# Community Services Department Planning and Building ADMINISTRATIVE PERMIT APPLICATION

(Care for the Infirm see page 9)



Community Services Department Planning and Building 1001 E. Ninth St., Bldg. A Reno, NV 89520

Telephone: 775.328.6100

## **Washoe County Development Application**

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information	\$	Staff Assigned Case No.:				
Project Name: Detached Garage						
Project Detack Description: Room,	ned GAG	age, laund	RU			
Project Address: 6000	Dinnemo	ICA RAnch Re				
Project Area (acres or square fee	et): 2040 :	59'				
Project Location (with point of reference to major cross streets <b>AND</b> area locator):						
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:			
07613035	38.752					
		A STATE OF THE STA	179			
Section(s)/Township/Range:						
	e County approval	s associated with this applicat	ion:			
Case No.(s).			17			
Applicant Info	ormation (attach	additional sheets if necessary)				
Property Owner:		Professional Consultant:				
Name: DAVID DUN		Name: Ol Salzano				
	nucca Rand	Address: 5935 Grass Valley Rd				
	Zip: 89510	Reno, No Zip: 89510				
Phone: 775-690-7867	Fax: AA	Phone: 775.233.1984 Fax: 475-079(				
Email:		Email:				
Cell:775-690-7867	Other:	Cell: 775-233,1984 Other:				
Contact Person: DAULD		Contact Person: al Salzano				
Applicant/Developer:		Other Persons to be Contacted:				
Name: Dunhams (	omnercial	Name:				
Address: 6000 Winner	noccaRanch	Address:				
Reno, No	Zip: 89510		Zip:			
Phone: 775-690-7867		Phone:	Fax:			
Email: donhamscom		Emailial.com	100			
110 010 1001	Other:	Čell:	Other:			
Contact Person: DAUID	Dunham	Contact Person:				
	For Office	Use Only				
Date Received:	Initial:	Planning Area:				
County Commission District:		Master Plan Designation(s):				
CAB(s):	- Jan A. Rose	Regulatory Zoning(s):				

# **Property Owner Affidavit**

Applicant Name: DAVID G	DUNHAM
The receipt of this application at the time of submittal or requirements of the Washoe County Development applicable area plan, the applicable regulatory zoning will be processed.	Code, the Washoe County Master Plan or the
STATE OF NEVADA )	
COUNTY OF WASHOE )	
Davis	
I, DAVID W Den HAM (please prin	nt name)
being duly sworn, depose and say that I am the ow application as listed below and that the foregoing st information herewith submitted are in all respects comp and belief. I understand that no assurance or guara Building.	ner* of the property or properties involved in this tatements and answers herein contained and the plete, true, and correct to the best of my knowledge antee can be given by members of Planning and
(A separate Affidavit must be provided by each	n property owner named in the title report.)
Assessor Parcel Number(s): 67613035	
Prin	ted Name Davis Dun Ham
	Signed
	Address 6000 WINNEWULLS RANCH RD
	Revo NV 89510
Subscribed and sworn to before me this,,,	(Notary Stamp)
Notary Public in and for said county and state  My commission expires: 8/2/2/8	RICHARD SAHLBERG  Notary Public - State of Nevada  Appointment Recorded in Washoe County  No: 10-2643-2 - Expires August 20, 2018
*Owner refers to the following: (Please mark appropria	te box.)
Owner	
□ Corporate Officer/Partner (Provide copy of reco	
Power of Attorney (Provide copy of Power of At	• •
Owner Agent (Provide notarized letter from pro	
<ul> <li>Property Agent (Provide copy of record docume</li> <li>Letter from Government Agency with Stewards</li> </ul>	
= 2010 non 30 on month agond, with olewards	le

Date: 08/08/2017

## **Property Tax Reminder Notice**

Page: 1

WASHOE COUNTY PO BOX 30039 RENO, NV 89520-3039 775-328-2510 PIN: 07613035 AIN:

AUTO :895107:

DAVID W DUNHAM 6000 WINNEMUCCA RANCH RD RENO NV 89510

Balance Good Through:	08/08/2017
Current Year Balance:	\$0.00
Prior Year(s) Balance: (see below for details)	\$0.00
Total Due:	\$0.00

Description:

Situs: 6000 WINNEMUCCA RANCH RD WCTY

This is a courtesy notice. If you have an impound account through your lender or are not sure if you have an impound account and need more information, please contact your lender directly. Please submit payment for the remaining amount(s) according to the due dates shown. Always include your PIN number with your payment. Please visit our website: www.washoecounty.us/treas

Current Charges									
PIN	Year	Bill Number	Inst	Due Date	Charges	Interest	Pen/Fees	Paid	Balance
07613035	2016	2016080110	1	08/15/2016	533.89	0.00	0.00	533.89	0.00
07613035	2016		2	10/03/2016	533.89	0.00	0.00	533.89	0.00
07613035	2016		3	01/02/2017	533.89	0.00	0.00	533.89	0.00
07613035	2016		4	03/06/2017	533.88	0.00	0.00	533.88	0.00
Current Year Totals					2,135.55	0.00	0.00	2,135.55	0.00

Prior Years							
PIN	Year	Bill Number	Charges	Interest	Pen/Fees	Paid	Balance
Prior Years Total							

## **Property Tax Reminder Notice**

WASHOE COUNTY PO BOX 30039 RENO, NV 89520-3039 775-328-2510

PIN: 07613035

AIN:

**AUTO** :895107:

DAVID W DUNHAM 6000 WINNEMUCCA RANCH RD **RENO NV 89510** 

**Balance Good Through:** 08/08/2017 **Current Year Balance:** \$2,099.34 \$0.00 Prior Year(s) Balance: (see below for details) \$2,099.34 **Total Due:** 

Description:

Situs: 6000 WINNEMUCCA RANCH RD WCTY

This is a courtesy notice. If you have an impound account through your lender or are not sure if you have an impound account and need more information, please contact your lender directly. Please submit payment for the remaining amount(s) according to the due dates shown. Always include your PIN number with your payment. Please visit our website: www.washoecounty.us/treas

Current Charges									
PIN	Year	Bill Number	Inst	Due Date	Charges	Interest	Pen/Fees	Paid	Balance
07613035	2017	2017080000	1	08/21/2017	524.84	0.00	0.00	0.00	524.84
07613035	2017		2	10/02/2017	524.84	0.00	0.00	0.00	524.84
07613035	2017		3	01/01/2018	524.83	0.00	0.00	0.00	524.83
07613035	2017		4	03/05/2018	524.83	0.00	0.00	0.00	524.83
Current Year Totals					2,099.34	0.00	0.00	0.00	2,099.34

Prior Years						
Year	Bill Number	Charges	Interest	Pen/Fees	Paid	Balance
	Year					

## Administrative Permit Application Supplemental Information

(All required information may be separately attached)

Chapter 110 of the Washoe County Code is commonly known as the Development Code. Specific references to administrative permits may be found in Article 808, Administrative Permits.

1. What is the type of project or use being requested?

Residential detacked garage

2. What currently developed portions of the property or existing structures are going to be used with this permit?

Existing house attached by breeze way to garage.

3. What improvements (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.) will have to be constructed or installed and what is the projected time frame for the completion of each?

Residential detached garage, tie in new electrical, plumbing and septic into existing

What is the intended phasing schedule for the construction and completion of the project?
14r from stant to comp.
What physical characteristics of your location and/or premises are especially suited to deal with impacts and the intensity of your proposed use?
What are the anticipated beneficial aspects or effect your project will have on adjacent properties a the community?
What will you do to minimize the anticipated negative impacts or effect your project will have adjacent properties?

8. Please describe operational parameters and/or voluntary conditions of approval to be imposed on the administrative permit to address community impacts.

n/A

9. How many improved parking spaces, both on-site and off-site, are available or will be provided? (Please indicate on site plan.)

n/A

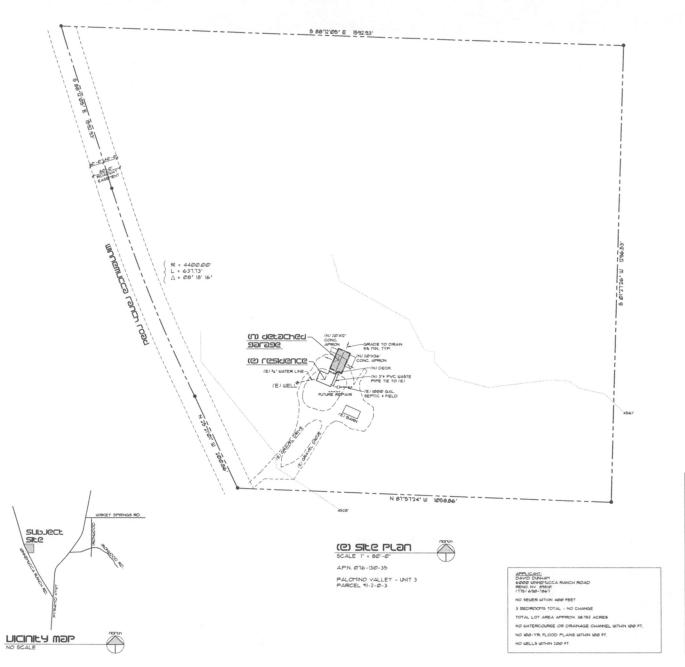
10. What types of landscaping (e.g. shrubs, trees, fencing, painting scheme, etc.) are proposed? (Please indicate location on site plan.)

MA

11. What type of signs and lighting will be provided? On a separate sheet, show a depiction (height, width, construction materials, colors, illumination methods, lighting intensity, base landscaping, etc.) of each sign and the typical lighting standards. (Please indicate location of signs and lights on site plan.)

NA

□ Yes		₩ No	
tilities:			
a. Sewer Service	Sec	Hic	
b. Water Service	We	ell	
c. Permit #		acre-feet per year	
		should dedication be requ	T
d. Certificate #		acre-feet per year	
e. Surface Claim #		acre-feet per year	
f. Other, #		acre-feet per year	
	(as filed with the State	Engineer in the Division esources):	n of Water Resources
Title of those rights Department of Cons	ervation and Natural Re ————————————————————————————————————		
Title of those rights Department of Cons	ervation and Natural Re		
Title of those rights Department of Cons	ervation and Natural Re		



### general notes:

- ALL CONSTRUCTION SHALL MEET THE CURRENT REQUIREMENTS OF THE LR.C., WASHOE COUNTY BUILDING FLANNING DEPARTMENTS 4 ANY APPLICABLE C.C.4R.'S WITHIN THIS DEVELOPMENT.
- 2. FIELD VERIFY EXISTING SITE GRADES AND CONDITIONS.
- FIELD YERIFY ALL UTILITY LOCATIONS -CONNECTIONS SHALL BE MADE IN ACCORDANCE UITH ALL APPLICABLE CODES ( REQUIREMENTS).
- 4. ALL PREFABRIGATED PRODUCTS SHALL BE INSTALLED PER MANUF, SPECIFICATIONS.
- PROPERTY IS LOCATED IN HIGH FIRE HAZARD UILDLAND-URBAN INTERFACE (UILI) ZONE, SEE SHEET A-6 FOR UILI, REQJIREPENTS 4 NOTES.

alchipecp

5995 9fass valley foad reno, nevada 89510 775.288.1984 CELL 775.475.0796 Pax ausalzano @ aol.com www.alsalzano.com



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#### SILE LEGENA:

	EXISTING CONTOURS
	FINISH CONTOURS
10.15	FINISH GRADES
	BUILDING ENVELOPE LIN
	DRAINAGE SLOPE - 2%

#### SILE NOLES:

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A-4

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A-6

SDI

5D2

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- I. SOILS ENGINEER SHALL EXAMINE SITE AFTER EXCAVATION AND PRIOR TO SETTING ANY CONC. FORTHS, SOILS BUSINEER RECOMPRISO ATOMS CONCERNING FOOTING SIZE, DEPTH, COMPACTION, ETC. SHALL DE FOLLOWED.
- ALL WALKS, DRIVES AND PATIOS NOTED ON SITE PLAN SHALL BE 4' CONC. WITH FIBER MESH OVER 6' TYPE-II BASE COMPACTED TO \$5%.
- CARE SHALL BE TAKEN THAT ALL VEGETATION IN UNDEVELOPED AREAS IS PROTECTED DURNO CONSTRUCTION. ALL VEHICLES 4 MATERIAL STORAGE SHALL BE RESTRICTED TO (E) DRIVE AREA.

