

Community Services Department  
Planning and Building  
**ADMINISTRATIVE PERMIT APPLICATION**  
**(Care for the Infirm see page 9)**



Community Services Department  
Planning and Building  
1001 E. Ninth St., Bldg. A  
Reno, NV 89520

Telephone: 775.328.6100

## Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

<b>Project Information</b>		Staff Assigned Case No.: _____	
Project Name: <b>Cold Springs Valley Church</b>			
Project Description: To build a structure for worship and community outreach			
Project Address: 3375 White Lake Parkway			
Project Area (acres or square feet): 1.43 acres			
Project Location (with point of reference to major cross streets <b>AND</b> area locator): Entire property that is parallel to White Lake Pkwy. off of Village Pkwy. and Sandpiper			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
087-031-24	1.43		
Section(s)/Township/Range: <b>North Valleys</b>			
Indicate any previous Washoe County approvals associated with this application: Case No.(s).			
<b>Applicant Information (attach additional sheets if necessary)</b>			
<b>Property Owner:</b> Cold Springs Valley Church		<b>Professional Consultant:</b>	
Name: Cold Springs Valley Church		Name:	
Address: P.O. Box # 61447 Reno		Address:	
Zip: 89506		Zip:	
Phone: 775-525-0002	Fax:	Phone:	Fax:
Email: tom.thomas91@yahoo.com		Email:	
Cell: 775-745-6127	Other:	Cell:	Other:
Contact Person: Tom Thomas		Contact Person:	
<b>Applicant/Developer:</b>		<b>Other Persons to be Contacted:</b>	
Name: Tom Thomas		Name:	
Address: 3935 Rainier Ct.		Address:	
Reno, Nv	Zip: 89508		Zip:
Phone: 775-745-6127	Fax:	Phone:	Fax:
Email: tom.thomas91@yahoo.com		Email:	
Cell:	Other:	Cell:	Other:
Contact Person: Tom Thomas		Contact Person:	
<b>For Office Use Only</b>			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

Property Owner Affidavit

Applicant Name: Cold Springs Valley Church

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA )  
COUNTY OF WASHOE )

I, Thomas B. Thomas Jr., Cherie J. Pries  
(please print name)

being duly sworn, depose and say that I am the owner\* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Development.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 087-031-24

Cherie J. Pries  
Cherie J. Pries  
17735 Davenport Ln.  
Reno, NV 89508

Printed Name Thomas B. Thomas Jr.

Signed [Signature]

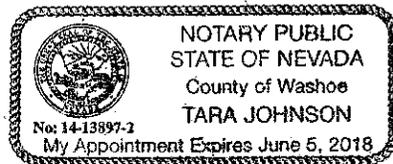
Address 3935 Rainier Ct.  
Reno NV 89508

Subscribed and sworn to before me this  
3rd day of January, 2018.

(Notary Stamp)

Tara Johnson  
Notary Public in and for said county and state

My commission expires: June 5, 2018



\*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

**(NONPROFIT) INITIAL/ANNUAL LIST OF OFFICERS AND DIRECTORS OF:**

ENTITY NUMBER

**COLD SPRINGS VALLEY CHURCH**

C16837-1994

NAME OF CORPORATION

FOR THE FILING PERIOD OF **OCT, 2017** TO **OCT, 2018**



\*100206\*

USE BLACK INK ONLY - DO NOT HIGHLIGHT

**\*\*YOU MAY NOW FILE THIS LIST ONLINE AT [www.nvsilverflume.gov](http://www.nvsilverflume.gov)\*\***

Return one file stamped copy. (If filing not accompanied by order instructions, file stamped copy will be sent to registered agent.)

**IMPORTANT:** Read instructions before completing and returning this form.

1. Print or type names and addresses, either residence or business, for all officers and directors. A President, Secretary, Treasurer, or equivalent of and all Directors must be named. There must be at least one director. If there are additional officers, attach a list of them to this form. An Officer or other authorized signer must sign the form. **FORM WILL BE RETURNED IF UNSIGNED.**

2. Return the completed form with the \$50.00 filing fee, if no capitalization. A \$50.00 penalty must be added for failure to file this form by the deadline. An annual list received more than 90 days before its due date shall be deemed an amended list for the previous year.

3. Make your check payable to the Secretary of State. Return the completed form to: Secretary of State, 202 North Carson Street, Carson City, Nevada 89701-4201, (775) 684-5708.

4. Form must be in the possession of the Secretary of State on or before the last day of the month in which it is due. (Postmark date is not accepted as receipt date.) Forms received after due date will be returned for additional fees and penalties.

5. **Ordering Copies:** If requested above, one file stamped copy will be returned at no additional charge. To receive a certified copy, enclose an additional \$30.00 per certification. A copy fee of \$2.00 per page is required for each additional copy generated when ordering 2 or more file stamped or certified copies. Appropriate instructions must accompany your order.

Filed in the office of <i>Barbara K. Cegavske</i> Barbara K. Cegavske Secretary of State State of Nevada	Document Number <b>20170336390-94</b> Filing Date and Time <b>08/04/2017 4:28 PM</b> Entity Number <b>C16837-1994</b>
--	--

(This document was filed electronically.)  
ABOVE SPACE IS FOR OFFICE USE ONLY

**FILING FEE: \$50.00 (IF NO CAPITALIZATION) LATE PENALTY: \$50.00 (if filing late)**

**Charitable Solicitation Information - check applicable box**

Does Organization intend to solicit charitable/tax deductible contributions?

No - no additional form required

Yes - "Charitable Solicitation Registration Statement" required

Organization claims exemption pursuant to (2015) AB50 15(1) or is recognized as a church under Internal Revenue Code 501(c)(3).

Exempt from filing - "Exemption From Charitable Solicitation Registration Statement" required

**\*\* Failure to include the required statement form will result in rejection of the filing and could result in late fees.\*\***

**For nonprofit entities formed under NRS Chapter 80:** entities without 501(c) nonprofit designation are required to maintain a state business license, the fee is \$200.00. Those claiming an exemption under 501(c) designation must indicate by checking box below and submit Declaration of Eligibility form. **Failure to attach the required notarized Declaration of Eligibility will result in a rejection, which could result in late fees.**

Pursuant to NRS Chapter 76, this entity is a 501(c) nonprofit entity and is exempt from the business license fee. Exemption code 002

**NRS Chapter 81 - Nonprofit:** entities which are Unit-owners' association or Religious, charitable, fraternal or other organization that qualifies as a tax-exempt organization pursuant to 26 U.S.C. § 501(c) are excluded from the requirement to obtain a state business license. Please indicate below if this entity falls into one of these categories by marking the appropriate box. If the entity does not meet either of these categories please submit \$200.00 for the state business license.

Unit-owners' Association

Religious, charitable, fraternal or other organization that qualifies as a tax-exempt organization pursuant to 26 U.S.C. § 501(c)

NAME <b>THOMAS B THOMAS</b>	TITLE(S) <b>PRESIDENT (OR EQUIVALENT OF)</b>
ADDRESS <b>3935 RAINIER CT</b>	CITY STATE ZIP CODE <b>RENO NV 89508</b>
NAME <b>TERRY L WHITE</b>	TITLE(S) <b>SECRETARY (OR EQUIVALENT OF)</b>
ADDRESS <b>20913 WHITE ROCK DR</b>	CITY STATE ZIP CODE <b>RENO NV 89508-8068</b>
NAME <b>REBECCA D ARNOLD</b>	TITLE(S) <b>TREASURER (OR EQUIVALENT OF)</b>
ADDRESS <b>18220 CODY COURT</b>	CITY STATE ZIP CODE <b>RENO NV 89508</b>
NAME <b>CHERIE PRIES</b>	TITLE(S) <b>DIRECTOR</b>
ADDRESS <b>17735 DAVENPORT LN</b>	CITY STATE ZIP CODE <b>RENO NV 89508</b>

None of the officers or directors identified in the list of officers has been identified with the fraudulent intent of concealing the identity of any person or persons exercising the power or authority of an officer or director in furtherance of any unlawful conduct.

I declare, to the best of my knowledge under penalty of perjury, that the information contained herein is correct and acknowledge that pursuant to NRS 239.330, it is a category C felony to knowingly offer any false or forged instrument for filing in the Office of the Secretary of State.

**X** REBECCA D ARNOLD

Signature of Officer or Other Authorized Signature

Title: **TREASURER** Date: **8/4/2017 4:28:34 PM**

# Special Use Permit Application Supplemental Information

(All required information may be separately attached)

Chapter 110 of the Washoe County Code is commonly known as the Development Code. Specific references to special use permits may be found in Article 810, Special Use Permits.

- 1. What is the type of project being requested?

A church building

- 2. What currently developed portions of the property or existing structures are going to be used with this permit?

There are currently no developed portions or existing structures of this property.

3. What improvements (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.) will have to be constructed or installed and what is the projected time frame for the completion of each?

A new 8,400 square foot building, parking lot containing 94 spaces, and landscaping will need to be constructed. New plumbing, mechanical, and electrical utilities will need to be installed. The total project is expected to be complete within 12 to 18 months prior to permit approval.

4. What is the intended phasing schedule for the construction and completion of the project?

Underground - 1 month  
Foundation - 1 month  
Structure - 5 months  
Interior finishes - 4 months  
Parking lot and landscaping - 2 months

5. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

The location is on a main thoroughfare, it has been equipped with easements, it is adjacent to a public park, and has the potential for landscaping beautification.

6. What are the anticipated beneficial aspects or effects your project will have on adjacent properties and the community?

Considering it will be another developed commercial property, this project will beautify the landscaping that is currently a lot that is overtaken by weeds. Along with beautification, it will bring increased patrons to the neighboring stores i.e. Family Dollar and 7-11. Additionally, the presence of another occupied building will influence the potential vandalism and loitering that occurs at the adjacent properties.

7. What will you do to minimize the anticipated negative impacts or effect your project will have on adjacent properties?

We are proposing to expand the width of the main entrance into the property that is currently shared between Cold Springs Valley Church and Family DOLLAR. This will minimize parking lot congestion by maximizing entrance and exit possibilities. In regard to the potential human waste i.e. trash, we intend to provide trash cans around the property to limit littering and build up of wind blown trash.

8. Please describe operational parameters and/or voluntary conditions of approval to be imposed on the project special use permit to address community impacts:

We will have "church cleanups" which mandates regular (quarterly) maintenance of the property that is additional to the routine maintenance. These cleanups would include but are not limited to cleaning up trash, trimming shrubs and trees, painting the structure, and pulling weeds to ensure the property is representative of the community. We intend to build a steel and woodstone structure to limit material waste and to provide more eco-friendly material that allows opportunity for beautification. In regard to occupation, church services are to be held within regular public hours to avoid public nuisances.

9. How many improved parking spaces, both on-site and off-site, are available or will be provided? (Please indicate on site plan.)

94 parking spaces will be provided  
Please see elevations.

10. What types of landscaping (e.g. shrubs, trees, fencing, painting scheme, etc.) are proposed? (Please indicate location on site plan.)

-Evergreens, other trees, and shrubs that do not require large quantities of water.  
-Flower beds containing mulch  
- Sidewalks  
-Parking space buffers  
- Turf areas  
The exterior of the structure will contain a green colored roof, tan walls with stone facing wainscotting.

Please see site plan for location of landscaping.

11. What type of signs and lighting will be provided? On a separate sheet, show a depiction (height, width, construction materials, colors, illumination methods, lighting intensity, base landscaping, etc.) of each sign and the typical lighting standards. (Please indicate location of signs and lights on site plan.)

There will be parking lot lighting on the building. Additionally there will 1 lit ground sign at the main entrance.

Please see plans for locations.

12. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the special use permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
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13. Utilities:

a. Sewer Service	Washoe County
b. Electrical Service	NV Energy
c. Telephone Service	AT & T or Charter
d. LPG or Natural Gas Service	LPG - Eagle Energy
e. Solid Waste Disposal Service	Waste Management
f. Cable Television Service	N/A
g. Water Service	Great Basin Water

For most uses, the Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required:

h. Permit #		acre-feet per year	
i. Certificate #		acre-feet per year	
j. Surface Claim #		acre-feet per year	
k. Other #		acre-feet per year	

l. Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources):

Rights are already dedicated.

14. Community Services (provided and nearest facility):

a. Fire Station	3680 Diamond Peak Dr, Reno, NV 89508 (.6 miles)
b. Health Care Facility	1075 N Hills Blvd, Reno, NV 89506
c. Elementary School	3870 Limkin St, Reno, NV 89508 (.6 miles)
d. Middle School	18235 Cody Ct, Reno, NV 89508 (3.7 miles)
e. High School	1470 E Golden Valley Rd, Reno, NV 89506
f. Parks	3355 White Lake Pkwy, Reno, NV 89508 (295 feet)
g. Library	1075 N Hills Blvd, Reno, NV 89506
h. Citifare Bus Stop	Echo Avenue and Moya Blvd. (8.2 miles)

6. What will you do to minimize the anticipated negative impacts or effect your waiver will have on adjacent properties?

7. What types of landscaping (e.g. shrubs, trees, fencing, painting scheme, etc.) are proposed? (Please indicate location on site plan)

8. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the administrative permit request? (If so, please attach a copy.)

<input type="checkbox"/> Yes	<input type="checkbox"/> No
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9. Community Services (provided and nearest facility):

a. Fire Station	
b. Health Care Facility	
c. Elementary School	
d. Middle School	
e. High School	
f. Parks	
g. Library	
h. Citifare Bus Stop	

**TEMPORARY OCCUPANCY  
for the Care of the Infirm  
AFFIDAVIT OF PHYSICIAN**

STATE OF NEVADA )

COUNTY OF WASHOE )

) ss: MAA

I, \_\_\_\_\_ being duly sworn, depose, and say that I am a physician licensed by the Nevada State Board of Medical Examiners to practice medicine in the State of Nevada.

I further swear or affirm that:

I am a licensed physician caring for \_\_\_\_\_ and am personally familiar with his/her physical and medical condition and its impact on his/her life functions; and,

That \_\_\_\_\_ suffers from physical and medical condition(s) that severely impair his/her ability to live alone and care for himself/herself and he/she needs to have a person living on the premises/property where he/she lives in order to provide care and assistance to him/her

Signed \_\_\_\_\_

State of Nevada License Number \_\_\_\_\_

Subscribed and sworn to before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_

\_\_\_\_\_  
Notary Public in and for said county and state

My commission expires: \_\_\_\_\_

This Physician's Affidavit is required to be submitted with the Administrative Permit application for Temporary Occupancy for the Care of the Infirm pursuant to WCC Section 110.310.35(g). If the Administrative Permit is approved, a new affidavit must be submitted with each annual renewal.

**WASHOE COUNTY TREASURER**

PO BOX 30039  
 RENO, NV 89520-3039  
 775-328-2510

Received By: smartell      Receipt Number: U17.19050  
 Location: Treasurer's Office      Receipt Year: 2017  
 Session: SMartell-0-01172018      Date Received: 01/17/2018

**PAYMENT RECEIPT**

Type	Description	Balance	Net Tax	Interest	Fees Penalties	Current Due	Current Paid	Balance Remaining
Real	Bill Number: 2017175396 Bill Year: 2017 PIN: 08703124 Primary Owner: COLD SPRINGS VALLEY CHURCH Property Addr: 3375 WHITE LAKE PKWY Property Desc: Township 21 Section 21 Lot 2-B Block Range 18 SubdivisionName _	222.97	218.60	0.00	4.37	222.97	222.97	0.00
<b>Totals:</b>		222.97	218.60	0.00	4.37	222.97	222.97	0.00
Tender Information:		Charge Summary:						
Check #9a/003498		218.60	Real					222.97
Cash		4.37						
Total Tendered		222.97	Total Charges					222.97

**WASHOE COUNTY TREASURER** PO BOX 30039 RENO, NV 89520-3039

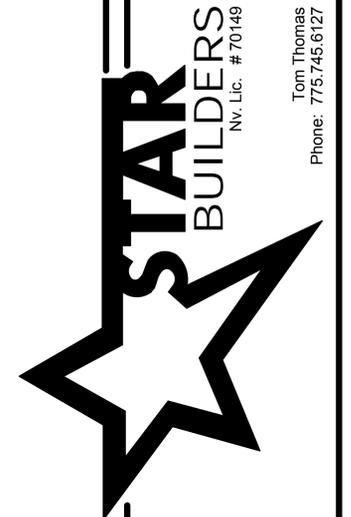
By Whom Paid:

