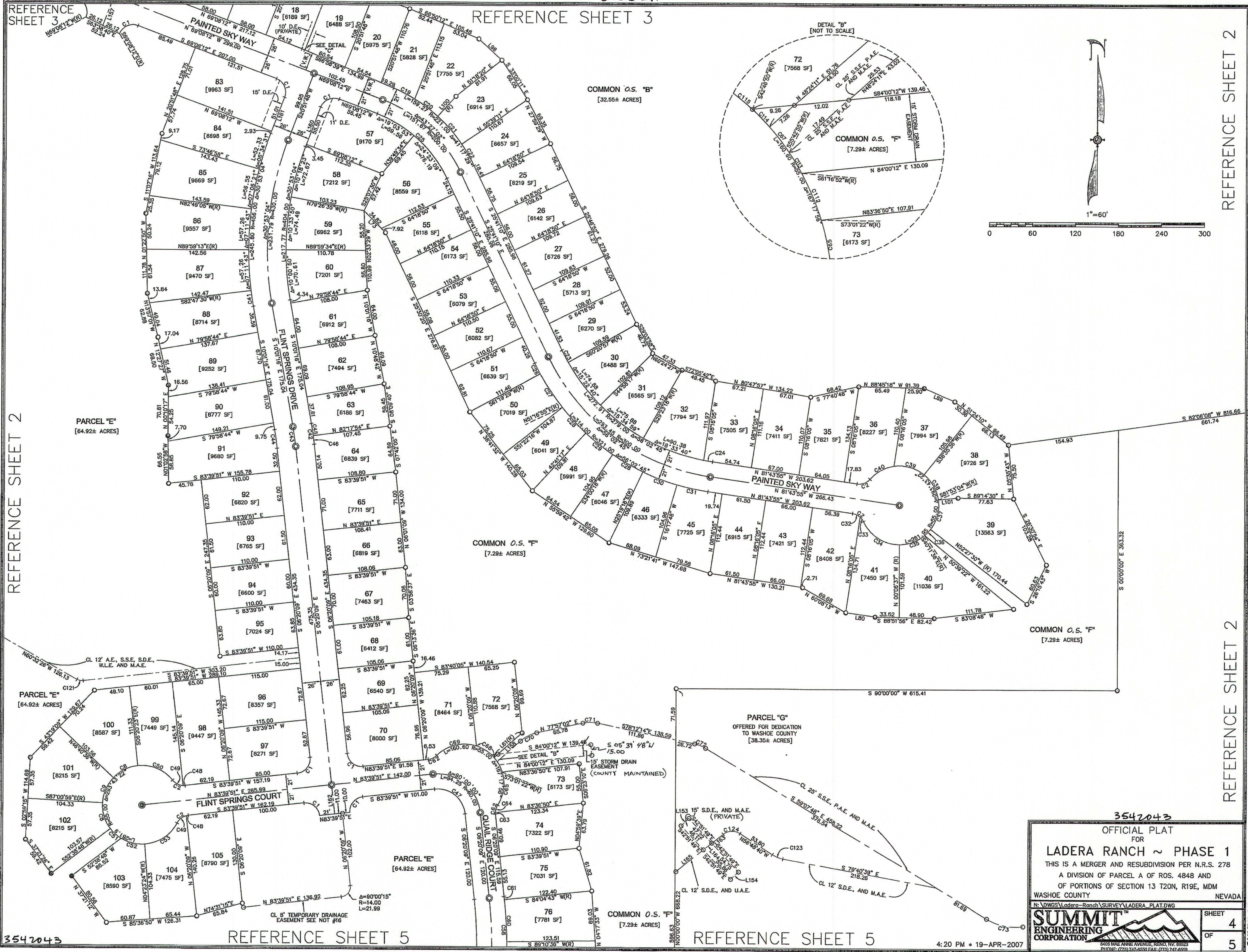
SHEET 3 OF 5

Subdivision Tract Map 4790B

REFERENCE SHEET 2

CUMULATIVE INDEXES SHOULD BE EXAMINED FOR ANY SUBSEQUENT CHANGES TO THIS MAP

206LH



CUMULATIVE INDEXES
SHOULD BE EXAMINED
FOR ANY SUBSEQUENT
CHANGES TO THIS MAP

3542043

REFERENCE SHEET 5

REFERENCE SHEET 5

3542043
OFFICIAL PLAT
FOR
LADERA RANCH ~ PHASE 1
THIS IS A MERGER AND RESUBDIVISION PER N.R.S. 278
A DIVISION OF PARCEL A OF ROS. 4848 AND
OF PORTIONS OF SECTION 13 T20N, R19E, MDM
WASHOE COUNTY NEVADA