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STRUCTURAL DETAILS

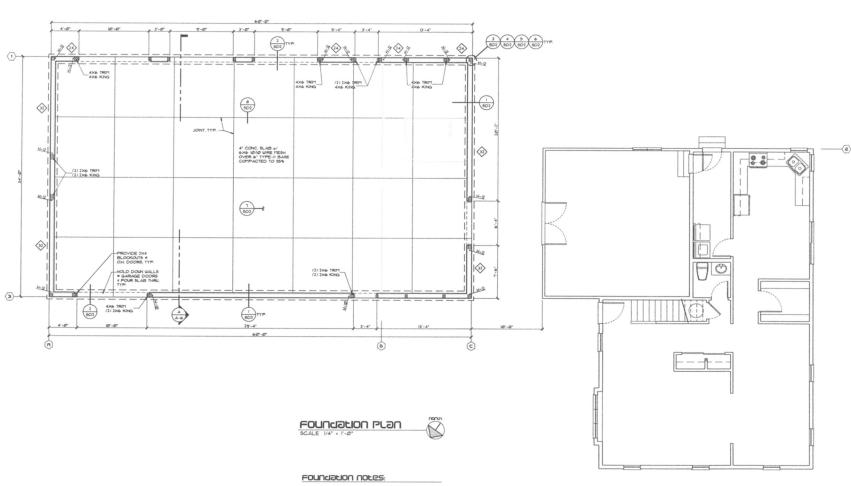
MECHANICAL/ELECTRICAL PLANS

GRADE SITE TO DRAIN 5% MIN. FOR 10"-0" AUIAY FROM RESIDENCE.

POľ:

(E) SITE PLAN, DRAWING INDEX	
FOUNDATION PLAN	au designs e drawings as
FLOOR PLAN	INSCIUMTENCS OF SEIVICE EIE COPYNENC BY THE EICHITECT UNDER PROVISIONS OF NIS 628.
(E) UPPER FLOOR PLAN	unguishorizad dupucation op dasians or distrubution op drawings is prohibitian.
ROOF FRAMING PLAN	DIGWINSS IS PIONICICOL.
EXTERIOR ELEV., BLDG. SECTION 4 WUJ. NOTES	(E) SITE PLAN.
EXTERIOR ELEVATIONS	DRAWING INDEX
STRUCTURAL NOTES 4 SCHEDULES	
STRUCTURAL DETAILS	150000000000000000000000000000000000000





- L SOILS ENGINEER SHALL EXAMINE SITE AFTER EXCAVATION & PRIOR TO SETTING ANY CONC. FORMS. SOIL'S ENGINEER RECORTISHISDIATIONS CONCERNING OVER EXCAVATION, COMPACTION, ETC. SHALL BE FOLLOWED.
- CONC. FOOTINGS 16"  $\times$  10"  $\omega$ / 2. "4 REBAR CONT, TYP, UNO. STEP FOOTINGS AS REGIO. TO BEAR ON NATIVE GRADE OR AS DIRECTED BY SOULS PRIMINEER. SEE EXTERIOR ELEV. FOR FOOTING 4 PIER DEPTHS (MIN. 2"-0") FIELD VERFY.

- 6. SEE SHEET SDI FOR ADDITIONAL STRUCT, NOTES 4 SCHEDULES.

alchipecp

5995 9fass valley foad reno, nevada 89510 775.233.1984 CBLL 775.475.0796 Pax ajsalzano @ aol.com www.alsalzano.com



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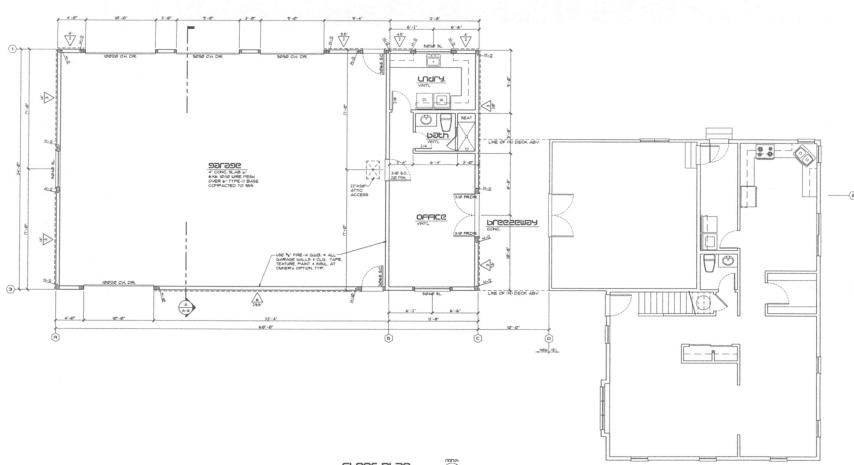
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AL DESIGNS & DIRWINGS AS INSCRUTIENTS OF SERVICE BIE COPYRIGHT BY THE BICHTECT UNDER PROVISIONS OF INS GER UNGUERNEED OF PRESIDENT OF DESIGNS OF DISTRIBUTION OF DIRWINGS IS PROHIBITED.

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FOUNDATION PLAN

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FLOOR PLan (N) GARAGE AREA APPROX, 1592 SQFT.

(N) OFFICE/BATH/LAUNDRY APPROX. 448 SQFT.

TOTAL AREA APPROX. 2,040 SQFT.

(N) DECK AREA APPROX. 213 SQFT.

#### FLOOR PLAN NOTES:

- EXTERIOR WALLS SHALL BE JX6 STUDS \* 16" OC. W PIN 1/2" COX PLTUD. (OR EGIAL) SHEATHING ("4" GAP \* ALL EDGES!) VAPOR DARRIER \* R. F. INBUL. TITP. PROVIDE POAM SILL SEAL \* ALL EXTERIOR WALLS.
- 2. 1/1 GMB. # WALLS 4 % GMB. # CEILINGS TYP. USE % FIRE-X GMB. IN GARAGE 4 TILE BACKER BO. IN UET AREAS, PINISH DRTUALL PER OWNER.
- ALL CEILING FRAMING SHALL BE = 14' O.G. AS FOLLOUS: 294'S MAX. SPAN 9'-0' 296'S MAX. SPAN I8'-0' 298'S MAX. SPAN I8'-0'
- SEE EXTERIOR ELEVATIONS FOR SPECIALTY UNDOUS. ALL GLAZING SHALL BE LOW-E COATED, DUAL GLAZED.
- 1. PROVIDE SILL PANS + ALL EXTERIOR DOORS 4 UNDOUS.
- PROVIDE FIRE BLOCKING \* MAX. IØ -Ø' O.G. HORIZ. AT ANY WALL(5) THAT EXCEED IØ'-Ø' IN HEIGHT.
- 9. SEE SDI FOR ADDITIONAL STRUCT, NOTES 4 SCHEDULES.

alchipecp

5985 978SS VALLEY FOAD (eno, nevada 89510 775.288.1984 Cell 775.475.0796 Pax aJsalzano @ aol.com www.alsalzano.com



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DAYD DURBM
6000 WINNEMUCS (ANCH 1080
WASHOB COUNCY, NEYSOR

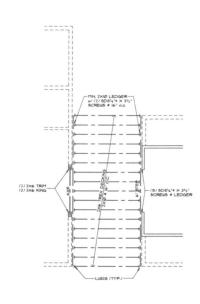
POT:

ALL DESIGNS & DIREWINGS AS INSTAUTHORDS OF SALVER ARE COPYRIGHT BY THE GICHLECT, UNDER PROVISIONS OF INS 1228, UNBILLEDIZED DEPLIZATION OF DESIGNS OF DISTAUGUEDON OF DREWINGS IS PROHIBITION.

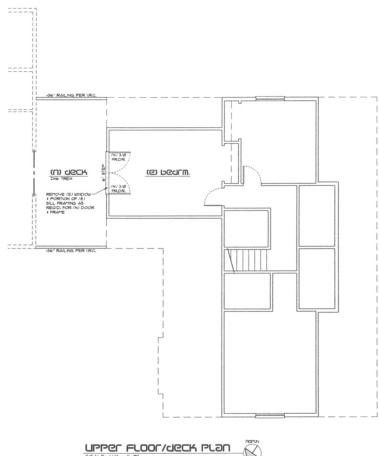
DISMINULES.

FLOOR PLAN

1749







UPPER FLOOF/deck Plan

architect

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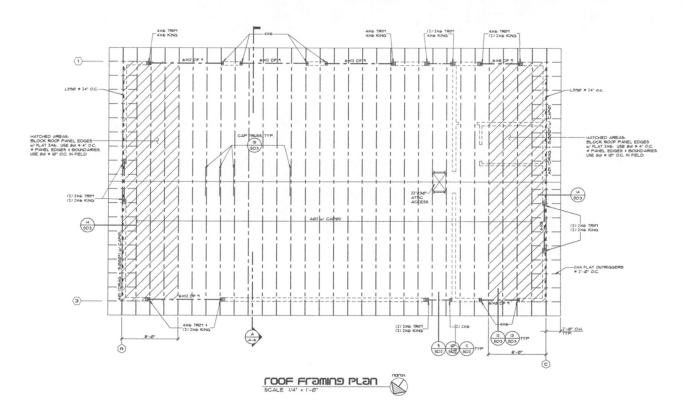
Sarase addictor Baylo Durlam 6000 Winnemucsa ranch road Washoe county, neyada

POſ:

ALL DESIGNS & DIAWINGS AS INSTAUTIONS OF SALVER BIG COPYRIGHT BY THE BICHTECT, UNDER PROVISIONS OF INS 628. UNGUERATION OF DESIGNS OF DISTAUDUCION OF DESIGNS OF DISTAUDUCION OF DISWINGS IS PROHEICED.

(E) UPPER FLOOR PLAN

**A-4** 



#### **DEFIC NGUELINGUE COLC'S.**:

IRC. SECTION REGG 2

TOTAL ATTIC AREA

OPENING AREA # 1/300 (182 / 300) 50% # RIDGES 4 50% # EAVES:

T82 SQFT. 2.61 SQFT. 130 SQFT. EACH

68 LF. ØØ81 SQFT, EACH

MIN. 2 L.F. RIDGE VENT REGID.

(4) 2'+ HOLES PER VENT BUK.

VENTING BLOCKS # 4'-Ø' O.C.;
68 L.F. / 4 L.F. + IT BLK's, × ØØ81 SF/ BLK + 148 SQFT, > 13Ø SQFT.

#### Pre-Fabricated truss notes:

- TRUSS FLANE, SHALL BE RESPONSIBLE FOR ALL ENGINEERING, LAYOUT DRAINING, CONSCITONS, BLOCKNIS, DRAICHO & FRISS FROM FROM FROM FLANE FLANE
- USE PRE-ENGINEERED MANAFACTURED TRUSSES = 24° OC. SOLID BLOCK = SUPPORTS + PER MANAFACTURERS SPECIFICATIONS, USE SITENOM ++ I EA SUPPORT MALLIDEAT TO EA TRUSS +++5° = EA SUPPORT MALLIDEAT TO EA GIRCLET TRUSS. MANA TRUSSES GIRCLET TRUSSES & STRONG HAISE OR AS SPECIFIED ON PLAN

#### roof framing notes:

- ROOF LOADS: SNOW 21\* SQ. FT. : DEAD 26\* SQ. FT.
- ALL FRAMING HARDWARE NOTED SHALL BE "SIMPSON" INSTALL PER MANUF, REQUIREMENTS.
- TYP, ROOF SHEATHING SHALL BE NIN 18/33" STRUCT, II COX PLYUD. OR O.S.B., Pl. 1 3376 w/ 8d 1 6 f O.C. BOLNDART 4 EDGES, 4" O.C. 4 DRAG TRISSES 6 12" O.C. 4"RELD. SEE STRUCT. DRAININGS FOR UP\_BET NALING ZONES. LAY PLYUD, PERP. TO SUPPORTS 4 STAGGER ALL JOINTS, TYP.
- 4 AVA DER TYP, MEADER UND
- 5. PROVIDE 1X6 FASCIA W SHEET METAL DRIP FLASHING, TYP.
- PROVIDE ROOF VENTILATION FER IR.C. (1 SQFT, FER EA, 300 SQFT OF ATTIC AREA), SEE ATTIC VENTILATION CALC'S, PROVIDE R-38 NSUL, THROUGHOUT ATTIC W INSUL, BAFFLES \* EAVE VENTS, TYP.
- USE 24-IA-DETWEEN TOP PLATE (T.R.) SPLICES W/ MIN. 6'-0' LAP.
- 8. USE 2X4 FLAT u/ 2X6 STRONGBACK = 24" O.C. = GABLE END
- 9. SEE SHEET SO-I FOR ADDITIONAL STRUCTURAL NOTES 4 SCHEDULES.
- ID. SEE TRUSS CALC'S 4 DETAIL 6 FOR PERMANENT LATERAL TRUSS BRACING SPEC'S. 503

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5935 9fass valley foad reno, nevada 89510 775.233.1984 CBU 775.475.0796 Pax ajsalzano @ aol.com www.alsalzano.com



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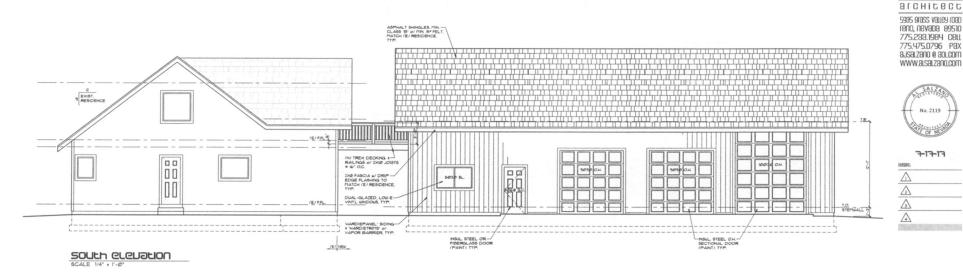
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BISANIS CAZA