COLD SPRINGS VALLEY CHURCH  
 PO BOX 61447  
 RENO NV 89506

**P A I D**  
**JAN 16 2018**  
**W. C. T. O. 27**

BALANCE REMAINING	0.00
CHARGES	222.97
PAID	222.97
CHANGE	0.00

# COLD SPRINGS VALLEY CHURCH



Nv. Lic. # 70149

Tom Thomas  
Phone: 775.745.6127

**COLD SPRINGS VALLEY CHURCH**

COLD SPRINGS VALLEY, NEVADA 89508

3375 WHITE LAKE PARKWAY

## GENERAL NOTES:

1. THESE GENERAL NOTES PERTAIN TO WORK DESCRIBED ON ALL DRAWINGS, DETAILS, SPECIFICATIONS, AND SHOP DRAWINGS UNLESS NOTED OTHERWISE.
2. THE DRAWINGS INDICATE NEW WORK TO BE PERFORMED AND DO NOT PURPORT TO SHOW ALL EXISTING CONDITIONS. CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID AND INVESTIGATE ALL EXISTING CONDITIONS WHICH MAY AFFECT THE COURSE OF WORK. CONTRACTOR SHALL REPORT ALL DISCREPANCIES AND UNACCEPTABLE CONDITIONS PRIOR TO BID. NO CHANGE ORDERS WILL BE PERMITTED FOR FAILURE TO COMPLY WITH THIS REQUIREMENT.
3. CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, ACCESSORIES, ETC. REQUIRED FOR A COMPLETE, USEABLE ASSEMBLY AND PROJECT IN ACCORDANCE TO THE CONSTRUCTION DOCUMENTS.
4. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF SUB-CONTRACTOR(S), MATERIALS, AND INSTALLATION FOR THIS PROJECT.
5. IF CONFLICTS OCCUR WITHIN THE CONSTRUCTION DOCUMENTS THAT MAY MATERIALLY AFFECT THE QUALITY OR EXTENT OF THE WORK, SUCH CONFLICT SHALL BE RESOLVED TO THE SATISFACTION OF THE ARCHITECT BEFORE THE AFFECTED ITEMS AND/OR MATERIAL ARE PURCHASED, FABRICATED AND/OR INSTALLED.
6. FIELD VERIFY ROUGH AND/OR FINISHED DIMENSIONS PRIOR TO PURCHASE OR FABRICATION OF PRE-MANUFACTURED OR PREFABRICATED ITEMS.
7. ALL WORK AND MATERIALS SHALL BE IN FULL ACCORDANCE WITH THE LATEST EDITION OF THE BUILDING CODE AND ALL OTHER APPLICABLE STATE AND LOCAL LAWS AND REGULATIONS.
9. THE GENERAL CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY COMPANY FIVE (5) WORKING DAYS MINIMUM PRIOR TO BEGINNING WORK IN THE VICINITY OF EXIST. UTILITY LINES. SUFFICIENT TIME SHALL BE ALLOCATED TO THE UTILITY COMPANY TO EXECUTE THE PROPER RELOCATION OR ADJUSTMENT OF THEIR UTILITY. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF UTILITY, WATER AND GAS LINES WITH THE UTILITY COMPANY.
10. NOTED DIMENSION TAKE PRECEDENCE OVER SCALED DIMENSIONS.
11. CONTRACTOR SHALL GUARANTEE ALL WORK AND MATERIALS TO BE FREE FROM DEFECTS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF FINAL ACCEPTANCE. CONTRACTOR SHALL PROMPTLY REMEDY ANY DEFECTS AND ANY SUBSEQUENT DAMAGE CAUSED BY THE DEFECTS OR REPAIRS THEREOF, AT NO EXPENSE TO THE OWNER.
12. ALL EXISTING EQUIPMENT REMOVED DURING THE COURSE OF CONSTRUCTION SHALL BE OFFERED TO THE OWNER FOR SALVAGE. ANY EQUIPMENT SELECTED FOR SALVAGE BY THE OWNER SHALL BE DELIVERED TO THE OWNER ON SITE. ALL REMAINING EQUIPMENT BECOMES THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE.

## PROJECT NOTES:

**NOTE:**  
FIRE SPRINKLER AND FIRE ALARM SYSTEM UNDER SEPARATE PERMIT

## CODE SUMMARY:

OCCUPANCY CLASSIFICATION:	A3
CONSTRUCTION TYPE:	TYPE 5 NR
SANCTUARY / CLASSROOM AREA	7,200 S.F.
FELLOWSHIP AREA	1,200 S.F.
TOTAL FLOOR AREA	8,400 S.F.
SPRINKLERED	YES
TOTAL OCCUPANT LOAD	384 OCC.
PARKING - SEE CIVIL DRAWINGS FOR PARKING INFORMATION	
<b>APPLICABLE CODES</b>	
BUILDING:	2012 INTERNATIONAL BUILDING CODE
ACCESSIBILITY:	2009 ICC A117.1-2009
ELECTRICAL:	2011 NATIONAL ELECTRIC CODE
MECHANICAL:	2012 UNIFORM MECHANICAL CODE
PLUMBING:	2012 UNIFORM PLUMBING CODE
* DESIGN MEETS WASHOE COUNTY DEVELOPMENT CODE	
THE LATEST EDITION OF CODES AND AMENDMENTS ADOPTED BY GOVERNING AUTHORITIES AND BARRIER FREE DESIGN RULES AS CONTAINED IN THE STATE REGULATIONS WITH AMENDMENTS.	
<b>DESCRIPTION OF WORK</b>	
CHURCH - METAL BUILDING W/ WOOD FRAMED WALLS WITH STUCCO FINISH	
THIS SET OF PLANS TO BE ON JOB SITE AT ALL TIMES DURING CONSTRUCTION. NO CHANGES OR REVISIONS TO THE APPROVED PLANS OR SPECIFICATIONS SHALL BE PERMITTED UNLESS SUBMITTED TO AND APPROVED BY THE BUILDING OFFICIAL.	

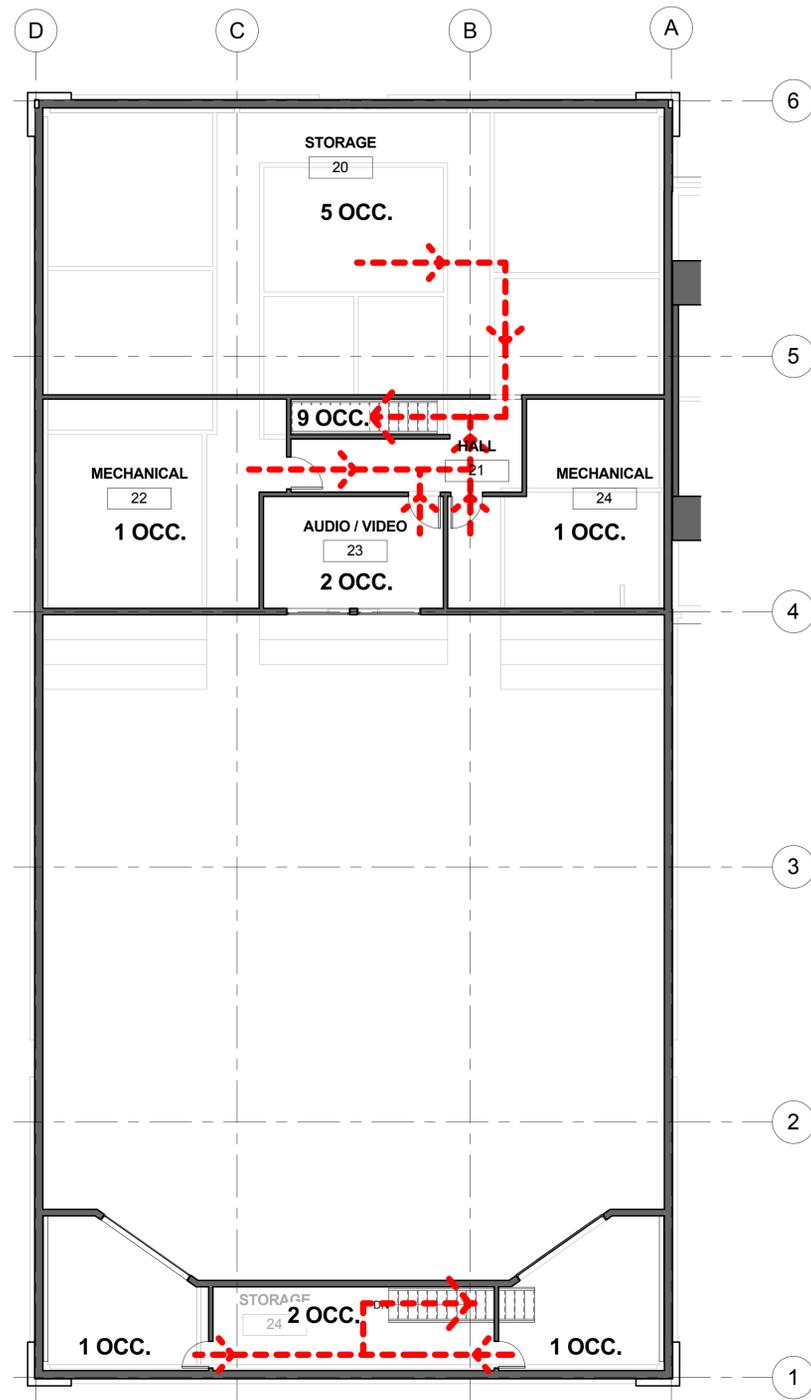
**APN #087-031-24**

## DRAWING INDEX:

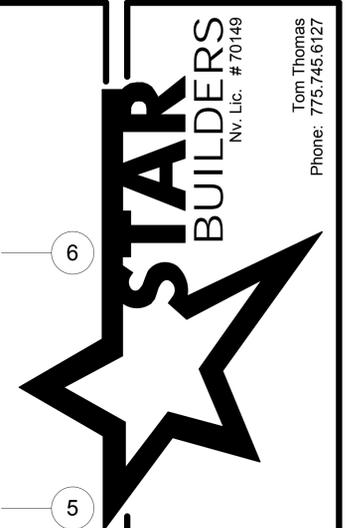
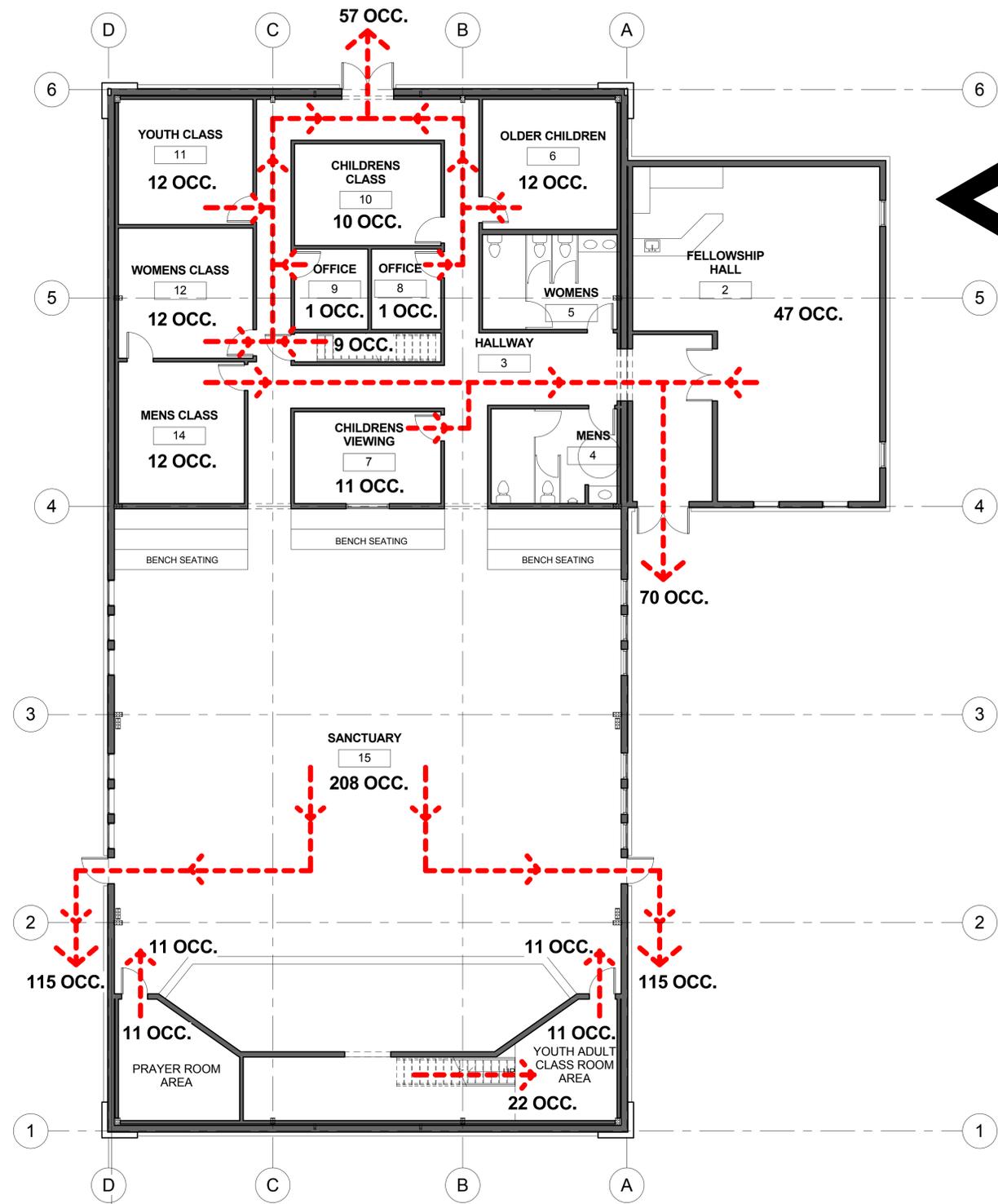
- LANDSCAPE PLAN:**  
L1 LANDSCAPE PLAN / IRRIGATION PLAN
- UTILITY PLAN:**  
U1 UTILITY PLAN
- ARCHITECTURAL:**  
A0 COVER SHEET, CODE SUMMARY, GENERAL NOTES,  
A0.1 EXITING PLAN  
A1.0 SITE PLAN  
A2.0 OVERALL FLOOR PLAN  
A2.1 FIRST FLOOR ENLARGED FLOOR PLAN - CLASS ROOM AREA  
A2.2 FIRST FLOOR ENLARGED FLOOR PLAN - SANCTUARY AREA  
A2.3 SECOND FLOOR ENLARGED PLANS  
A3.0 BUILDING SECTIONS  
A3.1 WALL SECTIONS  
A4.0 EXTERIOR ELEVATIONS - EAST / SOUTH  
A4.1 EXTERIOR ELEVATIONS - WEST / NORTH  
A5.0 REFLECTED CEILING PLAN
- ENGINEERING:**  
M1.0 MECHANICAL PLANS  
P1.0 PLUMBING PLANS  
E ELECTRICAL PLANS

Date 2/14/17

**A0.0**



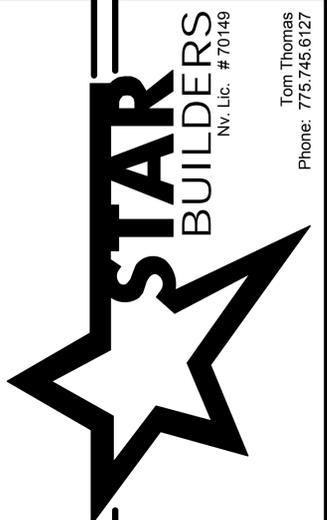
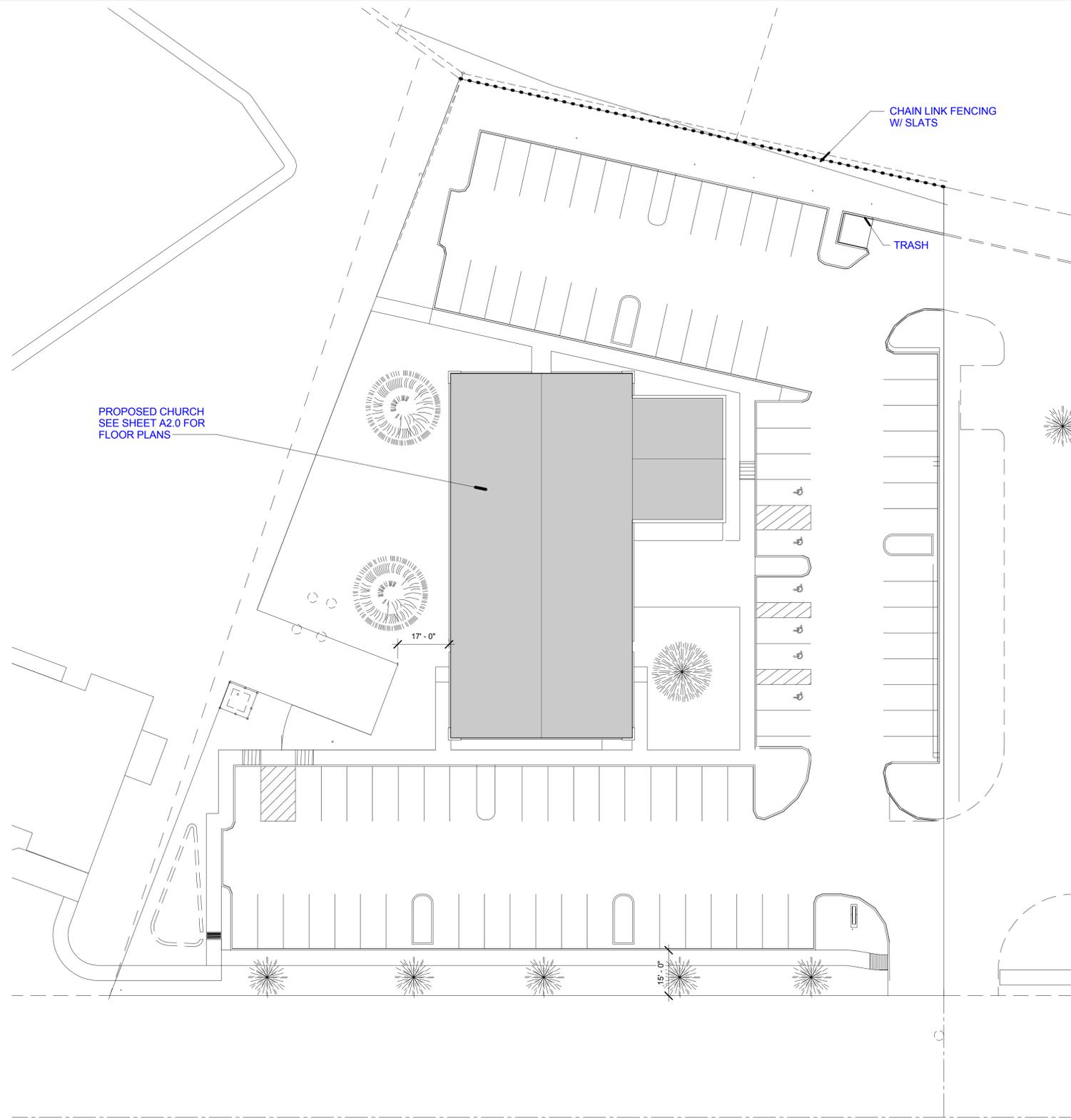
**2 SECOND FLOOR EXITING PLAN**  
1/8" = 1'-0"



