

## Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

<b>Project Information</b>		Staff Assigned Case No.: _____	
Project Name: <b>Jordan &amp; Chelsea Dethmers</b>			
Project Description: Clearing Over-grown Drainage Channel, Re-Seeding Grass Blend at Pasture Area and Grading for Retaining walls, New Driveway and Fenced Horse Arena			
Project Address: 0 Lone Tree			
Project Area (acres or square feet): 2.29 Acres, Disturbed -2.1 acres			
Project Location (with point of reference to major cross streets AND area locator): <b>Lone Tree Lane /Bellhaven Road</b>			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
041-120-11	2.29		
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
<b>Applicant Information (attach additional sheets if necessary)</b>			
<b>Property Owner:</b>		<b>Professional Consultant:</b>	
Name: Jordan & Chelsea Dethmers		Name: Westex Consulting Engineers, LLC	
Address: 4145 Lone Tree Ln		Address: P.O Box 18871	
Reno, Nv	Zip: 89511	Reno, Nv	Zip: 89511
Phone: 775-544-9918	Fax:	Phone: 775-771-9539	Fax:
Email: Jordandethmers7@gmail.com		Email: Blake@Westexconsulting.com	
Cell:	Other:	Cell: 775-771-9539	Other:
Contact Person: Jordan Dethmers		Contact Person: Blake Carter P.E	
<b>Applicant/Developer:</b>		<b>Other Persons to be Contacted:</b>	
Name: Jordan Dethmers		Name:	
Address: 4145 Lone Tree Ln		Address:	
Reno, Nv	Zip: 89511		Zip:
Phone: 775-544-9918	Fax:	Phone:	Fax:
Email: Jordandethmers7@gmail.com		Email:	
Cell: 775-544-9918	Other:	Cell:	Other:
Contact Person: Jordan Dethmers		Contact Person:	
<b>For Office Use Only</b>			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

**Special Use Permit Application  
for Grading  
Supplemental Information**  
(All required information may be separately attached)

1. What is the purpose of the grading?

Make Land usable for personal use of Horses and Pasture and Access to parcel

2. How many cubic yards of material are you proposing to excavate on site?

1,800 CY

3. How many square feet of surface of the property are you disturbing?

2.1 Acres

4. How many cubic yards of material are you exporting or importing? If none, how are you managing to balance the work on-site?

Grading has been design to balance.

5. Is it possible to develop your property without surpassing the grading thresholds requiring a Special Use Permit? (Explain fully your answer.)

Property is to be used for personal use of Horses. Necessary area to be cleared exceeds threshold.

6. Has any portion of the grading shown on the plan been done previously? (If yes, explain the circumstances, the year the work was done, and who completed the work.)

Yes, 2021 of clearing brush and grading.

7. Have you shown all areas on your site plan that are proposed to be disturbed by grading? (If no, explain your answer.)

YES

8. Can the disturbed area be seen from off-site? If yes, from which directions and which properties or roadways?

YES, PROPERTY IS ADJACENT TO LONE TREE LN

9. Could neighboring properties also be served by the proposed access/grading requested (i.e. if you are creating a driveway, would it be used for access to additional neighboring properties)?

NO, ONLY FOR EMERGENCY SERVICES SUCH AS FIREFIGHTING

10. What is the slope (horizontal/vertical) of the cut and fill areas proposed to be? What methods will be used to prevent erosion until the revegetation is established?

3:1, ROLLED EROSION CONTROL PRODUCTS, WATER TRUCK ON SITE

11. Are you planning any berms?

YesYES	No	If yes, how tall is the berm at its highest?3 FT
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12. If your property slopes and you are leveling a pad for a building, are retaining walls going to be required? If so, how high will the walls be and what is their construction (i.e. rockery, concrete, timber, manufactured block)?

NO BUILDING- YES, RETAINING WALLS WILL BE 2FT-10FT BOULDER

13. What are you proposing for visual mitigation of the work?

CLEAN AND ORDERLY SITE

14. Will the grading proposed require removal of any trees? If so, what species, how many and of what size?

NO

15. What type of revegetation seed mix are you planning to use and how many pounds per acre do you intend to broadcast? Will you use mulch and, if so, what type?

Pasture grass and Native sage, as much as needed

16. How are you providing temporary irrigation to the disturbed area?

WATER TRUCK ON SITE

17. Have you reviewed the revegetation plan with the Washoe Storey Conservation District? If yes, have you incorporated their suggestions?

NO

18. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that may prohibit the requested grading?