ROOF FRAMING

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No. 2119

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WILDRO Urban Interface notes:

- ALL EXTERIOR BUILDING MATERIALS MUST COMPLY w/ 2012 WILDLAND URBAN INTERFACE (WILL) CODE FOR NEW CONSTRUCTION.
- ALL BUILDING MATERIAL MUST BE INSTALLED PER MAN.F. DETAILS 4 SPEC'S. SEE EXTERIOR ELEVATIONS 6 BUILDING SECTIONS FOR LOCATION 4 DETAILS OF BUILDING MATERIALS LISTED BELIOU.
- PROPERTY IS DESIGNATED AS HIGH FIRE HAZARD', WUI. TABLE 503.1 w/ DEFENSIBLE SPACE 4 NON-CONFORMING WATER SUPPLY \* IR2 (CLASS 2) CONSTRUCTION RECOT

PROPOSED (WILL) BUILDING STANDARDS:

#### ROOPING

- ROOFING MATERIAL: ASPHALT ROOF SHINGLES, CLASS 'B' FIRE-RESISTIVE. INSTALL PER MANUF, 4 CHAPTER 5 OF THE IRC.
- ROOF VALLETS:
  MIN ØDIS NO. 16 GA GALV, SHEET METAL NISTALLED OVER NOT LESS
  THAN ONE (I) LATER OF MIN 13\* MINERAL SURFACED NOMPERFORATED
  CAP SHEET, MIN 36\* WIDE RANNING THE PULL VALLEY LENGTH.
- ROOF GUTTERS: HUST DE NON-COMBUSTIBLE MATERIAL 4 PROVIDED W/ THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES 4 DEBRIS IN THE GUTTER.
- VENTS: EAVE VENTS SHALL BE FIRE-RATED, "VILCAN INDUSTRIES" OR EQUAL INSTALL PER MANUE.

#### EXTERIOR COVERINGS

- EXTENT OF COVERING.

  EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE TOP OF THE
  FOUNDATION TO THE ROOF, I TERMINATE AT 2" NOM, SOLID UD. BLOCKING
  BETWEEN RAFTERS # ALL ROOF OVERHANGS.

#### EXTERIOR UNDOUG 4 DOORS:

- EXTERIOR UNDOUS 4 GLAZED DOOR ASSEMBLIES. EXTERIOR UNDOUS 4 GLAZED DOOR ASSEMBLIES SHALL BE CONST. OF MUITI-PANE GLAZING OR TEMPERD GLASS.
- EXTERIOR DOORS:

  EITHER EXTERIOR SURFACE OR CLADDING OF NON-COMBUSTIBLE OR IGNITION-RESISTANT MATERIAL, OR CONSTRUCTED OF SOLID COME UD. OF NOT LEGG THAN 14, "THICKNESS."

#### DEFENSIBLE SPACE

- PRIOR TO BUILDING PERTIT FINAL APPROVAL THE PROPERTY SHALL BE IN COMPLIANCE WITHE VEGETATION CLEARANCE REQUIREMENTS PRESCRIBED IN MILL SECTION 403 4 604 TORENSIBLE SPACE:
- THE ENFORCEMENT OF DEFENSIBLE SPACE & INSPECTION SHALL BE PERFORMED BY THE LOCAL JURISDICTION HAVING AUTHORITY.

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DISMINS CALLS

EXTERIOR ELEVATION, BLDG. SECTION 4 WILL NOTES

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**A-6** 

PI NOIJOS COIDJIUd

P.T. GILL E. PER PLAN.-

16"XID" CONG. FTG.

STEMBALL

-R-21 WALL INSUL, TYP

ASPHALT SHINGLES TO MATCH (E) RESIDENCE o/ MIN. IS\* FELT, TYP.

HARDIESOFFIT W/ FIRE-RATED VENTS, TYP.

6XIZ DEM HEADER -INSUL. STEEL OH -SECTIONAL DOOR (PAINT), TYP.



alchipecp

5985 9(8)S Valley (08) (18)O, NEVADA 89510 775,283,1984 CBU 775,475,0796 PAX 8JS8LZ8NO @ 80LCOM WWW.8LS8LZ8NO.COM



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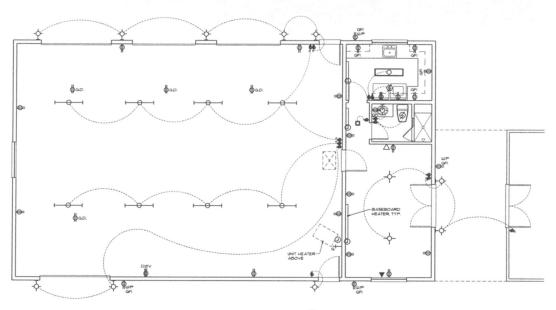
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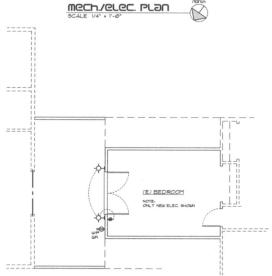
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DISWINS CITTE

EXTERIOR ELEVATIONS

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UPPER FLOOR MECH./ELEC. PLan

#### Mech./elec. Legend:

= 10 V. DUPLEX OUTLET - GFI WHERE NOTED

220 V. OUTLET (PROVIDE DISCONNECT \* A/C CONDENSER)

(J) 110 V. "J" BOX

SWITCH - DITMER (D): 3-WAY (3): PILOT LIGHT (PL): AS NOTED.

RECESSED LIGHT - PROVIDE DITTERS \* ALL CIRCUITS & LENSES IN MATER AREAS, CLOSETS & \* EXTERIOR. FIXTURES INSTALLED IN MET LOCATIONS SHALL BE MARKED AS SUCH.

SURFACE MOUNTED LIGHT - CHANDELIER (CH)

HO- WALL MOUNTED LIGHT

FAN OR FAN/LIGHT - V.T.O.

△ TELEPHONE - CATEGORY 5 WIRING

CABLE T.V. - RG 6 WRING

| CABLE T.V. - RG 6 WRING

GAS STUB (G.) - WATER STUB (W.)

#### NOTES:

LALL WORK SHALL BE IN ACCORDANCE WITH THE NEC. 4 I.R.C. AS AMENDED BY THE LOCAL GOVERNING AUTHORITY.

2. ALL SUITCHES SHALL BE LOCATED CLEAR OF DOOR SUINGS.

3. SEE SHEET A-3 FOR ANY MINOR MODIFICATIONS TO FLOOR PLAN.

4. ALL EXTERIOR OUTLETS & FIXTURES SHALL BE WATERPROOF.
5. ALL GARAGE OUTLETS SHALL BE GFI & MTD. \* 19" AFF. MIN.

 A MN OF 15% OF LAMPS IN PERMANENTLY INSTALLED FIXTURES SHALL BE HIGH EFFICACY LAMPS.