**COLD SPRINGS VALLEY CHURCH**  
3375 WHITE LAKE PARKWAY  
COLD SPRINGS VALLEY, NEVADA 89508

Date 2/14/17

**A0.1**



**STAR BUILDERS**  
 NV. Lic. # 70149

Tom Thomas  
 Phone: 775.745.6127

**COLD SPRINGS VALLEY CHURCH**

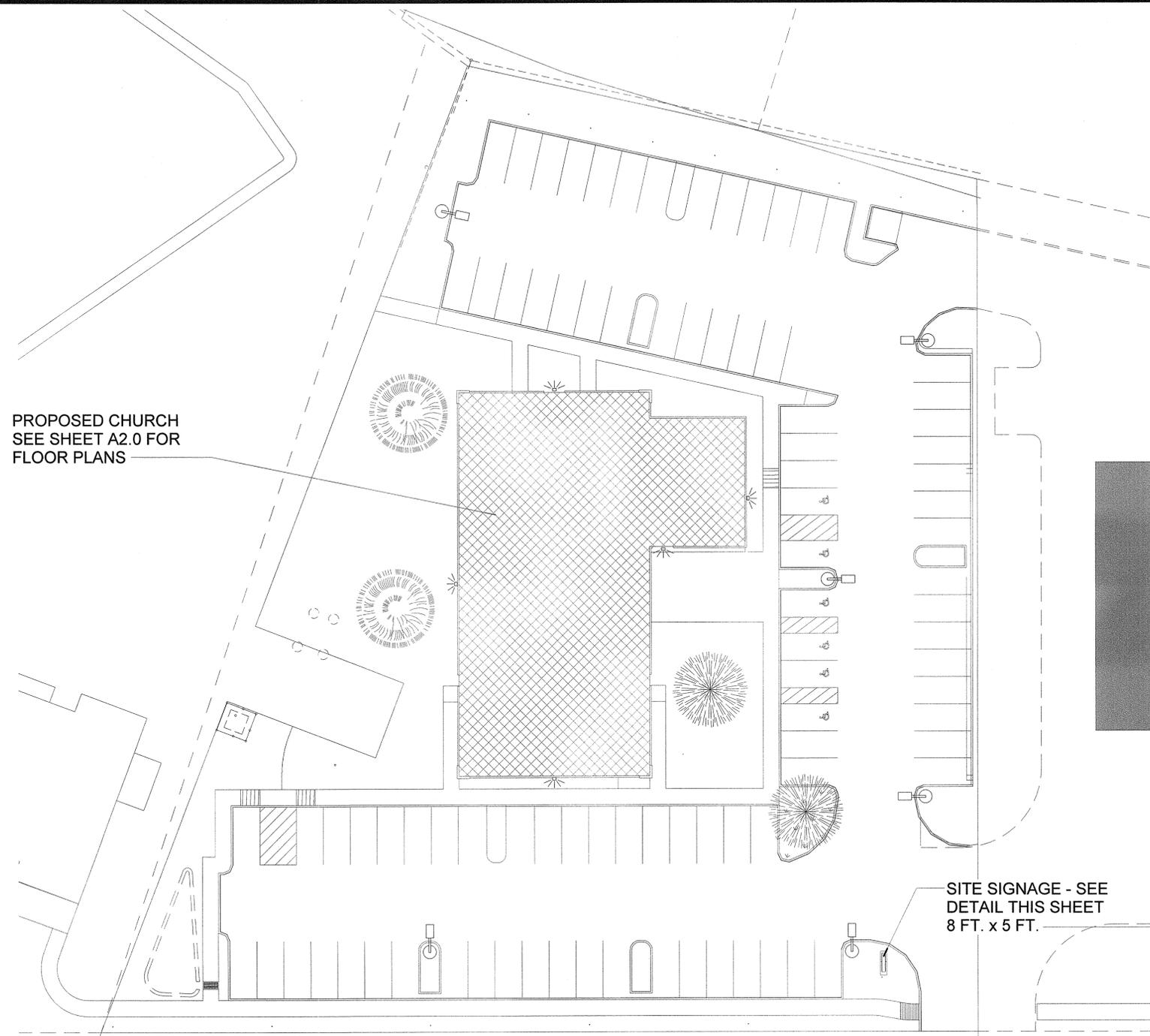
3375 WHITE LAKE PARKWAY  
 COLD SPRINGS VALLEY, NEVADA 89508

Date 2/14/17

**SITE PLAN NOTE:**  
 DRAWING FOR REFERENCE ONLY - SEE CIVIL  
 DRAWINGS FOR ADDITIONAL INFORMATION

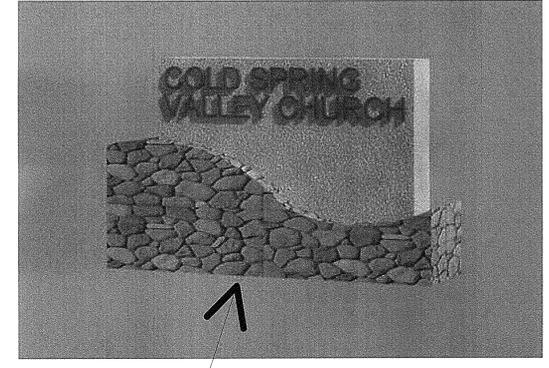
**1 ARCHITECTURAL SITE PLAN**  
 1" = 20'-0"

**A1.0**

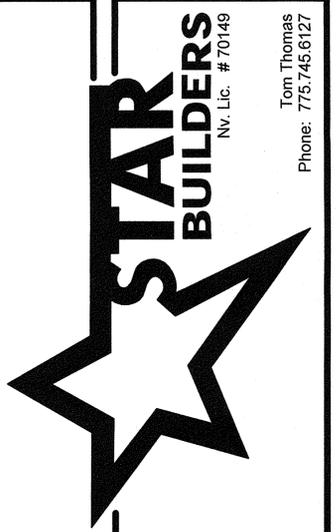


PROPOSED CHURCH  
SEE SHEET A2.0 FOR  
FLOOR PLANS

SITE SIGNAGE - SEE  
DETAIL THIS SHEET  
8 FT. x 5 FT.



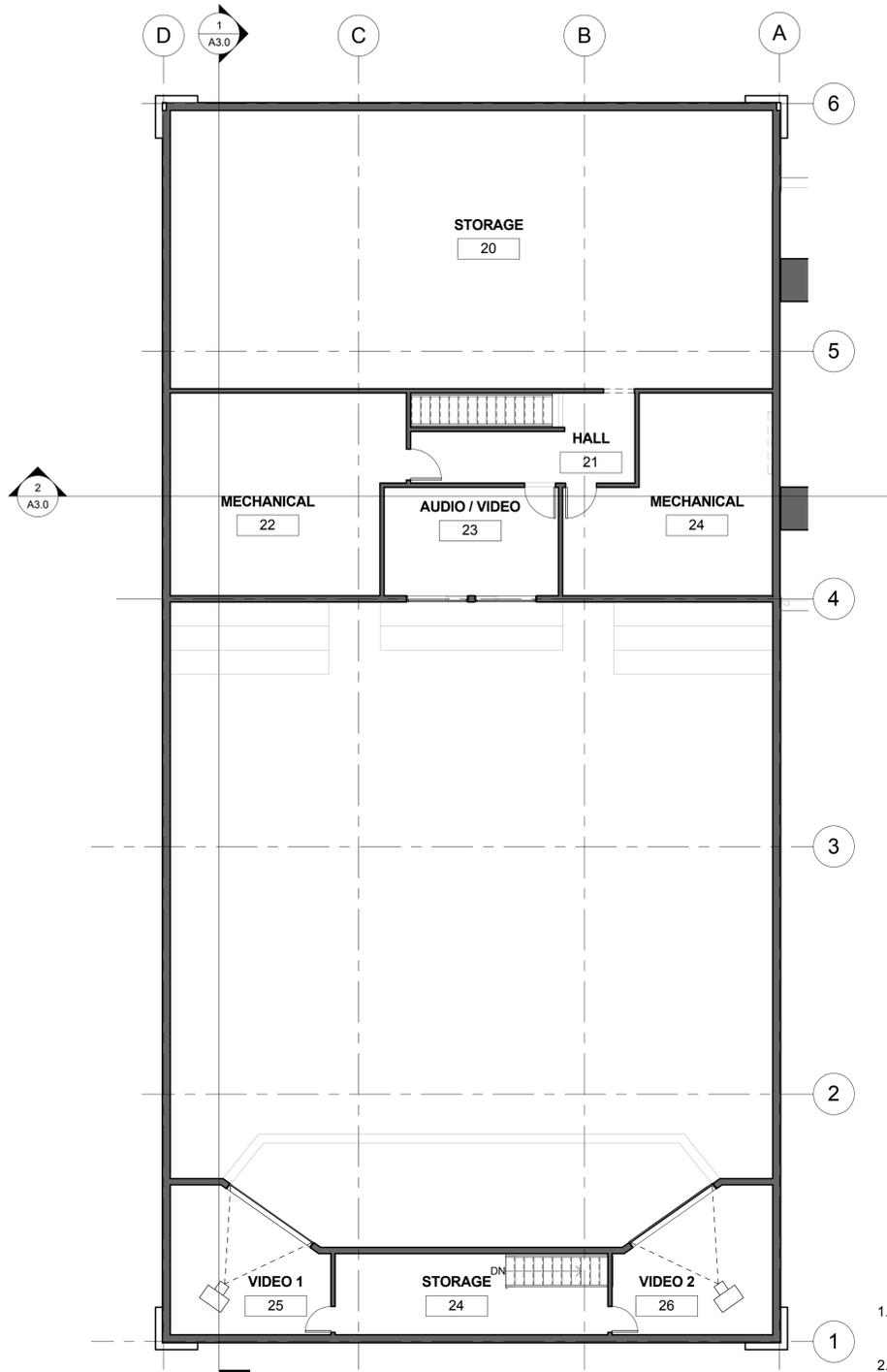
**1 SIGNAGE PLAN**  
1" = 20'-0"



**COLD SPRINGS VALLEY CHURCH**  
3375 WHITE LAKE PARKWAY  
COLD SPRINGS VALLEY, NEVADA 89508

Date 8/31/2017

**A1.2**



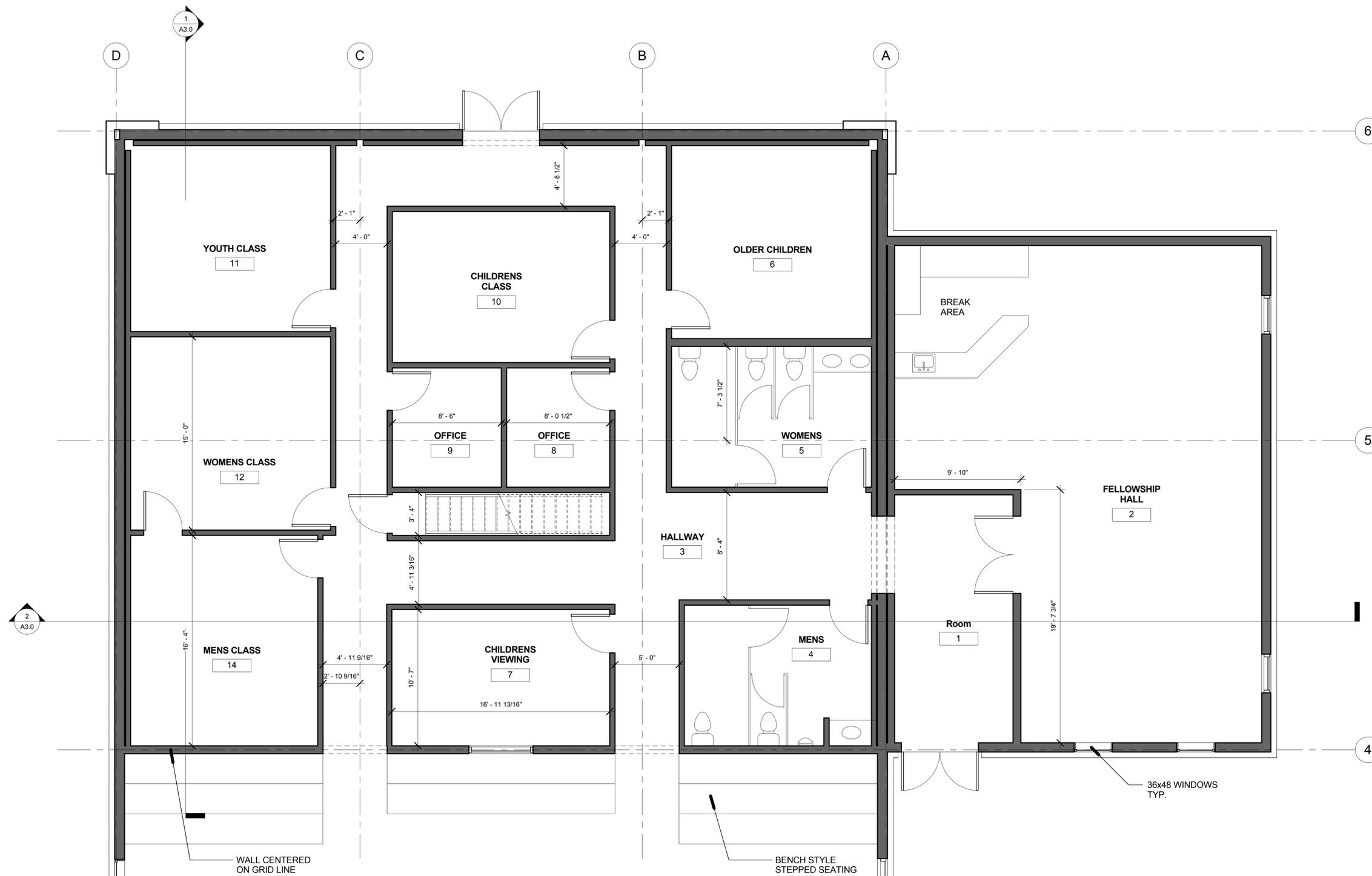
**2 SECOND FLOOR**  
 1/8" = 1'-0"

- PLAN NOTES:**
1. DOORS - ALL DOORS TO BE 3070 SC U.N.O. ALL DOOR HARDWARE & LOCKS TO COMPLY W/ CHAPTER 10 OF THE 2012 IBC.
  2. STAIRS - 11" MIN. TREADS AND 7" MAX. RISERS. HANDRAILS - 1 1/2" DIA HANDRAIL MOUNTED TO WALL BLOCKING AT 36" HIGH AND COMPLY WITH CHAPTER 10 OF THE 2012 IBC.
  3. MEN'S AND WOMENS RESTROOMS: SHALL BE ADA ACCESSIBLE AND COMPLY W/ ICC A117.1 - 2009
  4. BABY CHANGING TABLE TO BE INSTALLED IN MEN'S AND WOMENS RESTROOMS MOUNTED AT A HEIGHT OF 34" MAX. A.F.F.