Yes	No NO	If yes, please attach a copy.
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NEVADA DIVISION OF  
**ENVIRONMENTAL  
PROTECTION**

STATE OF NEVADA  
Department of Conservation & Natural Resources

Steve Sisolak, Governor  
Bradley Crowell, Director  
Greg Lovato, Administrator

**Date: 6/30/2021**

Mr. Jordan Dethmers  
Jordan & Chelsea Dethmers  
4145 LONE TREE LN  
Reno NV 89511

Dear Mr. Jordan Dethmers  
Re: Stormwater Construction Permit

**Project ID Number: CSW--49345**

Project Name: Dethmers

Your submittal to be included under this General Permit has been approved effective 6/25/2021. For Stormwater Permits, please note that by submitting an NOI the permittee has certified that the project's Storm Water Pollution Prevention Plan (SWPPP) has been completed, that the SWPPP will be updated as necessary, and that it will be maintained at the permitted site.

At the time of any on-site inspections, our inspectors will ask to review your copy of the SWPPP in an effort to ensure proper compliance with the program.

Also note that [Nevada Administrative Code \(NAC\) 445A.268](#) Section (5)(b) reads, in part, that a Permittee (discharger) who is covered under a general permit shall pay to the Director a nonrefundable fee of \$200.00 not later than July 1 of each year that the discharger is covered under that permit.

To Terminate coverage of this Nevada General Permit, the Permittee must submit a Notice of Termination ("NOT") form when their facility no longer has any discharges associated with this Nevada General Permit or EPA regulations at [40 CFR 122.26](#), or when they are no longer the operator of the site.

Questions regarding Stormwater permits, please contact (775) 687-9442.

Questions regarding other general permits, please contact (775) 687-9492.

Sincerely,

**Michelle Grover, Environmental Scientist**

Bureau of Water Pollution Control  
Nevada Division of Environmental Protection

**CC: Mr. Jordan Dethmers 4145 LONE TREE LN Reno NV 89511**

NVR100000  
STATE OF NEVADA

DIVISION OF ENVIRONMENTAL PROTECTION

GENERAL PERMIT

FOR

STORMWATER DISCHARGES ASSOCIATED WITH LARGE CONSTRUCTION ACTIVITY, SMALL  
CONSTRUCTION ACTIVITY AND INDUSTRIAL ACTIVITY FROM TEMPORARY CONCRETE, ASPHALT  
AND  
MATERIAL PLANTS OR OPERATIONS DEDICATED TO THE PERMITTED CONSTRUCTION  
PROJECT

**AUTHORIZATION TO DISCHARGE**

In compliance with the provisions of the federal Water Pollution Control Act as amended (33 U.S.C. 1251 et seq; the "Act") and Chapter 445A of the Nevada Revised Statutes (NRS), eligible dischargers have submitted: 1) a Notice of Intent and filing fee in accordance with Nevada Administrative Code (NAC) 445A.268.

In accordance with the terms and conditions set forth hereof;

Site Number: CSW-49345

NOI Approval Date: 6/25/2021

NOI Re-Approval Date: N/A

Facility Information	
Site Name	Dethmers
Site Address	0 Lone Tree Ln, Reno, NV 89511-_____
Owner Name	Jordan & Chelsea Dethmers
Operator Name	Jordan & Chelsea Dethmers

This permit shall become effective on: **January 5, 2015.**

This permit and the authorization to discharge shall expire at midnight **January 4, 2020.**

Signed this **5th** day of **January 2015.**



**Michele R. Reid, Staff II Associate Engineer**  
Bureau of Water Pollution Control

Property Owner Affidavit

Applicant Name: JORDAN & CHELSEA DETHMEZS

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA )
COUNTY OF WASHOE )

I, JORDAN DETHMEZS
(please print name)

being duly sworn, depose and say that I am the owner\* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 041 - 120 - 11

Printed Name JORDAN DETHMEZS

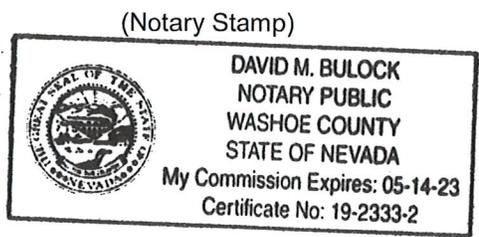
Signed [Signature]

Address 0 LONE TREE LN

Subscribed and sworn to before me this 8th day of OCTOBER, 2021.

[Signature]
Notary Public in and for said county and state

My commission expires: 5-14-2023



\*Owner refers to the following: (Please mark appropriate box.)