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PROJECT STRUCTURAL NOTES ASSINETIC DIGNESHING ASSUMES TO HAVE READ AND INDEPSTAND NOTE	HAT THE GENERAL CONTRACTOR AND ALL INVOLVED PARTIES IS USTED IN PLANS,			T S			HOLDO	OWN SCH	EDULE			-
GENERAL		FOUNDATION/FLOOR FRAMING NOTES										
I, ALL HORK, DETAILS OF DESIGN, MORETWISHIP, AND MATERIALS SHALL CONFORM TO REQUIREMENTS OF THE 2012 EDITION OF THE INTERNATIONAL DIVIDING CODE (IBC) OF THE INTERNATIONAL CONFERENCE OF BUILDING OFFICIALS AND THE APPLICABLE	I, STRUCTURAL STEEL AND MISCELLANEOUS IRON SHALL CONFORM TO ASTM A-36, IN SECTIONS SHALL CONFORM TO ASTM A52, GRADE 50, 2 STEE PER COLUMN SHALL CONFORM TO ASTM A-38, TYPE F OR S. CRADE B.	I, ALL EXTERIOR HALLS SHALL BE CONSIDERED SHEARHALLS NAILED AS TYPE "\$" HALLS (SEE SHEARHALL SCHEDULE), USE GALVANIZED MAILS FOR ALL MAILS NITO SILL PLATES, 2 BLOOP SHEATURES SHALL BUT \$" T. K. AND ANTES TRED, L. BOOK ARRY COLLINS OF SHALL MAILS NITO SILL PLATES.				HOLDOHN DESIGNATION	HOLDOHN		RED ANCHORAGE	RELIRED H.D. POST	A	
REGISTREPHINS OF THE DOP EDITION OF THE INTERNATIONAL BILLIPIES CODE (REC.) OF THE METIBALITONAL COPYEDUCAT OF DEDITION OF THE METIBALITONAL COPYEDUCAT OF THE METIBALITONAL COPYEDUCAT OF THE METIBALITONAL COPYEDUCATION OF THE METIBALITONAL COPYEDUCATION OF THE MEDICAL COPYEDUC	3. STEEL TUBE SECTIONS SHALL CONFORM TO ASTM A500, GRADE B. 4. STEEL PLATES SHALL CONFORM TO ASTM A-282, GRADE "A".	2 FLOOR SHEATHING SHALL BE 1, T.A.R. AFA KATED STURD-1-FLOOR, AFALT FACE GRANVLONG DITENSION PERPENDICULAR TO SUPPORT FRAMING, STAGGER PANELS AND NAIL HITH IOG AT 6" O.C., AT ALL EDGES AND BOUNDARIES (BLOCKING AT INTERIOR SHEAR HALLS,				NA DESIGNATION	STHOW	MONO-PO	JR 2-POUR	DBL, STUDS		
PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, GHANGED, OR COPIED IN ANY HATTER HHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO A THIRD BASED WITHOUT THE EXCEPTION OF THE PLANS OF TH	5, ALL DETAILING SHALL CONFORM TO CURRENT AISC SPECIFICATIONS, 6, ALL HELDING SHALL CONFORM TO CURRENT AISC AND AIS U SPECIFICATIONS, AND SHALL	FOUNDATION FLOOR FRANCE NOTES  ALL DITIONS NALLS SHALL BE CONDERED BRADWLIS MALD AS TITY N' MALS  ALL DITIONS NALLS SHALL BE CONDERED BRADWLIS MALD AS TITY N' MALS  ALL DITIONS NALLS SHALL BE BY JAK. AN BATTO STREEN-HOLDS, APPLY FAC GOMADIO.  DESCRIPTION OF THE STREET, APPLY STREET STREET, APPLY FAC GOMADIO.  DESCRIPTION OF THE STREET, APPLY STREET,				H-10	HTTS	SSTBIC	56TRX0	DBL, STUDS		
OF UNAUTHORIZED REUSE OF THESE PLANS BY A THIRD PARTY, THE THIRD PARTY SHALL HOLD ABSTHETIC ENGINEERING HARMLESS.	ALL SHOP HELDING SHALL BE IN AN APPROVED PARRICATORS SHOP AUTHORIZED BY THE BUILDING AUTHORITY OR SPECIFIC INSPECTION PER IBC SECTION 1701,						HDU4-9092,5	ээтви	96TB20	DBL, STUDS		
3. AESTHETIC BIGINEERING RESERVES THE RIGHT TO PERFORM OBSERVATION VISITS TO THE SITE AT ANY TIME, OBSERVATIONS ARE PERFORMED SOLELY FOR THE PURPOSE OF DETERMINED IN THE CONTROL OF THE PASSAGE INTERFERENCE OF THE CONTROL	7, ALL COMPLETE JOINT PENETRATION HELDS REQUIRE SPECIAL INSPECTION AND UT TESTING. 8, ALL HELDING, ELECTRODES SHALL BE E70XX OR SHIELDED HIRES WITH FY GREATER THAN OR SOLUL TO 30 KM.	BLOCKS, HIB STIFFENERS, ETC. PER HANDACTURER'S SPECIFICATIONS,  4. ALL FLOOR OPENINGS SHALL BE BETHEEN JOISTS,					STHD14	N/A	N/A	DBL, STUDS		
OBSERVATIONS DO NOT GUARANTEE CONTACTOR'S PERFORMANCE AND ARE NOT TO BE CONSTRUED AS SUPERVISION OF THE PROJECT,	4. BOLTS, NUTS, AND SCREWS SHALL CONFORM TO ASTH ABOT GRADE "A".  10. HIGH STRENGTH BOLTS SHALL BE ASTH AS25, CONTACT FACES OF STEEL CONNECTIONS	<ol> <li>ALI HOLDONIS SHALL BE INSTALLED AT THE THE APPROPRIATE HEMBERS ARE FRAMED AND ACCORDING TO HANJFACTURER'S SPECIFICATIONS. IF STRUCTURE IS MULTIPLE STORIES, AS MICH AS POSSIBLE. LINE FLOOR-TO-FLOOR HOLDONIS UP WITH FLOOR-TO-FOLKINDATION.</li> </ol>				s, H-II	HTTEKT	95TB24	55TB24	DBL, STUDS		
4. IN THE EVENT THAT CERTAIN EXISTING DIMENSIONS AND/OR CONDITIONS ARE FOUND TO BE DIFFERENT FROM THOSE SHOWN ON THE PLANS AND DETAILS, THE DISQUEET SHALL BE DISCUSSIONAL THE DISCUSSION OF THE	HARRE HIGH STRENGTH BOLTS ARE TO BE USED SHALL NOT BE PAINTED.  II. ALL FOLNDATION BOLTS SHALL BE ASTH A-36 GALVANIZED ALL THREAD OR ASTH ASOT	HOLDOWNS SO THAT HOLDOWNS ARE ATTACHED TO COMMON MEMBERS, USE SHEAR PLY HAILING TO ALL HOLDOWN MEMBERS,					HDU5-5D52,5	ASTH 307		DBL, STUDS		
THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY ERRORS, DISCREPANCIES, OR CHISGIONS WHICH THE CONTRACTOR FAILED TO NOTIFY ABSTHETIC	INCHES IN DAMFERE BOLT HOLES TO BE ONE-THIRTY-SECONDS OF AN INCH TO ONE- SIXTEENTH OF AN INCH LARGER THAN SPECIFIED BOLT.	RELIGIORES SO HIM-DECIMENT AND THE RESIDENCE TO CONTROL PRIBERS. USE SHEAR PLEASE SHEAR RESIDENCE FOR SHEAR RESIDENCE FOR THE SHEAR PLEASE SHEAR RESIDENCE FOR CONTROL FOR TANGE SHEAR PLEASE SHEAR RESIDENCE FOR CONTROL FOR TANGE SHEAR PLEASE SHEAR PLEAS				H-12	HDU8-5092,5	96TB26	001001	DBL, STUDS		
BIGINEERING OF BEFORE CONSTRUCTION AND/OR FABRICATION OF THE HORK.  5. ASSTHETIC BIGINEERING IS RESPONSIBLE FOR THE STRUCTURAL ITEMS IN THE PLANS ONLY. SUZIAL DAMY CHANGES BE MADE: OR SUZIAL THE PERSIAL TO GET THESE CALL OF ATVANS AND.	22, ALL STRUCTURAL STEEL AND MISCELLANEOUS IRON NOT ENCASED IN CONCRETE SHALL RECEIVE ONE SHOP COAT OF APPROVED PRIMER PAINT,  BALL STRUCTURAL STEEL AND MISCELLANEOUS IRON NOT ENCASED IN CONCRETE SHALL RECEIVE ON THE SHAPE OF THE PROPERTY OF THE SHAPE	PROVIDE POST UP TO SUBPLOOR TO SUPPORT IDENTICAL POST ABOVE, USE (2) SIMPSON STE224 ON OPPOSITE SIDES OF POST TO STRAP POST ABOVE THROUGH THE PLOOR TO				·	HD08-5D58 HD01-5D52.5	95TB26		DBL, STUDS	_	
BE FULLY OR PROPERLY TRANSFERRED TO THE PLANS, AESTHETIC ENGINEERING ASSUMES NO RESPONSIBILITY FOR THE STRUCTURE.	OTHER APPROVED HEATHER PROOFING METHOD HAVING EQUIVALENT RESULTS MAY BE USED.  M. HAIERE NECESSARY, PROVIDE ONE-HALF INCH DIAMETER X THREE INCH NELSCH STUDS	PROVIDE ROST UP TO SERVICOR TO SUPPORT IDENTICAL ROST MADE, USE (2) SERVICOR TO STRUCK OF CONVENTION SERVICE ROST IN THE PROVIDE STATE OF CONVENTION SERVICE ROST IN THE PROVIDE SERVICE ROST IN FACE OR IL ROSE, DATE SHALL BE LOCATED WIT FOR HER PROVIDE SERVICE ROST IN FACE OR IN THE PROVIDE SERVICE ROST IN FACE OR THE PROVIDE SERVICE ROST IN THE PROVIDE SERVICE ROST IN FACE OR THE PROVIDE SERVICE ROST IN THE PROVIDE SER				H-13	HADON-SDS2,5	ASTM 307		Grafi Gr	P	
6. THE DETAILS SHOWN ON THE DRAWINGS ARE TYPICAL, SIMILAR DETAILS APPLY TO SIMILAR CONDITIONS, NO DEVIATIONS FROM STRUCTURAL DETAILS SHALL BE MADE WITHOUT THE PROPERTY APPROVAL OF APPLIETY. PRICEIPPOACE	AT 36" O.C.  5. ALL GROUT UNDER STEEL BEARING PLATES SHALL BE SOUD DRIPACK OR NON-SHRINK	EXTEND SILL HITH MINIMUM	BOLTS 7 INTO FOUND 1 (2) BOLTS IN EACH	ation minimum; I Sill Board, Bol	TAXIMUM SPACE TS SHALL BE L	NG SHALL BE 4-0" O.C.			10111	10	646	
7. THE CALCULATIONS ARE BASED UPON A COMPLETE STRUCTURE, TEMPORARY SUPPORTS, ETC., ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND HAVE NOT BEEN	IN SIZE, OR PROVIDE THE CERTIFICATE FOR ALL SINGLE-PASS FILLET HELDS NOT EXCEEDING 5/16" IN SIZE, OR PROVIDE THE CERTIFICATE OF COMPLIANCE THAT THE WORK HAS PERFORMED	3'x3'x1' THIC	K PLATE MASHERS SH USE FOUNDATION GRA	all be installe ade redukood or	d on Each Sili Timberstran	L BOLT, D L.S.L. TREATED WITH	H-14	HHDQ14-5D52,5	ASTH 307	1°# ASTM 307 1°#	6n6 or 4x8	P
CONSIDERED BY AESTHETIC ENGINEERING, SHOULD AN UNFINISHED STRUCTURE BE SUBLECT TO LADDS, AESTHETIC DIGNEERING SHOULD BE CONSULTED FOR AN INTERIN DESIGN OR IF NOT WILL ASSEMBLY LABOURY.	n an Approved Fabricator's Shop.  WOOD FRAMING NOTES	ZINC BORATE IMPORTANT I	OR PRESSURE TREAT	ED MUDSILL, SEE	SHEARHALL SO ALL FRAMING M	CHEDULE FOR TEMBERS RECEIVING	H-15	HDM	ASTM 307	1½°♦ ASTM 307 1½°♦	6x6 or 4x8	-
6. ALL NOTES ARE TYPICAL UNLESS NOTED OTHERWISE ON THE PLANS, ALL HARDWARE AND FRAMING MEMBERS SPECIFIED IN THE CALCULATIONS AND/OR PLANS ARE MINIMUMS AND	HOLDO FRANING MOTTES  ALL LITERS FRANKS AND DEARMS, STUDE TO BE DOUGLAS FIR-LARCH HITH HOSTINGE  CLIC LAYMANTED TREES REAMS TO BE APAIDES HARGED DAY-MC, GUI-LAMS DIPOSED  CLIC LAYMANTED TREES REAMS TO BE APAIDES HARGED DAY-MC, GUI-LAMS DIPOSED  TO REATHER SHALL BE AFTED FOR DITTIERS ME BETTE THE HAMPACTERS OR AN  APPRINCED PROTECTION FROM DOUGLES SHALL BE PROVIDED, "255 PM EXAMANDET OR  BETTER FOR PRESENS LESS THAN BY DEEP, COMMENT FURS THAT (2) DONE US DOOR  MALS AT DZ OL. FOR TERPENS CREATER THAN BY DEEP, COMMENT FURS HET (3)  ROMS ALS DOOR MALS AT DZ OC. OR THEE FIRECT FERSERS, MALES SEPTIONED OF ROTH	MEMBER, OR 2306,1 OF THE	THO 2-INCH NOMINAL E 2012 IBC, PLYHOOD	MEMBERS FASTE	NED IN ACCORD	ANCE WITH SECTION SHALL BE STAGGERED	11-13	non-	70111 301	ATT SOLIT SOLIT	46	_
LARGER MEMBERS OF EQUAL OR BETTER GRADE MAY BE SUBSTITUTED.  SITE WORK	<ul> <li>GLUE LAMINATED TIMBER BEAMS TO BE APACHS MARKED 24F-V4, GLU-LAMS EXPOSED TO NEATHER SHALL BE RATED FOR EXTENDING USE BY THE HANDFACTURER OR AN ADDRESS RESIDENCE TO BE SERVICED BY SHALL BE EXCLUDED.</li> </ul>	B, AN B" HIDE CO	L EDGES. NORETE FOUNDATION IN	WIL SHALL BE C	ENTERED ON CO	INTINUOUS FOOTING			LOOR TO	FLOOR HOLDOWN	15	
SITE HORS.  ABTHETIC BEMERBING IMA NOT HADE A GOTTECHNOL. REVIEW OF THE BUILDING OTTE LABILITIES BEMERBING IMA NOT HADE A GOTTECHNOL. BEVIEW OF THE BUILDING OTTE PERMISS. BUT DOES NOT BEDAUER. A REVIEW OF THE SITE BY A GOLDOLOGUE, BEMERBING AN A AMAINTED VIOL. BEMERBING OF THE SITE BY A GOLDOLOGUE, BEMERBING AN A AMAINTED VIOL. BEMERBING OF THE SITE BY A BOARDED TO BE DRAWED WO PRES OF CLAY OR DYNAMINE OUT. ALL TOTTINGS SOLIL BE LEVEL, OF EITHEY AND BEMER OF PRES OF CLAY OR DYNAMINE OUT. ALL TOTTINGS SOLIL BE LEVEL, OF EITHEY ADDRESS OF THE PROPERTY OF THE SITE OF THE SITE BEAUTH OF THE SITE OF THE	* LAMINATED VENERS LIFEER (LVL.) TO BE L. 4E, FB-2460 P91, F,- 295 P91 EQUIVALENT OR BETTER FOR MEMBERS LESS THAN 10" DEEP, CONNECT PLIES WITH (2) ROWS IND BOX	AT FOOTING (A	LITERNATE HOOKS), INCRETE FOOTINGS TO	BE WIND W/ (2	) #4's CONT. S	TEP FOOTING AS	HOLDOWN DESIGNATION	HOLDOWN	REQUIR	ED HOLDOWN POST	ADDIT COMP	TION