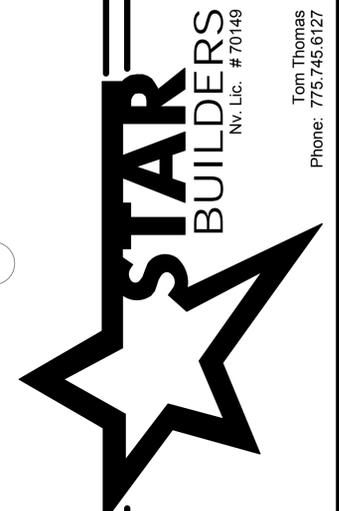


**1 FIRST FLOOR**  
 1/8" = 1'-0"

NOTE:  
 SEE STRUCTURAL DRAWINGS FOR  
 OVERALL BUILDING DIMENSIONS



**1 ENLARGED FIRST FLOOR PLAN - ENTRY, FELLOWSHIP & OFFICES**  
 1/4" = 1'-0"

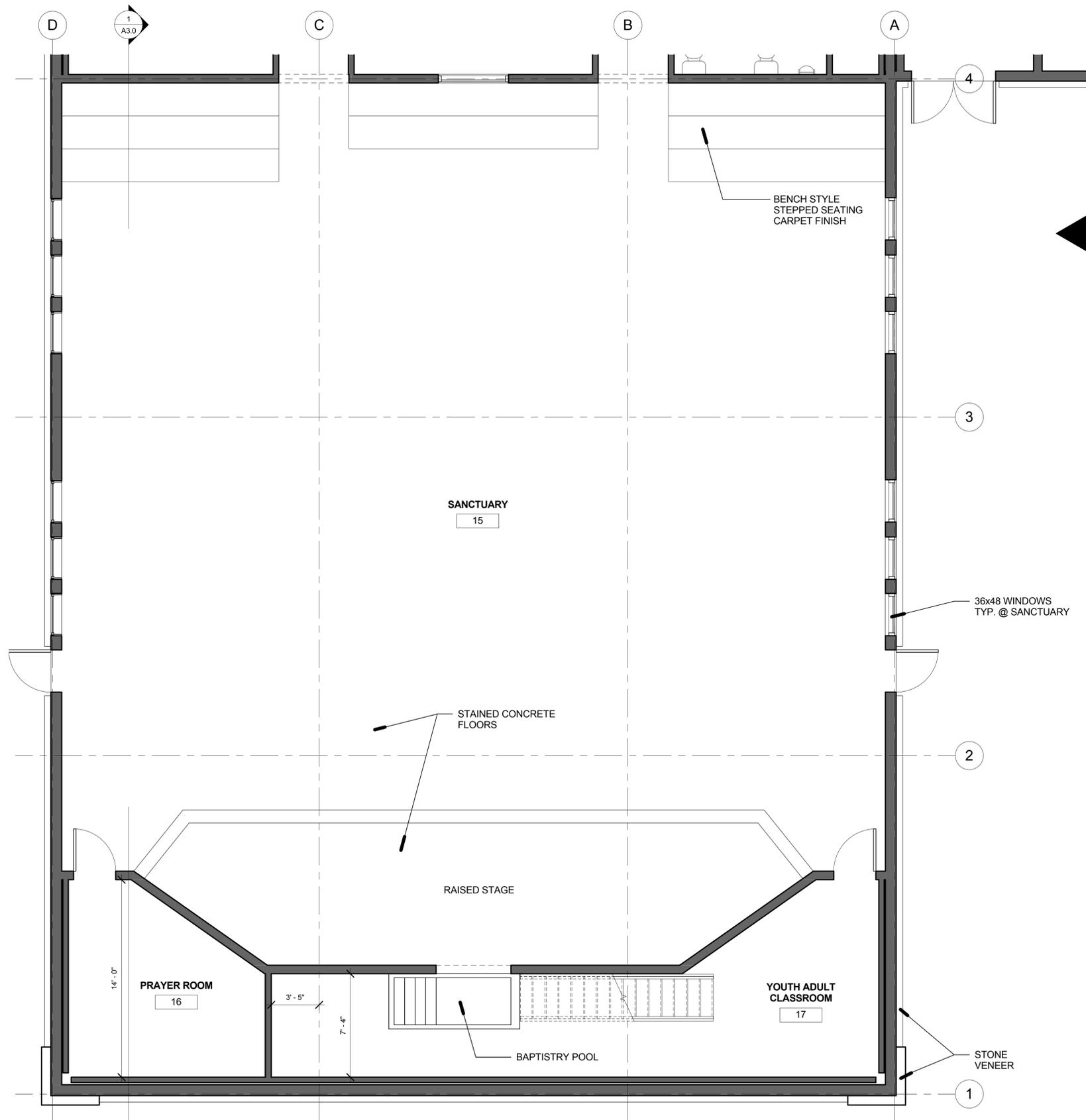


**STAR BUILDERS**  
 NV. Lic. # 70149  
 Tom Thomas  
 Phone: 775.745.6127

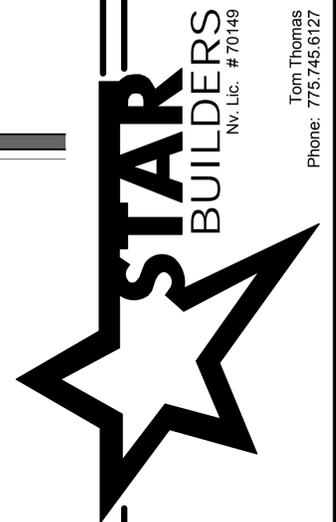
**COLD SPRINGS VALLEY CHURCH**  
 3375 WHITE LAKE PARKWAY  
 COLD SPRINGS VALLEY, NEVADA 89508

Date 2/14/17

**A2.1**



**1 ENLARGED FIRST FLOOR PLAN - SANCTUARY**  
 1/4" = 1'-0"



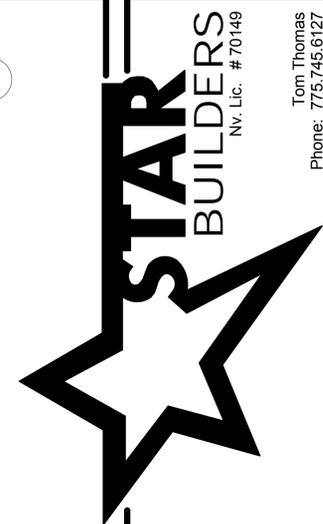
**STAR BUILDERS**  
 NV. Lic. # 70149

Tom Thomas  
 Phone: 775.745.6127

**COLD SPRINGS VALLEY CHURCH**  
 3375 WHITE LAKE PARKWAY  
 COLD SPRINGS VALLEY, NEVADA 89508

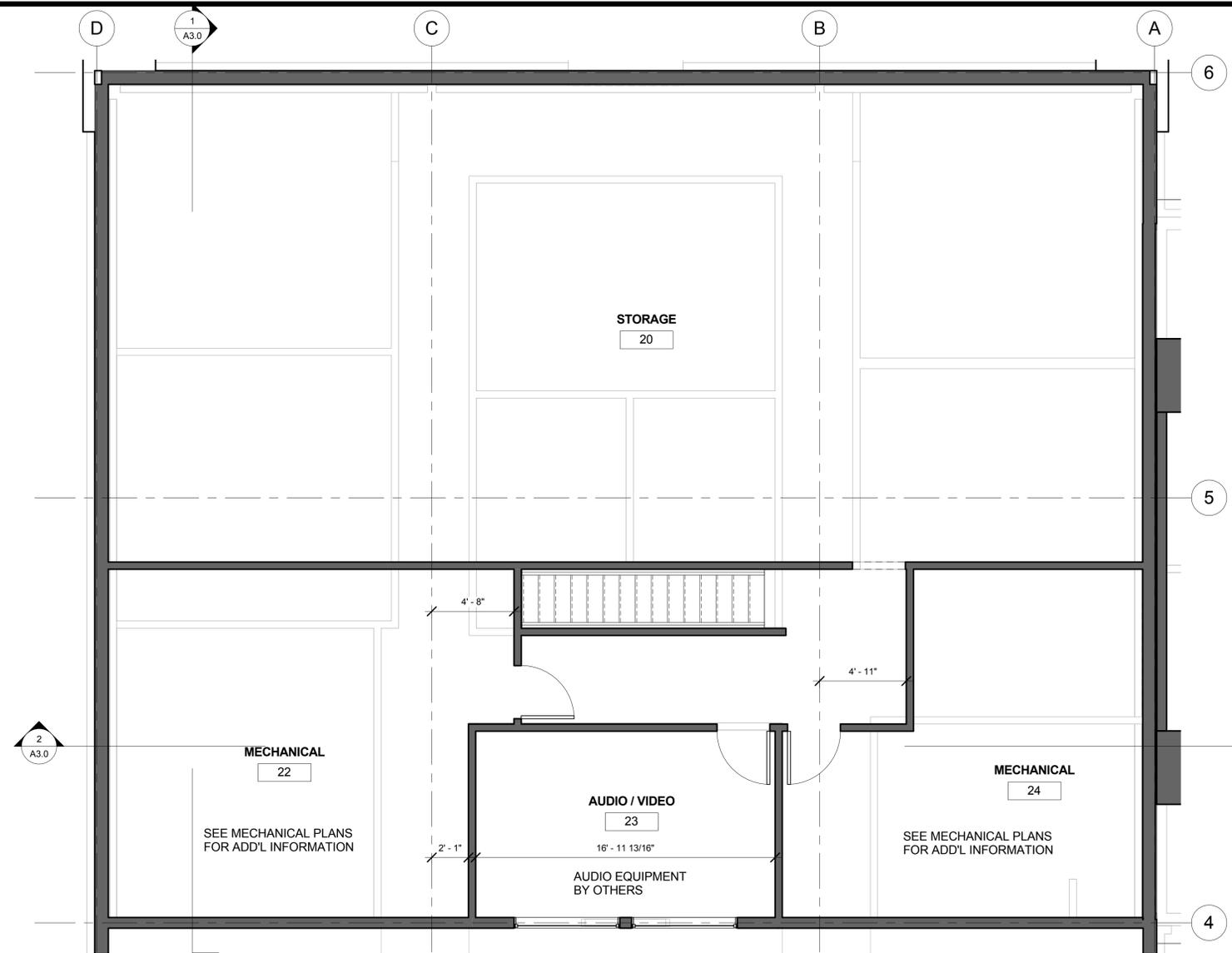
Date 2/14/17

**A2.2**



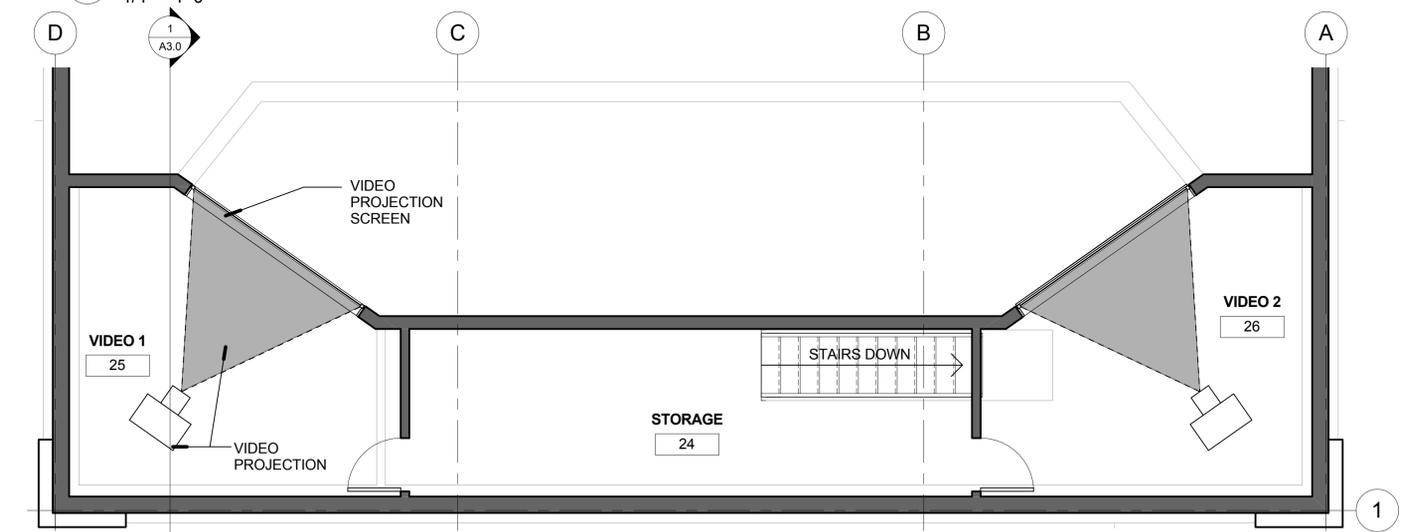
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**COLD SPRINGS VALLEY CHURCH**  
 3375 WHITE LAKE PARKWAY  
 COLD SPRINGS VALLEY, NEVADA 89508



**1 ENLARGED SECOND FLOOR PLAN - OFFICE / STORAGE AREA**

1/4" = 1'-0"

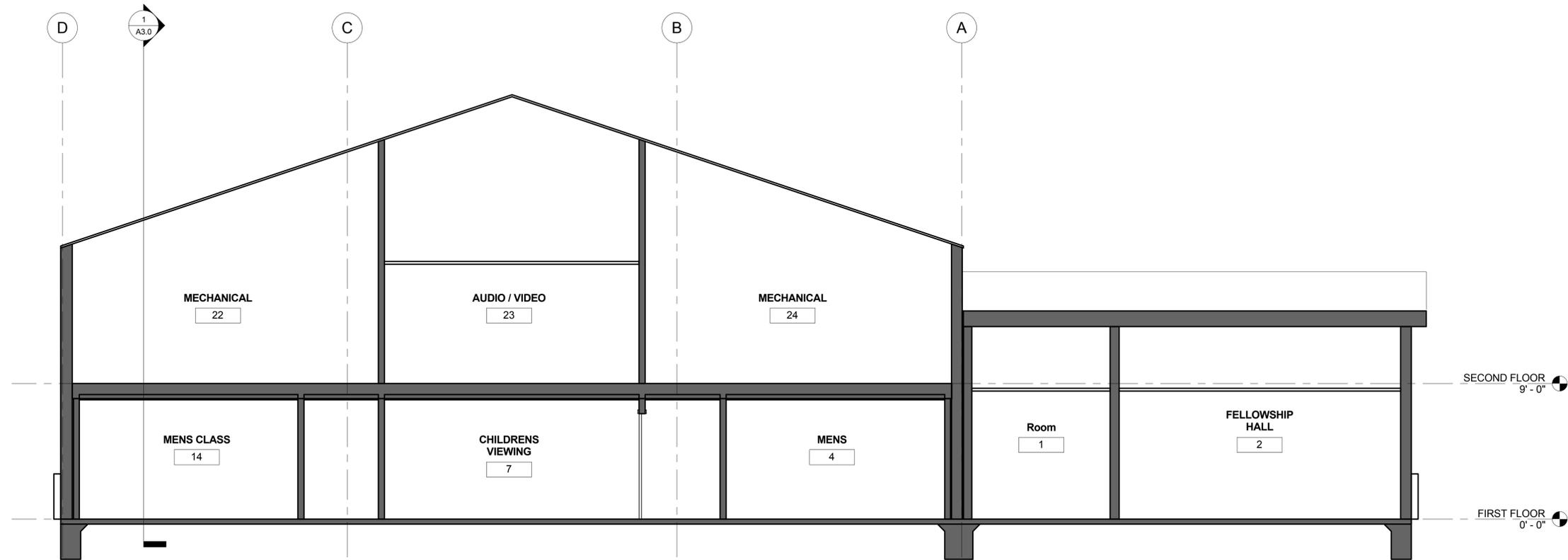


**2 ENLARGED SECOND FLOOR - PROJECTION SCREEN ROOMS**

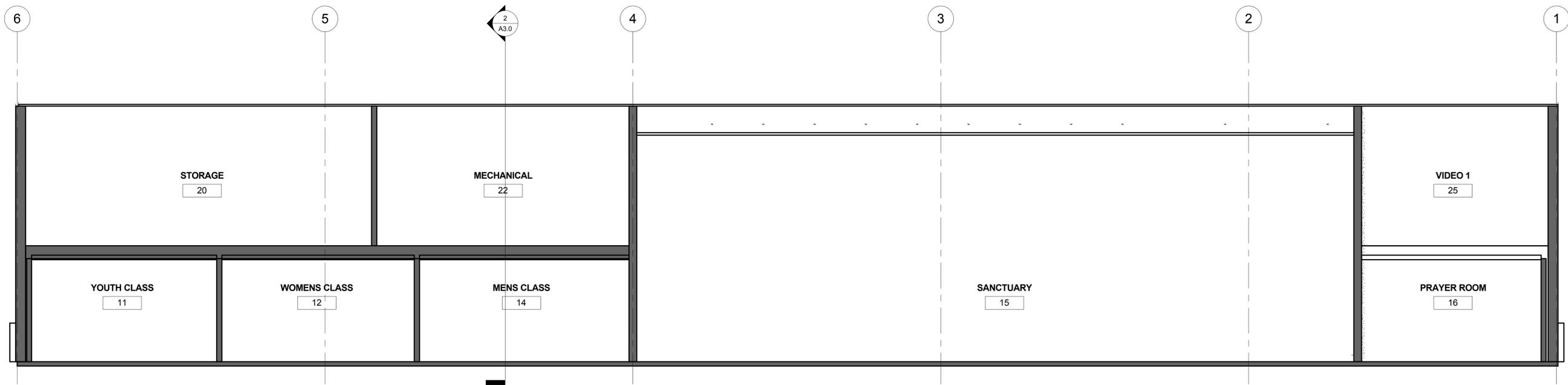
1/4" = 1'-0"

Date 2/14/17

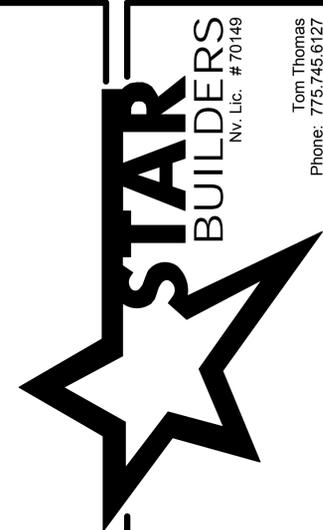
**A2.3**



**2 Section 2**  
1/4" = 1'-0"



**1 Section 1**  
1/4" = 1'-0"



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Tom Thomas  
Phone: 775.745.6127