- Owner
 Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
 Power of Attorney (Provide copy of Power of Attorney.)
 Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
 Property Agent (Provide copy of record document indicating authority to sign.)
 Letter from Government Agency with Stewardship

# Property Owner Affidavit

Applicant Name: Jordan & CHELSEA DETHMEERS

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA     )  
                                  )  
COUNTY OF WASHOE    )

I, Chelsea M. Dethmeers  
(please print name)

being duly sworn, depose and say that I am the owner\* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 041 - 120 - 11

Printed Name Chelsea Dethmeers

Signed *Chelsea Dethmeers*

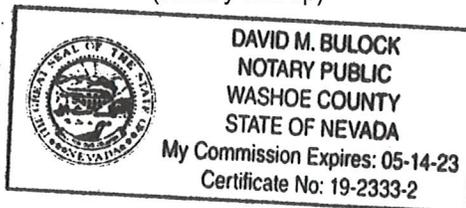
Address 0 LONE TREE LN

Subscribed and sworn to before me this 8<sup>TH</sup> day of OCTOBER, 2021.

*David M. Bullock*  
Notary Public in and for said county and state

My commission expires: 5-14-2023

(Notary Stamp)



\*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship





Know what's below.  
Call before you dig.

CASSAS FAMILY TRUST  
APN 041-120-61 LOT 4

JORDAN D & CHELSEA M DETHMERS  
PM #22 LOT 2  
APN 041-120-11

NOTE:  
ALL PROPERTIES, REGARDLESS IF THEY ARE LOCATED WITHIN OR OUTSIDE OF A FEMA DESIGNATED FLOOD ZONE, MAY BE SUBJECT TO FLOODING. THE PROPERTY OWNER IS REQUIRED TO MAINTAIN ALL DRAINAGE EASEMENTS AND NATURAL DRAINAGES AND NOT PERFORM OR ALLOW UNPERMITTED AND UNAPPROVED MODIFICATIONS TO THE PROPERTY THAT MAY HAVE DETRIMENTAL IMPACTS TO SURROUNDING PROPERTIES.