PROPOSED PROJECT, AESTHETIC ENGINEERING RECORPENDS, BUT DOES NOT REQUIRE, A REVIEW OF THE SITE BY A GEOLOGICAL ENGINEER OR A QUALIFIED CIVIL ENGINEER TO DETERMINE GENERAL SITE STANLITY AND SQUI SUITANLITY FOR THE PROJECT	NAILS AT 12" O.C. FOR MEMBERS GREATER THAN 10" DEEP, CONNECT PLIES HITH (3) RONS IN BOX NAILS AT 12"O.C. FOR THREE PIECE MEMBER, NAILING SPECIFIED IS FROM FLOYI SIDE.	REQUIRED TO E	BEAR ON NATIVE GRAD TING DEPTHS TO FROS	E OR AS DIRECTI T LINE (2'-0").	D BY SOILS E	IGNEER, EXTEND	H-I	MSTC40		OBL, STUDS		
2. BUILDING SITES ARE ASSUMED TO BE DRAINED AND FREE OF CLAY OR EXPANSIVE SOIL, ALL FOOTINGS SHALL BE LEYEL OR STEPPED AND BEAR ON FIRM, STABLE, NATURAL,	EACH SIDE.  PARALLEL STRAND LIMBER (PSL.) TO BE 2.0E, F <sub>8</sub> = 2900 PSI F <sub>7</sub> = 290 PSI EQUIVALENT OR BETTER.	II, ALL SLABS TO CONCRETE SHA	BE 4" THICK CONCRET	E H/ 6x6 10/10 H DOITIVE # PLANT	ELDED WIRE FA	BRIC REINFORCING OR BE PLACED OVER 4*	H-2	MSTC52	1	OBL, STUDS		
UNDISTURBED SOIL OR AN APPROVED COMPACTED FILL.  4. PERIMETER OR EXTERIOR FOOTING DEPTHS HUST EXTEND BELOW FROSTLINE (18" OR 24"  4. PERIMETER OR EXTERIOR FOOTING DEPTHS HUST EXTEND BELOW FROSTLINE (18" OR 24"  4. PERIMETER OR EXTERIOR FOOTING DEPTHS HUST EXTENDED AND THE PROPERTY OF T	4c AND SMALLER FRAMING TO BE DF #2.     6cc AND LARGER FRAMING TO BE DF #1.	TYPE-II BASE ( 12. REFERENCE HO	COMPACTED TO 90% RELIDONN SCHEDULE FOR	LATIVE DENSITY IMPORTANT INFO	ON UNDISTURB	ED NATIVE SOIL, UNING TO FOOTINGS,	H-3	MSTC66		OBL, STUDS		
MINIMAM BELOW NATURAL UNDISTURBED GRADE.  5. BUILDING PADS SHALL BE GRADED 28 TOWARD APPROVED DRAINAGE FACILITIES AND	2. APA RATED SHEATHING SHALL BE MANUFACTURED WITH EXTERIOR GLUE IN ACCORDANCE WITH THE REQUIREMENTS OF THE BIC AND PS 1-1, PS-2, OR APA PRP-106, SHEAR	MINIMUM 6'-6'	all not be less tha Headroom, the maxim e of steps in the st	n 36° in hidth. Taidhay shall h	EVERY STAIRM IGHT ALLOWED WIT EVICEED 78	BETHEEN LANDINGS IS	H-4	80° CHST14		OBL. STUDS		
PROVISIONS SHALL BE MADE TO CONTROL AND DRAIN SURFACE MATER AROUND BUILDING.  6. ASSURE CLASS 4 SOLIS HITH ALLOHABLE SOIL BEARING PRESSURE OF 1600 PSF WITH A	PLYHOOD SHALL BE C-D, C-C, 308 (TI-II), OR AN APPROVED EQUAL.  3. ALL RESAMN AND ROUGH SAMN BEANS ARE TO BE FREE OF HEART CENTER.	SHALL BE NOT 14. STAIR HANDRA	LESS THAN 10". ILS SHALL BE PLACED	NOT LESS THAN	34" NOR MORE	THAN 36" ABOVE	H-5 H-6	(2) HSTG66		OBL. STUDS	-	
DETERTINED AND INCREASED IN ACCORDANCE WITH IBC TABLE 1604.2.  FILL AND BACKFILL	4. ALL FRAMING CLIPS AND DEVICES SHALL BE "SITE"SON THE "OR ESUAL.  5. MINIMUM NALING FOR CONNECTION NOT INDICATED ON THE DRAHINGS SHALL BE IN  ACCORDANCE WITH TABLE 2504.9.1 OF THE IBC.	LENGTH OF THE HANDRAILS MA	THE NOSING OF THE T E STAIRS AND THE EN Y HAVE STARTING NEW	READS, THEY SH DS SHALL BE RET JELS WITHIN THE	ALL BE CONTIN TURNED, IN RES FIRST TREAD	UOUS FOR THE FULL HDENTIAL OCCUPANCIES HANDGRIP POPTION OF	H-6 H-7	(2) HST066 (2) HHD014		Ad w/ I AT.R.	INSTALL ON AL	DUOR
I FILL MATERIAL SHALL BE FREE FROM DEBRIS, VEGETATION, AND OTHER FOREIGN	6. ALL MULTIPLE TRIMMERS, MULTIPLE STUDS, OR POSTS SHALL BE STACKED IN ALL HALL FRAMING CONNECTED WITH POSITIVE CONNECTIONS. SOLID BLOCKING SIMILAR IN SIZE	HANDRAILS SH DIMENSION AND	HAVE A SMOOTH GRIP	N IL' NOR MORE	THAN 2" IN CRO SPACE OF NO	T LESS THAN BY	HOLDOWN	NOTES.			-	_
2, BACKFIL TRENCHES SHALL BE COMPACTED TO 90% DENSITY PER ASTM 657 TO HITHIN 12" OF FINISHED GRADE, THE TOP 12" SHALL BE LANDSCAPE FILL,	TO THE FOUNDATION, 7. DO NOT NOTCH BEAMS, JOISTS, OR STUDS.	5HALL BE PROT 15, QUARDRAILS SI OPENINGS, FORTH	VIDED BETWEEN THE M HALL BE A MINIMUM OF MED BY THE BASE TOO	F 36" HIGH, NO OF	PENINGS OVER	F, TRIANGULAR	I. INSTALL	ALL HOLDOWNS F	ER MANUFAC	TURER'S SPECIFICATION OF (2) ROMSOF ISS NA R SSTB BOLTS	S MAINTAINING R	REQU
REGITACIS.  2. BACYSLI REPORTS SHALL BY COPPACITO TO SET DON'TY PER ASTIT RET TO HITHIN 12"  3. BACYSLI REPORTS SHALL BY COPPACITO ON BOTH SIDES OF PER IN 6" LIFTS.  3. BACYSLI AT PIPE TRENCHES SHALL BE COPPACITED ON BOTH SIDES OF PER IN 6" LIFTS.  4. MATERSOR OF CETEBOR MACES OF ALL FORMATION MULES ADJUSTED TO LIBRALE SHOP OF THE GARRIER AND COPPACIT TO VERY COMPACT OF THE GARRIER AND CONTINUED IN ALL PROPERTY OF THE GARRIER AND CONTINUED HALLS TO SEE THE REPORTS OF THE GARRIER AND CONTINUED HALLS SHOP COPPACITED TO VERY REALTING AND CONTINUED ASSISTANCE SHOP OF ALL RETAINING MALLS SLOPE PIPE TO DOWN TO DATHIGHT AND STRIPPELL.	**PANALLE. STRAND LIFERE (PL.) TO RE 20E, F. 200 PSI F. 20 PSI BOUWALDIT OR RETTER.  *** A RETTER STAME TO BE OF RE.  *** A RETTER STAME STAM	OPEN SIDE OF CANNOT PASS	A STAIRMAY MAY BE O	OF SUCH SIZE TH	AT A SPHERE 6	N DAMETER	2. DOUBLE 3, MINIMUM	STUDS SHALL BE EMBEDMENT REQ	COMMECTEDE	TY (2) ROMSOF IN NA R SSTB BOLTS	ILS # 12" O.C. 51	TAGG
OF THE CHNER AND/OR CONTRACTOR,  5. ALL BACKFILL AGAINST FOUNDATION HALLS HUST BE COMPACTED TO 90% RELATIVE	SPECIFICATIONS DAY LENGTH  6d 0.03° 23°	6. FIRE BLOCKING FLOOR/CEILING	AND ATTIC SPACES SE	COMBUSTIBLE CON HALL BE INSTALL	ed at 10°-0° in	D DRAFT STOPPING IN TERVALS, BOTH	a, 561 b, 561	1786 - 12% (min. 1780 - 16% (min. 17824 - 20% (min. 17824 - 20% (min. 17834 - 20% (min. 17834 - 20% (min.	INTO CONCE	ETE STEMMUL		
DENSITY.  4. PROVIDE A 4" DIAMETER PVC PERFORATED DRAINPIPE AT GRADE SIDE OF ALL RETAINING	SUZE   SHANK DIA LENGTH     DI   0,131"   2½"     IOI   0,040"   3½"     IOI   0,040"   3½"     IOI   0,040"   3½"     IOI   0,040"   3½"     IOI   0,040"   0,040"     IOI	17. INSTALL ADHER REQUIRED FOR	BED VENEER IN COMPLI EXTERIOR ROCK VENEE	ANCE WITH LOCAL ER, ANCHOR TIES	CODES, FOUND	NATION SUPPORT VIDED TO HORIZONTAL	d. 561	1828 = 24% (min	) INTO CONC	RETE STEPWALL		
CONCRETE	<ul> <li>NO SUBSTITUTIONS UNLESS APPROVED IN HRITING BY AESTHETIC ENGINEERING OR SPECIFICALLY ADDRESSED IN THESE CALCULATIONS OR THE PLANS, ALL NAILS EXPOSED</li> </ul>	JOINT REINFORK IB, EXTERIOR STUC	CEMENT WIRE OF NO. 9	E A WEEP SCREE	ALENT.	THE FOUNDATION	4, IT IS AC	CEPTABLE TO USE	A.T.K. (ALL	THREAD ROD) ASTIT	307 GRADE C HE	X-H
RESPICACED CONCRETE MORK SHALL CONFORM TO APPLICABLE REQUIREMENTS OF THE 20th BC 50C, FOR-MOR, AND ACL 385     AGREGATE SHALL CONFORM TO ASTITI CAS FOR STORE CONCRETE, STORE TO BE FUNDING HOUSED AND FLACED IN ACCORDANCE HITH BC 3. CONCRETE, STORPS TO BE FUNDING HOUSED AND FLACED IN ACCORDANCE HITH BC.	REFER TO SITPSON SPECIFICATIONS FOR FRAMING HARDWARE ATTACHMENT REQUIREMENTS. ALL HALLS SHALL HEET THE REQUIREMENTS OF ASTIM F 1667.	HATER TO DRA	IN TO THE EXTERIOR (	OF THE BUILDING.	THE HEATHER	-RESISTIVE BARRIER	a. 551	DIE STEPHALL & (1	E4 VERTICA	STM 307 HEX HEAD-BY L EACH SIDE OF HEX-I	OLT (20° min. ET HEAD BOLT,	1BED
3, CONCRETE STOOPS TO BE MACHINED MIXED AND PLACED IN ACCORDANCE WITH IBC SECTION 1905,	9, SHEATH AND HAIL ALL SHEAR PANELS AND GABLE END TRUSSES THE SAME AS THE SHEAR HALL ABOVE OR BELON,	TERMINATE ON 19. COLUMNS OR PI	THE ATTACHMENT FLA	NGE OF THE SCR ICRETE OR MASO	EED. NRY FLOORS AN	D THAT SUPPORT	5. I'é à (\$14	O STEMBALL & (I	#4 VERTICA	IS FOLLOWS: STM 307 HEX HEAD-BX L EACH SIDE OF HEX-H HEX HEAD-BOLT (20° L EACH SIDE OF HEX-H D BOLTS MUST EXTEND TING.	MEAD BOLT,	Ulbo L
4. COMPRESSION STRENGTH OF ALL REINFORCED CONCRETE SHALL NOT BE LESS THAN 3000 PSI AT 26 DATS.  5. STRUCTURAL DESIGN BLAND ON E - 2000 DSI (SERECLA) AND PETAL DATA DECIMINED.)	HIN, (2) ROHS IN BOX NAILS & IZ O.C.  II. TYPICAL LOAD BEARING AND EXTERIOR STUDHALL CONSTRUCTION	PEDESTALS PR	OJECTING ABOVE EXPO	SED EARTH A MI	NIMUM OF 6" ANDUAL CONCRET	ID AT LEAST IT ABOVE E OR MASONRY PIERS	STEINAL	L AND 6' INTO 9	ECIFIED FOO	TING.		reco
4. USE NORTHAL HEIGHT CONCRETE (145 PCP) FOR ALL CONCRETE, USE TYPE II CEMENT TYPICAL, IF SOIL CONTAINS SULFATE CONCENTRATIONS OF 25 OR MORE,	STUD HEIGHT ( 10'-0' - 2x4 @ 16' O.C. STUD HEIGHT ( 14'-0' - 2x6 @ 16' O.C.	SHALL PROJECT AT LEAST 8" ABOVE EXPOSED GROWN UNLESS THE COLUMNS OR POSTS THAT THEY SUPPORT ARE OF MOOD RESISTANT TO DECAY.					SHEARWALL SCHEDULE					
USE TYPE Y CEMENT.  7. THE HAXIMUM SULMP SHALL NOT EXCEED 3", PLASTICIZERS MAY BE USED TO INCREASE SUPPLY TO 3" MAYBEL PROVIDED THEY DO NOT BAYESSE SUPPLY AS	STUD HEIGHT { 17-4" = 1-3/4" x 5-1/2" L.V.L. # 12" O.C. STUD HEIGHT { 27"-4" = 1-3/4" x 7-1/4" L.V.L. # 12" O.C. STUD HEIGHT { 27"-4" = 1-3/4" x 9-1/4" L.V.L. # 12" O.C.	IN THE SECURISE BEHABIT CHIEFET, CYRENTER CHORIEST CAN AD DRAFT STOPPER, IN VERTICAL AND INSECURITY, SHALL BE WRITERED AND INSECURITY, SHALL BE WRITERED AND INSECURITY, SHALL BE WRITERED AND INSECURITY SHALL BE AND INSECURITY SHALL BE AND INSECURITY SHALL BE AND INSECURITY SHALL BE WRITERED AND INSECURITY SHALL BE SHAPE WRITERED AND INSECURITY SHALL BE SHAPE WRITERED AND INSECURITY SHALL BE SHAPE WRITERED AND INSECURITY SHAPE WITH SHAPE WRITERED AND INSECURITY WRITERED AND INSECURITY WRITER				SHEARWALL	SHEATHING THICKNESS			4000	-	
8. HAXIMUM HATER/CEMENT RATIO SHALL BE 35 FOR 3000 PSI CONCRETE. 9. EXTERIOR SLABS ON GRADE SHALL CONTAIN NOT LESS THAN 5% NOR MORE THAN 6%	12. USE (2) CONT. KING STUDS E.S. OF OPENINGS INHERE STUD HEIGHT EXCEEDS 10"-6" U.N.O. DO NOT EREAK CONT. KING STUDS BY SPANNING HEADER OVER MULTIPLE OPENINGS.					DESIGNATION	(minimum)	NAIL EI SIZE S	GE NAIL PACING SPACING	ADDI COM	MEN	
ENTRAINED AIR,  10. FOLLOW RECOMPENDED PRACTICES FOR HOT AND COLD HEATHER CONCRETING BY  CONSERVABLE AND ACL AND ACCURATE MISS.	A. PORTIONS OF STRUCTURAL GLU-LAM BEAMS, M-HICH ARE EXPOSED TO MEATHER, SHALL BE PRESSURE TREATED OR MODD OF NATURAL RESISTANCE TO DECAY, EQUIVALENT	THE FOLLOHING S	SPECIAL INSPECTIONS S	SHALL BE PERFOR	MED BE CERTI	FIED	6	*	8d	6" 12"		
II, PROVIDE STANDARD CRACK CONTROL JOINTS IN ALL SLABS ON GRADE USING MAXIMUM DIMENSION OF IS FEET, JOINT DEPTH SHALL NOT EXCEED ONE-FOURTH OF SLAB DEPTH,	PROTECTION MAY BE PROVIDED WITH COMPLETE SHEET METAL ENCAPSULATION, IA, FASTENERS AND CONNECTORS IN CONTACT WITH PRESERVATIVE-TREATED AND FIRE-	SPECIAL REPECTATIONS 1 THE FOLLOWING SPECIAL REPECTATORS SHALL BE PERFORTED BE CERTIFIED SPECIAL REPECTORS.  1. SPECIAL STEEL HELDING TO PERCODIC. 2. ALL PIELD STEEL HELDING TO PERCODIC. 3. REPECTATION PLACEMENT (S. SIN IN). THE PERCODIC.  7. REPECTATION PLACEMENT (S. SIN IN). THE PERCODIC.  1. REPECTATION PLACEMENT (S. SIN IN). THE PERCODIC.			4	341	8d	4ª 12ª	-			