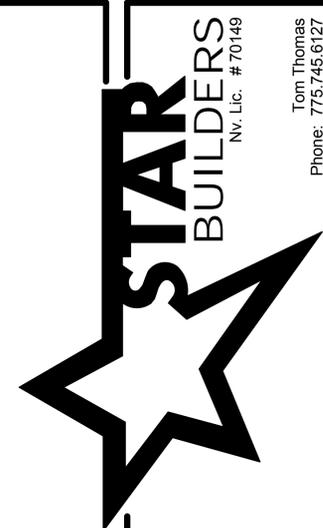
**COLD SPRINGS VALLEY CHURCH**

COLD SPRINGS VALLEY, NEVADA 89508

3375 WHITE LAKE PARKWAY

Date 2/14/17

**A3.0**



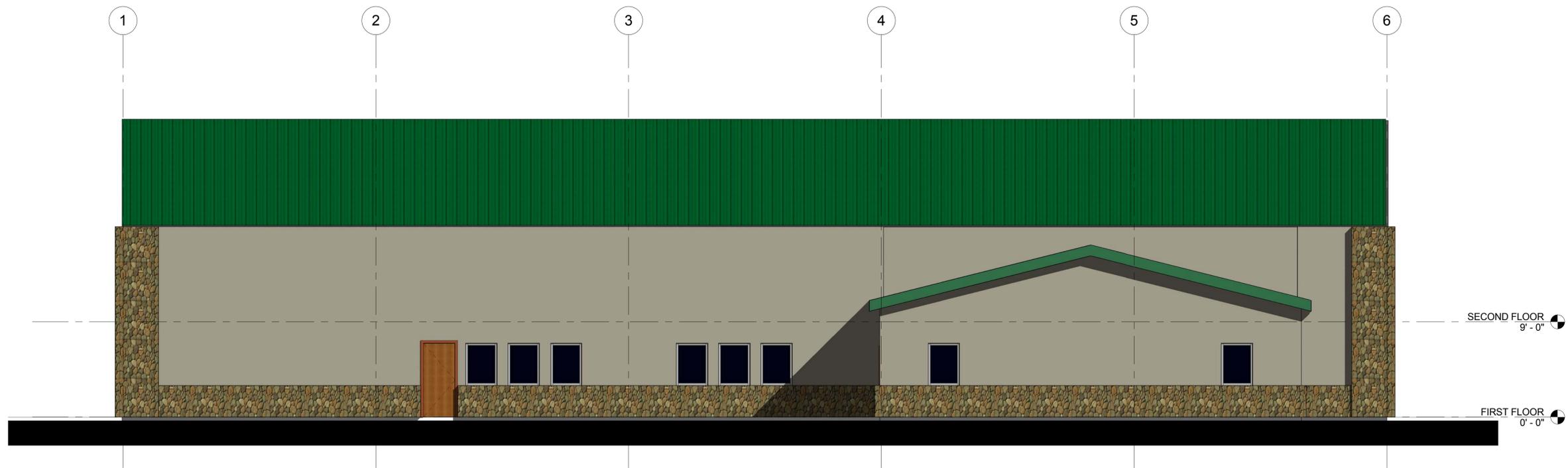
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Phone: 775.745.6127

**COLD SPRINGS VALLEY CHURCH**  
3375 WHITE LAKE PARKWAY  
COLD SPRINGS VALLEY, NEVADA 89508

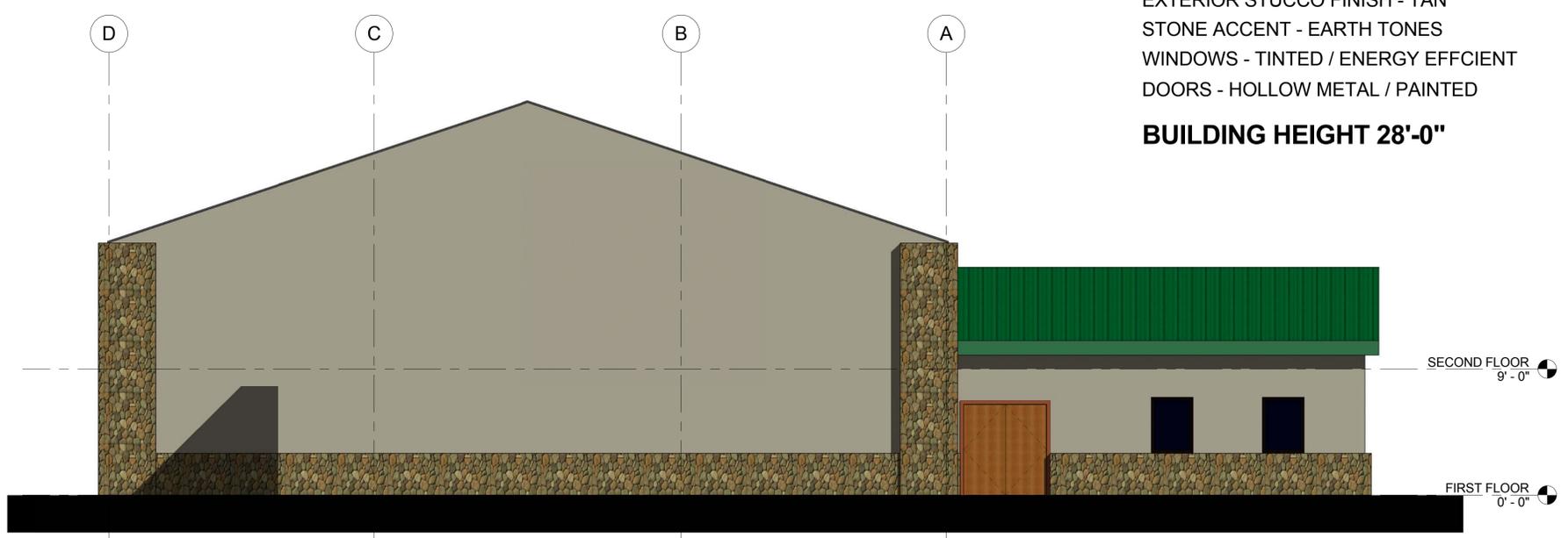
Date 2/14/17

**A4.0**

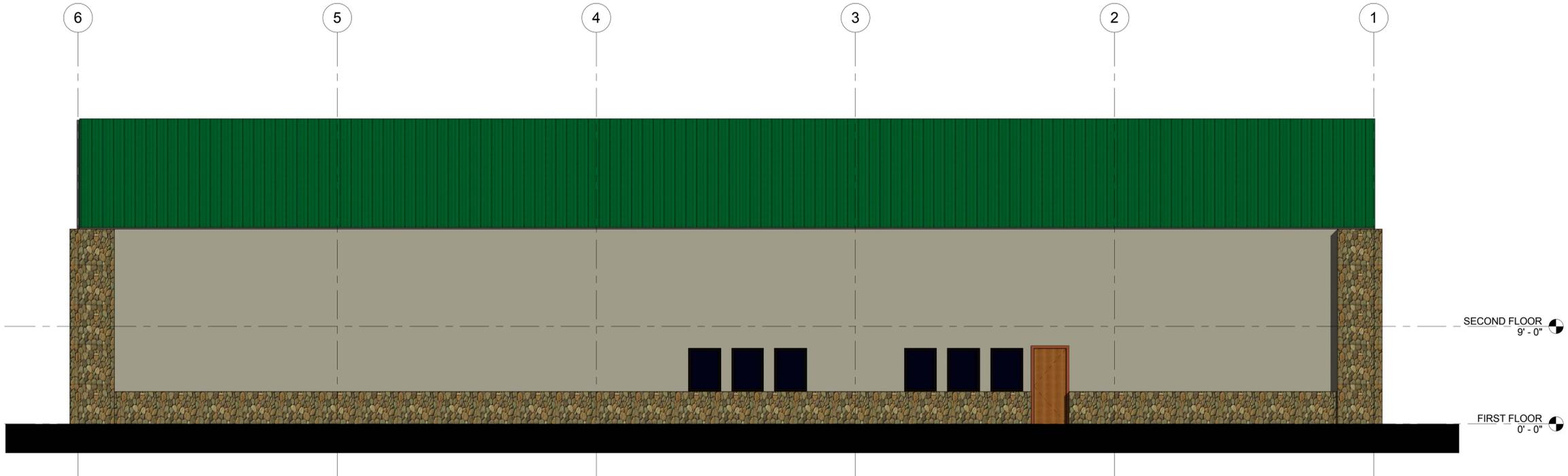


**1 East Elevation**  
3/16" = 1'-0"

**EXTERIOR MATERIALS**  
METAL ROOFING - GREEN  
EXTERIOR STUCCO FINISH - TAN  
STONE ACCENT - EARTH TONES  
WINDOWS - TINTED / ENERGY EFFICIENT  
DOORS - HOLLOW METAL / PAINTED  
**BUILDING HEIGHT 28'-0"**

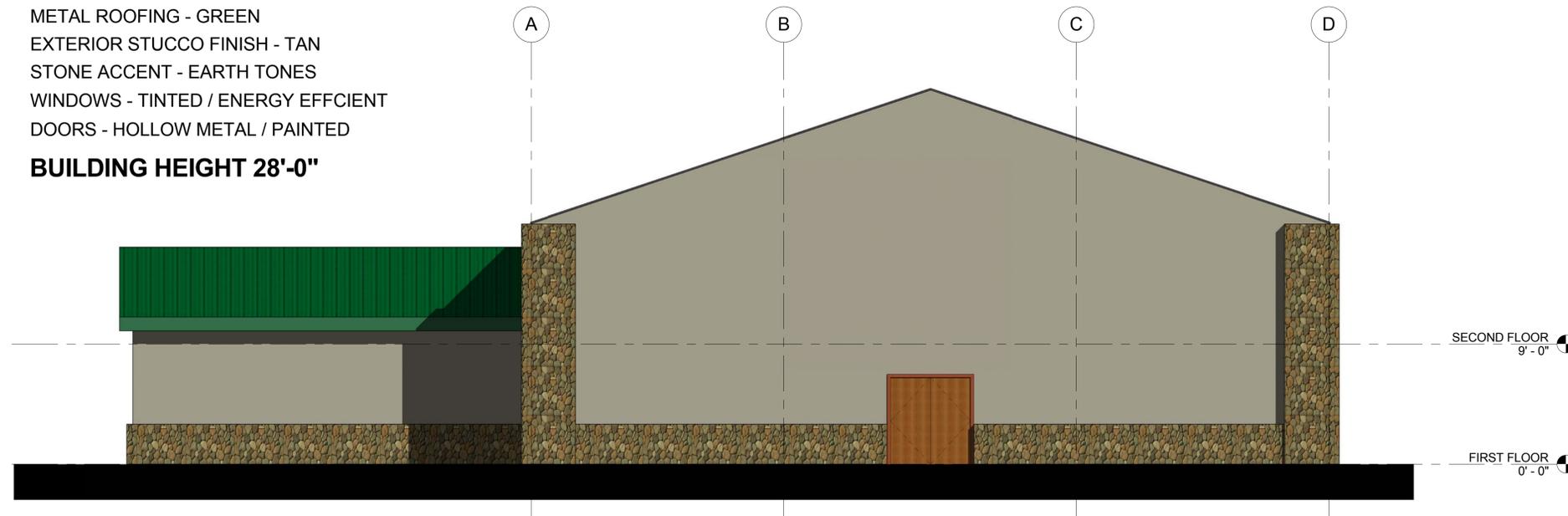


**2 South Elevation**  
3/16" = 1'-0"



**1 West Elevation**  
 3/16" = 1'-0"

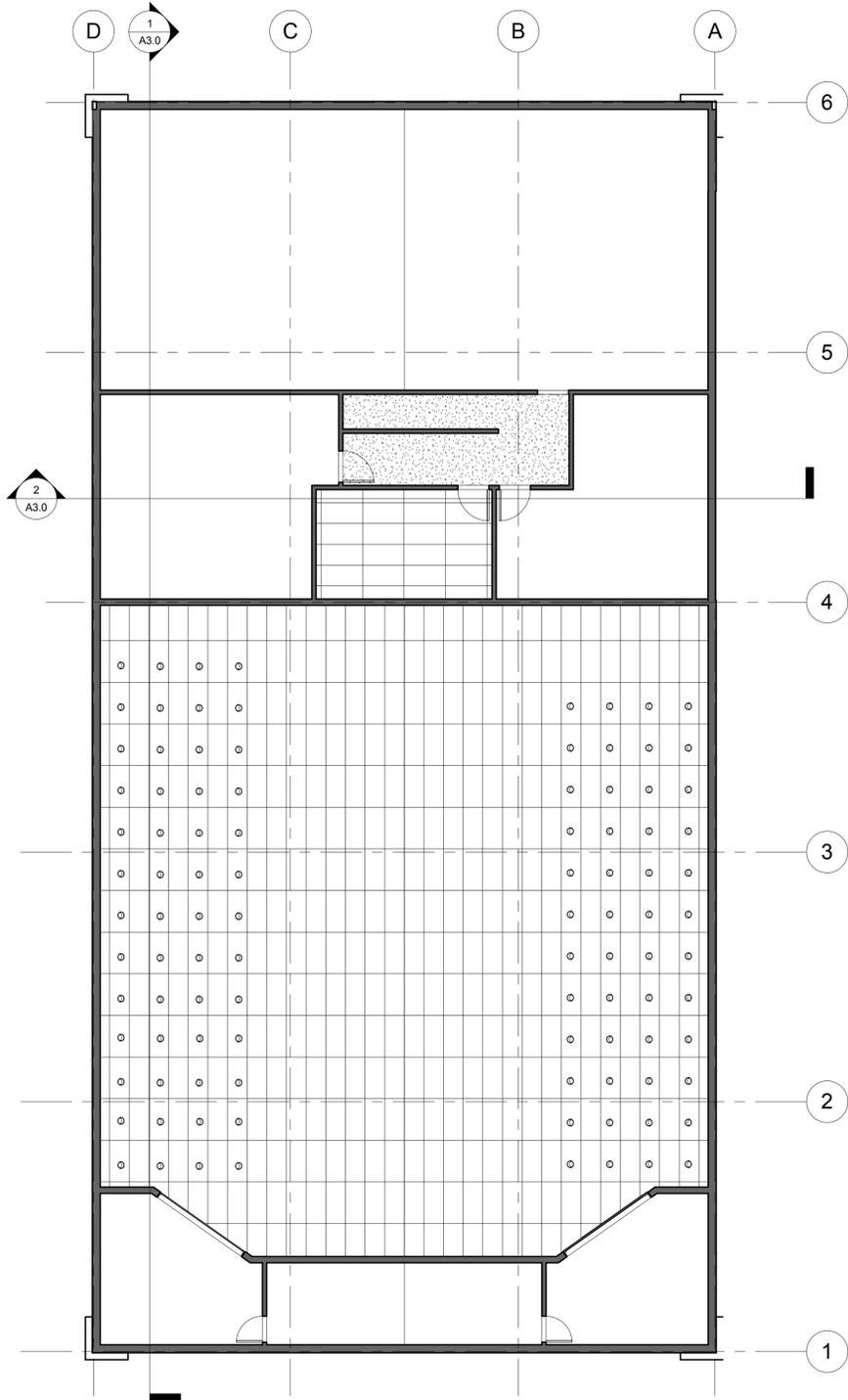
**EXTERIOR MATERIALS**  
 METAL ROOFING - GREEN  
 EXTERIOR STUCCO FINISH - TAN  
 STONE ACCENT - EARTH TONES  
 WINDOWS - TINTED / ENERGY EFFICIENT  
 DOORS - HOLLOW METAL / PAINTED  
**BUILDING HEIGHT 28'-0"**



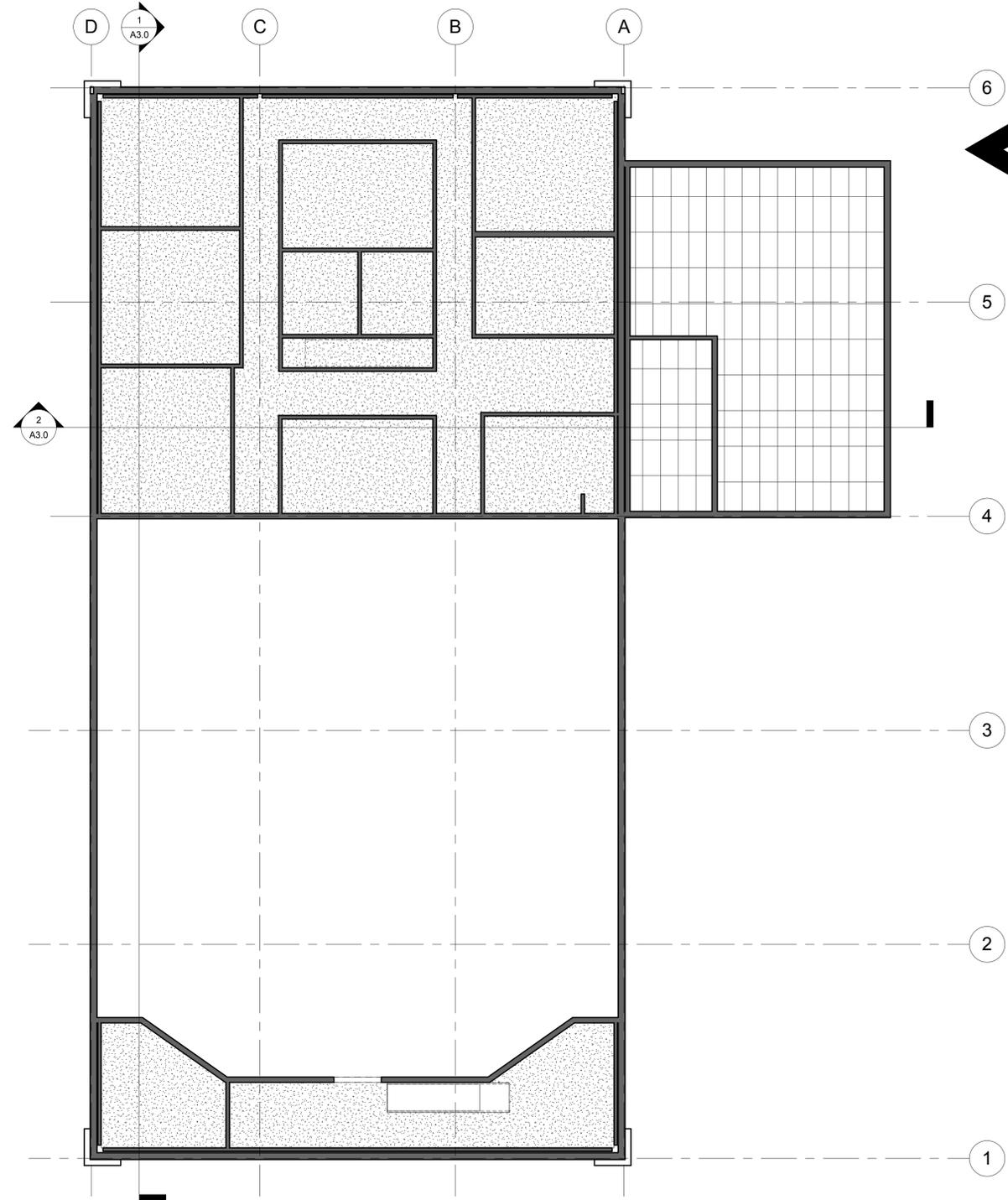
**2 North Elevation**  
 3/16" = 1'-0"