NO	DESCRIPTION	DATE	BY	CHKD
1	SPECIAL USE PERMIT REVISIONS	11/08/21	RCB	BDC
REVISIONS				

PREPARED FOR:  
**JORDAN DETHMERS**  
4145 LONE TREE LANE  
RENO NV 89511  
775-544-9918

0" = 1"  
1/2" = 1"  
INCH@FULL SCALE



**WESTEX**  
Consulting Engineers

P.O. BOX 18871, RENO, NV 89511

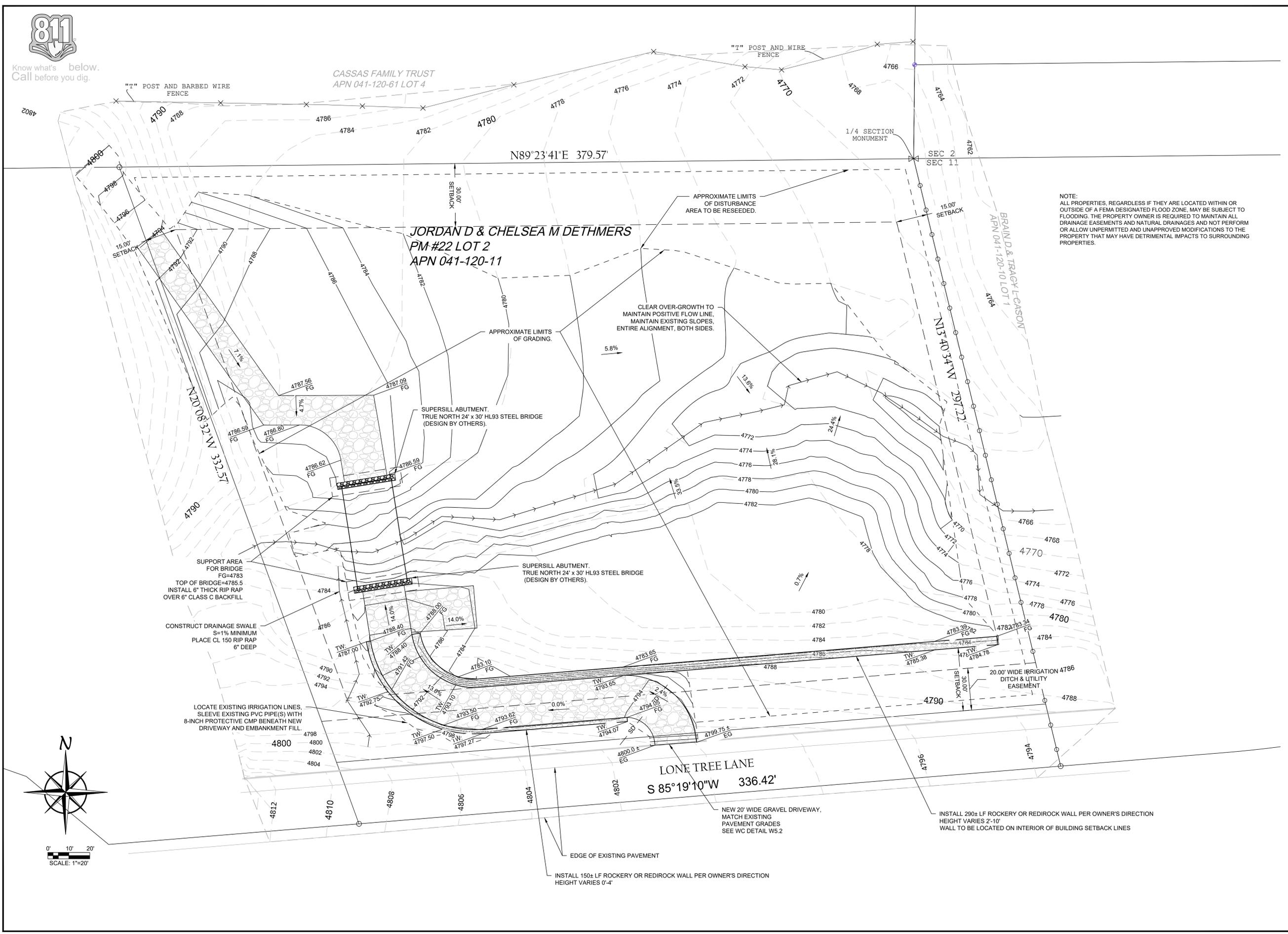
**LONE TREE LANE  
GRADING IMPROVEMENTS**

C1  
SITE AND GRADING PLAN

WASHOE COUNTY, NEVADA  
PROJECT NO. 2122-001-B

APPROVALS

C1  
SHEET 2 OF 4



G:\Shared drives\Westex\Project Files\WESTEX Project Files\2122-001-B Lone Tree Lane (Dethmers)\Grading Plan\2021-06-21 Grading Plan - Standard\2021-12-14 Grading Plan.dwg, 12/15/2021 10:08:06 AM, USER

**TRUCKEE MEADOWS REGIONAL STORMWATER QUALITY MANAGEMENT NOTES**

1. THE OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL EACH DAY REMOVE ALL SEDIMENT, MUD, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED TO, OR ACCUMULATED IN, THE PUBLIC RIGHTS OF WAYS OF THE NDOT AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS SITE DEVELOPMENT OR CONSTRUCTION PROJECT. SUCH MATERIALS SHALL BE PREVENTED FROM ENTERING THE STORM SEWER SYSTEM.
2. ADDITIONAL CONSTRUCTION SITE DISCHARGE BEST MANAGEMENT PRACTICES MAY BE REQUIRED OF THE OWNER AND HIS OR HER AGENTS DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT MEET THE PERFORMANCE STANDARDS SPECIFIED IN THE NDOT AND THE TRUCKEE MEADOWS CONSTRUCTION SITE BEST MANAGEMENT PRACTICES HANDBOOK.
3. TEMPORARY OR PERMANENT STABILIZATION PRACTICES WILL BE INSTALLED ON DISTURBED AREAS AS SOON AS PRACTICABLE AND NO LATER THAN 14 DAYS AFTER THE CONSTRUCTION ACTIVITY IN THAT PORTION OF THE SITE HAS TEMPORARILY OR PERMANENTLY CEASED. SOME EXCEPTIONS MAY APPLY. REFER TO STORMWATER GENERAL PERMIT NVR100000.
4. AT A MINIMUM, THE CONTRACTOR OR HIS AGENT SHALL INSPECT ALL DISTURBED AREAS, AREAS USED FOR STORAGE OF MATERIALS AND EQUIPMENT THAT ARE EXPOSED TO PRECIPITATION, VEHICLE ENTRANCE AND EXIT LOCATIONS AND ALL BMPs WEEKLY, PRIOR TO A FORECASTED RAIN EVENT AND WITHIN 24 HOURS AFTER ANY ACTUAL RAIN EVENT. THE CONTRACTOR OR HIS AGENT SHALL UPDATE OR MODIFY THE STORMWATER POLLUTION PREVENTION PLAN AS NECESSARY. SOME EXCEPTIONS TO WEEKLY INSPECTIONS MAY APPLY, SUCH AS FROZEN GROUND CONDITIONS OR SUSPENSION OF LAND DISTURBANCE ACTIVITIES. REFER TO STORMWATER GENERAL PERMIT NVR100000.
5. ACCUMULATED SEDIMENT IN BMPs SHALL BE REMOVED WITHIN SEVEN DAYS AFTER A STORMWATER RUNOFF EVENT OR PRIOR TO THE NEXT ANTICIPATED STORM EVENT WHICHEVER IS EARLIER. SEDIMENT MUST BE REMOVED WHEN BMP DESIGN CAPACITY HAS BEEN REDUCED BY 50 PERCENT OR MORE.