Summit
ENGINEERING
CORPORATION

8405 MAE ANNE AVENUE, RENO, NV, 89523
PHONE: (775) 747-8001 FAX: (775) 747-8508

SHEET 4
OF 5

4:20 PM * 19-APR-2007

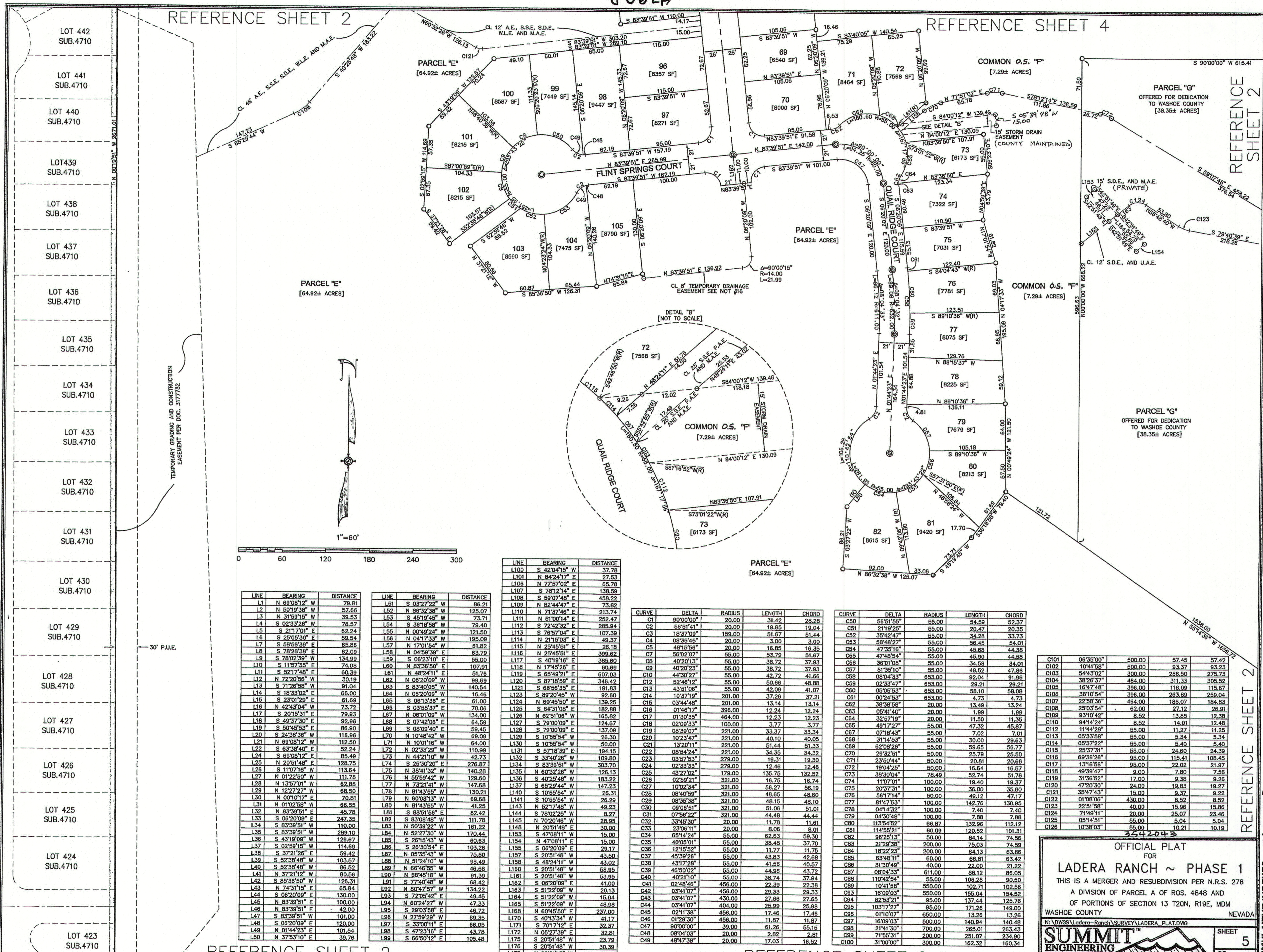
Subdivision Tract Map 4790C

CUMULATIVE INDEXES
SHOULD BE EXAMINED
FOR ANY SUBSEQUENT
CHANGES TO THIS MAP

REFERENCE SHEET 2

REFERENCE SHEET 2

4790C



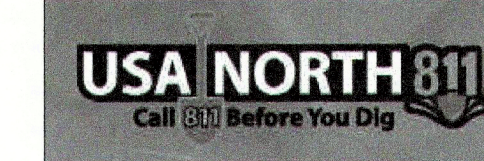
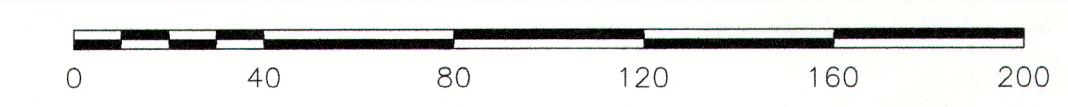
CUMULATIVE INDEXES SHOULD BE EXAMINED FOR ANY SUBSEQUENT CHANGES TO THIS MAP

LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
L1	N 68°08'12" W	79.81	L81	S 03°27'22" W	86.21
L2	N 50°19'38" W	57.68	L82	N 86°32'38" W	125.07
L3	N 31°59'15" W	39.53	L83	S 45°19'45" W	73.71
L4	S 02°33'26" W	78.57	L84	S 36°18'58" W	79.40
L5	S 21°17'01" E	62.24	L85	N 00°49'24" W	121.50
L6	S 25°05'30" E	59.54	L86	N 04°17'33" W	195.09
L7	S 58°56'39" E	55.86	L87	N 17°01'54" W	61.82
L8	S 78°28'39" E	82.09	L88	N 04°59'39" E	63.79
L9	S 78°02'39" W	134.99	L89	S 06°23'10" E	55.00
L10	S 11°57'35" E	74.08	L90	N 83°36'50" E	107.91
L11	S 52°17'48" E	60.39	L91	N 48°24'11" E	51.76
L12	N 72°20'56" W	30.19	L92	N 05°20'09" W	99.69
L13	S 17°26'58" W	91.04	L93	S 83°40'05" W	140.54
L14	S 18°33'02" E	66.00	L94	N 05°20'09" W	16.46
L15	S 23°01'29" E	91.69	L95	S 08°15'39" E	61.00
L16	N 42°43'04" W	73.72	L96	S 03°58'37" E	70.06
L17	S 20°15'31" E	79.83	L97	N 08°01'09" W	134.00
L18	S 49°37'30" E	92.98	L98	S 07°42'06" E	64.59
L19	S 50°45'53" E	86.90	L99	S 08°09'40" E	59.45
L20	S 24°56'36" W	118.95	L100	N 10°48'42" W	69.09
L21	N 69°08'12" W	112.50	L101	N 10°01'16" W	64.00
L22	S 63°38'40" E	52.24	L102	N 02°33'29" W	110.99
L23	S 69°08'12" E	85.48	L103	N 44°21'10" W	42.73
L24	N 20°51'48" E	128.75	L104	S 25°30'20" E	276.87
L25	S 11°07'16" W	113.64	L105	N 38°41'32" W	140.28
L26	N 01°22'50" W	111.78	L106	N 55°59'42" W	129.80
L27	N 13°57'01" W	62.88	L107	N 73°21'41" W	147.68
L28	S 83°39'51" E	289.10	L108	N 81°43'55" W	130.21
L29	S 83°39'51" E	128.31	L109	N 80°08'13" W	69.68
L30	N 00°10'17" E	70.81	L110	N 81°43'55" W	41.25
L31	N 01°02'58" W	66.55	L111	S 88°51'56" E	82.42
L32	N 83°39'51" E	45.78	L112	S 83°08'48" W	111.78
L33	S 08°20'09" E	247.35	L113	N 50°38'22" W	161.22
L34	S 83°39'51" E	110.00	L114	N 52°27'30" W	170.44
L35	S 83°39'51" E	129.67	L115	N 80°08'13" W	69.68
L36	S 43°19'09" W	114.69	L116	S 26°30'54" E	103.78
L37	S 02°59'15" W	59.42	L117	S 37°21'26" E	75.50
L38	S 37°21'26" E	59.42	L118	N 51°24'10" W	95.49
L39	S 52°38'48" W	103.57	L119	N 66°48'55" W	46.58
L40	S 52°38'48" W	86.52	L120	N 88°45'18" W	61.39
L41	N 37°21'12" W	80.56	L121	S 77°40'48" W	68.42
L42	S 83°39'51" E	128.31	L122	N 80°08'13" W	134.22
L43	N 74°31'15" E	65.84	L123	S 72°05'42" E	49.45
L44	S 06°20'09" E	130.00	L124	N 60°24'27" W	47.33
L45	N 83°39'51" E	100.00	L125	S 29°03'58" E	46.72
L46	N 83°39'51" E	42.00	L126	N 27°59'29" W	69.35
L47	S 83°39'51" E	101.00	L127	S 33°00'11" E	66.05
L48	S 08°20'09" E	120.00	L128	S 47°23'16" E	43.78
L49	N 01°44'23" E	101.54	L129	S 66°50'12" E	105.49
L50	N 37°53'10" E	39.76			