Date 2/14/17

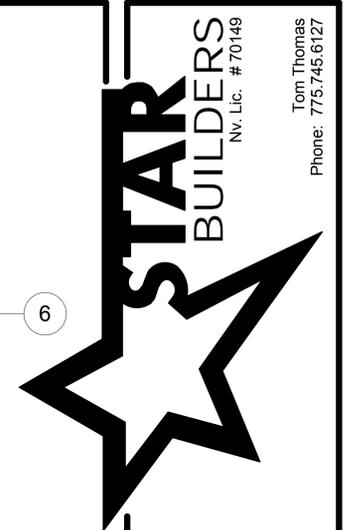
A4.1



**2 SECOND FLOOR**  
1/8" = 1'-0"



**1 FIRST FLOOR**  
1/8" = 1'-0"



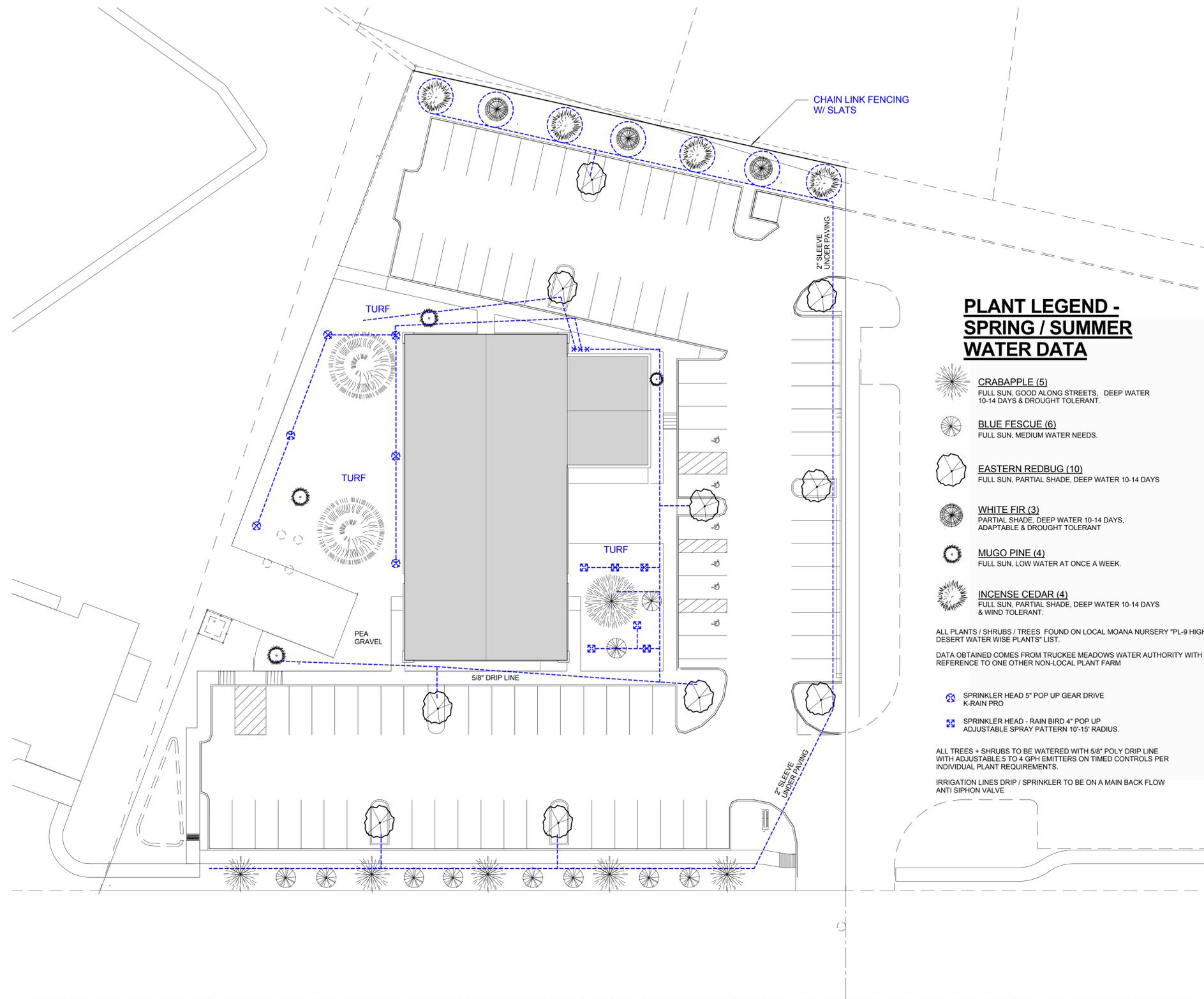
**STAR BUILDERS**  
Nv. Lic. # 70149

Tom Thomas  
Phone: 775.745.6127

**COLD SPRINGS VALLEY CHURCH**  
3375 WHITE LAKE PARKWAY  
COLD SPRINGS VALLEY, NEVADA 89508

Date 2/14/17

**A5.0**



**PLANT LEGEND -  
SPRING / SUMMER  
WATER DATA**

-  **CRABAPPLE (5)**  
FULL SUN, GOOD ALONG STREETS, DEEP WATER  
10-14 DAYS & DROUGHT TOLERANT.
-  **BLUE FESCUE (6)**  
FULL SUN, MEDIUM WATER NEEDS.
-  **EASTERN REDBUG (10)**  
FULL SUN, PARTIAL SHADE, DEEP WATER 10-14 DAYS
-  **WHITE FIR (3)**  
PARTIAL SHADE, DEEP WATER 10-14 DAYS,  
ADAPTABLE & DROUGHT TOLERANT
-  **MUGO PINE (4)**  
FULL SUN, LOW WATER AT ONCE A WEEK.
-  **INCENSE CEDAR (4)**  
FULL SUN, PARTIAL SHADE, DEEP WATER 10-14 DAYS  
& WIND TOLERANT.

ALL PLANTS / SHRUBS / TREES FOUND ON LOCAL MOANA NURSERY "PL-9 HIGH DESERT WATER WISE PLANTS" LIST.

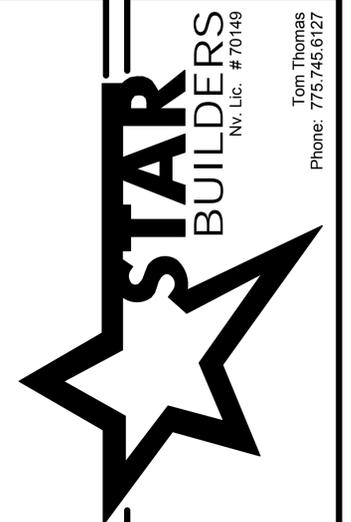
DATA OBTAINED COMES FROM TRUCKEE MEADOWS WATER AUTHORITY WITH REFERENCE TO ONE OTHER NON-LOCAL PLANT FARM

-  SPRINKLER HEAD 5" POP UP GEAR DRIVE  
K-RAIN PRO
-  SPRINKLER HEAD - RAIN BIRD 4" POP UP  
ADJUSTABLE SPRAY PATTERN 10'-15" RADIUS.

ALL TREES + SHRUBS TO BE WATERED WITH 5/8" POLY DRIP LINE WITH ADJUSTABLE 5 TO 4 GPH EMITTERS ON TIMED CONTROLS PER INDIVIDUAL PLANT REQUIREMENTS.

IRRIGATION LINES DRIP / SPRINKLER TO BE ON A MAIN BACK FLOW ANTI SIPHON VALVE

**1 ARCHITECTURAL LANDSCAPE PLAN / IRRIGATION PLAN**  
1" = 20'-0"



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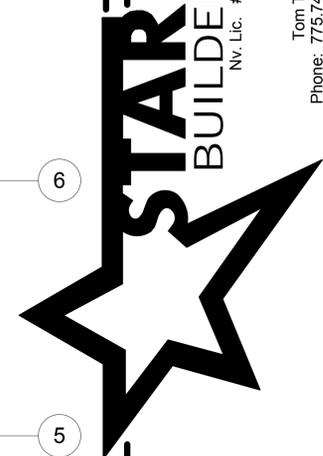
Tom Thomas  
Phone: 775.745.6127

**COLD SPRINGS VALLEY CHURCH**

3375 WHITE LAKE PARKWAY  
COLD SPRINGS VALLEY, NEVADA 89508

Date 2/14/17

L1



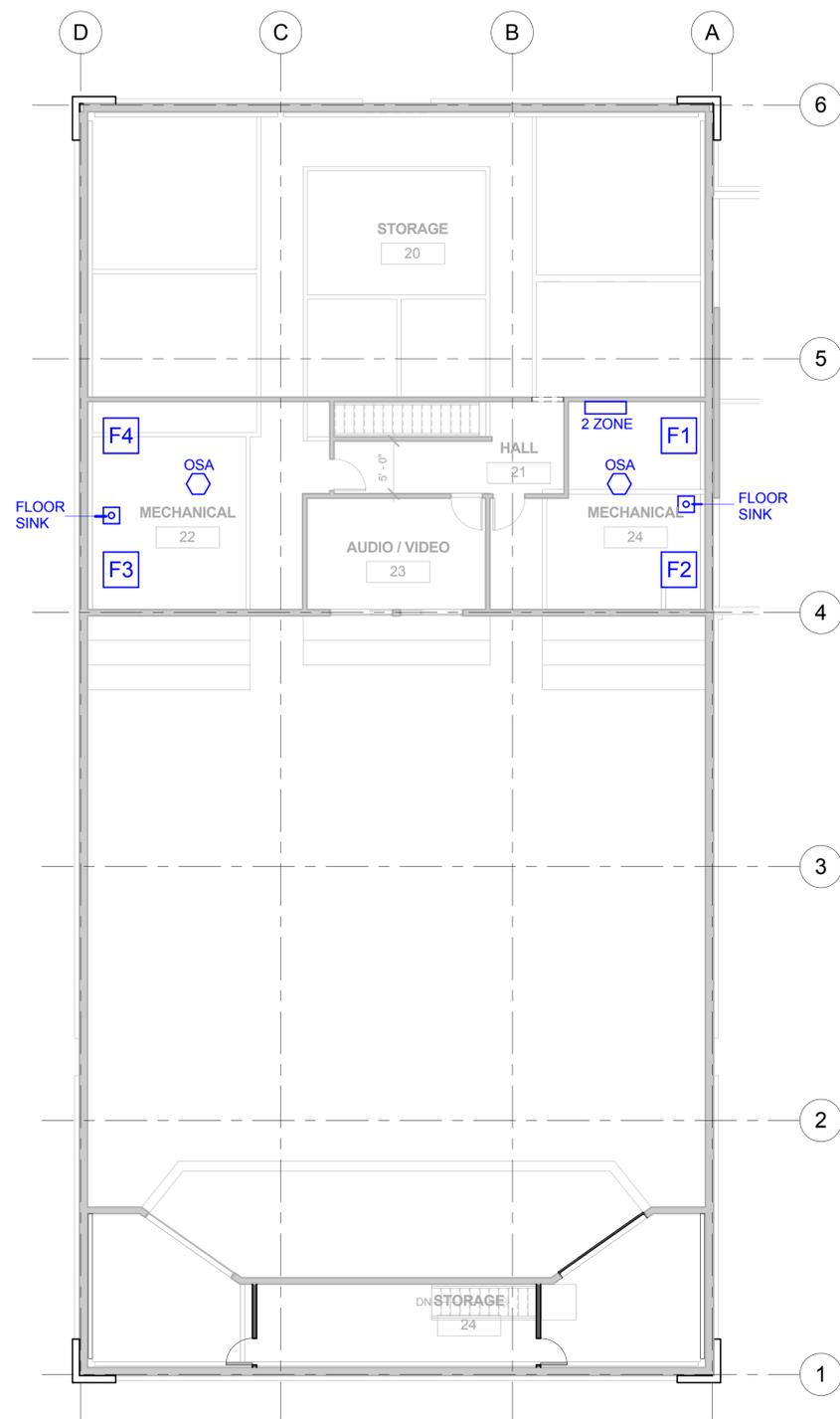
STAR BUILDERS  
 NV. Lic. # 70149  
 Tom Thomas  
 Phone: 775.745.6127