SE SEC. PRI-MEN AND ACT 38  SE SEC. PRI-MEN AND ACT 38  ACCEPTED FOOD TO BE PLANDED FROM THE DESCRIPTION CONCRETE.  SCACCHEST SOUTH THE SECRIPTION OF ALL RESPONDED CONCRETE SHALL NOT BE LESS THAN 2000 FIRST AT 9 BATS.  SECTION FOO.  SECTION FOO.  SECTION FOOD THE SECRIPTION OF ALL CONCRETE SHALL NOT BE LESS THAN 2000 FIRST AT 9 BATS.  SECTION FOOD THE SECRIPTION OF ALL CONCRETE SHALL NOT BE LESS THE RESIDENCE OF A 2000 FIRST AT 9 BATS.  SECTION FOOD THE SECRIPTION OF ALL CONCRETE SHALL NOT BE LIGHT TO PROMISE OF ALL OF THE SECRIPT TO PROMISE SHAPP AND ALL OF THE SECRIPT TO PROMISE SHAPP AND ALL CONCRETE SHAPP AND	BY OUR TAY OF THE PROVIDE PROPERTY OF THE PLANS ALL MALE DEPOSED TO SERVICION OF THE PLANS ALL MALE DEPOSED TO SERVICION ADDRESSES AS A SERVICION OF THE PLANS ALL MALE DEPOSED TO SEATHER SHALL BE CALMADIZED. OF THE PLANS ALL MALE DEPOSED TO AND THE PLANS ALL MALE DEPOSED TO SEATH OF THE PLANS ALL MALE DEPOSED TO SEATH OF THE PLANS ALL MALE DEPOSED TO SEATH OF THE PLANS AND DEPOSED TO SEATH OF THE PLANS ALL MALE DEPOSED TO SEATH OF THE PROTECTION AND COPPLIES AND COPPLIES THE THAT DEPOSED TO MALE DEPOSED TO SEATH OF THE PROTECTION AND COPPLIES AND COPPLIES THE THAT DEPOSED TO MALE DEPOSED TO SEATH OF THE PLANS ALL MALE DEPOSED TO SEATH OF THE PLANS ALL MALE DEPOSED TO MALE DEPOSED TO SEATH OF THE PLANS ALL MALE DEPOSED TO MALE DEPOSED TO MALE DEPOSED TO MALE DEPOSITION OF THE PLANS ALL MALE DEP	2, ALL FIELD STE 3, DRY-PACK GRO	EL WELDING ~ PERIODI UT PLACEMENT (8 KSI	Min.) " PERIODIO	-		-		-			
THIONESS SHALL NOT BE PLACED IN STRUCTURAL CONCRETE.  4. DO NOT PLACE CONCRETE UNTIL ALL REINFORCEMENT, CONDUIT, OUTLET BOXES, ANCHORS,	SULPETRACTION. NO.112 F. TODD - 24 DEF  LOS CONTROL TRACTION. TO TODD - 25 DEF  APRIL PACE GOARDLANG FEBRUARY RESPONDED. AT TO SEPTOR FRANCE, STANGER  APRIL PACE GOARDLANG FEBRUARY RESPONDED. AT TO SEPTOR FRANCE, STANGER  APRIL PACE GOARDLANG FEBRUARY RESPONDED. AT TO SEPTOR FRANCE, STANGER  APRIL PACE GOARDLANG FEBRUARY RESPONDED.  4 D.S. SEE DETAIL TOR ADDITION. MALINE SEQUENTED.  5 D.S. SEE DETAIL TOR ADDITION. MALINE SEQUENTED.  5 D.S. SEE DETAIL TOR ADDITION. MALINE SEQUENTED.  5 D.S. SEE DETAIL TORS. SECUENTED TO THE TAIL TO SERVE THE DETAIL TORS. SECUENTED.  5 D.S. SEE DETAIL TORS. SECUENTED.  5 D.S. SECUENTED.						3	*,	8d	34 124	AT ADJOINING	PA
HANGERS, SLEEVES, BOLTS, HOLDOWNS, ANCHOR BOLTS OR OTHER EMBEDDED MATERIALS AND ITEMS ARE SECURELY AND PROPERLY FASTENED IN THEIR PROPER PLACES	APPLY FACE GRAINLING DIFFERSION PERPENDICULAR TO SUPPORT FRAMING, STAGGER PANELS AND MAIL HITH ME'S AT 6" O.C., EDGES AND BOUNDARIES AND ME'S AT 2" O.C., FIELD, MAIL ALL DRAG MEMBERS, SHEAR PANELS, BLOCKING, E.T.C., M/ MAILS SPACED AT						2	35.1	8d	28 128	AT ADJOINING	PA
MASONRY INTEREST MISCHING INTERESTINE CONTROL TO LETTE CON CREST IN STAN STAN STAN	4" O.C. SEE DETAIL FOR ADDITIONAL NAILING REQUIREMENTS, 3, USE (2) TRIPPIERS AND (1) KING STUD UNDER ALL OPENINGS <u>6'-0'</u> OR GREATER,						20	3,1	lod .	28 128	3x (min.) AT ADJONING	) FR
USE 65 PCF MINISUM HEIGHT UNITS ABOVE GRADE AND 110 PCF MINISUM HEIGHT UNITS BELON GRADE, USE MOSTURE CONTROLLED UNITS ONLY, USE OPPOIDID MASONRY UNITS	4. CONNECT TRUSS BLOCKING AND GABLE END TRUSSES TO TOP PLATE OR BEAM BELOW WITH ASS's, LTP4's, LT0's, OR L950's @ 46' O.C. UNLESS NOTED OTHERWISE. 5. DOUBLE TOP PLATE LAP SPLICES SHALL BE 4'-0' MINISTED AND FACE MAILED WITH						-		-		-	
AS MUCH AS POSSIBLE AND AT HALL INTERSECTIONS,  2. ALL BRICK SHALL CONFORM TO ASTM C62, GRADE MH.	(12)-16d NAILS, 6, THE FOLLOHING COLUMN/POST CAPS ARE INTERCHANGEABLE; CC, ECC, CCQ, 4 ECCQ,	DRILL	AND EPOXY N	NOTES & S	PECIFICA	TIONS	<u>A</u>	BOTH SIDES	8d	3 <sup>4</sup> 12 <sup>4</sup>	AT ADJOINING	PA
4. GROUT FOR CONCRETE MASONRY SHALL BE IN ACCORDANCE WITH BC SECTION 208. HINITIAN 29-DAY COMPRESSIVE STRENGTH SHALL NOT BE LESS THAN 2000 PSI.	7. PREMICHEM ARE PLACED HIGH IN THE HALL AND BREAK THE DOUBLE TOP PLATE, AN INSTCED SHALL CONNECT THE HEADER TO THE TOP PLATE AT EACH END. 8. ENCLOSED ATTIC AND RAFTER SPACES SHALL HAVE CROSS VENTILATION BY OPPRINGED.	ANCHOR DIAMETER	DESIRED HARDHARE	BORE HOLE DIAMETER	MIN. REGID EMBEDMENT	REQUIRED EPOKY	DA	BOTH SIDES	Bd	2 <sup>8</sup> 12 <sup>8</sup>	at ADJOINING	PA
5. ALL MALLS SHALL BE GROUTED SOLID, GROUT SHALL BE VIBRATED INTO PLACE AND SHALL BE PLACED IN LIFTS NOT EXCEPDING 4 UNLESS APPROPRIATE CLEANOUT HOLES ARE PROPRIED IN A LIFTS INTO BIS.	EQUAL TO LYBOTH OF THE AREA, WHERE EAVE OR CORNICE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR, A MINIMUM OF IF OF AIR SPACE		#4 REBAR	8.	61	SET-XP	M	BOTH SIDES	lOd box	2ª 12ª	3x (min.)	
6. AGREGATES FOR MORTAR AND GROUT SHALL BE NATURAL SAND AND ROCK CONFORMING TO ASTRI CHAIR (MORTAR) AND CHAIR (SOUTH)	RAFTERS, BAYS AND/OR VAULTED CEILINGS MUST BE VENTILATED TO OUTSIDE AT RIDGE,	1/2"	ta'♦ A.T.R.	٧.	5*	SET-XP						_
	9 CLAY AND CONCRETE ROOF TILES AND BATTEN BOARD FASTENERS SHALL BE CORROCKED		R.F.B. #4	٧.	5*	SET-XP	I, USE APA-	RATED SHEATHIN	CONFORMIN	TO PS 1-45 (EXCEPT	GROUP 5 SPECI	JES).
7. CEMENT SHALL BE PORTLAND CEMENT CONFORMING TO ASTM C-50, TYPE I OR II, LOW ALKALI.	9. CLAY AND CONCRETE ROOF TILES AND BATTEN BOARD FASTENERS SHALL BE CORROSION RESISTANT WALLS NOT LESS THAN NO. II GAGE HITH 12" HEAD, AND SHALL BE LONG ENOUGH TO PENETRATE INTO THE SHEATHING 0.75" OR THROUGH THE THICONESS,		S'd A.T.R.	¥	128	SET-XP	2, ALL SHEA	2012 IBC 2305 AND VRHALL STUDS SH J. PANEL EDGES	AF & PA SD ALL BE DOUG IND FASTEN	PWS 2006 - SECTION A LAS FIR-LARCH SPACE PER ABOVE SCHEDULE	D . 16, O'C' (A)	N.O.
7. CEPRIT SHALL BE FORTLAND CEPRIT CONFORMING TO ASTM C-80, TYPE I OR II, LICH ALXIO, ALL CANCETE BLOCK AND BRICK SHALL BE LIAD IN RUNNING BORD.  4. HEN ABSOLUTELY RECEMBARY FOR CONSTRUCTION PROPOSES TO STOP OFF LONGTUCINAL AUGUST AND	q. CLAY AND CONCRETE ROOF TILES AND BATTEN BOARD FASTBREES SHALL BE CORROSION RESISTANT HALL SINT LESS THAN NO. I GREEN FITH M. HEAD, AND SHALL BE LOW BIOLIGH TO PENETRATE INTO THE SHEATHING 0.75" OR THROUGH THE THEODESS, HICHOEVER IS LESS, ATTACHNE MIRE FOR THISE SHALL NOT BE SHALLES THAN 0.085", HORIZORTAL BATTIPOS SHALL NOT BE LESS THAN 1"0.7" NOTHINA, HITH PROVISIONS HADE FOR DRAINAGE (2) PER A"O. PRIAN), PROVING DE FASTBREE REP TILE (TIMBURGE).		4				3. BLOCK AL		SED. NAIL H	ADS SHALL NOT PENE	TRATE SHEATHIN	Ka.
7. CERRY SHALL BE ROXINAD CERRY CONDENS TO ASTRONG BOD, TYPE I OR II, LON ALVALU.  9. ALL CONSETTE BLOCK AND BRICK SHALL BLOD IN BARNING BOD.  10. ALVALUE THE SECRET FOR CONSTRUCTION REPORTS TO STOP OFF LONGITIONAL AND ADMINISTRATION OF THE STOP OFF LONGITUDINAL CONNECT TOTOMAS SHALL BOT BE PERFETTION BACK ONE-HALL DRIT LEIGHT IN BLOCK CONSECT, TOTOMAS SHALL BOT BE PERFETTION.  10. THROWSTEY HALL SHALL BE REPORTED THIS HIS AT 20 FC. ALCAI HAY, REPORTAL BARE	9. CLAY AND CONCRETE BOOT TILES AND BATTEN BOAND PASTENESS SHALL BE CORROSION RECOGNITY MICH BY THE DIST HAS NO LOCKE HIT FROM THE BOOK AND SHAPE OF LOCK HARDOPER BY LESS, ATTACHIS HISE FOR TILES SHALL HAT BE SHALLER THAN CORP! AUXILIARY LATER SHALL HAT BE LESS THAN ("A" STROME, LITTLE PROVISION FACE LOCKETAL BATTERS SHALL HAT BE LESS THAN ("A" STROME, LITTLE PROVISION FACE HAVE BEEN RECORDED BY THE BY LESS THAN ("A" STROME, LITTLE PROVISION FACE IN LICE BEGINNETHET BY BS. "FACEL BOTAL" AND YESTERS. 10. BOOT TILL SHALL BE APPLIED IN ACCORDANCE HAT SOURCE LIELS, SECTION BOTAL		R.F.B #5	\$*	128	SET-XP	BLOCK AL     CONTION     PROVIDE	NAILS SHALL BE I EDGE NAILING TO	ALL HOLDON	A. SHEWIGHATT O. U.Y.		75.10
PAGORETY  LALL CONCRETE HISCORY INITS SHALL CONTRET TO ASTTI CRE, GRADE N. PTT = 600 PS, USE 68 PS PS INSTEM HISCORY INITS SHALL CONTRET HIS DEVELOPE AND TO PS PS INSTEM HISCORY INITS ASSAULT AND THE PS	9. CLAY AND CONCRETE BOOT TILES AND BATTEN BOARD PASTENESS SHALL BE CORROSION EXCENSIVE HEAD. AND SHALL BE LOSE RESISTANT MALON BY LESS THAT HEAD, AND SHALL BE LOSE HANDING THE TEST, ATTACHING HER FOR TILES SHALL NOT BE STALLER THAN OMY AND DATA THE SHALL BY LESS THAT OF YORSHILL ATTHE STALLER THAN OMY AND DATA THE SHALL BY LESS THAT OF YORSHILL ATTHE STALLER THAN OMY AND THE SHALL BY COMMAND AND THE SHALL BY SHALL BY LESS THAT OF THE SHALL BY THE SHALL	6	4	t t	124	SET-XP SET-XP SET-XP	3. BLOCK AL 4. CONTON 1 5. PROVIDE 6. SHEATH A 7. HHERE SI NAILING S	NAILS SHALL BE I EDGE NAILING TO ALL EXTERIOR HA HEARHALLS INTER SCHEDULES ON BO	ALL HOLDON LS AS TYPE SECT AT COR TH SIDES OF	THE CORNER, TYPICAL	NGHTER OF THE	INU
T. CERRIT SHALL BE PROTILARD CERRIT CREDITION OF ASTIT CARE, TIPE I OR II, THE ADALE.  LIPH ADALE.  I CHARLES FROM A BENEVOL SHALL BE LUD IN BREINE DOIL.  I HERA MERCURITELY INCESSARY FOR CONSTITUCION PLRYSORS TO STOP OF ELANGIDONAL BRIDGE OF MORROW, STOP OF OR CAST IN BLACKES BACK CHI-HAVE INT LIBERTH IN DICH.  D. PRACORY HALLS SHALL BE EIRHOREED WITH MYS AT 24° C.C. EACH HAY, HORIZONTAL BAR SPACED SHALL BE STACKESH.  LESPONCHIS HAS SHALL BE CERCRED WITH MYS AT 24° C.C. EACH HAY, HORIZONTAL BAR SPACED SHALL BE STACKESH.  LESPONCHIS BARS SHALL BE DEFORMED BARS CORPORISING TO THE REQUIREMENTS OF ASTIT MAS GRADE OF FOR ALL BRISS.	FOR THE TABLE LOW SECTION IN THE COLUMN PARK THE PROPERTY OF THE SECTION OF THE S	*	R.F.B #5 HTT16	¥	128	SET-XP	3, BLOCK AL 4, COTTON 1 5, PROVIDE 6, SHEATH 4, 7, MHERE SI NAILING 5 8, MHEN SIE OFFSET 1 9, MHERE N	NAILS SHALL BE I EDGE NAILING TO ALL EXTERIOR HA HEARHALLS INTER SCHEDULES ON BO EATHING OCCURS I TO FALL ON DIFFE ALLS ARE SPACED	ALL HOLDON LS AS TYPE SECT AT COR IN SIDES OF IN BOTH SIDE SENT BX FRA AT 2 or 3 is	NERCY, PASCAIDE THE T THE CORNER, TYPICAL S OF THE HALL, PANE 11NG MEMBERS. CHES ON CONTER. FRA	MATTER OF THE TALL	BE