**EROSION AND SEDIMENT CONTROL NOTES:**

1. ALL PUBLIC RIGHT OF WAYS LOCATED ADJACENT TO THE SITE (E.G. STREETS AND SIDEWALKS) MUST BE CLEANED DAILY OF ALL SEDIMENT OR WASTES THAT ORIGINATE FROM THE SITE.
2. BMPs IN ADDITION TO THOSE INDICATED IN THE SWPPP MAY BE REQUIRED IF THEY DON'T MEET LOCAL PERFORMANCE STANDARDS.
3. TEMPORARY OR PERMANENT STABILIZATION MUST BE APPLIED NO LATER THAN 14 DAYS TO ALL DISTURBED SOILS, INCLUDING STOCKPILES, WHERE CONSTRUCTION ACTIVITY IS CEASED.
4. ALL BMPs MUST BE INSPECTED WEEKLY, PRIOR TO FORECASTED RAIN EVENTS, AND WITHIN 24 HOURS AFTER ANY EVENT THAT CREATES RUNOFF AT THE SITE.
5. ACCUMULATED SEDIMENT MUST BE REMOVED FROM THE BMPs WHEN THE DESIGN CAPACITY HAS BEEN REDUCED BY 30 PERCENT OR MORE. SEDIMENT MUST ALSO BE REMOVED WITHIN SEVEN DAYS AFTER A RUNOFF EVENT OR PRIOR TO THE NEXT FORECASTED RAIN EVENT, WHICHEVER IS EARLIER.

BMP NAME	BMP NUMBER	MAP SYMBOL
TEMPORARY DIVERSION DIKES AND DITCHES	RC-2	TDD
CHECK DAMS	RC-3	RC-3
TEMPORARY SLOPE DRAINS	RC-4	TSD
PRESERVING EXISTING VEGETATION	EC-1	EC-1
SLOPE TERRACING AND TRACKING	EC-2	STT
MULCHING	EC-3	EC-3
SOIL BINDERS	EC-4	SB
WIND EROSION AND DUST CONTROL	EC-5	WEC
ROLLED EROSION CONTROL PRODUCTS	EC-6	RECP
RIP RAP	EC-7	EC-7

BMP NAME	BMP NUMBER	MAP SYMBOL
SAND BAG BARRIERS	SC-3	SB
GRAVEL FILTER BERM	SC-4	GB
SILT FENCES	SC-5	SC-5
TEMPORARY SEDIMENT TRAPS	SC-6	SC-6
SEDIMENT RETENTION BASINS	SC-7	SC-7
CONSTRUCTION SITE ENTRANCES AND EXITS	SC-8	SC-8
CONSTRUCTION EXIT TIRE WASH	SC-9	SC-9
STABILIZED CONSTRUCTION ROADWAY	SC-10	SC-10
TEMPORARY STREAM CROSSING	DP-1	DP-1

BMP NAME	BMP NUMBER	MAP SYMBOL
SOLID AND DEMOLITION WASTE MANAGEMENT	GM-3	SWM
DEWATERING OPERATIONS	GM-4	DM
STREET SWEEPING	GM-5	GM-5
SPILL PREVENTION AND CONTROL	GM-6	GM-6
VEHICLE AND EQUIPMENT	GM-7	VEC
VEHICLE AND EQUIPMENT MAINTENANCE AND FUELING	GM-8	VEF
HANDLING AND DISPOSAL OF CONCRETE AND CEMENT	GM-9	CWM
MATERIAL DELIVERY, HANDLING, STORAGE AND USE	GM-10	MS

STORMWATER OUTLET PROTECTION	BMP NUMBER	MAP SYMBOL
STORMWATER INLET PROTECTION	DP-3	DP-3
STOCKPILE MANAGEMENT	GM-2	GM-2
REVEGETATION	EC-8	EC-8
FIBER ROLLS	SC-1	SC-1
BRUSH AND ROCK FILTERS	SC-2	SC-2