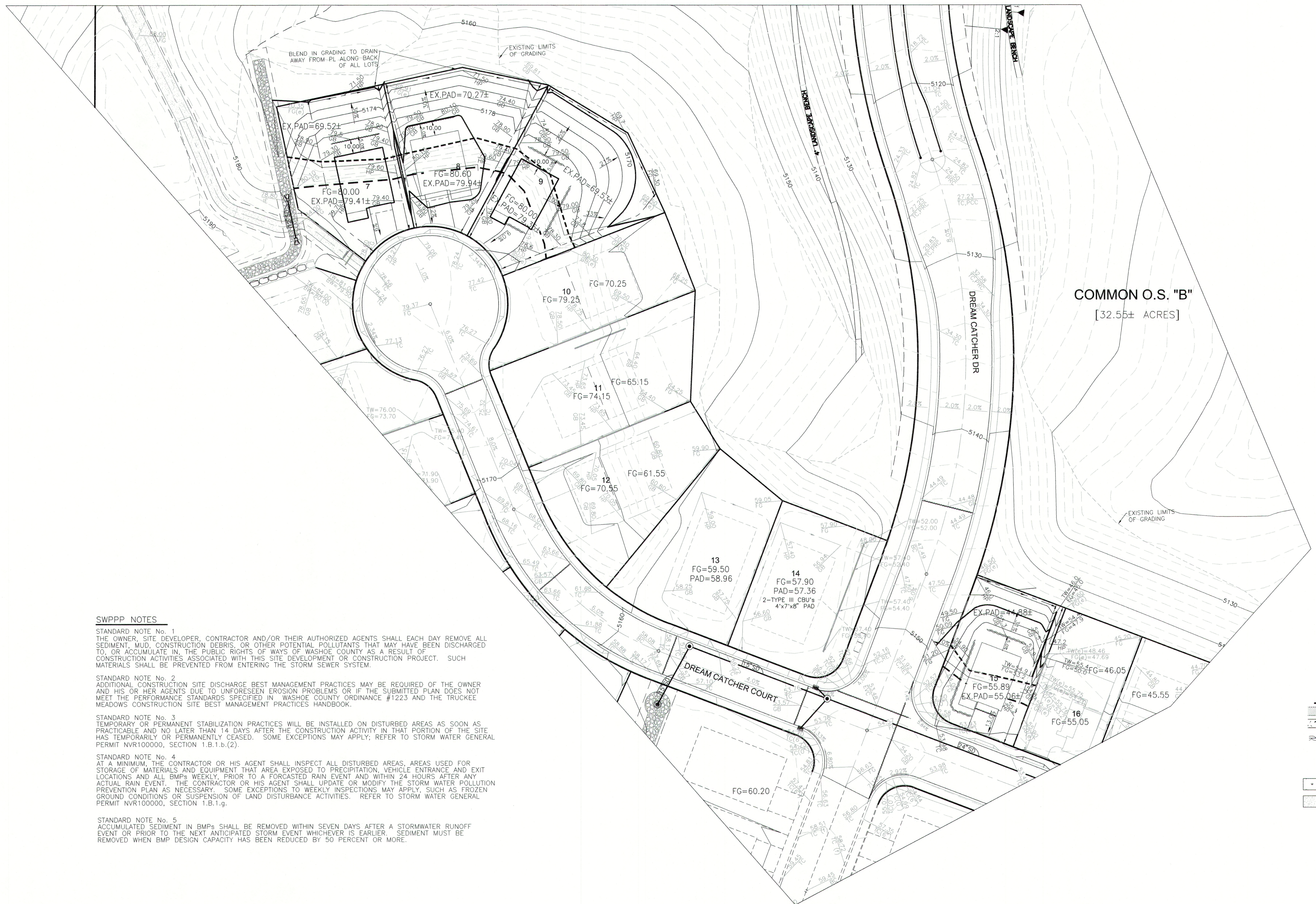
LINE	BEARING	DISTANCE
L100	S 42°04'15" W	37.78
L101	N 84°24'17" E	27.53
L102	N 72°57'02" E	65.78
L103	S 78°12'14" E	138.59
L104	S 59°07'48" E	458.22
L105	N 82°44'47" E	73.82
L106	N 71°37'46" E	213.74
L107	N 51°00'14" E	282.47
L108	S 22°42'32" E	285.84
L109	S 79°57'04" E	107.39
L110	N 71°50'33" E	49.37
L111	N 25°45'51" E	26.18
L112	N 25°45'51" E	399.62
L113	S 40°18'16" E	385.60
L114	N 17°45'26" E	60.69
L115	S 65°42'21" E	607.63
L116	S 87°16'59" E	348.42
L117	S 87°16'59" E	191.83
L118	S 82°20'45" W	92.60
L119	N 60°45'50" E	139.25
L120	S 64°31'08" E	182.68
L121	N 62°51'09" W	165.82
L122	S 79°00'09" E	124.67
L123	S 79°00'09" E	137.09
L124	N 10°48'42" W	26.30
L125	S 10°55'54" W	50.00
L126	S 57°18'39" E	194.15
L127	S 33°40'28" W	109.80
L128	S 25°30'20" E	303.70
L129	N 60°32'26" W	126.13
L130	S 40°25'48" W	183.22
L131	S 65°29'44" W	147.23
L132	S 10°55'54" W	26.31
L133	S 10°55'54" W	26.29
L134	N 52°17'48" W	49.25
L135	N 81°43'55" W	8.27
L136	S 78°02'26" W	28.95
L137	S 83°08'48" W	111.78
L138	N 50°38'22" W	30.00
L139	S 47°08'11" E	15.00
L140	S 10°55'54" W	26.29
L141	N 47°08'11" E	15.00
L142	N 52°17'48" W	49.25
L143	N 81°43'55" W	8.27
L144	S 78°02'26" W	28.95
L145	S 83°08'48" W	111.78
L146	N 50°38'22" W	30.00
L147	S 47°08'11" E	15.00
L148	S 10°55'54" W	26.29
L149	N 47°08'11" E	15.00
L150	N 52°17'48" W	49.25
L151	N 81°43'55" W	8.27
L152	S 78°02'26" W	28.95
L153	S 83°08'48" W	111.78
L154	N 50°38'22" W	30.00
L155	S 47°08'11" E	15.00
L156	S 10°55'54" W	26.29
L157	N 47°08'11" E	15.00
L158	N 52°17'48" W	49.25
L159	N 81°43'55" W	8.27
L160	S 78°02'26" W	28.95
L161	S 83°08'48" W	111.78
L162	N 50°38'22" W	30.00
L163	S 47°08'11" E	15.00
L164	S 10°55'54" W	26.29
L165	N 47°08'11" E	15.00
L166	N 52°17'48" W	49.25
L167	N 81°43'55" W	8.27
L168	S 78°02'26" W	28.95
L169	S 83°08'48" W	111.78
L170	N 50°38'22" W	30.00
L171	S 47°08'11" E	15.00
L172	S 10°55'54" W	26.29
L173	N 47°08'11" E	15.00
L174	N 52°17'48" W	49.25
L175	N 81°43'55" W	8.27
L176	S 78°02'26" W	28.95
L177	S 83°08'48" W	111.78
L178	N 50°38'22" W	30.00