**COLD SPRINGS VALLEY CHURCH**

3375 WHITE LAKE PARKWAY  
 COLD SPRINGS VALLEY, NEVADA 89508

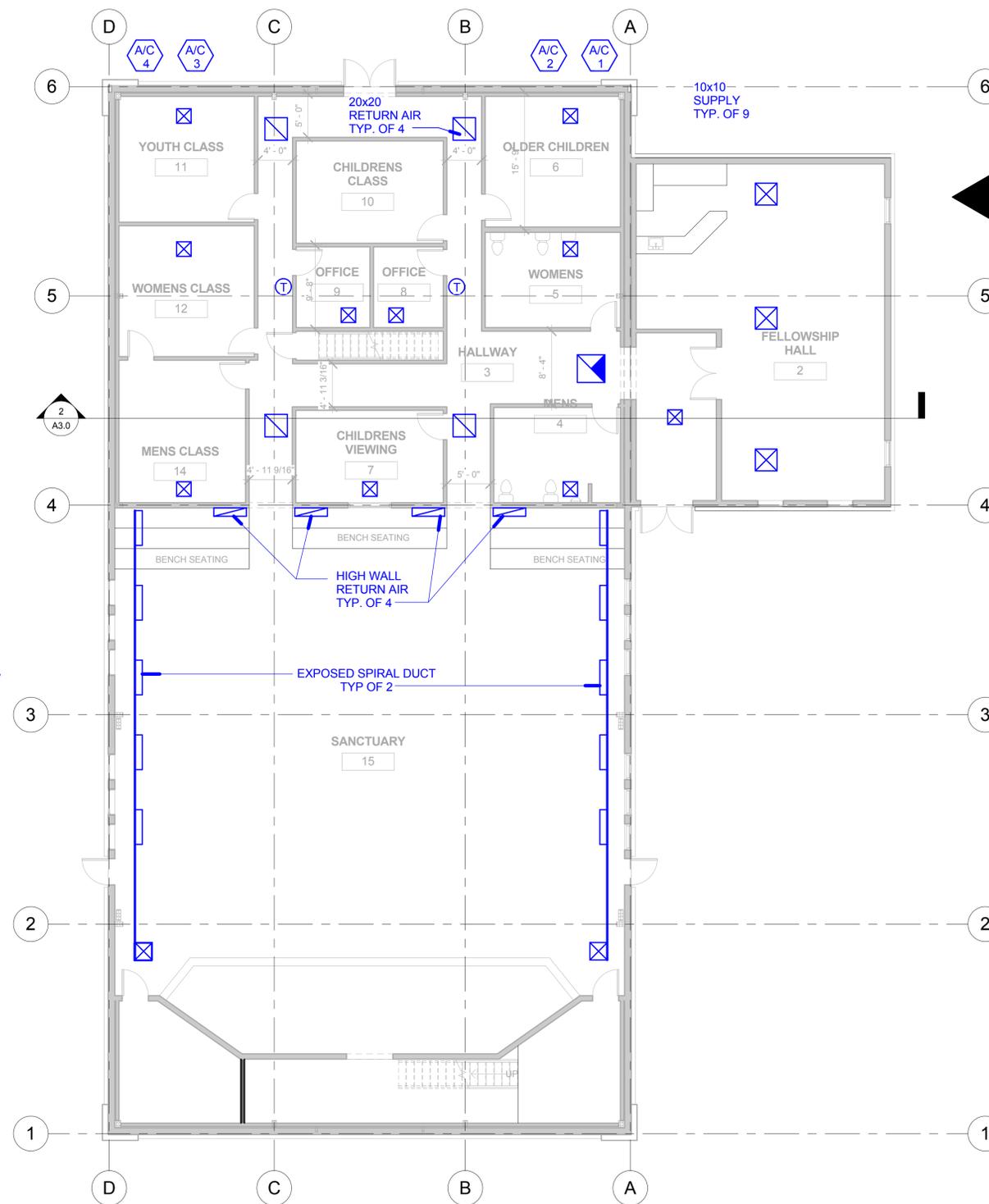
Date 2/14/17

M1.0

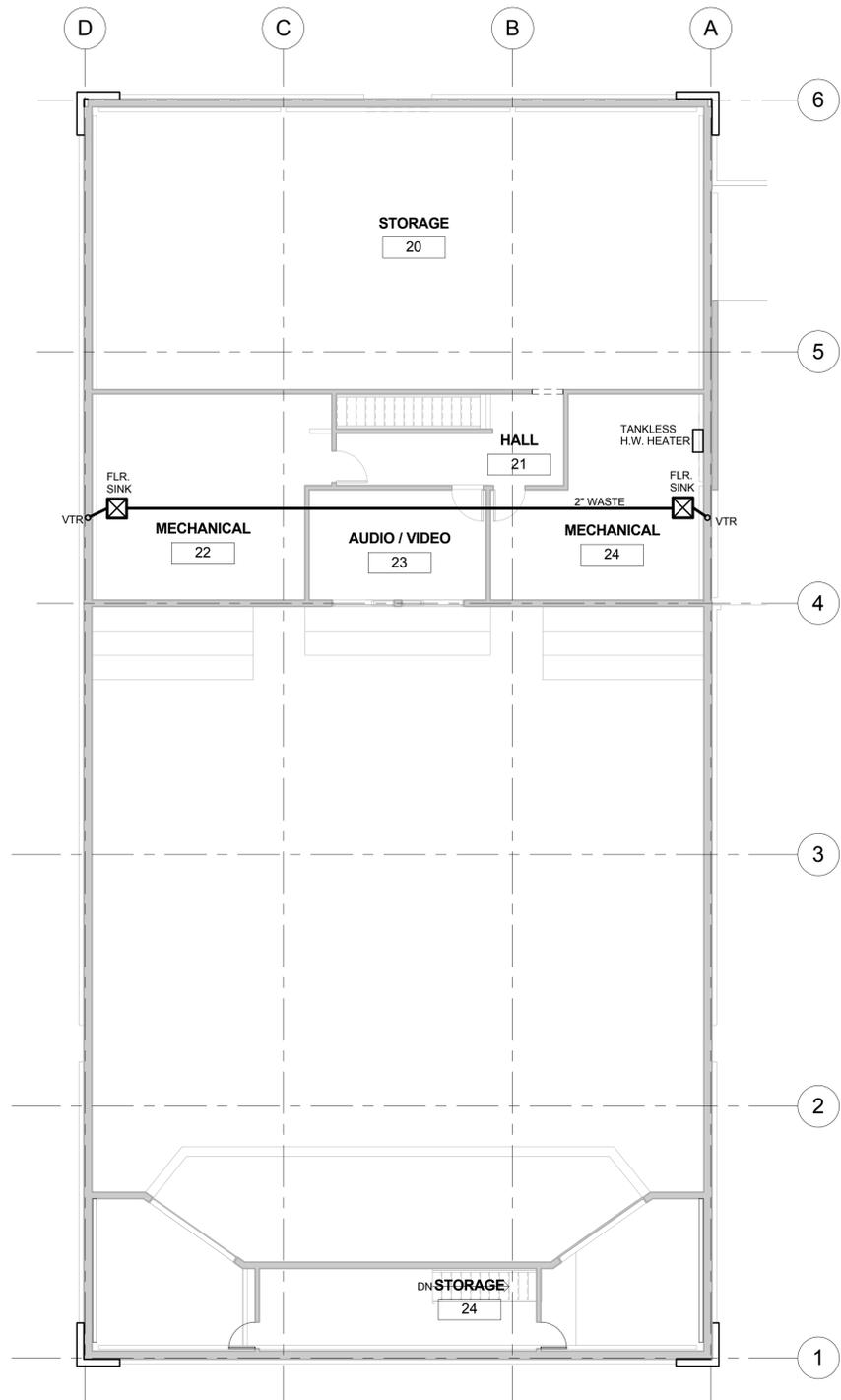


**2 OVERALL SECOND FLOOR MECHANICAL PLAN**  
 1/8" = 1'-0"

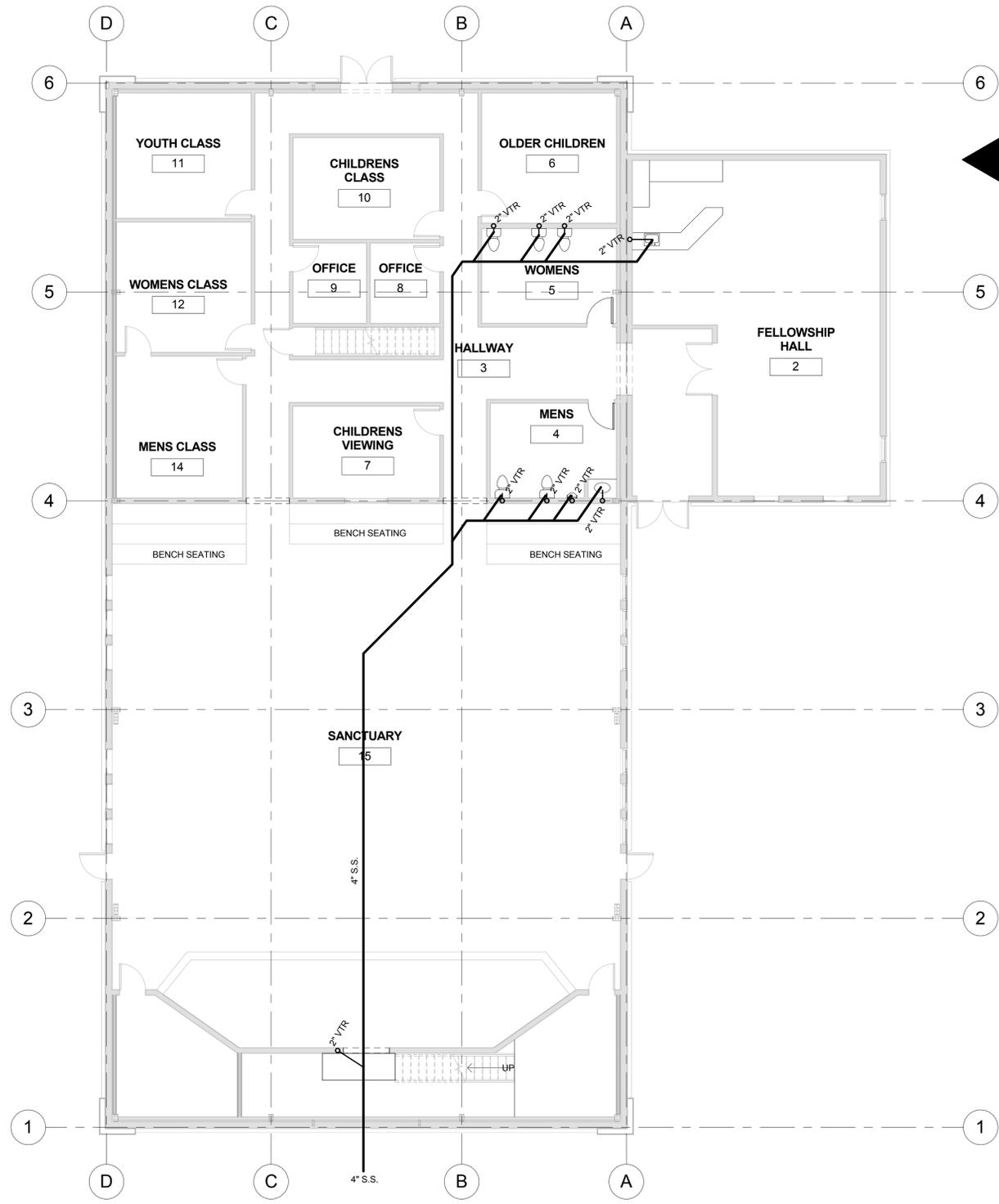
- MECHANICAL EQUIPMENT**
- F1 & F4 - COLEMAN TM9E080C16 95% AFUE SINGLE STAGE 80K BTU W/ CM48CBCA1 CASED COIL 4T TXV
  - A/C 1 & 4 COLEMAN TW4B4821S CONDENSING UNIT
  - 14 SEER 11.7 EER 4T SINGLE PHASE 208/230 410A
  - F2 & F3 COLEMAN TM9E100C20MP11 95% AFUE SINGLE STAGE 100K BTU W/ CM60CBDA1 CASED COIL 5T TXV
  - A/C 2 & 3 COLEMAN TW4B6021S CONDENSING UNIT 14 SEER 11.7 ERR 5T SINGLE PHASE 208/230
  - ZONING SYSTEM HONEYWELL HZ322 / U PANEL
  - ACCESSORIES
  - LP GAS KITS
  - CONCENTRIC FLUE KITS
  - Ⓣ WHITE ROGERS PROGRAMMABLE THERMOSTATS
  - ⊗ SUPPLY AIR GRILL
  - ⊘ RETURN AIR GRILL
  - ⊙ RETURN AIR GRILL
  - Ⓞ OSA OUTSIDE AIR HOOD W/ DAMPER



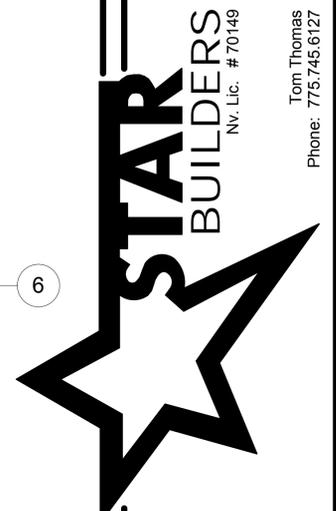
**1 OVERALL FIRST FLOOR MECHANICAL PLAN**  
 1/8" = 1'-0"



**2 SECOND FLOOR PLUMBING PLAN WASTE AND VENT**  
 1/8" = 1'-0"



**1 FIRST FLOOR PLUMBING PLAN WASTE AND VENT PLAN**  
 1/8" = 1'-0"

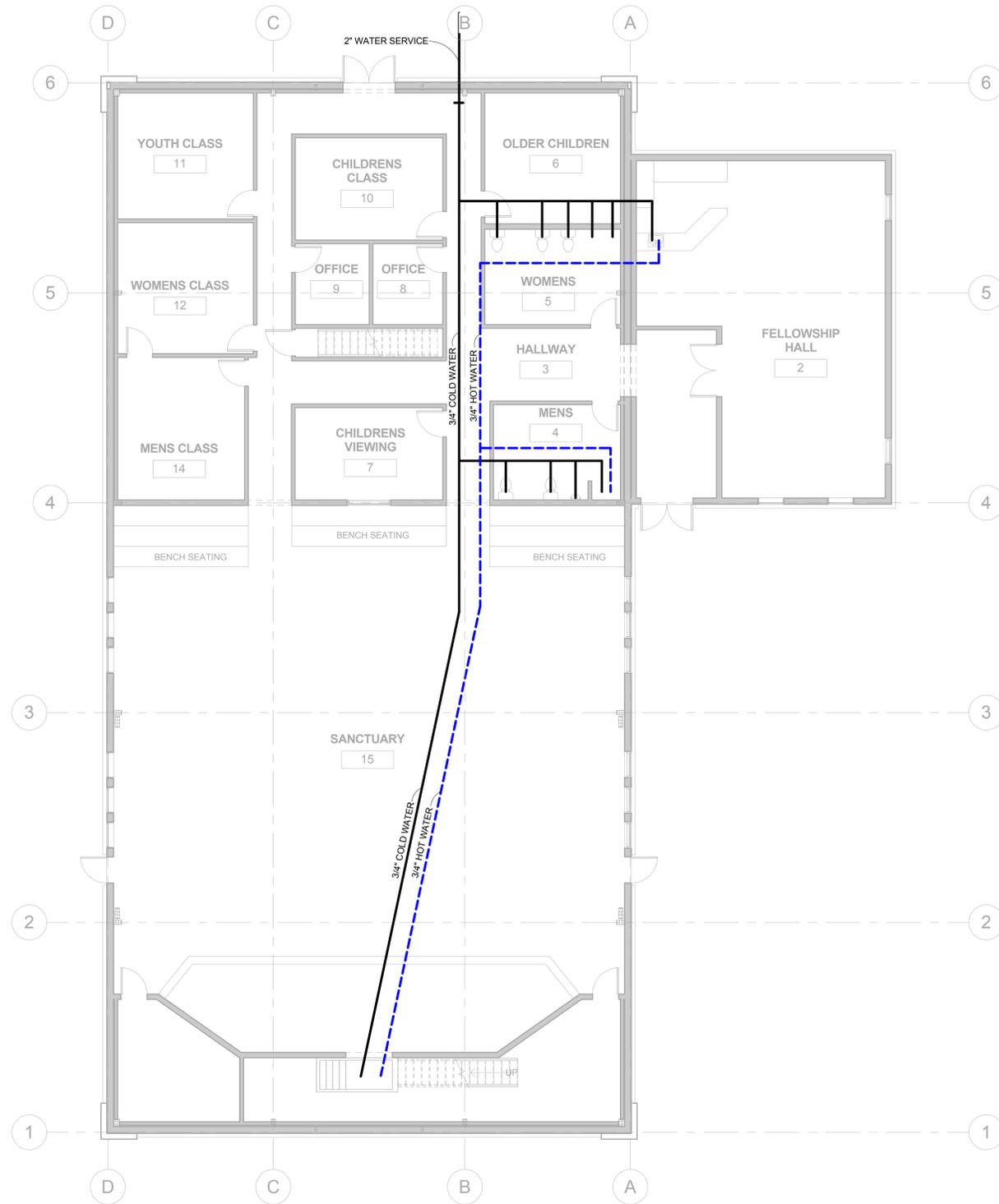


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 NV. Lic. # 70149  
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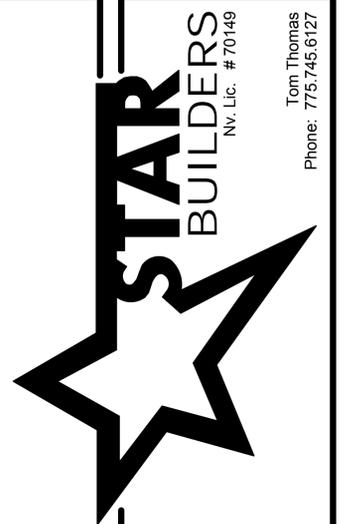
**COLD SPRINGS VALLEY CHURCH**  
 3375 WHITE LAKE PARKWAY  
 COLD SPRINGS VALLEY, NEVADA 89508

Date 2/14/17

**P1.0**



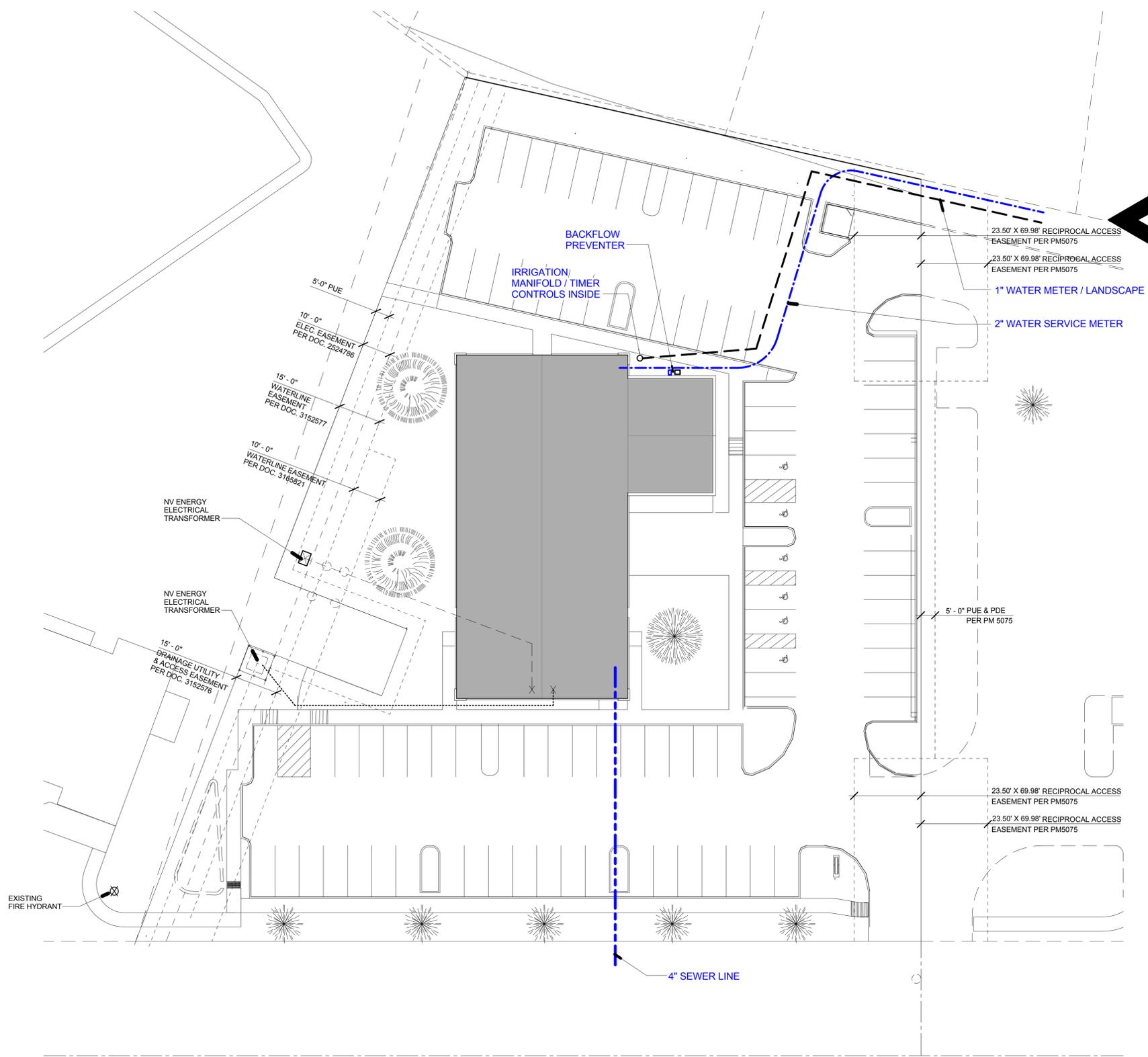
**1 FIRST FLOOR PLUMBING WATER SERVICE PLAN**  
 1/8" = 1'-0"