NO	DESCRIPTION	DATE	BY
1	SPECIAL USE PERMIT REVISIONS	11/08/21	BCD

NO	REVISIONS

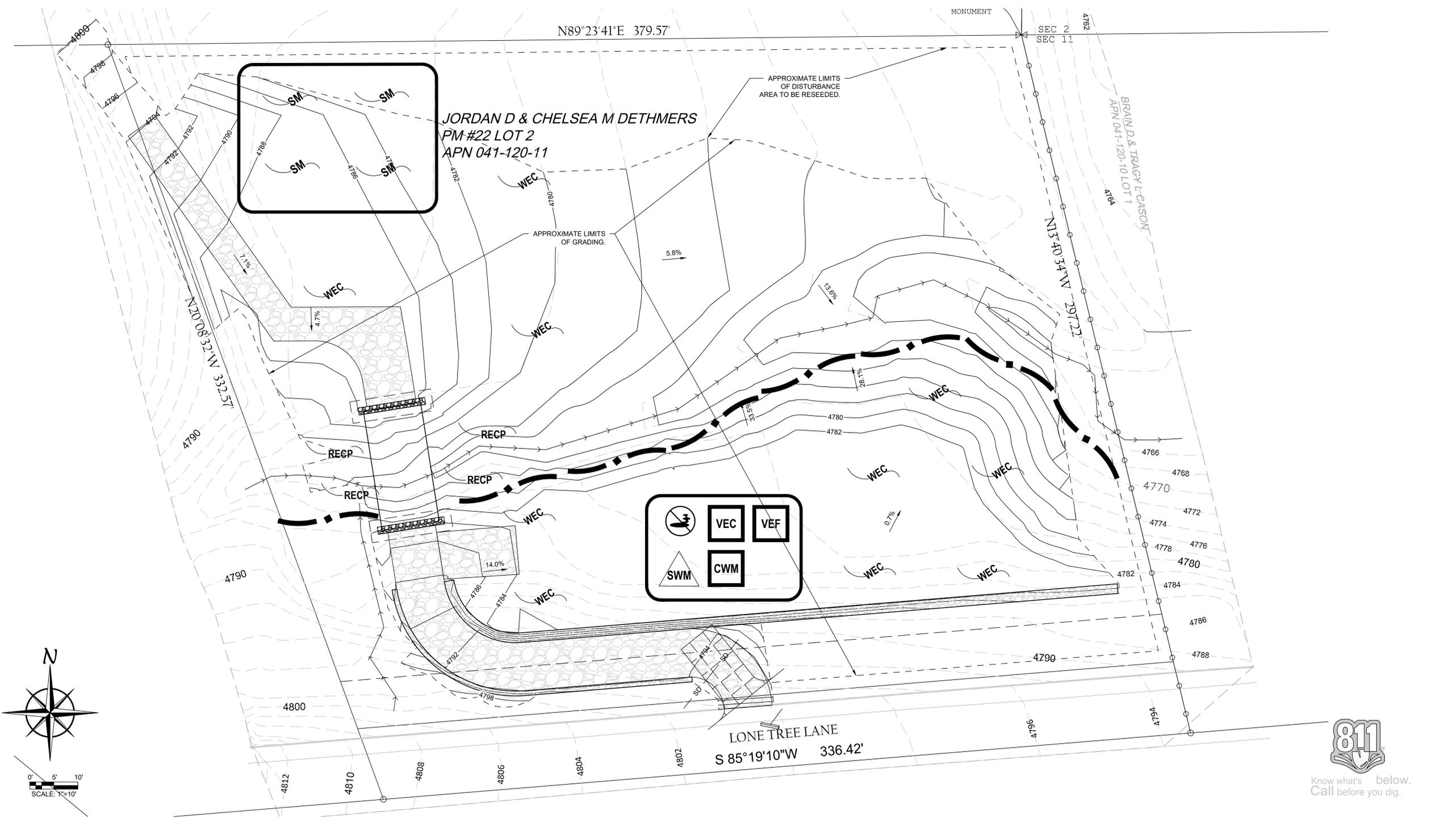
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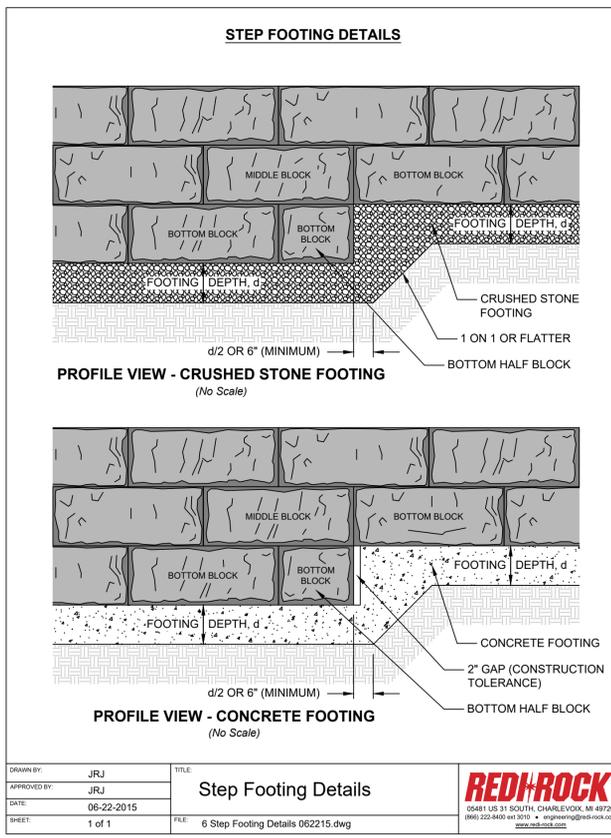