CURVE	DELTA	RADIUS	LENGTH	CHORD
C1	90°00'00"	20.00	31.42	28.28
C2	56°51'41"	20.00	16.85	19.04
C3	183°57'09"	159.00	51.67	51.44
C4	08°35'45"	20.00	3.00	3.00
C5	48°15'56"	20.00	16.85	16.35
C6	58°02'07"	55.00	53.79	51.67
C7	40°20'13"	55.00	38.72	37.93
C8	40°20'23"	55.00	38.72	37.93
C9	44°39'27"	55.00	50.65	41.66
C10	52°46'12"	55.00	50.65	41.66
C11	43°51'06"	55.00	42.09	41.07
C12	103°17'19"	201.00	37.26	37.21
C13	03°44'48"	201.00	13.14	13.14
C14	01°46'17"	396.00	12.24	12.24
C15	01°30'35"	484.00	12.23	12.23
C16	02°09'33"	100.00	3.77	3.77
C17	08°39'07"	221.00	33.37	33.34
C18	10°23'47"	221.00	40.10	40.05
C19	13°20'11"	221.00	51.44	51.33
C20	08°54'24"	221.00	34.35	34.32
C21	03°57'53"	278.00	12.41	19.30
C22	02°33'33"	278.00	12.46	12.46
C23	43°22'02"	173.00	136.75	132.92
C24	02°59'21"	321.00	16.75	16.74
C25	10°23'47"	321.00	56.27	56.19
C26	08°40'59"	321.00	48.65	48.60
C27	08°35'38"	321.00	48.15	48.10
C28	09°06'51"	321.00	51.05	51.01
C29	07°56'27"	321.00	44.48	44.44
C30	33°45'30"	20.00	11.78	11.61
C31	23°06'11"	20.00	8.08	8.01
C32	65°14'24"	55.00	62.63	59.30
C33	40°05'01"	55.00	38.48	37.70
C34	12°15'52"	55.00	11.77	11.75
C35	49°39'28"	55.00	43.83	42.69
C36	43°17'28"	55.00	41.56	41.46
C37	46°50'02"	55.00	44.88	43.72
C38	40°21'10"	55.00	38.74	37.94
C39	02°48'46"	456.00	22.39	22.38
C40	03°41'07"	456.00	29.33	29.33
C41	03°41'07"	456.00	29.33	29.33
C42	03°41'07"	456.00	29.33	29.33
C43	03°41'07"	456.00	29.33	29.33
C44	03°41'07"	456.00	29.33	29.33
C45	02°11'38"	456.00	17.46	17.46
C46	01°13'34"	456.00	11.87	11.87
C47	80°00'00"	39.00	61.26	55.15
C48	80°00'00"	39.00	2.82	2.81
C49	48°47'38"	20.00	17.03	16.52

CURVE	DELTA	RADIUS	LENGTH	CHORD
C50	56°51'59"	55.00	54.69	52.37
C51	21°19'25"	55.00	20.47	20.35
C52	35°42'47"	55.00	34.28	33.73
C53	55°48'27"	55.00	56.45	54.01
C54	44°21'16"	55.00	45.69	44.58
C55	47°48'54"	55.00	45.89	44.58
C56	38°01'08"	55.00	34.58	34.01
C57	51°35'10"	55.00	49.82	47.86
C58	06°04'33"	653.00	92.04	91.96
C59	02°33'47"	653.00	29.21	29.21
C60	05°35'53"	653.00	58.10	58.08
C61	00°24'53"	653.00	4.73	4.73
C62	38°38'58"	20.00	13.49	13.24
C63	05°41'40"	20.00	1.99	1.99
C64	32°57'19"	20.00	11.50	11.35
C65	48°17'27"	55.00	47.32	45.87
C66	07°16'43"	55.00	7.02	7.01
C67	05°35'53"	55.00	30.00	29.63
C68	31°14'53"	55.00	50.00	47.81
C69	62°08'28"	55.00	59.65	56.77
C70	29°32'51"	55.00	25.79	25.50
C71	23°50'44"	50.00	20.81	20.68
C72	19°04'25"	50.00	16.54	16.57
C73	38°30'04"	78.49	52.74	51.76
C74	11°00'00"	100.00	19.40	19.37
C75	20°37'31"	100.00	36.00	35.80
C76	56°17'14"	100.00	49.12	47.17
C77	81°47'53"	100.00	142.76	130.95
C78	04°14'32"	100.00	7.40	7.40
C79	04°30'48"	100.00	7.88	7.89
C80	11°34'59"	66.87	132.86	112.12
C81	11°45'21"	60.09	120.52	101.31
C82	9°28'13"	60.09	84.14	74.56
C83	21°28'38"	200.00	75.03	74.59
C84	18°22'23"	200.00	64.13	63.86
C85	63°48'11"	60.00	66.81	63.42
C86	31°30'49"	40.00	22.00	21.22
C87	08°04'33"	611.00	98.12	88.05
C88	11°04'54"	55.00	108.28	90.50
C89	10°41'58"	55.00	102.71	102.56
C90	16°08'03"	550.00	155.04	154.52
C91	82°53'21"	95.00	137.44	125.76
C92	103°17'27"	95.00	171.26	149.00
C93	01°10'07"	650.00	140.48	140.48
C94	16°09'03"	500		



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SWPPP NOTES

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TEMPORARY OR PERMANENT STABILIZATION PRACTICES WILL BE INSTALLED ON DISTURBED AREAS AS SOON AS PRACTICABLE AND NO LATER THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. SOME EXCEPTIONS MAY APPLY; REFER TO STORM WATER GENERAL PERMIT NVR100000, SECTION 1.B.1.b.(2).
- STANDARD NOTE No. 4
AT A MINIMUM, THE CONTRACTOR OR HIS AGENT SHALL INSPECT ALL DISTURBED AREAS, AREAS USED FOR STORAGE OF MATERIALS AND EQUIPMENT THAT AREA EXPOSED TO PRECIPITATION, VEHICLE ENTRANCE AND EXIT LOCATIONS AND ALL BMPs WEEKLY, PRIOR TO A FORECASTED RAIN EVENT AND WITHIN 24 HOURS AFTER ANY ACTUAL RAIN EVENT. THE CONTRACTOR OR HIS AGENT SHALL UPDATE OR MODIFY THE STORM WATER POLLUTION PREVENTION PLAN AS NECESSARY. SOME EXCEPTIONS TO WEEKLY INSPECTIONS MAY APPLY, SUCH AS FROZEN GROUND CONDITIONS OR SUSPENSION OF LAND DISTURBANCE ACTIVITIES. REFER TO STORM WATER GENERAL PERMIT NVR100000, SECTION 1.B.1.g.
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- ADD 5.00 FEET TO ALL SPOT ELEVATIONS.