**COLD SPRINGS VALLEY CHURCH**  
 3375 WHITE LAKE PARKWAY  
 COLD SPRINGS VALLEY, NEVADA 89508

Date 2/14/17

**P2.0**



**ASPHALT - TYP. SECTION**  
N.T.S.

**CONCRETE - TYP. SECTION**  
N.T.S.

**NOTES**

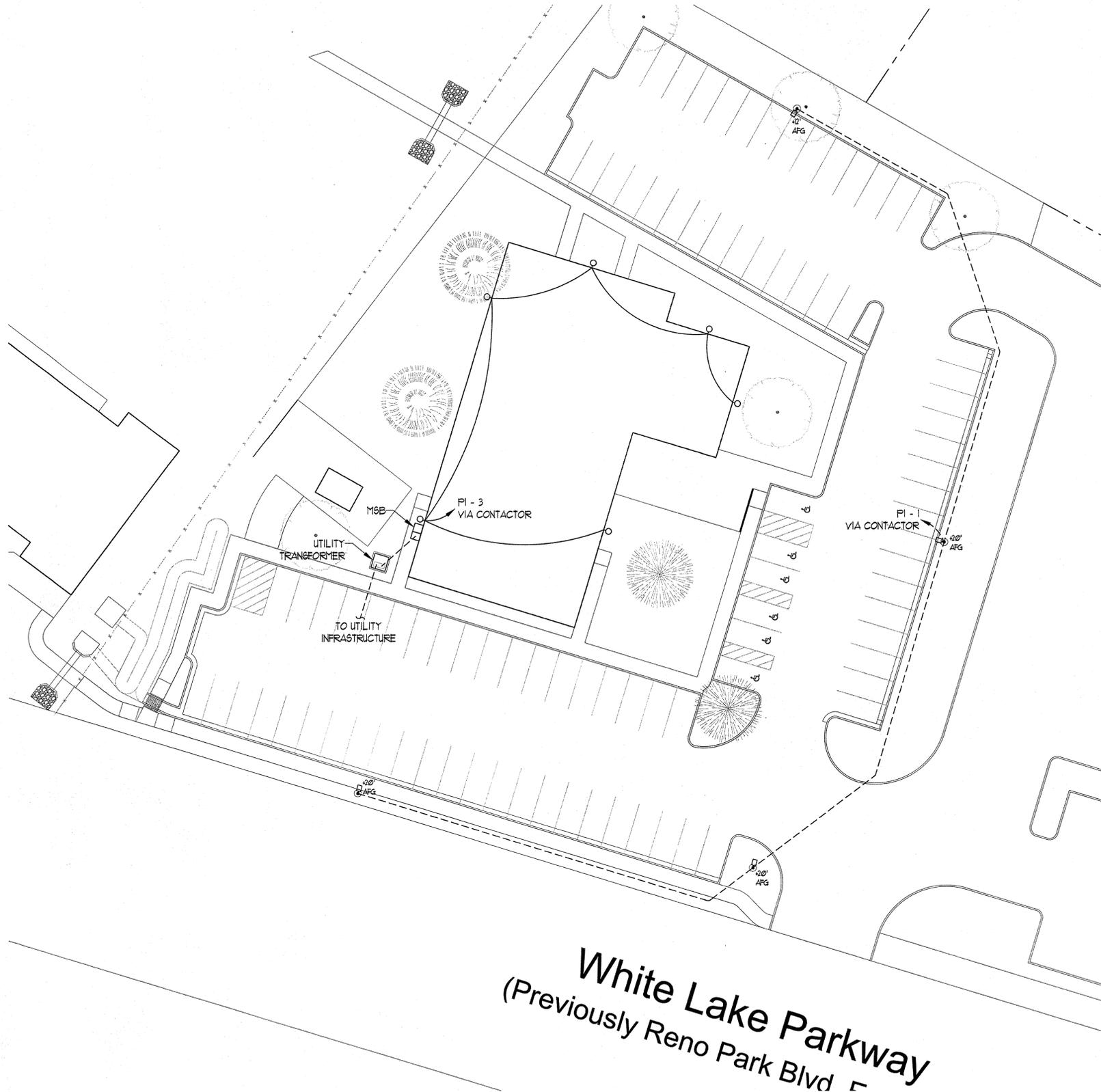
1. MIN SLOPE SHALL BE 1% ON ASPHALT AND 0.4% ON CONC.
2. SUBGRADE SHALL BE OVEREXCAVATED IN AREAS OF UNSTABLE OR EXPANSIVE SOILS.
3. STRUCTURAL SECTIONS FOR COMMERCIAL DRIVEWAYS, APARTMENTS & CONDOMINIUMS SHALL BE BASED UPON ENGINEERING DESIGN & GEOMETRICS.
4. CONC SHALL MEET REQUIREMENTS OF STD. SPECS FOR PUBLIC WORKS CONSTRUCTION FOR CONC EXPOSED TO FREEZE/THAW ENVIRONMENTS.
5. THIS STANDARD APPLIES UP TO A MAX OF TWO RESIDENTIAL LOTS SERVED BY A SINGLE DRIVEWAY.
6. MIN 4" THICK FULL DEPTH ASPH SECTION W/FOG SEAL OR SLURRY SEAL MAY BE USED IN LIEU OF 2-1/2" ASPH ON 4" TYPE 2 CLASS B BASE.
7. FOR MIN WIDTHS W/IN COUNTY RIGHT-OF-WAY REF. DMG'S. W-16.4, W-5.2, W-5.3

NO.	REVISED	DATE	STANDARD DETAILS FOR PUBLIC WORKS CONSTRUCTION	SECTION:
			<b>PRIVATE DRIVEWAY CONCRETE OR ASPHALT</b>	WASHOE
				DRAWING NO:
				W-5.4
			DATE: 8/24/17	PAGE: 16

**1 ARCHITECTURAL UTILITY SITE PLAN**  
 1" = 20'-0"

Date: 2/14/17

U1



**White Lake Parkway**  
 (Previously Reno Park Blvd)



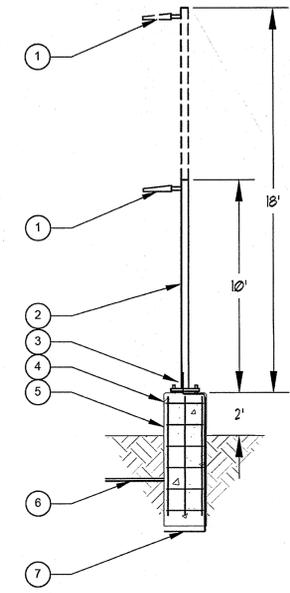
**SITE ELECTRICAL PLAN**

SCALE: 1" = 20'-0"

A  
E2

**POLE # LUMINAIRE NOTES:**

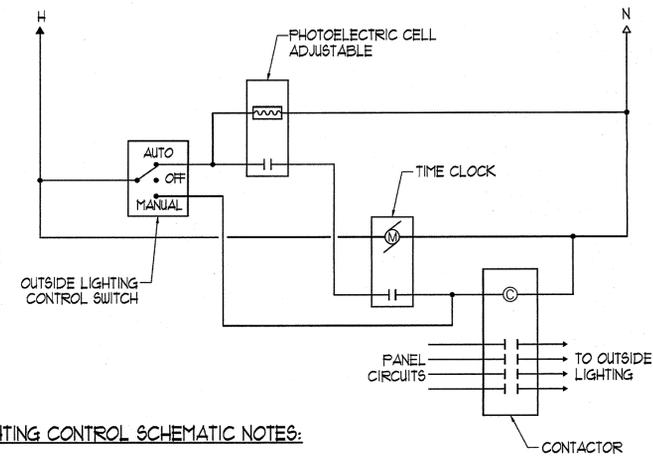
- 1 TANLITE 156B30-56XYAI LUMINAIRE WITH SQUARE POLE MOUNTING AND TYPE III DISTRIBUTION (BI-LEVEL MOTION/AMBIENT SENSOR) (LUMINAIRE EPA = 12 SQFT. EACH)
- 2 ACQUITY BRANDS 866-10-4C (OR 866-18-4C) SQUARE STRAIGHT STEEL POLE (10'/18' HIGH x 4' SQUARE) WITH ANCHOR BOLT MOUNTING, FLANGE AND POLE RATED FOR 100 MPH WINDS, WITH 1.3 GUST FACTOR, WITH LUMINAIRE(S) ATTACHED.
- 3 INSTALL DRY-PAK CONCRETE BETWEEN POLE MOUNTING FLANGE AND CONCRETE FOUNDATION TACK WELD ATTACHMENT NUTS. PROVIDE AND INSTALL MATCHING BASE BOLT COVER
- 4 STEEL REINFORCED CONCRETE POLE BASE. EXPOSED POLE BASE IS TO BE SMOOTH FINISHED (SACKED) TO 6" BELOW FINISHED GRADE. CONTRACTOR SHALL RETAIN STRUCTURAL ENGINEER TO DESIGN POLE BASE AND SPECIFICATIONS.
- 5 ALL POLE BASES SHALL BE LOCATED NOT LESS THAN TWO FEET BACK FROM THE EDGE OF ANY ADJACENT CURB OR SIDEWALK EDGE.
- 6 UNDERGROUND ELECTRICAL LIGHTING SYSTEM CONDUITS AND WIRING SHALL BE MINIMUM 24" BELOW FINISHED GRADE.
- 7 1/2" x 4" BARE SOL CU COILED IN BOTTOM OF FOUNDATION HOLE FOR LIGHTNING GROUND. EXTEND LIGHTNING GROUND CONDUCTOR UP ALONG INSIDE EDGE OF FOUNDATION AND SECURELY BOND LIGHTNING GROUND CONDUCTOR TO POLE SHAFT.



**POLE LUMINAIRE DETAIL**

SCALE: 1/4" = 1'-0"

B  
E2



**OUTSIDE LIGHTING CONTROL SCHEMATIC NOTES:**

1. LIGHTING CONTACTOR(S) SHALL BE 20A, 600V, 4-POLE, NEMA ENCLOSED
2. TIME CLOCK SHALL BE INTERMATIC #ET 2000 OR EQUIVALENT.
3. PHOTOCELL SHALL BE INTERMATIC #K4100 OR EQUIVALENT.
4. LOCATE OUTSIDE LIGHTING CONTROLS (H.O.A., CLOCKS AND CONTACTORS) ADJACENT TO FEEDING ELECTRICAL PANEL. LOCATE PHOTOCELL OUTSIDE ON ROOF FACING NORTH.

**EXTERIOR LIGHTING CONTROL**

DIAGRAM

NOT TO SCALE

C  
E2

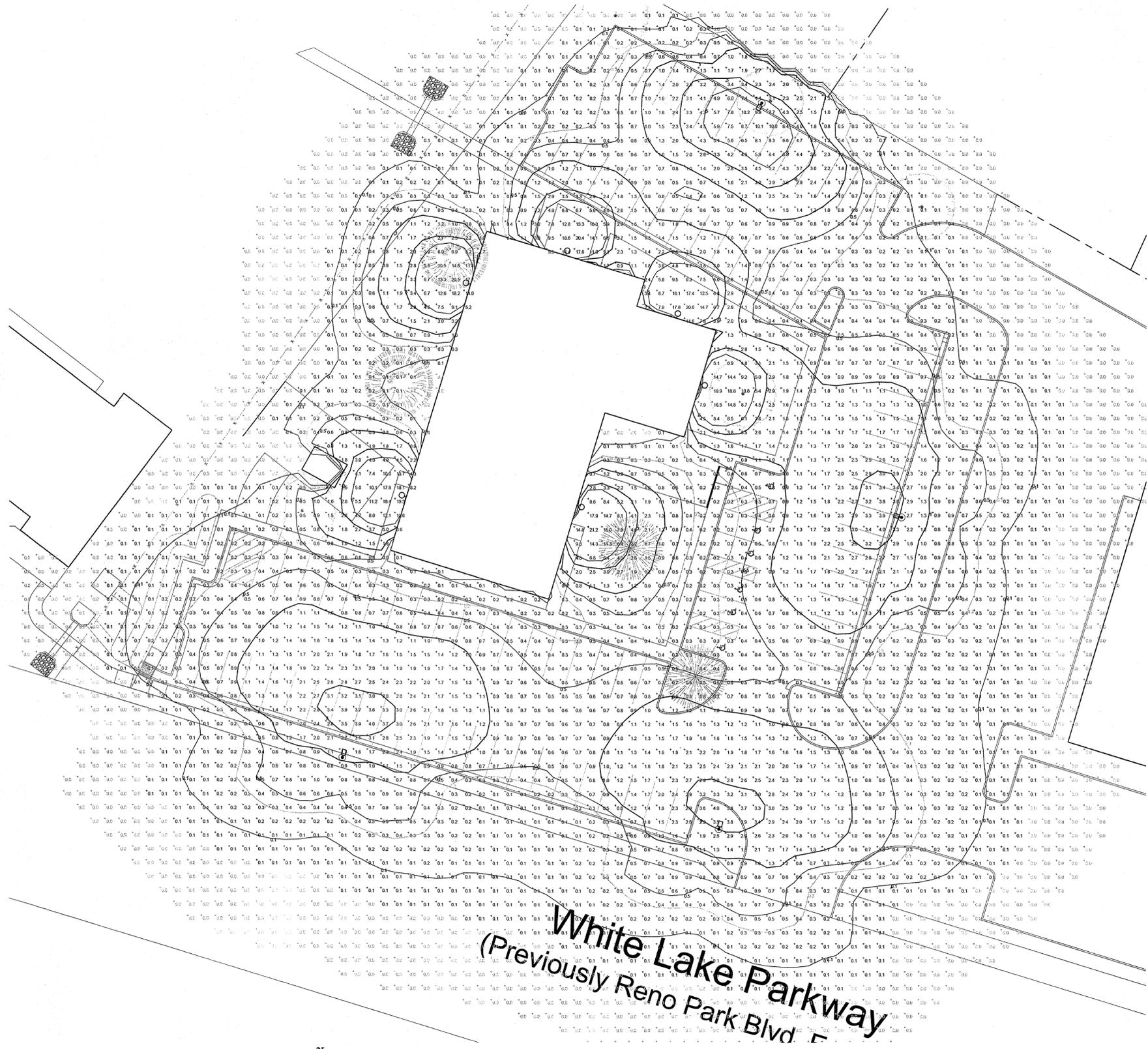


**Western Electric**  
 Residential • Panel Specialists  
 P.O. Box 60837 Reno, NV 89506  
 Cecil Arnold  
 (775) 284-4371  
 Fax (775) 825-4246

Know what's below.  
 Call before you dig.  
 Local one call center = 1 (800) 227-2800

Terry Lee White		State of Nevada	
20913 White Rock Drive		Project #	Sheet
Cold Springs Valley, NV 89508		G8217CF	2 Of 6
Site Electrical Plan		Washoe County	Version
Commercial Development (Church Building)		AS SHOWN	Conceptual
Initial Date	Revision Date	Plotted Date	Scale
2017-11-27	2017-11-27	2017-11-27	AS SHOWN
Designed By	Drawn By	Last Saved By	Project #
SJM	SJM	SJM	G8217CF
Designed By	Drawn By	Last Saved By	Project #
SJM	SJM	SJM	G8217CF
Initial Date	Revision Date	Plotted Date	Scale
2017-11-27	2017-11-27	2017-11-27	AS SHOWN
Designed By	Drawn By	Last Saved By	Project #
SJM	SJM	SJM	G8217CF
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SJM	SJM	SJM	G8217CF
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Designed By	Drawn By	Last Saved By	Project #
SJM	SJM	SJM	G8217CF
Designed By	Drawn By	Last Saved By	Project #
SJM	SJM	SJM	G8217CF

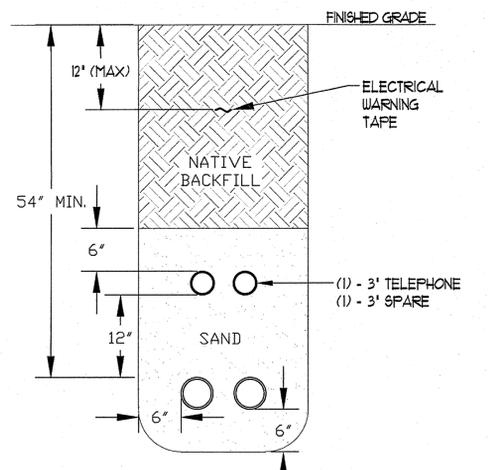
Cold Springs Valley Church  
 3375 White Lake Parkway  
 Cold Springs Valley, NV, 89508



SITE PHOTOMETRIC PLAN

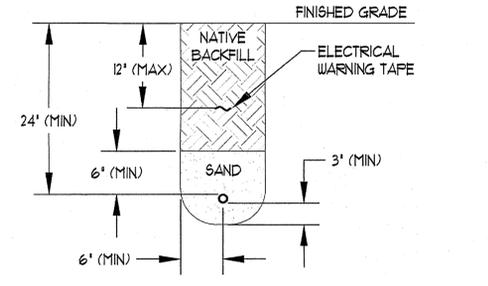
SCALE: 1" = 20'-0"

A  
E3



UTILITY PRIMARY/SECONDARY TRENCH DETAIL \*\*  
1" = 1'-0" B  
E3

\*\*TRENCHING MUST COMPLY WITH UTILITY COMPANY WORK ORDER DRAWINGS.



TYPICAL BRANCH CIRCUIT TRENCHING DETAIL  
1" = 1'-0" C  
E3

NOTES: (THIS SHEET ONLY)

- 1 PHOTOMETRIC STUDY DOES NOT INCLUDE LIGHTING SPILLOVER FROM ADJACENT PROPERTIES.



1/2/2018



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Terry Lee White  
20913 White Rock Drive  
Cold Springs Valley, NV 89508

State of Nevada  
Project # G8217CF  
Sheet 3 Of 6

Washoe County  
Version Conceptual  
Designed By SJM  
Drawn By SJM  
Last Saved By  
Scale AS SHOWN  
Plotted Date 2017-11-27  
Revision Date 2017-11-27

Cold Springs Valley Church  
3375 White Lake Parkway  
Cold Springs Valley, NV, 89508

Commercial Development (Church Building)