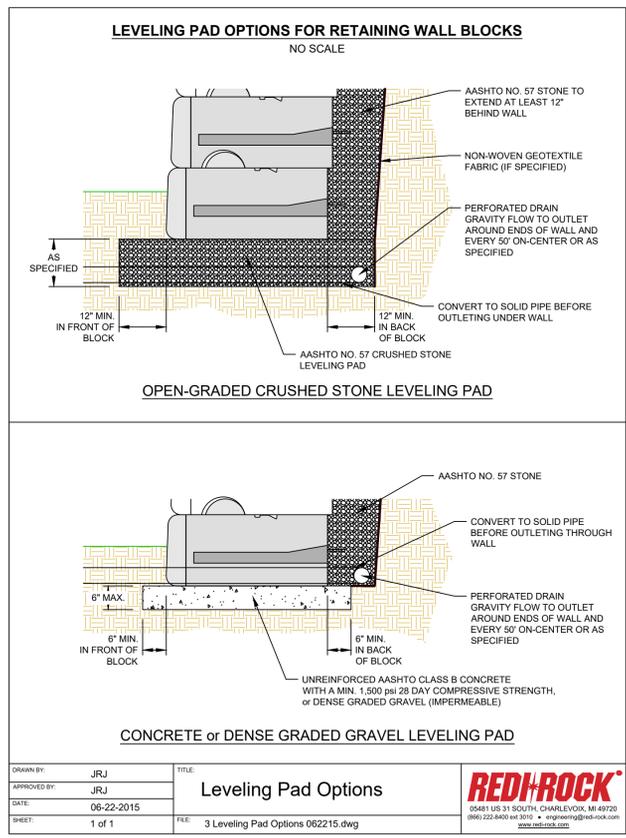
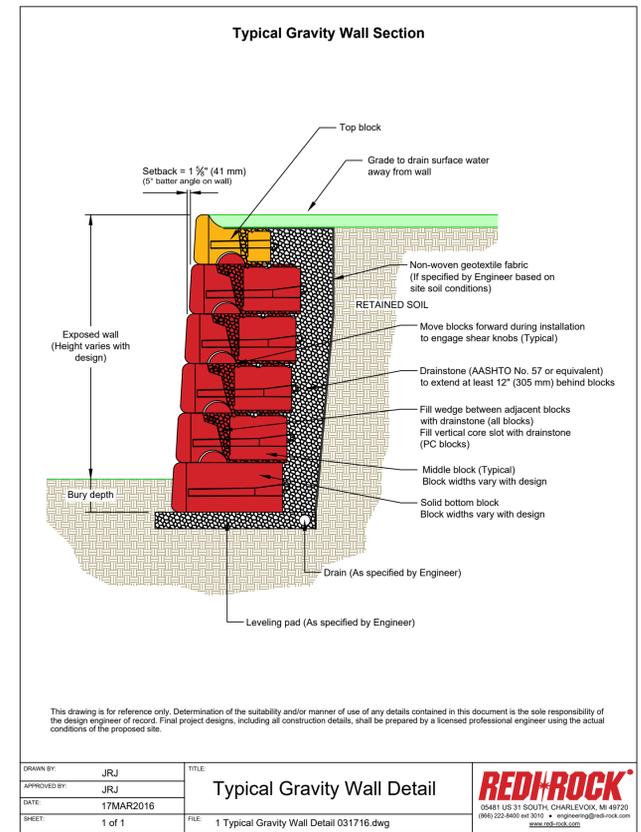
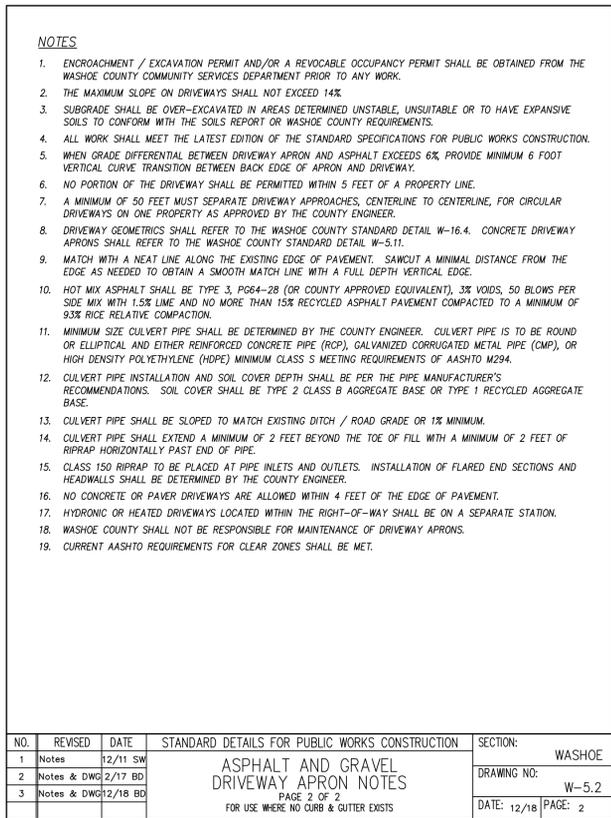
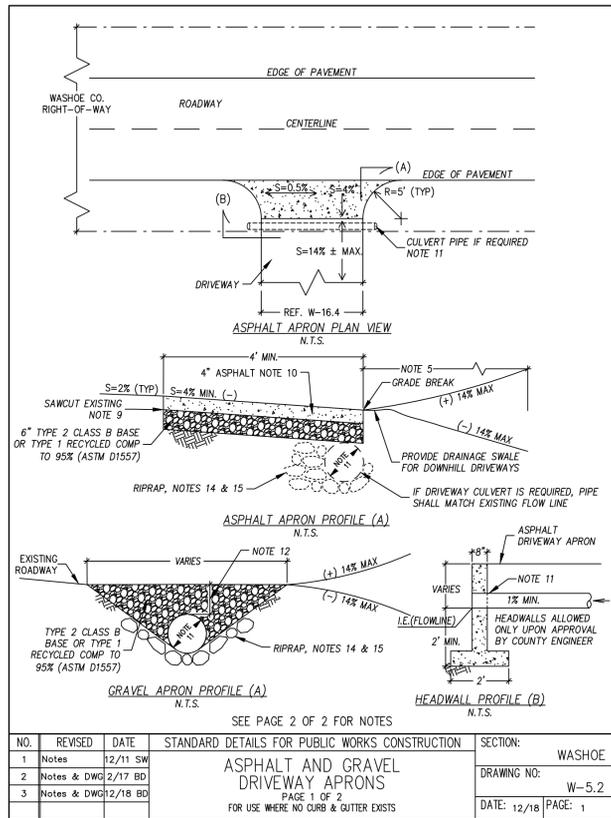