NOTE:
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NOTE:
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*** "BW" INDICATES BOTTOM OF WALL GRADE @ FINISH GRADE AND DOES NOT INCLUDE THE FOOTING DEPTH
REF. STRUCTURAL ENGINEERING PLANS FOR DESIGN OF FOOTINGS AND FABRIC REINFORCEMENT. (TYPICAL OF ALL WALLS)
VOIDS IN ALL ROCKERY WALLS SHALL BE FILLED BY PLACING SMALLER ROCK WITHIN 6" OF THE FACE FOR THE ENTIRE HEIGHT OF THE ROCK WALLS.

LEGEND

- SANITARY SEWER W/SIZE & DIRECTION INDICATOR (DASHED IF EXIST)
- STORM DRAIN W/SIZE & DIRECTION INDICATOR (DASHED IF EXIST)
- MANHOLE (HOLLOW IF EXISTING)
- SEWER LATERAL
- A.C. PAVEMENT AREA
- CONCRETE AREA
- GRADE BREAK
- CATCH BASIN (HOLLOW IF EXISTING)
- LOT NUMBER
- REVEGETATION
- DC
- ROCKERY WALL
- PROPOSED ELEV. ● FRONT FACE TOP OF CURB
- PROPOSED ELEV. ● GRADE BREAK
- PROPOSED ELEV. ● FINISHED GRADE
- 4900 EXISTING CONTOUR LINE
- HANDICAP RAMP
- EXISTING (e)
- FUTURE (f)
- WATER MAIN IN COMMON TRENCH WITH GAS (DASHED IF EXIST)
- FLUSH VALVE
- CONC. ENCASE SD OR SS 10' EACH SIDE OF WATER MAIN CROSSING WHERE SD OR SS IS ABOVE WATER
- TOE OF SLOPE PER TOPO SHDS
- TOP OF SLOPE PER TOPO SHDS

REV.	DATE	DESCRIPTION	BY	APPD

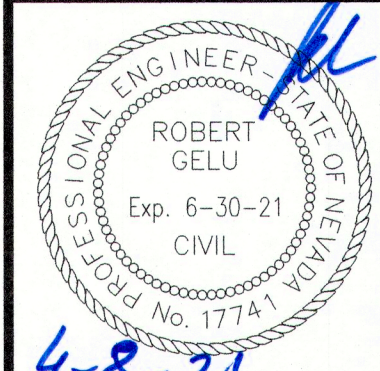
AMENDMENT OF CONDITIONS
LADERA RANCH PHASE 1
REGRAIDING LOTS 7-9, 15, 31-38, 45-50, 73-82

RENO WASHOE COUNTY NEVADA

DESIGNED BY: KF
CHECKED BY: RG

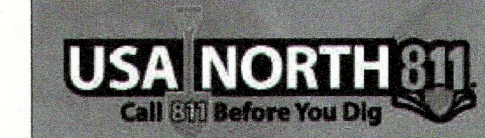
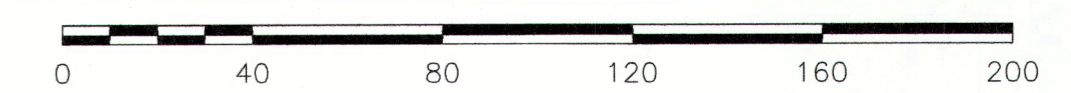
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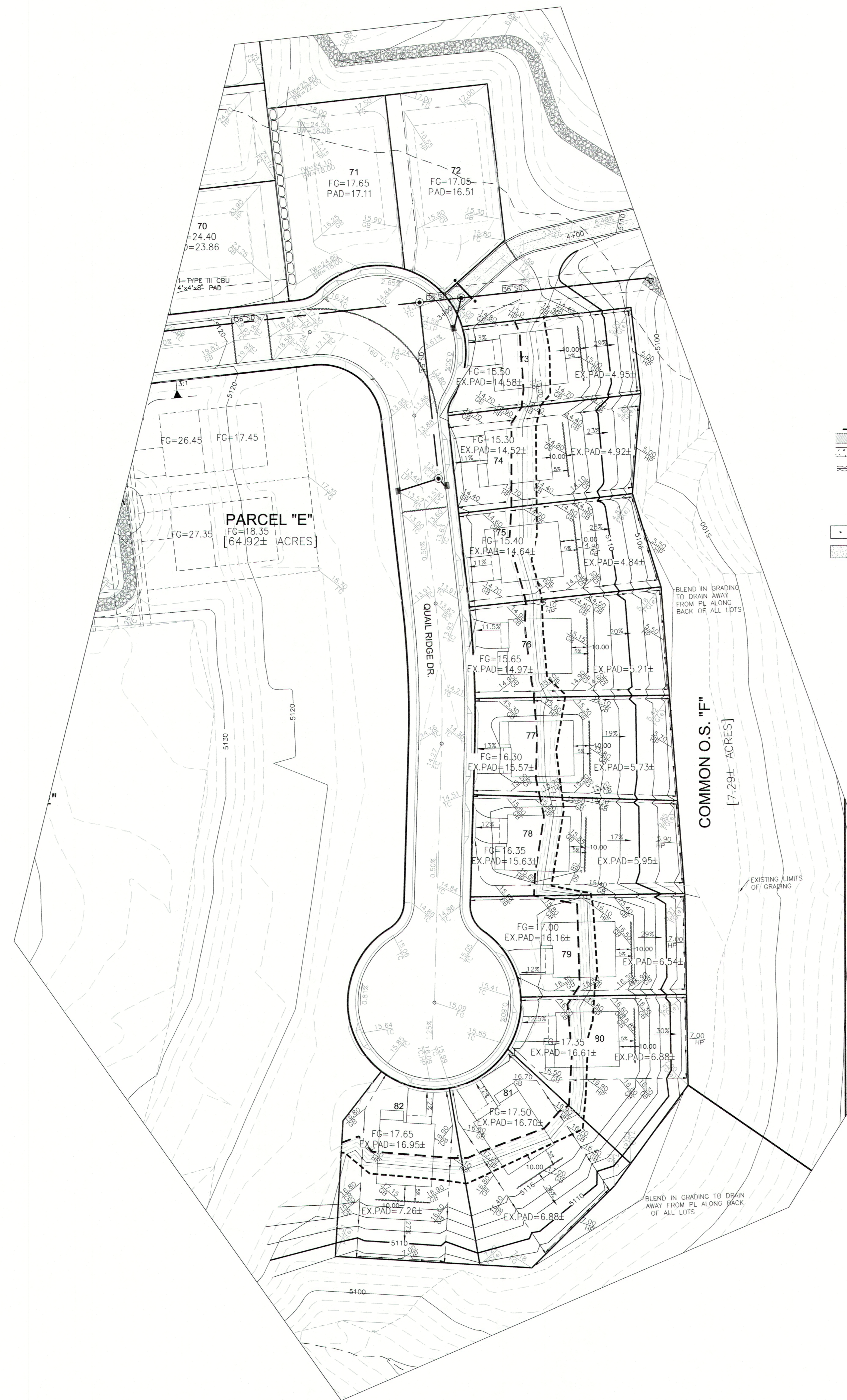