T. CERRIT SHALL BE PORTLAND CERRIT CONFORMS TO ASTIT CARE, TYPE LOR IS, AN AUXAL.  AN AUXAL.  AN AUXAL.  AN AUXAL.  A HEAR RECOVER BE ROOK AND RECK SHALL BE LUAD IS REMINES (2010).  A HEAR RECOLUTELY RECESSARY FOR CONTRICTION PLRYSORS TO STOP OF LIASTICIONAL BIRDS OF MORNOW, STOP OF OR AUX ITS RACKING MAY COM-HAVE HAT LIBERTH IS DEAD.  INCREMENT MALES SHALL BE REINFORCED WITH MYS AT 24° C.C. EACH MAY, HORIZONTAL BAR SPLICES SHALL BE STACKEDED.  REINFORCINES STITEL.  ANTI-MAG ROOK STOP FOR LIBERTY AUXALITY OF RESPONSORS STIEL SHALL BE IN LIBERTY AND AUXAL SHALL BE IN LIBERTY AND AUXAL SHALL CONTRICT TO LATTE RESPONSORS STIEL SHALL BE IN AUXILIARY OF PERSONSORS STIEL SHALL BE IN AUXILIARY OF REPROCESSORS STIEL SHALL BE IN AUXILIARY OF REPROCESSORS STIEL SHALL BE IN AUXILIARY OF REPROCESSORS.	**QLAY AND CONCRETE BOOT THEN AND BATTINE COMP PARTICIPES SHALL BE CORROCKED BOOKED THE PARTICIPES SHALL BE CORROCKED BOOKED TO PRINCIPE THE THEORY IN THE SHALL BY THE SHALL BE AVERABLE WITH 200 LIKE. SECTION 5073.  10. ROOF THE SHALL BE AVERABLE THE DESCRIPTION OF BEIGHT, MOT BE AVERABLE THE THE SHALL BY THE SHALL	*	R.F.B #5 HTT16 HTT22 HDU4-9092,5 HDU5-9082,5	v v v	154 154 154 154	SET-XP SET-XP SET-XP		LL. NOTES:  - RATED SHEATHIN 2012 IBC 2305 AND ROBALL STUDS S.  L. PANEL EDGES MAILS SHALL BE EDGE MAILING TO ALL EXTERIOR MA REARRALLS MTE CAREDULES ON BO EATHING OCCURS O O FALL ON DIFFE ALS ARE SPACED AALL BE 3 INCHES	ALL HOLDON LS AS TYPE SECT AT COR TH SIDES OF TH SIDES OF TH SIDES OF TH SIDES OF TH SIDES TH	NEXS, PROVIDE THE PARTY THE CARRIER TYPICAL S OF THE HALL, PANE TING METBERS. CHES ON CENTER, FRANCHIDER AND NAILS SHOULD SHOULD THE PARTY THE PAR	AHTER OF THE SALL WING AT ADJOIN ALL BE STAGGER	BE ING IED.
T. CERRIT SHALL BE PORTLAND CERRIT CONDENSES TO ASTIT CAS, TYPE I OR II, ADALLI.  LICH ADALLI.  LICH ADALLI.  LICH ADALLI.  LICH BED ENDOW AND BESCH SHALL BE LUD IN BERNINGE STOR.  LICH BESCH SHORE BOOK AND BESCH SIZE AND ASSESSED TO STOP OF LIASETIDANA.  BASO OF HOMEON, STOP OF OR CAST BE MADDES BOY COM-HAVE HAT LIASETH IN BLACK  DO MADDET HALLS SHALL BE SERVICEDED WITH MYS AT 24° O.C. EACH HAY, HORSIONTAL BAR  SPLICE SHALL BE STACKERS.  REPROCESSED BAS SHALL BE SERVICEDED BARS CONFORTING TO THE REQUIREMENTS OF  LESTOCKERS BASS SHALL BE DEFORTED BARS CONFORTING TO THE REQUIREMENTS OF  LESTOCKERS BASS SHALL BE DEFORTED BARS CONFORTING TO THE REQUIREMENTS OF  LESTOCKERS BASS SHALL BE DEFORTED BARS CONFORTING TO THE REQUIREMENTS OF  LESTOCKERS BASS SHALL BE DEFORTED BARS CONFORTING TO THE REQUIREMENTS OF  ACCESSIONEE BETT THE ACT HANGE OF STARBADO PROCESSED.  ACCESSIONEE BETT THE ACT HANGE OF STARBADO PROCESSED.  RESIDENCE BETT THE ACT HANGE OF THE STARBADO PROCESSED.  RESIDENCE BETT THE ACT HANGE OF THE STARBADO PROCESSED.  RESIDENCE BETT THE ACT HANGE OF THE STARBADO PROCESSED.  RESIDENCE BETT THE ACT HANGE OF THE STARBADO PROCESSED.  RESIDENCE BETT THE ACT HANGE OF THE STARBADO PROCESSED.  RESIDENCE BETT THE ACT HANGE OF THE STARBADO PROCESSED.  RESIDENCE BETT THE ACT HANGE OF THE STARBADO PROCESSED.  RESIDENCE BETT THE ACT HANGE OF THE STARBADO PROCESSED.  RESIDENCE BETT THE ACT HANGE OF THE STARBADO PROCESSED.  RESIDENCE BETT THE ACT HA	**CALY AND CONCRETE BOOK THEN AND BATTISH DAMP PARTISHED SHALL BE CORROSORN BOOKEN TO PRESENT HIT THE SEARCHING OF YOUR FREEDOM TO PRESENT HIT THE SEARCHING OF YOUR FREEDOM TO PROBE THE THING OWN. **SHORT HE SHALL BE SHALL BE SHALL BOTH BE SHALL BY THE		R.F.B #5 HTT16 HTT22 HDU4-5092,5 HDU5-5092,5 % # A.T.R.	v v v	124 124 124 125 186	SET-XP SET-XP SET-XP SET-XP SET-XP	ANCHOR B	WIT NATES.				
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T. CERRIT SHALL BE PORTIVADE CERRIT CONCROPING TO ASTIT CAST, THE LOR IS, ADMINISTRATION OF THE PROCESSOR OF SHALL BE LOD IN BREINES DOILD.  1. HERN ARCAITTEN RECEIVERY FOR CONTRICTION PLRYSCHES TO STOP OF LONGTHOMAL BAR SHALL BE ARCAITTEN AND THE PROCESSOR OF THE LONGTH IN BLOCK OF HOME AND THE SHALL BE SHA	**QLAY AND CONCRETE BOOT THEN AND BATTEN BOAND PASTINESS SHALL BE CORROCKED BOOKED BY AND THE AND THE AND THE CONTROLLED BY A SHARE OF THE PROBABILITY TO THE PR	3.	R.F.B. #5 HTT16 HTT22 HDU4-5D92,5 HDU5-5D92,5 \$*\psi \text{A.T.R.} HDU6-5D92,5 HD06-5D93	v v v v	12* 12* 12* 12* 12* 15\$;* 15\$;*	SET-XP SET-XP SET-XP SET-XP SET-XP SET-XP SET-XP SET-XP	ANCHOR E I. ALL ANCH ANCHOR E IF NO SPI USE 3'45' PROVIDE DO NOT C	COLT NOTES: IOR BOLTS SHALL BOLT SPACING IS ACING IS NOTED S ACING IS NOTE	BE \$ 4x2 1. SPECIFIED ON PACING SHALL NASHERS AT HIN OF EL OR BOLTS IN			
T. CERRIT SHALL BE PORTLAND CERRIT CONDOMINE TO ASTITL CAS, THE LOR IS, AND AUXILIA.  A HARM FROM THE PROOF AND RICK SHALL BE LUD IN RENNING BOILD.  IN HER HERCHITELY RECESSARY FOR CONTRICTION PLRYOCKS TO STOP OF LIAGITIDANA. IN HER HERCHITELY RECESSARY FOR CONTRICTION PLRYOCKS TO STOP OF LIAGITIDANA. IN HER HERCHITELY RECESSARY FOR CONTRICTION CONTRICTION OF LIAGITIDANA. IN HER HERCHITELY SHALL BE SHACKEDED WITH MYS AT 24° C.C. BACH HAY, HORSONITAL BAR SHALL SHALL IS SHALL BE REPORTED WITH MYS AT 24° C.C. BACH HAY, HORSONITAL BAR SHALL SHALL IS SHALL BE REPORTED TO THE RESPONSITION OF LIAGITIST OF ANY HORSONITAL BAR SHALL SHALL BE SHACKEDED AND THE RESPONSITION OF THE PROPERTY OF A SHALL BE REPORTED TO THE PROPERTY OF ASTITLAND AND THE PROPERTY OF ASTITLAND SHALL BE LEFTED THE MALL BE REPORTED. SHALL BE LEFTED ASTITLAND SHALL BE LEFTED THE MALL BAR DEPORTED AND THE MALLS AND SHALLOWS SHALL BE LEFTED ASTITLAND ASTI	**QLAY AND CONCRETE BOOT THEN AND BATTIS BOAND PASTISSES SHALL BE CORROCKED BOOKED THE AND DATE OF THE PASTISSES SHALL BE CORROCKED BOOKED TO THE SHALL BE CONCRETE, SHADOWER RELIES, ATTOCKED BOOKED THE SHALL BOTH BOOKED THE PASTISSES SHADOWER RELIES, ATTOCKED BOOKED THE SHALL BOOKED THE SHALL BE ATTOCKED BOOKED THE SHALL BOOKED BOOKED THE SHALL BOOKED THE SHALL BE ATTOCKED BOOKED THE SHALL BOOKED BOOKED BOOKED THE SHALL BOOKED BO		R.F.B #5 HTT12 HDU4-5092,5 HDU5-5092,5 \$*\text{*\text{*\text{*\text{*\text{*\text{*\text{\$T.R.}}}}}} HDU8-5092,5 HDU8-5092,5 HDU8-5092,5 HDU8-5092,5 HHDU8-5092,5	** ** ** ** ** ** ** ** ** ** ** ** **	C24 C24 C24 C24 C24 S252 S252 S252 S253 S254 S254 S25	SET-XP	ANCHOR E  I. ALL ANCH ANCHOR E IF NO SP, USE 3'45' PROVIDE DO NOT C  Design 1	COLT NOTES: IOR BOLTS SHALL SOLT SPACING IS ACHIG IS NOTED S AND THOSE PLATE ANGLOR BOLT HIS COUNTERSHIK AND PARAMETERSHIK AND PARAMETERSHIK	BE \$'4x2' !. SPECIFIED ON PACING SHALL HASHERS AT HASHERS AT LOR BOLTS IN		N AS ®	
T. CERRIT SHALL BE PROTIAND CERRIT CREDITIONS OF ASTITIC AST, TYPE I OR II, AND	9 CLAY AND CONCRETE BOOT THEM AND BATTIS DAMP PARTISEES SHALL BE CORROCKED BOOKED TO THE SHALL BY CONCRETE BOOK TO THE SHALL BY SHA	Ži Ši	RF.B #5 HTTE HTT22 HDU4-5002.5 HDU5-5002.5 \\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\	** ** ** ** ** ** ** ** ** ** ** ** **	C2* C2* C2* C3* C5;	5ET-XP	ANCHOR E  I. ALL ANCH ANCHOR E IF NO SP, USE 3'44' PROVIDE DO NOT C  Design I	COLT NOTES:  OR BOLTS SHALL  SOLT SPACING IS  ACAGE IS NOTED: S.  "THAC PLATE  ANCHOR BOLT HIT  COUNTERSHIK AND  Parameters  VATION	BE \$ 4x12 1. SPECIFIED ON PACING SHALL MASHERS AT HIN 9" OF EACOR BOLTS IN 2002 INTE	F BOLTS. THE FOUNDATION PLA L BE 40° C/C. ALL ANACOR BOLTS. GH SIDE OF PLATE SP TO SILL PLATES.  RNATIONAL BUILDING (	LICE OR NOTCH.	
T. CERROTT SHALL BE PROTICATED CREEMED CREEMED AS ASTE CASE, THE I OR IS,  ALL COASEET ROOK AND BROKE SHALL BE LUD IN BRINNING DAM.  S. HALL COASEET ROOK AND BROKE SHALL BE LUD IN BRINNING DAM.  S. HALL COASEET ROOK AND BROKE SHALL BE LUD IN BRINNING DAM.  S. HALL COASEET ROOK AND BROKE SHALL BE REPORTED.  S. HALL COASEET ROOK AND BROKE SHALL BE SHALL	**QLAY AND CONCRETE BOOK THEN AND PATTINE DAMP PARTIESES SHALL BE CORROSON DESCRIPTION THE ARCHITECTURE OF THE ARCHITECTURE OF THE SHALL BY THE SHALL BE SHALL BY THE SHALL BY THE SHALL BE SHALL BY THE SHALL BE THE SHALL BE SHALL BY THE SHALL BE SHALL B	Ži Ši	RF.B #5 HTTE HTT22 HDU4-5002.5 HDU5-5002.5 \\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\	** ** ** ** ** ** ** ** ** ** ** ** **	C2* C2* C2* C3* C5;	5ET-XP	ANCHOR E  I. ALL ANG- ANGOR E IF NO SP, USE 3*3* PROVIDED DO NOT C  Design I  CODE: PROJECT ELE SESPIIC SITE SESPIIC DESIGNIC DESIGNIC DESIGNIC	COLT NOTES:  OR BOLTS SHALL  SOLT SPACING IS  ACAGE IS NOTED: S.  "THAC PLATE  ANCHOR BOLT HIT  COUNTERSHIK AND  Parameters  VATION	BE \$14x12 1.1 SPECIFIED ON PACING SHAL NASHERS AT HAN 9" OF EX OR BOLTS IN 2002 INTE 4800"  D S D S	F BOLTS. THE POINDATION PLA LEE MONORME BOLTS. LEE MONORME BOLTS. LEE MONORME BOLTS. TO SILL PLATE SP TO SILL PLATES.  RNATIONAL BUILDING C L/40 C 0.0 0.500 R 6.5	N AS TOTCH,	
T. CERROTT SHALL BE PROTICABLE CERROTT CARROTTING TO ASTIT CARE, TITPE 1 OR 19, THE COLOR AND BROKE SHALL BE LAD IN RENNING BOILD.  S. HERN ARCALITEST RECORATE FOR CORPETEDING PROTOCOST OF THE CORPETEDING. SHALL BE SHAL	**CLAY AND CONCRETE MOST THEM AND ENTITIE COMPOUND SHAPE CONSIGNATION OF THE AND ENTITIES COMPOUND SHAPE CONSIGNATION OF THE AND ENTITIES CHAPTER SHAPE CONTROL THE PROBABILITY OF THE P	Ži Ši	RF.B #5 HTTE HTT22 HDU4-5002.5 HDU5-5002.5 \\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\\	** ** ** ** ** ** ** ** ** ** ** ** **	C2* C2* C2* C3* C5;	5ET-XP	ANCHOR E  I. ALL ANG ANGOR E  IF NO SP, USE 3"-3" PROVIDE DO NOT C  ODE PROJECT ELE SEISHIC DESK HIND SPEED. HIND SPEED. HIND SPEED. HIND SPEED. HIND SPEED.	KOLT NOTES: IOR BOLTS SHALL IOR BOLTS SHALL IOR BOLTS SHOTES: IN THEIR PLATE AND BOLT HE A	BE **MAZI* ! BE \$*MAZI* ! BE \$*MAZI* ! BE \$*MAZI* AT INCHES AT INC	F BOLTS. THE FOUNDATION PLA BE 46° C.C. ALL ANDAGE BOLTS, CI SIDE OF PLATE SP TO SILL PLATES.  RNATIONAL BUILDING C  - LA2g C, - 0.3	N AS TOTCH,	
T. CERRIT SHALL BE PORTLAND CERRIT CONCROPING TO ASTIT CARE, TYPE I OR II, ALLE ALLE III DAY ON CHARLE III DAY ALLE III DAY ALLE III DAY ALLE III DAY ON CHARLE III DAY ALLE I	FYSE-THANNIFAL LINEAR PRIOR SOUTH INTRODUCT SHEETING, LYOUT TRANSPORT CONTINUES, CONSISTENCY AND THE SERVICE SHEETING CONTINUES, CONTINUES, AND THISSE SERVICES IN ENCOUNTER CONTINUES. SHEETING AND THIS SERVICES IN EXPERITION FOR CONTINUES, SHEETING AND THE CONTINUES. SHEETING AND THE CONTINUES OF THE PROPERTY OF THE SERVICE OF THE SERVICE OF THE PROPERTY OF THE SERVICE OF	Ži Ši	RF.B #5 HTTE HTT22 HDU4-5092.5 HDU4-5092.5 \$79 A.T.R. HDU8-5092.5 HDU8-5092.5 HDU8-5092.5 HDU8-5092.5 HDU8-5092.5 HDU8-5092.5 HDU8-5092.5	** ** ** ** ** ** ** ** ** ** ** ** **	C2* C2* C2* C3* C5;	5ET-XP	ANCHOR E  I. ALL AND ANCHOR E F NO SP PROVIDE DO NOT CODE PROJECT ELE SEISTIC DESK HIND SPEED, HIND DEPOSUR SOIL BEARING S	KOLT NOTES: IOR BOLTS SHALL IOR BOLTS SHALL IOR BOLTS SHOTES: IN THEIR PLATE AND BOLT HE A	BE **MAZI* ! SPECIFIED ON PACING SHALL MASHERS AT HIN 9" OF EX OR BOLTS II  2012 INTE 4800" D S D S Vut+ 130 C 500 pef	F BOLTS. THE POINDATION PLA LEE MONORME BOLTS. LEE MONORME BOLTS. LEE MONORME BOLTS. TO SILL PLATE SP TO SILL PLATES.  RNATIONAL BUILDING C L/40 C 0.0 0.500 R 6.5	N AS TOTCH,	