**WESTEX**  
 Consulting Engineers  
 P.O. BOX 18871 · RENO, NV 89511

**LONE TREE LANE GRADING IMPROVEMENTS**  
 C2  
 EROSION AND SEDIMENT CONTROL PLAN  
 WASHOE COUNTY PROJECT NO. 2122.001-B NEVADA

APPROVALS  
**C2**  
 SHEET 3 OF 4





NO.	REVISED	DATE	STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION	SECTION:
1	Notes	12/11 SW	ASPHALT AND GRAVEL DRIVEWAY APRONS	WASHOE
2	Notes & DWG	2/17 BD	PAGE 1 OF 2	DRAWING NO: W-5.2
3	Notes & DWG	12/18 BD	FOR USE WHERE NO CURB & GUTTER EXISTS	DATE: 12/18 PAGE: 1

NO.	REVISED	DATE	STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION	SECTION:
1	Notes	12/11 SW	ASPHALT AND GRAVEL DRIVEWAY APRONS	WASHOE
2	Notes & DWG	2/17 BD	PAGE 2 OF 2	DRAWING NO: W-5.2
3	Notes & DWG	12/18 BD	FOR USE WHERE NO CURB & GUTTER EXISTS	DATE: 12/18 PAGE: 2

DATE	BY	CHKD
11/08/21	RCB	BDC

NO.	DESCRIPTION
1	SPECIAL USE PERMIT REVISIONS

PREPARED FOR:  
**JORDAN DETHMERS**  
4145 LONE TREE LANE  
RENO NV 89511  
775-544-9918

BLAKE DOUGLAS CARTER  
REGISTERED PROFESSIONAL ENGINEER - STATE OF NEVADA  
CIVIL  
Exp. 12/31/22  
NO. 22331

**WESTEX**  
Consulting Engineers

P.O. BOX 18871: RENO, NV 89511

NEVADA  
PROJECT NO: 2122.001-B

APPROVALS  
**C3**  
SHEET 4 OF 4



C:\Shared\Drawings\Westex\Projects\WESTEX\Project\Files\811\B-4145 Lone Tree Lane\Drawings\Grading\Plan\021-06-21 Grading Plan - Sheet\021-06-21 Grading Plan.dwg 12/15/2021 10:08:17 AM USER