4-8-21
SHEET G-2 OF 5

N:\DWGS\30394_DRH\Plan\Ladera\Phase 1\LOT\PLANS\2021 LADERA GRADING PLAN\LADERA_RANCH_SPLIT LEVEL GRADING - LIBERTY.DWG - 10:43 AM *06-APR-2021



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LEGEND

- | | |
|--|---|
| <p>8" SS SANITARY SEWER W/SIZE & DIRECTION INDICATOR (DASHED IF EXIST)</p> <p>8" SD STORM DRAIN W/SIZE & DIRECTION INDICATOR (DASHED IF EXIST)</p> <p>MANHOLE (HOLLOW IF EXISTING)</p> <p>SEWER LATERAL</p> <p>A.C. PAVEMENT AREA</p> <p>CONCRETE AREA</p> <p>GRADE BREAK</p> <p>CATCH BASIN (HOLLOW IF EXISTING)</p> <p>FIRE HYDRANT</p> <p>10 LOT NUMBER</p> <p>REVEGETATION</p> <p>DG</p> | <p>ROCKERY WALL</p> <p>53.00 PROPOSED ELEV. @ FRONT FACE TOP OF CURB</p> <p>51.00 PROPOSED ELEV. @ GRADE BREAK</p> <p>50.00 PROPOSED ELEV. @ FINISHED GRADE</p> <p>4900 EXISTING CONTOUR LINE</p> <p>HANDICAP RAMP</p> <p>(e) EXISTING</p> <p>(f) FUTURE</p> <p>G/W WATER MAIN IN COMMON TRENCH WITH GAS (DASHED IF EXIST)</p> <p>GATE VALVE</p> <p>FLUSH VALVE</p> <p>CONC. ENCASE SD OR SS 10' EACH SIDE OF WATER MAIN CROSSING WHERE SD OR SS IS ABOVE WATER</p> <p>TOE OF SLOPE PER TOPO SHOTS</p> <p>TOP OF SLOPE PER TOPO SHOTS</p> |
|--|---|

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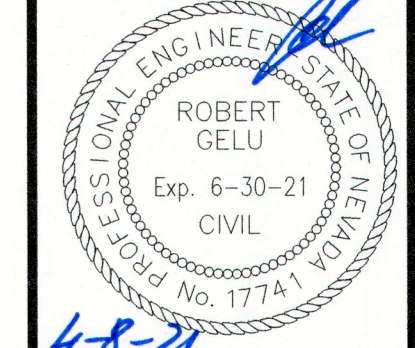
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REV.	DATE	DESCRIPTION	BY	APPD

**AMENDMENT OF CONDITIONS
LADERA RANCH PHASE 1
REGRAIDING LOTS 7-9, 15, 31-38, 45-50, 73-82**

DESIGNED BY: KF
CHECKED BY: RG
SCALE
HORIZ: 1"=40'
VERT:
JOB NO:



4-8-21
SHEET G-4 OF 5

N:\DIV\GIS\303084_LDR\horizon_LaderaPhase 1\LOTPLANS2021 LADERA GRADING PLAN\LADERA RANCH_SPLIT LEVEL GRADING-LIBERTY.DWG - 10:22 AM - 08-APR-2021



COMMON O.S. "F"
[7.29± ACRES]

COMMON O.S. "F"
[7.29± ACRES]

LEGEND

- SANITARY SEWER W/SIZE & DIRECTION INDICATOR (DASHED IF EXIST)
- STORM DRAIN W/SIZE & DIRECTION INDICATOR (DASHED IF EXIST)
- MANHOLE (HOLLOW IF EXISTING)
- SEWER LATERAL
- A.C. PAVEMENT AREA
- CONCRETE AREA
- GRADE BREAK
- CATCH BASIN (HOLLOW IF EXISTING)
- FIRE HYDRANT
- LOT NUMBER
- REVEGETATION
- DG
- ROCKERY WALL
- PROPOSED ELEV. ● FRONT FACE TOP OF CURB
- PROPOSED ELEV. ● GRADE BREAK
- PROPOSED ELEV. ● FINISHED GRADE
- 4900 EXISTING CONTOUR LINE
- HANDICAP RAMP
- (e) EXISTING
- (f) FUTURE
- G/W WATER MAIN IN COMMON TRENCH WITH GAS (DASHED IF EXIST)
- GATE VALVE
- FLUSH VALVE
- CONC. ENCASE SD OR SS 10' EACH SIDE OF WATER MAIN CROSSING WHERE SD OR SS IS ABOVE WATER
- TOE OF SLOPE PER TOPO SHOTS
- TOP OF SLOPE PER TOPO SHOTS

SWPPP NOTES

- STANDARD NOTE No. 1
THE OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL EACH DAY REMOVE ALL SEDIMENT, MUD, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED TO, OR ACCUMULATE IN, THE PUBLIC RIGHTS OF WAYS OF WASHOE COUNTY AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS SITE DEVELOPMENT OR CONSTRUCTION PROJECT. SUCH MATERIALS SHALL BE PREVENTED FROM ENTERING THE STORM SEWER SYSTEM.
- STANDARD NOTE No. 2
ADDITIONAL CONSTRUCTION SITE DISCHARGE BEST MANAGEMENT PRACTICES MAY BE REQUIRED OF THE OWNER AND HIS OR HER AGENTS DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT MEET THE PERFORMANCE STANDARDS SPECIFIED IN WASHOE COUNTY ORDINANCE #1223 AND THE TRUCKEE MEADOWS CONSTRUCTION SITE BEST MANAGEMENT PRACTICES HANDBOOK.
- STANDARD NOTE No. 3
TEMPORARY OR PERMANENT STABILIZATION PRACTICES WILL BE INSTALLED ON DISTURBED AREAS AS SOON AS PRACTICABLE AND NO LATER THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. SOME EXCEPTIONS MAY APPLY; REFER TO STORM WATER GENERAL PERMIT NVR100000, SECTION 1.B.1.b.(2).
- STANDARD NOTE No. 4
AT A MINIMUM, THE CONTRACTOR OR HIS AGENT SHALL INSPECT ALL DISTURBED AREAS, AREAS USED FOR STORAGE OF MATERIALS AND EQUIPMENT THAT AREA EXPOSED TO PRECIPITATION, VEHICLE ENTRANCE AND EXIT LOCATIONS AND ALL BMPs WEEKLY, PRIOR TO A FORECASTED RAIN EVENT AND WITHIN 24 HOURS AFTER AN ACTUAL RAIN EVENT. THE CONTRACTOR OR HIS AGENT SHALL UPDATE OR MODIFY THE STORM WATER POLLUTION PREVENTION PLAN AS NECESSARY. SOME EXCEPTIONS TO WEEKLY INSPECTIONS MAY APPLY, SUCH AS FROZEN GROUND CONDITIONS OR SUSPENSION OF LAND DISTURBANCE ACTIVITIES. REFER TO STORM WATER GENERAL PERMIT NVR100000, SECTION 1.B.1.g.
- STANDARD NOTE No. 5
ACCUMULATED SEDIMENT IN BMPs SHALL BE REMOVED WITHIN SEVEN DAYS AFTER A STORMWATER RUNOFF EVENT OR PRIOR TO THE NEXT ANTICIPATED STORM EVENT WHICHEVER IS EARLIER. SEDIMENT MUST BE REMOVED WHEN BMP DESIGN CAPACITY HAS BEEN REDUCED BY 50 PERCENT OR MORE.