POOTINGS DEPTH (Inches)	REBAR (each way)			
(Inches)				
10				
	(3) #4 # BOTTOM			
10	(3) #4 # BOTTOM			
ю	(3) 84 # BOTTOM			
b	(3) #4			
6	# BOTTOM			
12	(4) #4 # BOTTOM			
12	(4) 84 # BOTTOM			
14	# BOTTOM			
и	(6) #4 # BOTTOM			
14	(7) 84 # BOTTOM			
16	(9) #4 # BOTTOM			
18	(11) #4 # BOTTOM			
LARGE CAPACITY HOLDOWN FOOTINGS				
30	(3) =4 0			
	TOP 4 BOTT.			
40	TOP & BOTT.			
42	(3) #4 # TOP # BOTT.			
	REBAR			
	(each way)			
16 1	#4 # 6" O.C. TOP # BOTT.			
	#4 # 8" O.C. TOP # BOTT.			
21 1	#4 # 6" O.C. TOP # BOTT.			
21 4	#4 # 8" O.C. TOP # BOTT.			
2l 8	#4 # 8" O.C. TOP # BOTT,			
NCHOR	BOLTS:			
NCHOR				
	20			

FOOTING SCHEDULE

SHEARWALL SCHEDULE						SILL PLATE AND ANCHOR BOLT			
ARWALL IGNATION					ADDITIONAL COMMENTS	USE 36 PRESSURE TREATED SILL WITH \$14x12" ANCHOR BOLTS w/ 31x3"x3" PLATE MASHERS AT 40" ON CENTER (UNLESS NOTED OTHERSHISE)			
<b>^</b>	*	8d	6*	12*		COMMON ABBRI	EVIATIONS		
4	34	8d	4*	12*		ANCHOR BOLT ALL THREAD ROD	AB. AT.R		
∕s\	£,	8d	34	12*	3x (min.) FRAMING AT ADJOINING PANEL EDGES	BOTH SIDES BOTTOM CANTILEVER CELING	B.S. BOTT, CANTL. CLG.		
2	ž,	8d	28	12*	3x (min.) FRAMING AT ADJOINING PANEL EDGES	CONCRETE MASONRY UNIT CONTINUOUS CONTROL JOINT	CONT.		
20	£,	104	24	128	3x (min.) FRAMING AT ADJOINING PANEL EDGES	DIAMETER DOUBLE DOUGLAS FIR	DBL. D.F.		
<u>\$</u>	BOTH SIDES	8d	34	12*	3x (min.) FRAMING AT ADJOINING PANEL EDGES	EACH HAY EDGE NAIL EMBEDMENT EXISTING	E.H. E.N, EMBED, (E)		
盆	BOTH SIDES	8d	2ª	12*	3x (min.) FRAMING AT ADJOINING PANEL EDGES	EXTERIOR FINISH FLOOR	EXT. FIN. FLR.		
ΔN.	BOTH SIDES	IOI	2*	12*	3x (min.) FRAMING AT ADJOINING PANEL EDGES	FOOTING FIELD NAIL GUAGE GALVANIZED	FTG. F.N. GA. GALV.		
LEGISLA-LATED MASCHING CONCERNING TO DIS 14% (DICCIPT GRADE 5 SPECIES), AND PERSON DESCRIPTION OF THE CONCERNING AND PERSON DAYS & P. SOCK DOOR DOOR DOOR DOOR DOOR DOOR DOOR DOO						HEDGIT HER	HIST HIST		

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Washoe County, Nevada Carage Dunham lemucca Ranch Road Win 0009

Engineer Of Record Treyor J. Averett, P.E.

Revisions

6/13/2017 Drawn Checked MPF Project No. 17034 Structural Notes

and Schedules