GENERAL NOTES

- THE CONTRACTOR SHALL MAINTAIN A DUST CONTROL PROGRAM, INCLUDING WATERING OF OPEN AREAS. THE CONTRACTOR SHALL ALSO MAINTAIN CONFORMITY WITH ALL APPLICABLE AIR QUALITY AND POLLUTION REGULATIONS.
- THE CONTRACTOR SHALL MAINTAIN AN ONGOING PROCESS OF REMOVAL OF ALL SPILLAGE OF EXCAVATION MATERIAL ON ALL PAVED STREETS.
- THE INSPECTION AND TESTING OF SOILS SHALL BE TO THE LAND GRADING SHALL BE DONE IN A METHOD TO PREVENT DUST FROM TRAVERSING THE PROPERTY LINE.
- THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL NECESSARY PERMITS AND FEES REQUIRED FOR CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY ALL AFFECTED PUBLIC ENTITIES AND THE ENGINEER OF RECORD 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY IN FIELD, ALL ELEVATIONS, DIMENSIONS, FLOW LINES, EXISTING CONDITIONS, AND POINTS OF CONNECTIONS WITH ADJOINING PROPERTY (PUBLIC OR PRIVATE). ANY DISCREPANCIES SHALL BE CALLED TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER, THE SOILS ENGINEER, WASHOE COUNTY, AND NV ENERGY 48 HOURS PRIOR TO COMMENCEMENT OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGE TO EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE UTILITY COMPANIES FOR LOCATIONS OR POT-HOLING PRIOR TO CONSTRUCTION.
- ADD 5100 FEET TO ALL SPOT ELEVATIONS.

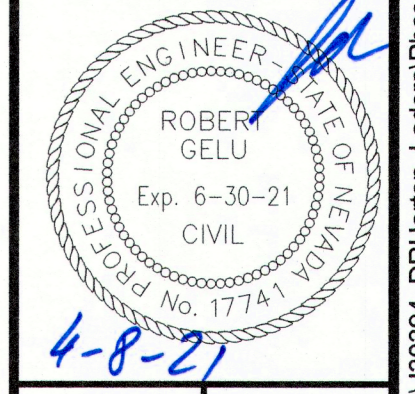
NOTE:
SHOULD ANY PREHISTORIC REMAINS/ARTIFACTS BE DISCOVERED DURING SITE DEVELOPMENT, WORK SHALL TEMPORARILY BE HALTED AT THE SPECIFIC SITE AND THE STATE HISTORIC PRESERVATION OFFICE OF THE DEPARTMENT OF MUSEUMS, LIBRARY AND ARTS, SHALL BE NOTIFIED TO RECORD AND PHOTOGRAPH THE SITE. THE PERIOD OF TEMPORARY DELAY SHALL BE LIMITED TO A MAXIMUM OF TWO (2) WORKING DAYS FROM THE DATE OF NOTIFICATION.

NOTE:
ALL RETAINING WALLS SHALL BE DESIGNED BY A STRUCTURAL ENGINEER AND SUBMITTED TO THE WASHOE COUNTY UNDER A SEPARATE PERMIT.
*** "BW" INDICATES BOTTOM OF WALL GRADE ● FINISH GRADE AND DOES NOT INCLUDE THE FOOTING DEPTH
REF. STRUCTURAL ENGINEERING PLANS FOR DESIGN OF FOOTINGS AND FABRIC REINFORCEMENT. (TYPICAL OF ALL WALLS)
VOIDS IN ALL ROCKERY WALLS SHALL BE FILLED BY PLACING SMALLER ROCK WITHIN 6" OF THE FACE FOR THE ENTIRE HEIGHT OF THE ROCK WALLS.

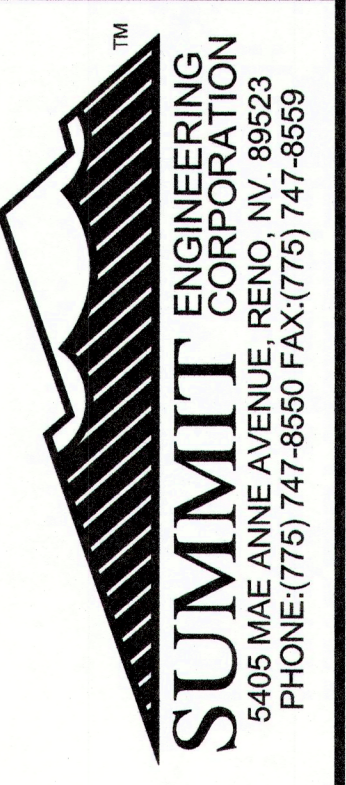
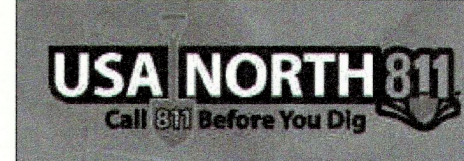
REV.	DATE	DESCRIPTION	BY	APPD

AMENDMENT OF CONDITIONS
LADERA RANCH PHASE 1
REGRADEING LOTS 7-9, 15, 31-38, 45-50, 73-82
RENO WASHOE COUNTY NEVADA

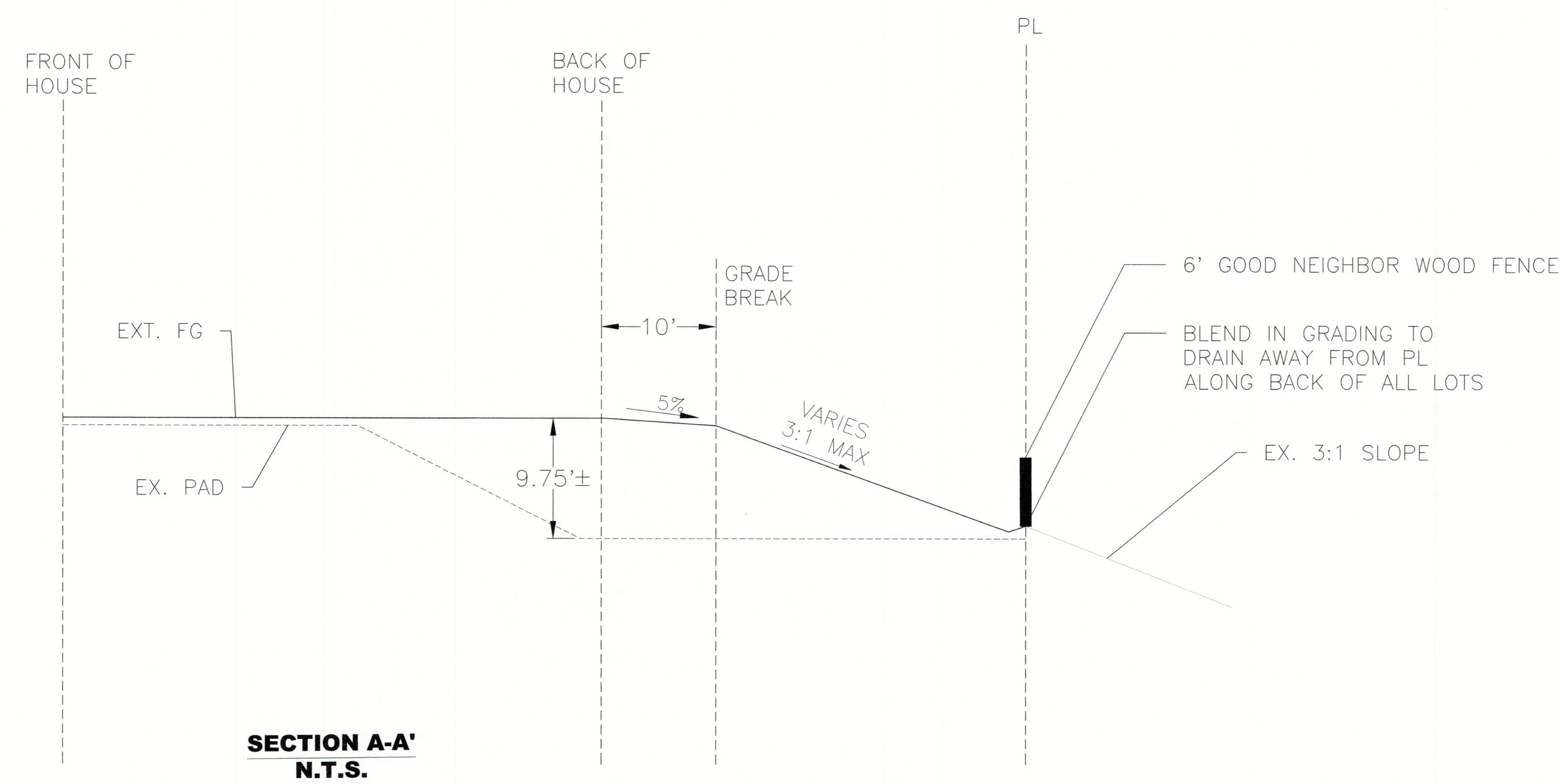
DESIGNED BY: KF
CHECKED BY: RG
SCALE
HORIZ: 1"=40'
VERT:
JOB NO:



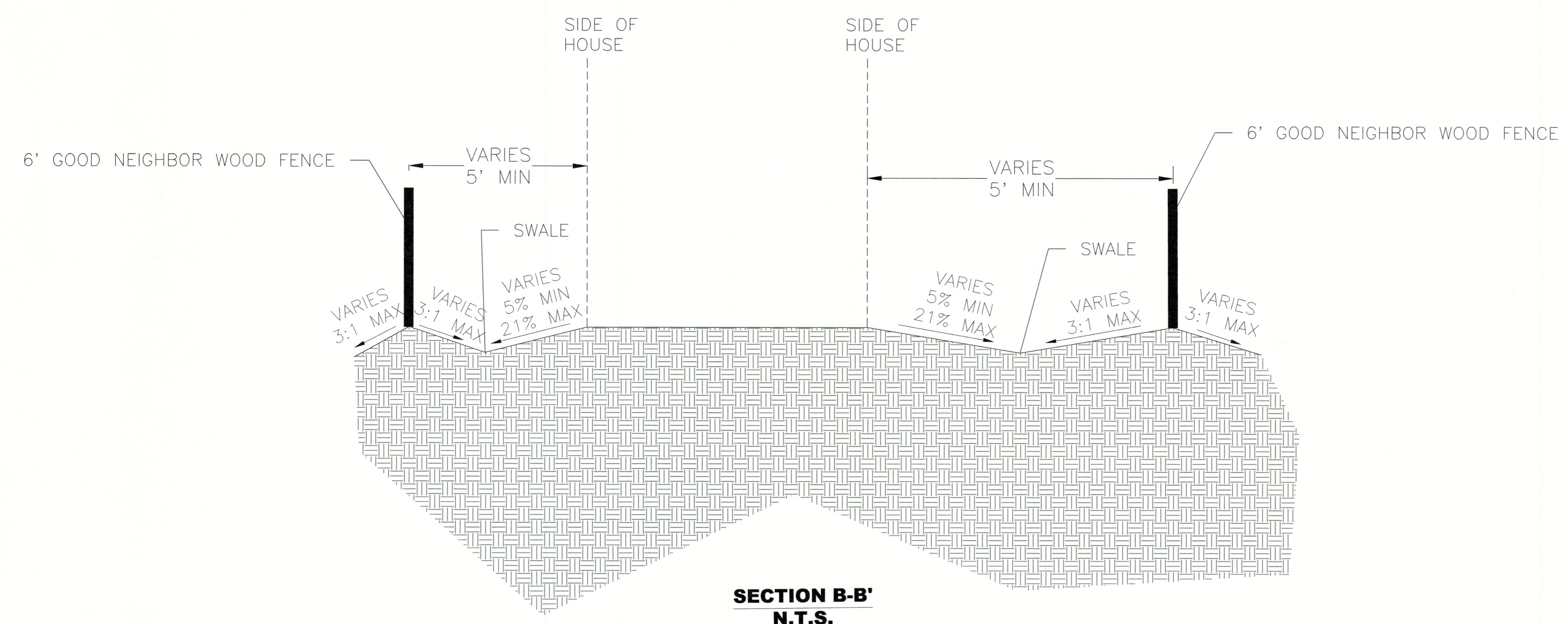
4-8-21
SHEET G-5 OF 5



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SECTION A-A'
N.T.S.



SECTION B-B'
N.T.S.

REV.	DATE	DESCRIPTION	BY	APPD

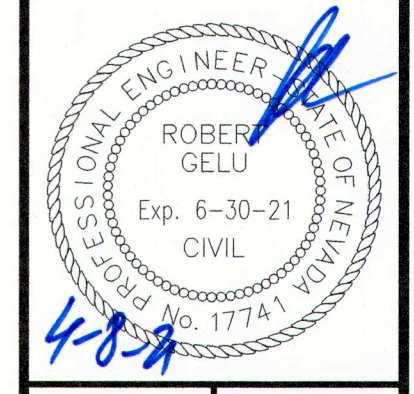
AMENDMENT OF CONDITIONS
LADERA RANCH PHASE 1
TYPICAL CROSS-SECTIONS

NEVADA

WASHOE COUNTY

RENO

DESIGNED BY: KF
CHECKED BY: RG
SCALE
HORIZ: N.T.S.
VERT:
JOB NO:



SHEET X-1 OF 5

N:\DWG\SU30394_DRHorton_Ladera\Phase 1\PILOT\PLANS\2021 LADERA GRADING PLAN\LADERA RANCH_SPLIT LEVEL GRADING -LIBERTY.DWG - 10:42 AM - 08-APR-2021